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LOCATION PLAN

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on site before commencement of work. All discrepancies	2	13/11/2021	For Review	LK	i	KnD Architects
to be brought to the attention of the Architect. Larger scale drawings and written dimensions take preference.	3	29/11/2021	For Review	LK		45 Bainton Cre
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Arch - Pav Dunski(11381) s 2021 - DEP0001677 3 817 985

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1.FALLS, SLIPS & TRIPS

A) WORKING AT HEIGHTS

DURING CONSTRUCTION:

WHEREVER POSSIBLE, COMPONENTS FOR THIS BUILDING SHOULD BE PREFABRICATED OFF-SITE OR AT GROUND LEVEL TO MINIMISE THE RISK OF WORKERS FALLING MORE THAN TWO METRES HOWEVER, CONSTRUCTION OF THIS BUILDING WILL REQUIRE WORKERS TO BE WORKING AT HEIGHTS WHERE A FALL IN EXCESS OF TWO METRES IS POSSIBLE AND INJURY IS LIKELY TO RESULT FROM SUCH A FALL THE BUILDER SHOULD PROVIDE A SUITABLE BARRIER WHEREVER A PERSON IS REQUIRED TO WORK IN A SITUATION WHERE FALLING MORE THAN TWO METRES IS A POSSIBILITY DURING OPERATION OR MAINTENANCE: FOR HOUSES OR OTHER LOW-RISE BUILDINGS WHERE SCAFFOLDING IS APPROPRIATE: CLEANING AND MAINTENANCE OF WINDOWS, WALLS, ROOF OR OTHER COMPONENTS OF THIS BUILDING WILL REQUIRE PERSONS TO BE SITUATED WHERE A FALL FROM A HEIGHT IN EXCESS OF TWO METRES

IS POSSIBLE WHERE THIS TYPE OF ACTIVITY IS REQUIRED, SCAFFOLDING, LADDERS OR TRESTLES SHOULD BE USED IN ACCORDANCE WITH RELEVANT CODES OF PRACTICE, REGULATIONS OR LEGISLATION FOR BUILDINGS WHERE SCAFFOLD, LADDERS, TRESTLES ARE NOT APPROPRIATE: CLEANING AND MAINTENANCE OF WINDOWS, WALLS, ROOF OR OTHER COMPONENTS OF THIS BUILDING WILL REQUIRE PERSONS TO BE SITUATED WHERE A FALL FROM A HEIGHT IN EXCESS OF TWO METRES IS POSSIBLE WHERE THIS TYPE OF ACTIVITY IS REQUIRED, SCAFFOLDING, FALL BARRIERS OR PERSONAL PROTECTIVE EQUIPMENT (PPE) SHOULD BE USED IN ACCORDANCE WITH RELEVANT CODES OF PRACTICE, REGULATIONS OR LEGISLATION

B) SLIPPERY OR UNEVEN SURFACESFLOOR FINISHES SPECIFIED:

IF FINISHES HAVE BEEN SPECIFIED BY DESIGNER, THESE HAVE BEEN SELECTED TO MINIMISE THE RISK OF FLOORS AND PAVED AREAS BECOMING SLIPPERY WHEN WET OR WHEN WALKED ON WITH WET SHOES/FEET ANY CHANGES TO THE SPECIFIED FINISH SHOULD BE MADE IN CONSULTATION WITH THE DESIGNER OR, IF THIS IS NOT PRACTICAL, SURFACES WITH AN EQUIVALENT OR BETTER SLIP RESISTANCE SHOULD BE CHOSEN

FLOOR FINISHES BY OWNER:

IF DESIGNER HAS NOT BEEN INVOLVED IN THE SELECTION OF SURFACE FINISHES, THE OWNER IS RESPONSIBLE FOR THE SELECTION OF SURFACE FINISHES IN THE PEDESTRIAN TRAFFICABLE AREAS OF THIS BUILDING SURFACES SHOULD BE SELECTED IN ACCORDANCE WITH AS HB 197:1999 AND AS/NZ 4586:2004 STEPS, LOOSE OBJECTS AND UNEVEN SURFACES: DUE TO DESIGN RESTRICTIONS FOR THIS BUILDING, STEPS AND/OR RAMPS ARE INCLUDED IN THE BUILDING WHICH MAY BE A HAZARD TO WORKERS CARRYING OBJECTS OR OTHERWISE OCCUPIED STEPS SHOULD BE CLEARLY MARKED WITH BOTH VISUAL AND TACTILE WARNING DURING CONSTRUCTION, MAINTENANCE, DEMOLITION AND AT ALL TIMES WHEN THE BUILDING OPERATES AS A WORKPLACE BUILDING OWNERS AND OCCUPIERS SHOULD MONITOR THE PEDESTRIAN ACCESS WAYS AND IN PARTICULAR ACCESS TO AREAS WHERE MAINTENANCE IS ROUTINELY CARRIED OUT TO ENSURE THAT SURFACES HAVE NOT MOVED OR CRACKED SO THAT THEY BECOME UNEVEN AND PRESENT A TRIP HAZARD SPILLS, LOOSE MATERIAL, STRAY OBJECTS OR ANY OTHER MATTER THAT MAY CAUSE A SLIP OR TRIP HAZARD SHOULD BE CLEANED OR REMOVED FROM ACCESS WAYS CONTRACTORS SHOULD BE REQUIRED TO MAINTAIN A TIDY WORK SITE DURING CONSTRUCTION, MAINTENANCE OR DEMOLITION TO REDUCE THE RISK OF TRIPS AND FALLS IN THE WORKPLACE MATERIALS FOR CONSTRUCTION OR MAINTENANCE SHOULD BE STORED IN DESIGNATED AREAS AWAY FROM ACCESS WAYS AND WORK AREAS.

2. FALLING OBJECTS

LOOSE MATERIALS OR SMALL OBJECTS:

CONSTRUCTION, MAINTENANCE OR DEMOLITION WORK ON OR AROUND THIS BUILDING IS LIKELY TO INVOLVE PERSONS WORKING ABOVE GROUND LEVEL OR ABOVE FLOOR LEVELS. WHERE THIS OCCURS ONE OR MORE OF THE FOLLOWING MEASURES SHOULD BE TAKEN TO AVOID OBJECTS FALLING FROM THE AREA WHERE THE WORK IS BEING CARRIED OUT ONTO PERSONS BELOW.

- PREVENT OR RESTRICT ACCESS TO AREAS BELOW WHERE THE WORK IS BEING CARRIED OUT.
- PROVIDE TOEBOARDS TO SCAFFOLDING OR WORK PLATFORMS.
- PROVIDE PROTECTIVE STRUCTURE BELOW THE WORK AREA.
- ENSURE THAT ALL PERSONS BELOW THE WORK AREA HAVE PERSONAL PROTECTIVE EQUIPMENT (PPE).

BUILDING COMPONENTS

DURING CONSTRUCTION, RENOVATION OR DEMOLITION OF THIS BUILDING, PARTS OF THE STRUCTURE INCLUDING FABRICATED STEELWORK, HEAVY PANELS AND MANY OTHER COMPONENTS WILL REMAIN STANDING PRIOR TO OR AFTER SUPPORTING PARTS ARE IN PLACE CONTRACTORS SHOULD ENSURE THAT TEMPORARY BRACING OR OTHER REQUIRED SUPPORT IS IN PLACE AT ALL TIMES WHEN COLLAPSE WHICH MAY INJURE PERSONS IN THE AREA IS A POSSIBILITY MECHANICAL LIFTING OF MATERIALS AND COMPONENTS DURING CONSTRUCTION, MAINTENANCE OR DEMOLITION PRESENTS A RISK OF FALLING OBJECTS CONTRACTORS SHOULD ENSURE THAT APPROPRIATE LIFTING DEVICES ARE USED, THAT LOADS ARE PROPERLY SECURED AND THAT ACCESS TO AREAS BELOW THE LOAD IS PREVENTED OR RESTRICTED

3 TRAFFIC MANAGEMENT

FOR BUILDING ON A MAJOR ROAD, NARROW ROAD OR STEEPLY SLOPING ROAD: PARKING OF VEHICLES OR LOADING/UNLOADING OF VEHICLES ON THIS ROADWAY MAY CAUSE A TRAFFIC HAZARD DURING CONSTRUCTION, MAINTENANCE OR DEMOLITION OF THIS BUILDING DESIGNATED PARKING FOR WORKERS AND LOADING AREAS SHOULD BE PROVIDED TRAINED TRAFFIC MANAGEMENT PERSONNEL SHOULD BE RESPONSIBLE FOR THE SUPERVISION OF THESE AREAS FOR BUILDING WHERE ON-SITE LOADING/UNLOADING IS RESTRICTED: CONSTRUCTION OF THIS BUILDING WILL REQUIRE LOADING AND UNLOADING OF MATERIALS ON THE ROADWAY DELIVERIES SHOULD BE WELL PLANNED TO AVOID CONGESTION OF LOADING AREAS AND TRAINED TRAFFIC MANAGEMENT PERSONNEL SHOULD BE USED TO SUPERVISE LOADING/UNLOADING AREAS FOR ALL BUILDINGS: BUSY CONSTRUCTION AND DEMOLITION SITES PRESENT A RISK OF COLLISION WHERE DELIVERIES AND OTHER TRAFFIC ARE MOVING WITHIN THE SITE A TRAFFIC MANAGEMENT PLAN SUPERVISED BY TRAINED TRAFFIC MANAGEMENT PERSONNEL SHOULD BE ADOPTED FOR THE WORK SITE

4. SERVICES

GENERAL:

RUPTURE OF SERVICES DURING EXCAVATION OR OTHER ACTIVITY CREATES A VARIETY OF RISKS INCLUDING RELEASE OF HAZARDOUS MATERIAL EXISTING SERVICES ARE LOCATED ON OR AROUND THIS SITE WHERE KNOWN, THESE ARE IDENTIFIED ON THE PLANS BUT THE EXACT LOCATION AND EXTENT OF SERVICES MAY VARY FROM THAT INDICATED SERVICES SHOULD BE LOCATED USING AN APPROPRIATE SERVICE (SUCH AS DIAL BEFORE YOU DIG), APPROPRIATE EXCAVATION PRACTICE SHOULD BE USED AND, WHERE NECESSARY, SPECIALIST CONTRACTORS SHOULD BE USED LOCATIONS WITH UNDERGROUND POWER: UNDERGROUND POWER LINES MAY BE LOCATED IN OR AROUND THIS SITE ALL UNDERGROUND POWER LINES MUST BE DISCONNECTED OR CAREFULLY LOCATED AND ADEQUATE WARNING SIGNS USED PRIOR TO ANY CONSTRUCTION, MAINTENANCE OR DEMOLITION COMMENCING LOCATIONS WITH OVERHEAD POWER LINES MAY BE NEAR OR ON THIS SITE THESE POSE A RISK OF ELECTROCUTION IF STRUCK OR APPROACHED BY LIFTING DEVICES OR OTHER PLANT AND PERSONS WORKING ABOVE GROUND LEVEL WHERE THERE IS A DANGER OF THIS OCCURRING, POWER LINES SHOULD BE, WHERE PRACTICAL, DISCONNECTED OR RELOCATED WHERE THIS IS NOT PRACTICAL ADEQUATE WARNING IN THE FORM OF BRIGHT COLOURED TAPE OR SIGNAGE SHOULD BE USED OR A PROTECTIVE BARRIER PROVIDED

5. CONFINED SPACES

EXCAVATION:

CONSTRUCTION OF THIS BUILDING AND SOME MAINTENANCE ON THE BUILDING WILL REQUIRE EXCAVATION AND INSTALLATION OF ITEMS WITHIN EXCAVATIONS WHERE PRACTICAL, INSTALLATION SHOULD BE CARRIED OUT USING METHODS WHICH DO NOT REQUIRE WORKERS TO ENTER THE EXCAVATION WHERE THIS IS NOT PRACTICAL, ADEQUATE SUPPORT FOR THE EXCAVATED AREA SHOULD BE PROVIDED TO PREVENT COLLAPSE WARNING SIGNS AND BARRIERS TO PREVENT ACCIDENTAL OR UNAUTHORISED ACCESS TO ALL EXCAVATIONS SHOULD BE PROVIDED

ENCLOSED SPACES

FOR BUILDINGS WITH ENCLOSED SPACES WHERE MAINTENANCE OR OTHER ACCESS MAY BE REQUIRED: ENCLOSED SPACES WITHIN THIS BUILDING MAY PRESENT A RISK TO PERSONS ENTERING FOR CONSTRUCTION, MAINTENANCE OR ANY OTHER PURPOSE THE DESIGN DOCUMENTATION CALLS FOR WARNING SIGNS AND BARRIERS TO UNAUTHORISED ACCESS THESE SHOULD BE MAINTAINED THROUGHOUT THE LIFE OF THE BUILDING WHERE WORKERS ARE REQUIRED TO ENTER ENCLOSED SPACES, AIR TESTING EQUIPMENT AND PERSONAL PROTECTIVE EQUIPMENT SHOULD BE PROVIDED

SMALL SPACES:

FOR BUILDINGS WITH SMALL SPACES WHERE MAINTENANCE OR OTHER ACCESS MAY BE REQUIRED: SOME SMALL SPACES WITHIN THIS BUILDING WILL REQUIRE ACCESS BY CONSTRUCTION OR MAINTENANCE WORKERS THE DESIGN DOCUMENTATION CALLS FOR WARNING SIGNS AND BARRIERS TO UNAUTHORISED ACCESS THESE SHOULD BE MAINTAINED THROUGHOUT THE LIFE OF THE BUILDING WHERE WORKERS ARE REQUIRED TO ENTER SMALL SPACES THEY SHOULD BE SCHEDULED SO THAT ACCESS IS FOR SHORT PERIODS MANUAL LIFTING AND OTHER MANUAL ACTIVITY SHOULD BE RESTRICTED IN SMALL SPACES

6. PUBLIC ACCESS

PUBLIC ACCESS TO CONSTRUCTION AND DEMOLITION SITES AND TO AREAS UNDER MAINTENANCE CAUSES RISK TO WORKERS AND PUBLIC WARNING SIGNS AND SECURE BARRIERS TO UNAUTHORISED ACCESS SHOULD BE PROVIDED WHERE ELECTRICAL INSTALLATIONS, EXCAVATIONS, PLANT OR LOOSE MATERIALS ARE PRESENT THEY SHOULD BE SECURED WHEN NOT FULLY SUPERVISED

7. OPERATIONAL USE OF BUILDING

RESIDENTIAL BUILDINGS:

THIS BUILDING HAS BEEN DESIGNED AS A RESIDENTIAL BUILDING IF IT, AT A LATER DATE, IT IS USED OR INTENDED TO BE USED AS A WORKPLACE, THE PROVISIONS OF THE WORK HEALTH AND SAFETY ACT 2011 OR SUBSEQUENT REPLACEMENT ACT SHOULD BE APPLIED TO THE NEW USE

10.OTHER HIGH RISK ACTIVITY

ALL ELECTRICAL WORK SHOULD BE CARRIED OUT IN ACCORDANCE WITH CODE OF PRACTICE: MANAGING ELECTRICAL RISKS AT THE WORKPLACE, AS/NZ 3012 AND ALL LICENSING REQUIREMENTS ALL WORK USING PLANT SHOULD BE CARRIED OUT IN ACCORDANCE WITH CODE OF PRACTICE: MANAGING RISKS OF PLANT AT THE WORKPLACE ALL WORK SHOULD BE CARRIED OUT IN ACCORDANCE WITH CODE OF PRACTICE: MANAGING NOISE AND PREVENTING HEARING LOSS AT WORK DUE TO THE HISTORY OF SERIOUS INCIDENTS IT IS RECOMMENDED THAT PARTICULAR CARE BE EXERCISED WHEN UNDERTAKING WORK INVOLVING STEEL CONSTRUCTION AND CONCRETE PLACEMENT ALL THE ABOVE APPLIES

THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT. THIS INCLUDES (BUT IS NOT EXCLUDED TO): OWNER, BUILDER, SUB-CONTRACTORS, CONSULTANTS, RENOVATORS, OPERATORS, MAINTENORS, DEMOLISHERS

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JULIE DEPAOLO	GENERAL NOTES								
PROJECT RESIDENCE EXTENSION	SCALE @ A3 NTS	DATE 25/06/2021	DRAWN TN	CHECKED LK					
16 Maranui Avenue, Dee Why, NSW 2099	JOB 21009	DRAWING A0-02		REVISION 3					

VERGE MANAGEMENT NOTES

INSTALL 1800mm CHAIN MESH FENCE SUPPORTED BY 2400mm TALL STAR STEEL POSTS

AROUND VERGES AND RETAINED VEGETATION.

OF CONSTRUCTION AND COMMENCEMENT OF VERGE RESTORATION THE FENCE IS TO REMAIN
CONTINUOUS THROUGHOUT PROJECT, EXCEPT WHERE APPROVED

SERVICE INSTALLATION OCCURS.

ENSURE ADEQUATE WATER IS APPLIED TO THE ROOT ZONE OF RETAINED TREES THROUGHOUT THE CONSTRUCTION PERIOD.

ALL WORK IS TO BE IN ACCORDANCE WITH THE "CANBERRA LANDSCAPE GUIDELINES" & THE BASIC SPECIFICATIONS FOR ROADS HYDRAULICS AND LANDSCAPE, JULY 1991.

MAKE GOOD ANY DAMAGE TO EXISTING GRASS VERGES, RE-INSTATE AS PER BASIC SPECIFICATIONS.

IT IS THE RESPONSIBLITY OF THE BUILDER TO ENSURE THAT ANY DISTURBANCES TO THE VERGE

GROUND COVER, TREES, PATHS, KERBS, ROAD WAYS OR SERVICES

CONSTRUCTION WORKS OR STORAGE OF MACHINERY / MATERIALS

DURING THE CONSTRUCTION WORKS ARE RECTIFIED TO THE SATISFACTION OF RELEVANT

ATTHE COMPLETION OF CONSTRUCTION, VERGES SHOULD STILL HAVE ESTABLISHED DRYLAND GRASS
COVER. TOPSOIL IS NOTTO BE REMOVED AND LEVELS NOTTO BE

NO CARPARKING OR EQUIPMENT PARKING PERMITIED ON VERGES OR UNDER DRIPLINE OF RETAINED

NO SITE SHEDS, STORAGE SHEDS, SITE AMENITIES OR BILLBOARDS TO BE ERECTED ON VERGES OR UNDER DRIPLINE OF RETAINED TREES

NO CONSTRUCTION MATERIAL TO BE STORED ON VERGES OR UNDER

THE DEVELOPMENT WILL COMPLY WITH THE ACT ENVIRONMENT PROTECTION AUTHORITY, ENVIRONMENT PROTECTION GUIDELINES FOR CONSTRUCTION AND LAND DEVELOPMENT IN THE ACT AUG 07

I. Construct with gradient of 1 per cent to 5 per cent 2. Avoid removing trees and shrubs if possible 3. Drains to be of circular, parabolic or trapezoidal cross section not V-shape 1. Earth banks to be adequately compacted in order to prevent failure. Permanent or temporary stabilisation of the earth bank to be completed within 10 days of construction. 6. All outlets from disturbed lands are to feed into a sediment basin or similar. Discharge runoff collected from undisturbed lands onto either a stabilised or an undisturbed disposal site within the same subcatchment area from which the water originated. Earth banks to be free of projections or other irregularities that will impede normal flow. EARTH BANK (LOW FLOW)

MAINTENANCE SCHEDULE

MONTHLY:

TURN OVER STABILISED CONSTRUCTION ENTRY MATERIAL AND TOP UP

CHECK AND REINSTATE SILT CONTROL FENCES

SWEEP AND REMOVE ANY DIRT TRACKED ON TO PUBLIC ROADS BY VEHICLES. ALL NECESSARY STEPS SHOULD BE TAKEN THAT ARE PRACTICAL AND REASONABLE TO MINIMISE DUST POLLUTION ON LAND **DEVELOPMENT AND CONSTRUCTION SITE**

DURING/ AFTER WET WEATHER:

LIMIT CONSTRUCTION VEHICLE ACCESS TO SITE DURING AND IMMEDIATELY FOLLOWING WET WEATHER.

DUST MANAGEMENT

- 1. A WATER CART OR SUFFICIENT WATER SPRAYS SHALL BE MADE AVAILABLE IN DRY AND WINDY CONDITIONS TO MAINTAIN DUST
- 2. WATER SHALL BE APPLIED TO SUPPRESS DUST FROM OPEN EARTHWORKS AS WELL AS UNPROTECTED STOCKPILES.
- 3. STOCKPILES SHALL BE EITHER COVERED OR SEEDED TO PREVENT DUST.
- 4. AREAS OF COMPLETED EARTHWORKS SHALL BE PROGRESSIVE LY REHABILITATED WITH DRYLAND GRASS AND FENCED OFF AS SOON AS PRACTICABLE TO PREVENT FURTHER EROSION.
- 5. THE CONTRACTOR SHALL CONTACT ACTEWAGL TO OBTAIN AN EXEMPTION TO USE WATER ON THE SITE.

GENERAL NOTES

PROJECT MANAGER, TBC

SITE FOREMAN, TBC

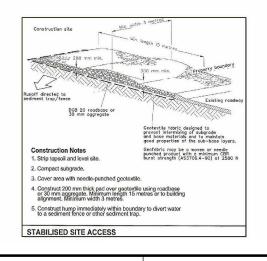
CONTACT DETAILS

SITE WORKS TO BE CONDUCTED ONLY BETWEEN THE FOLLOWING HOURS-

- · WEEKDAYS 7:00AM TO 6:00PM
- SATURDAYS 7:00AM TO 6:00PM NO WORK ON SUNDAYS OR PUBLIC HOLIDAYS

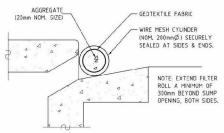
HOURS OF OPERATION

- 1. WASTE ENCLOSURE(S) WILL BE USED FOR ALL RUBBISH ON SITE AND RUBBISH REMOVED FROM ENCLOSURE(S) WHEN REQUIRED OR FULL.
- 2. IT IS A BALANCED SITE.

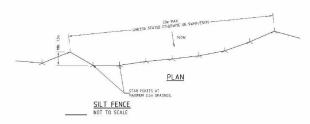


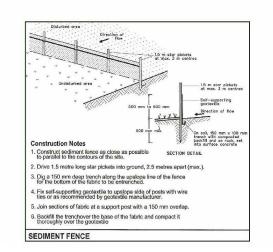
SEDIMENT RETENTION POND

- THE SEDIMENT RETENTION POND SHALL BE FULLY MAINTAINED. UNTIL THE DISTURBED CATCHMENT AREA IS PROTECTED AGAINST EROSION BY PERMANENT STABILISATION.
- \bullet PROTECTION SHALL BE PROVIDED FOR THE FINAL LANDSCAPE WORKS UTILISING SILT CONTROL FENCING.
- THE SEDIMENT RETENTION POND SHALL BE CLEANED OUT WHEN THE VOLUME REMAINING IS REDUCED BY SEDIMENTATION
- THE EMBANKMENT SHALL BE STABILISED WITH HESIAN TEMPORARILY.
- THE POND IS TO BE HELD EMPTY TO ENABLE IT TO CAPTURE STORM EVENTS, CAP TURED STORM FLOWS SHALL BE CHEMICALLY DOSED WITH GYPSUM AT A RATE OF 320MG PER CUBIC METRE.
- DISCHARGE FROM THE POND IS PERMITTED WHEN THE WATER HAS CLARIFIED TO BELOW 60MG/L (USUALL Y WITHIN 24-36
- ENVIRONMENT ACT TO BE ADVISED OF PROPOSED POND DISCHARGE PRIOR TO DISCHARGE.



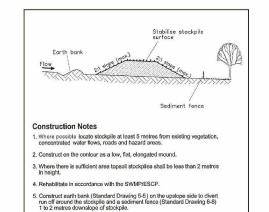
TYPICAL SECTION FILTER ROLL





SEDIMENT CONTROL NOTES

- 1. SEDIMENT AND EROSION CONTROL DEVICES TO BE INSTALLED AND FULLY OPERATIONAL PRIOR TO STRIPPING OF SITE TOP SOIL.
- 2. STOCK PILE/S TO BE LOCATED AWAY FROM DRAINAGE LINES AND SURFACE FLOW PATHS. CONTOURED STRIATIONS OR FURROWS TO BE PROVIDED TO STOCK PILES TO MINIMISE
- 3. STABILISED CONSTRUCTION ENTRANCE TO BE CONSTRUCTED PRIOR TO ACCESS TO SITE BY CONSTRUCTION VEHICLES . AGGREGATE TO BE TURNED WHEN SEDIMENT BUILDS UP AND RENEWED WHEN
- 4. WHERE STORMWATER DRAINAGE IS INSTALLED TO INTERNAL ROADWORKS, PROVIDE GRATED SUMP FILTER IN ACCORDANCE WITH GIVEN DEI AIL
- 5. AVERAGE EXISTING SITE SLOPE 3.1%
- 6. TOTAL SITE AREA 801m².
- 7. BUILDER IS TO ESTABLISH A MAINTENANCE PROGRAM FOR SEDIMENT & EROSION CONTROL DEVICES TO ENSURE INSPECTION AFTER SIGNIFICANT RAINFALL AND THAT ANY REPAIRS NECESSARY ARE QUICKLY ATTENDED TO.
- 8. ENVIRONMENT PROTECTION AGREEMENT TO BE TAKEN OUT BY BUILDING CONTRACTOR WITH ENVIRONMENT PROTECTION AUTHORITY. (TELEPHONE 132281)
- 9. ALL NEW CONSTRUCTION WORK MUST BE CONTAINED WITHIN THE SITE EXCEPT FOR APPROVED SERVICE CONNECTIONS AND
- 10. LIMIT ACCESS TO SITE DURING AND IMMEDIATELY AFTER WET
- 11. REGULARLY REMOVE ANY SOIL FROM ROADS ADJACENT TO THE
- 12. NO STORAGE OF CONSTRUCTION MATERIALS, PARKING OF VEHICLES NOR EQUIPMENT PERMITTED OUTSIDE OF BLOCK WITHOUT TAMS APPROVAL.
- 13. NO SITE SHEDS, STORAGE SHEDS, SITE AMENITIES TO BE ERECTED OU TSIDE OF BLOCK WITHOUT TAMS APPROVAL.
- 14. PROVIDE KERB SIDE FILTER ROLL TO EXISTING SUMPS WHERE INDICATED, REFER TO GIVEN DETAIL.
- 15. KERB SIDE FILTER ROLLS TO BE REMOVED, CLEANED AND REINSTATED ON A WEEKLY BASIS AT A MINIMUM. TRAPPED SEDIMENT ABOUT SUMPS ALSO TO BE REMOVED. CLEANING IS ALSO TO TAKE PLACE 1M MEDIATELY AFTER PERIODS OF RAINFALL DURING CONSTRUCTION.
- 16. ALL SERVICE TRENCHES TO BE BACK FILLED WITHIN 24HOURS OF
- 17. EXCESS SOIL IS TO BE DISPOSED AT AN EPA APPROVED LOCATION.
- 18. THE SITE FOREMAN IS TO CONTACT THE EPA (132281) TO ARRANGE A SITE INSPECTION AND ENDORSEMENT OF SEDIMENT AND EROSION CONTROL MEASURES PRIOR TO WORKS COMMENCING.
- 19. THE SITE FORMAN IS TO CONTACT THE EPA (132281) TO DISCUSS ANY PROPOSED MAJOR CHANGES TO SEDIMENT AND EROSION CONTROLS ON SITE PRIOR TO IMPLEMENTING THE CHANGES.
- 20. THE SITE FOREMAN WILL ENSURE CONTRACTORS ACCESS AND EXIT THE SITE USING ONLY EPA APPROVED STABILISED ACCESS/EXIT POINTS AS DETAILED ON ENDORSED SEDIMENT AND **EROSION CONTROL PLANS.**



TOPSOIL STOCKPILE

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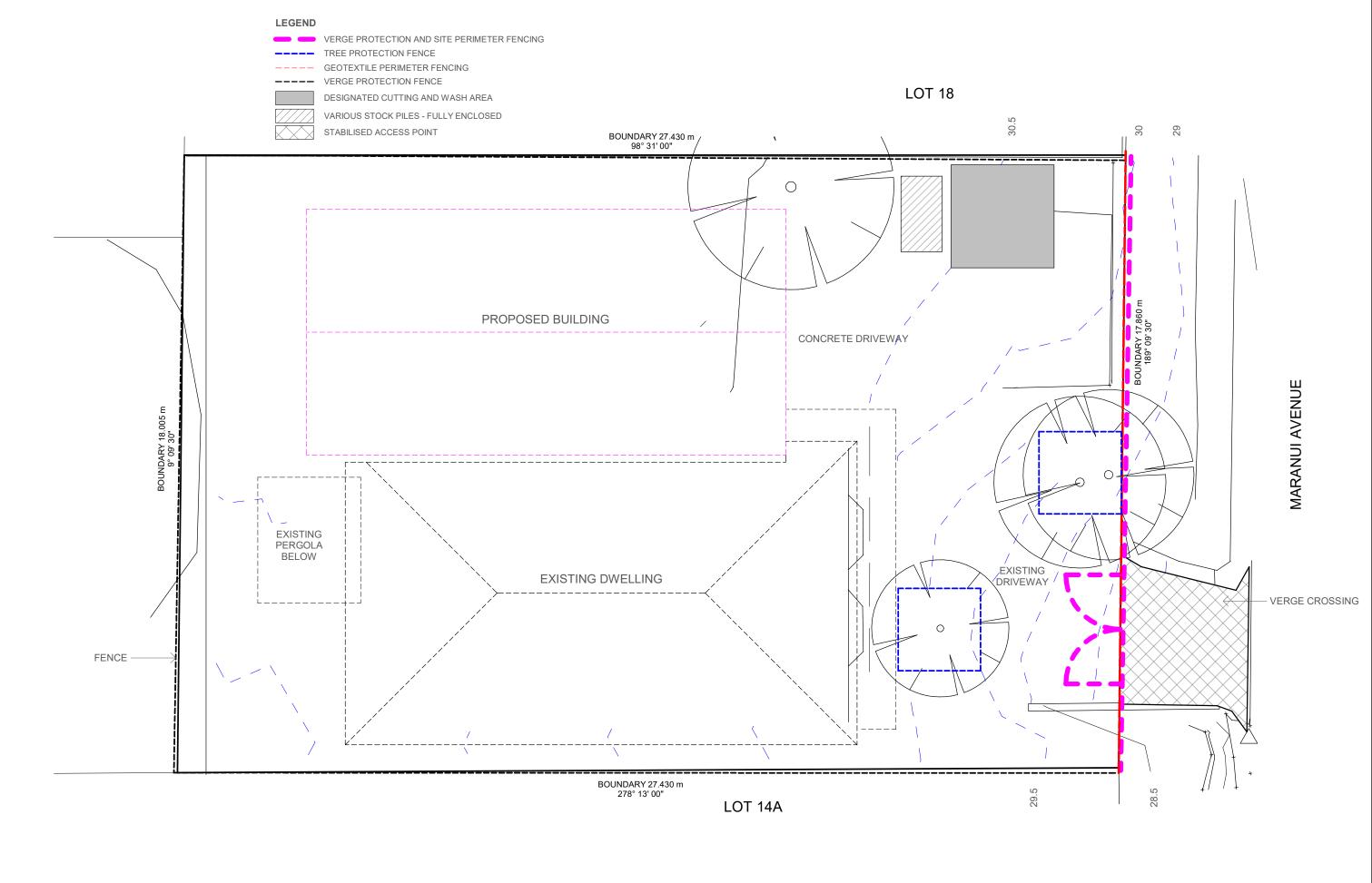


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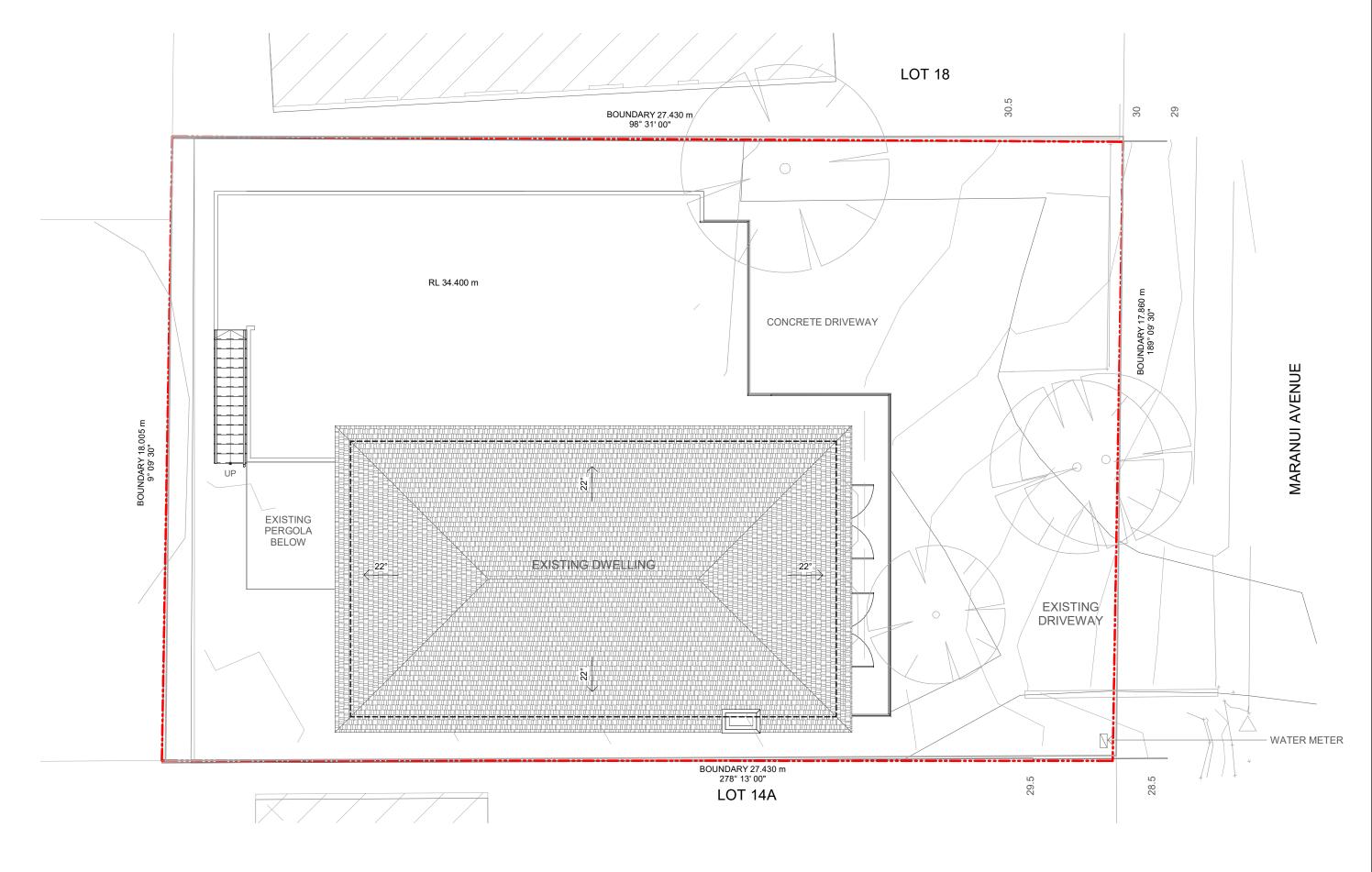
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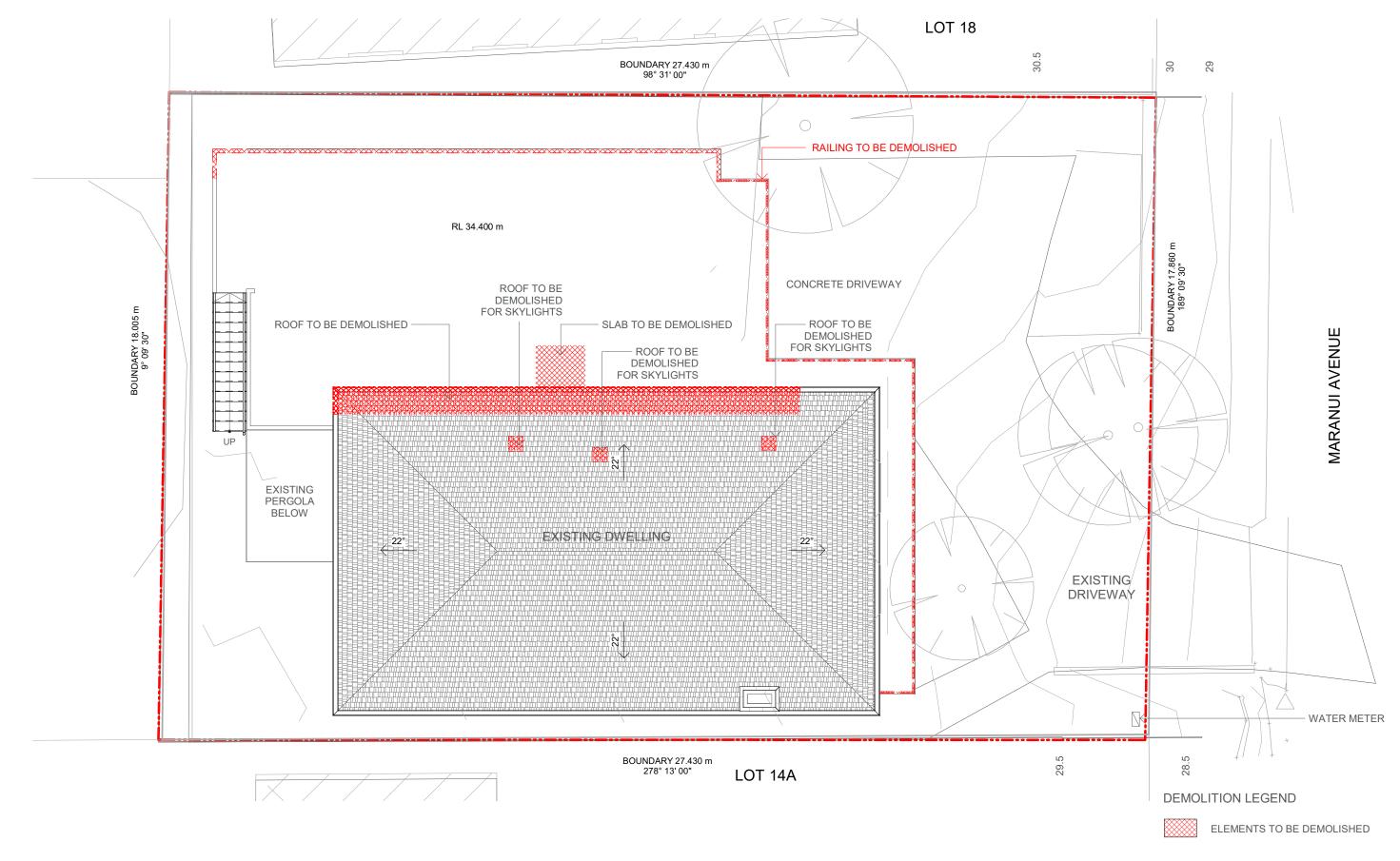
JULIE DEPAOLO	EROSION AND SEDIMENT CONTROL NOTE								
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16 Maranui Avenue, Dee Why, NSW 2099	JOB 21000	DRAWING		REVISION					



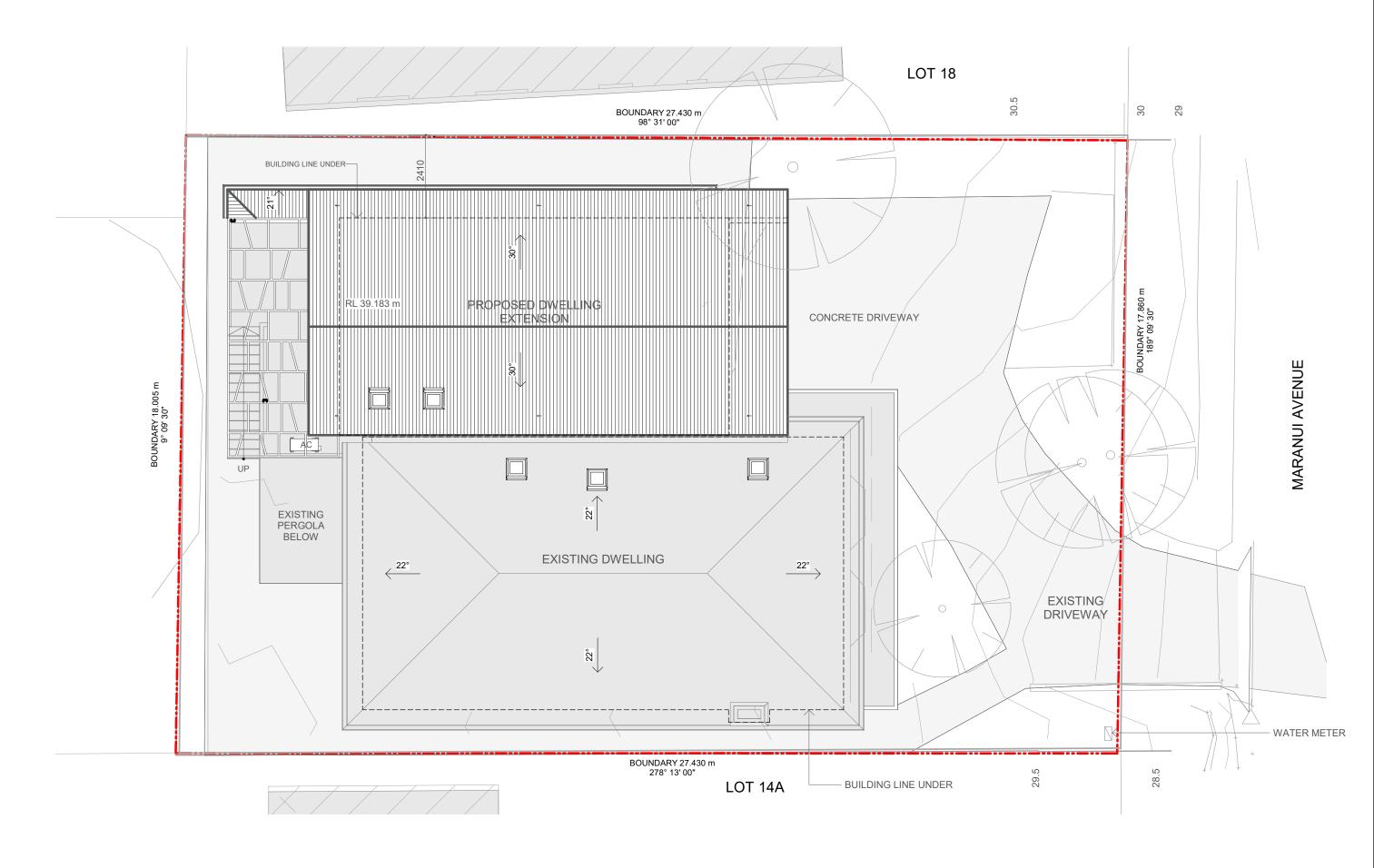
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					PROJECT RESIDENCE EXTENSION	SCALE @ A3 1:100	DATE DRAWN TN	CHECKED LK
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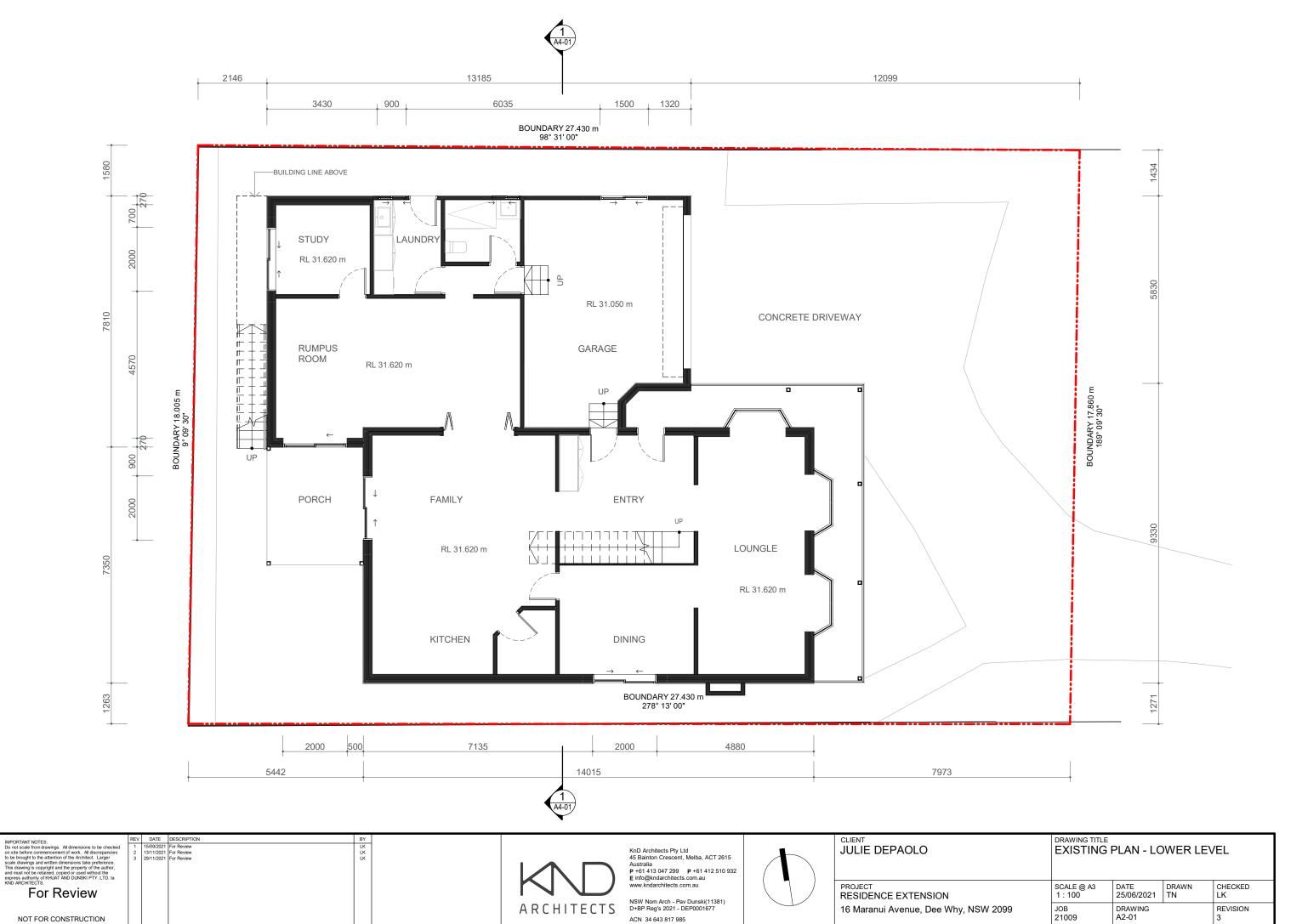
IMPORTANT NOTES: Do not scale from drawings. All dimensions to be checked on site before commencement of work. All discrepancies to be brought to the attention of the Architect. Larger scale drawings and written dimensions take preference. This drawing is copyright and the property of the author, and must not be retained, copied or used without the express authority of KHLMT AND DUNSKI PTY. LTD. ta	1 15/09/202	DESCRIPTION 21 For Review 21 For Review 21 For Review	BY LK LK LK		KnD Architects Pty Ltd 45 Bainton Crescent, Melba, ACT 2615 Australia P +61 413 047 299 P +61 412 510 932 E info@kndarchitects.com.au	JULIE DEPAOLO	DRAWING TITLE SITE PLAN	- EXISTING	
For Review					www.kndarchitects.com.au NSW Nom Arch - Pav Dunski(11381)	PROJECT RESIDENCE EXTENSION	SCALE @ A3 1:100	DATE DRAWN TN	CHECKED LK
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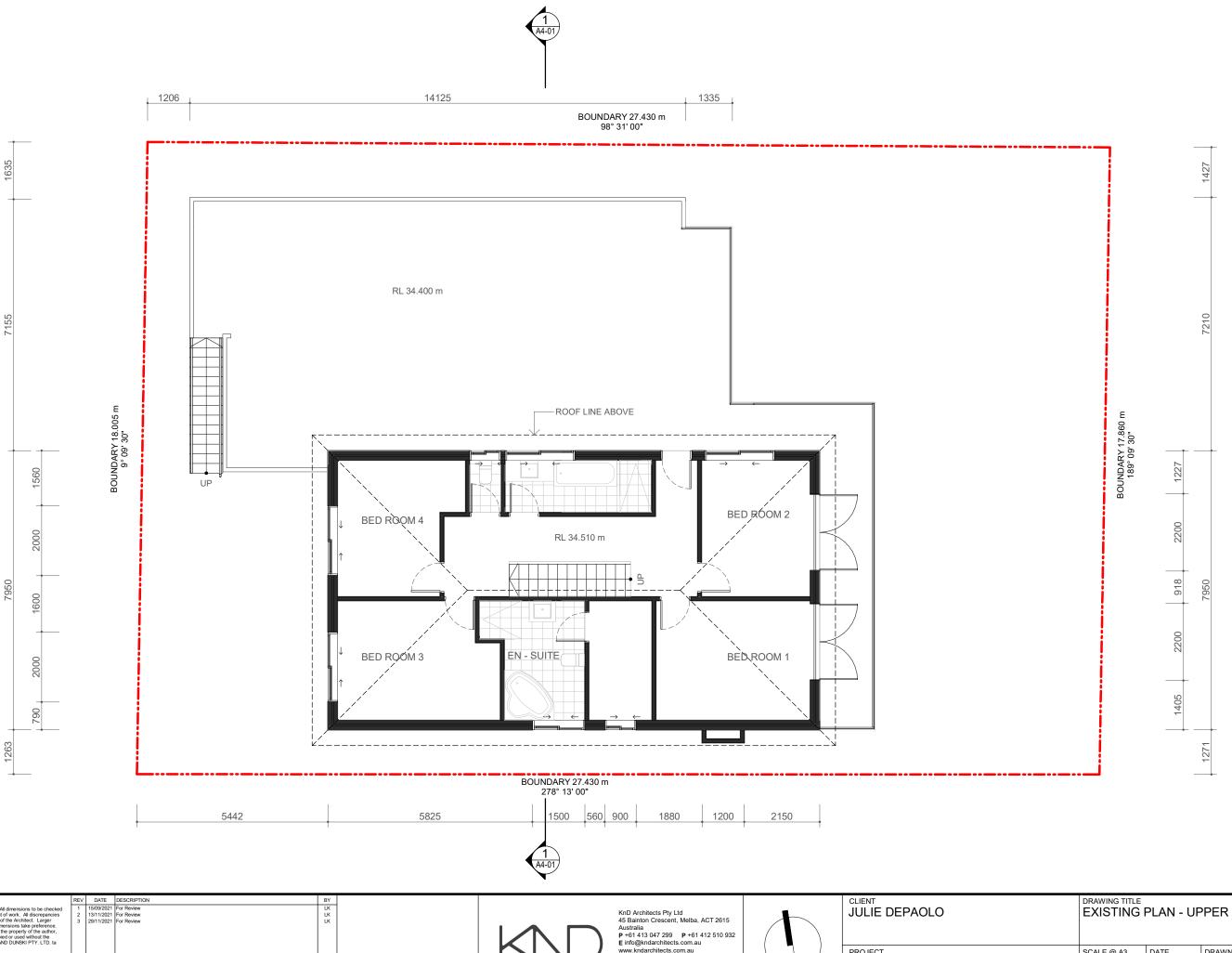


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							PROJECT RESIDENCE EXTENSION	SCALE @ A3 1:100	DATE 25/06/2021	DRAWN TN	CHECKED LK
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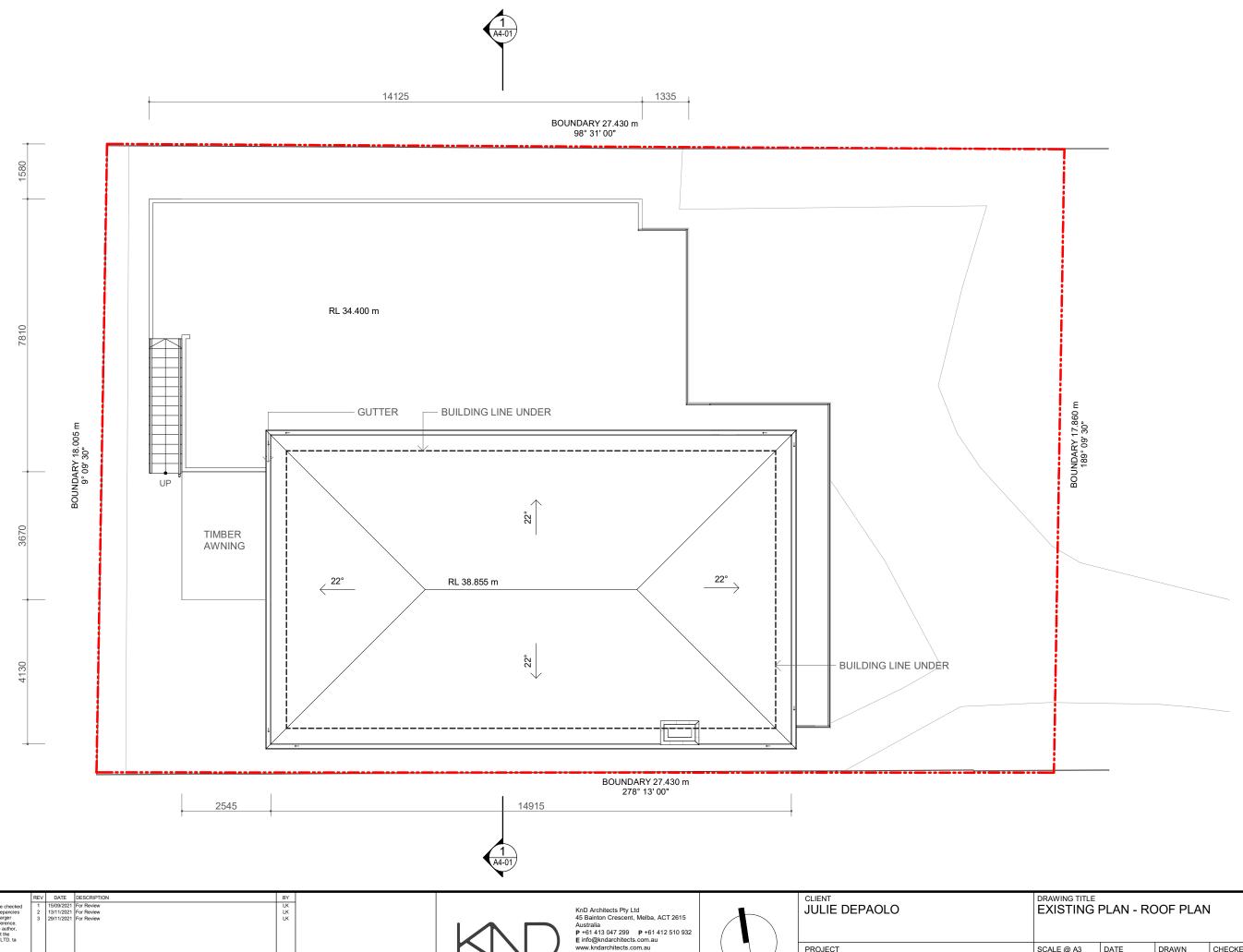


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For Review			ARCHITECTS	www.kndarchitects.com.au NSW Nom Arch - Pav Dunski(11381) D+BP Reg's 2021 - DEP0001677	PROJECT RESIDENCE EXTENSION 16 Maranui Avenue, Dee Why, NSW 2099	SCALE @ A3 1:100	DATE DRAWN 25/06/2021 TN	CHECKED LK REVISION	
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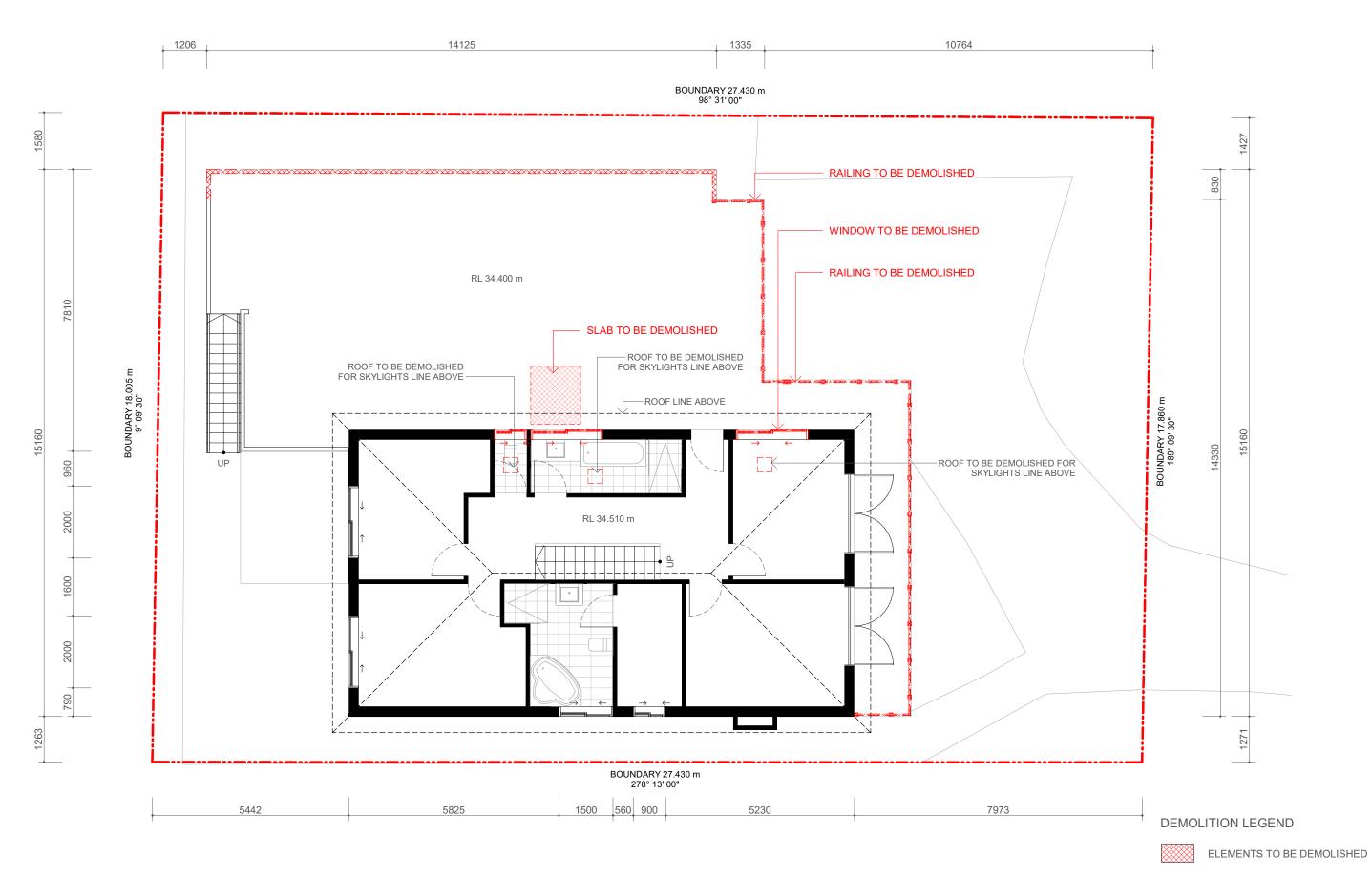




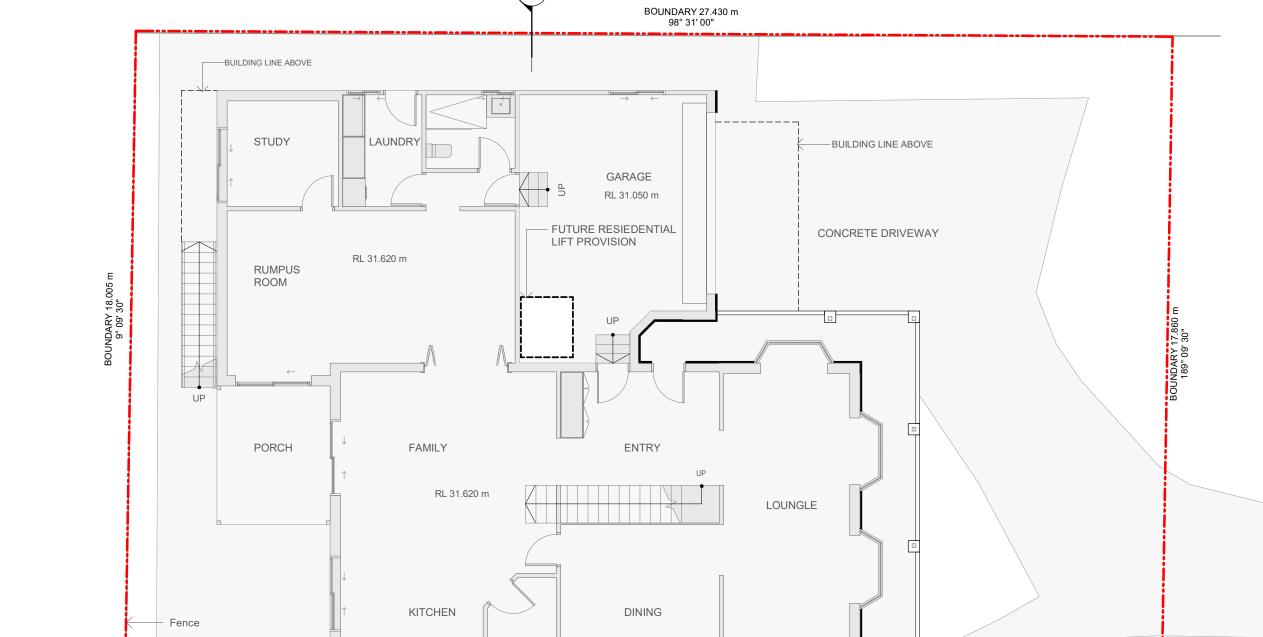
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For Review				www.kndarchitects.com.au	PROJECT RESIDENCE EXTENSION	SCALE @ A3 1:100	DATE DRAWN TN	CHECKED LK
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For Review				www.kndarchitects.com.au NSW Nom Arch - Pay Dunski(11381)	PROJECT RESIDENCE EXTENSION	SCALE @ A3 1:100	DATE DRAWN 25/06/2021 TN	CHECKED LK
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For Review			NV	www.kndarchitects.com.au NSW Nom Arch - Pav Dunski(11381)	PROJECT RESIDENCE EXTENSION	SCALE @ A3 1:100	DATE DRAWN TN	CHECKED LK
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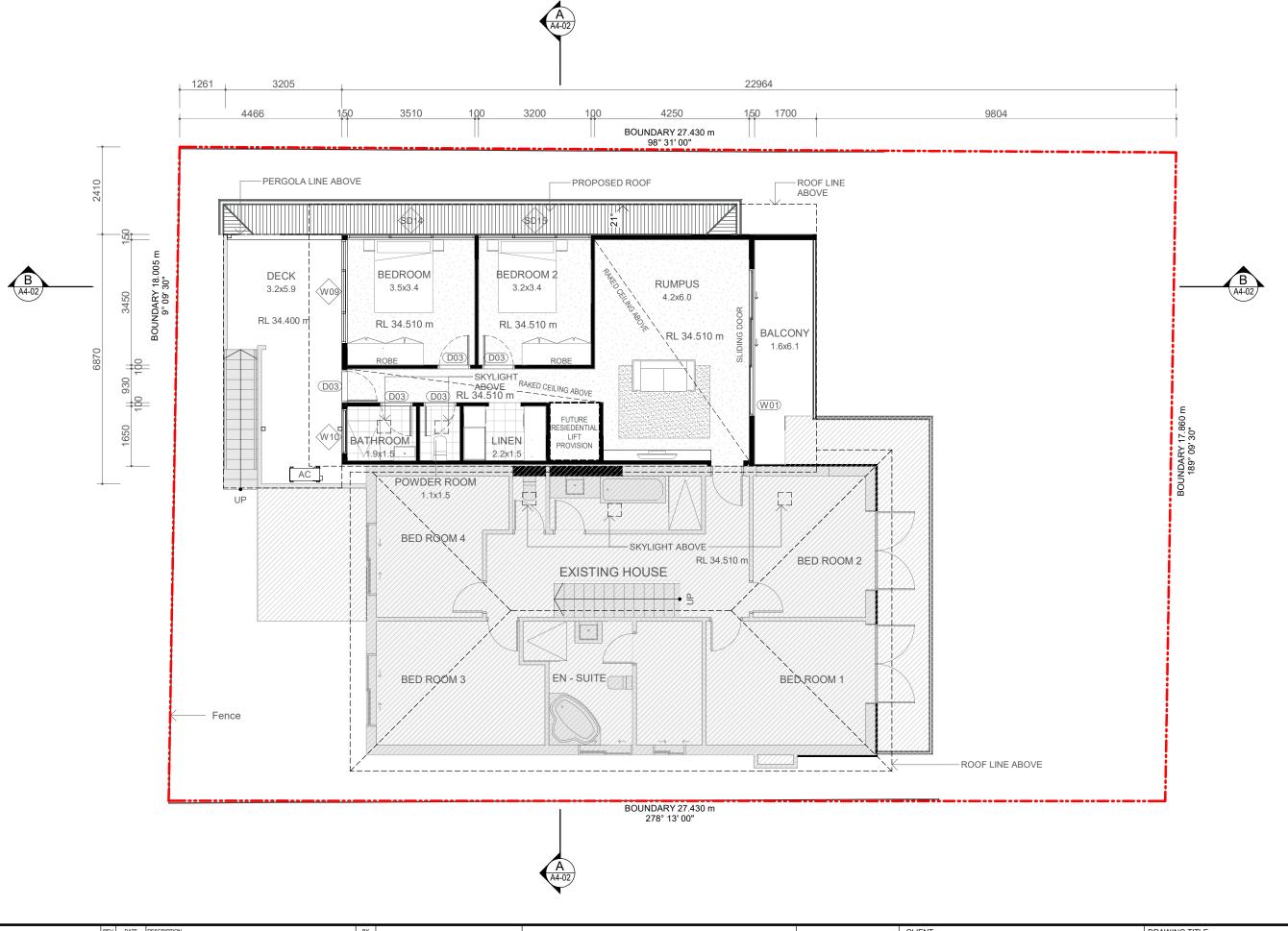
BOUNDARY 27.430 m 278° 13' 00"

> NSW Nom Arch - Pav Dunski(11381) D+BP Reg's 2021 - DEP0001677 ACN 34 643 817 985

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JULIE DEPAOLO	PROPOSED PLAN - LOWER LEVEL							
PROJECT RESIDENCE EXTENSION	SCALE @ A3 1:100	DATE 25/06/2021	DRAWN TN	CHECKED LK				
16 Maranui Avenue, Dee Why, NSW 2099	JOB 21009	DRAWING A2-05		REVISION 3				

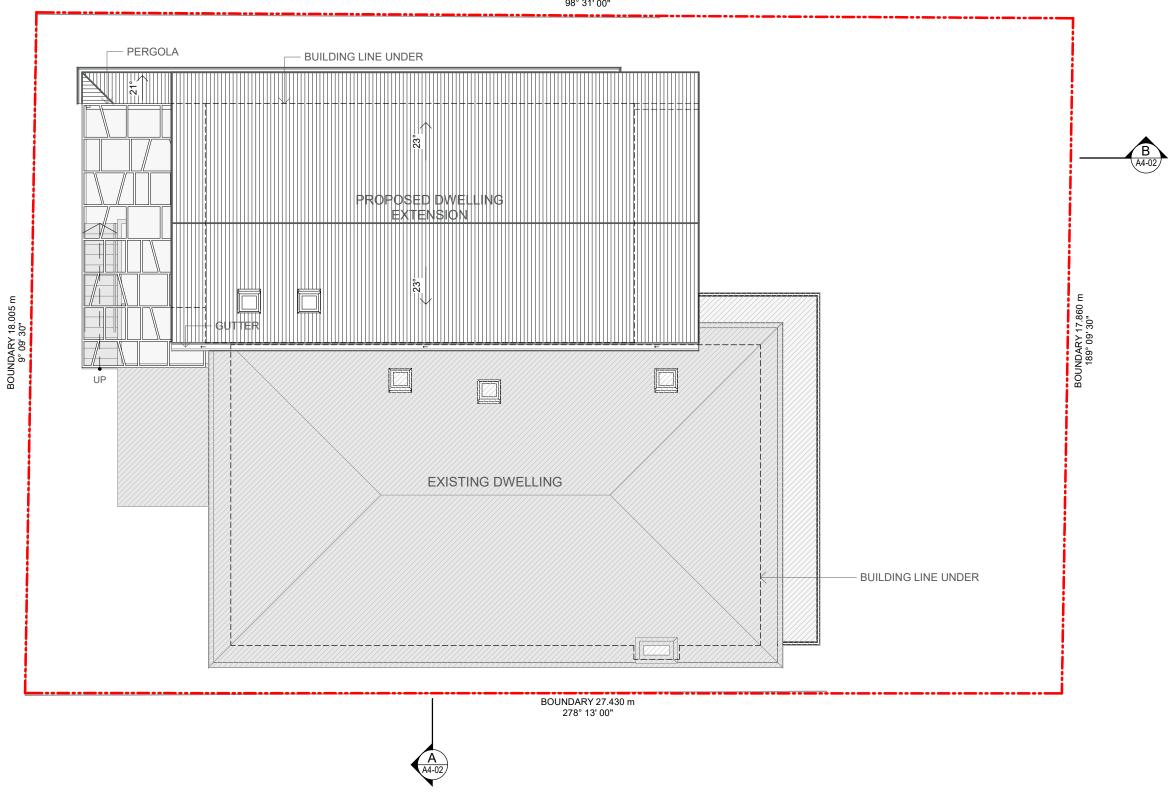
WATER METER



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express authority of KHUAT AND DUNSKI PTY. LTD. ta KND ARCHITECTS. For Review			NV	E info@kndarchitects.com.au www.kndarchitects.com.au NSW Nom Arch - Pay Dunski(11381)	PROJECT RESIDENCE EXTENSION	SCALE @ A3 1:100	DATE DRAWN 25/06/2021 TN	CHECKED LK
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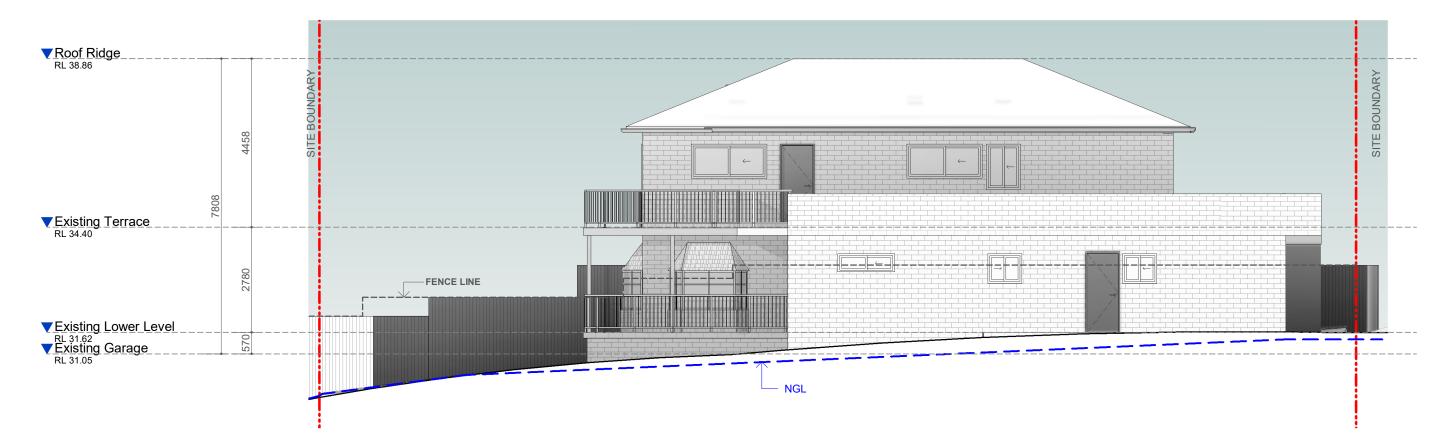
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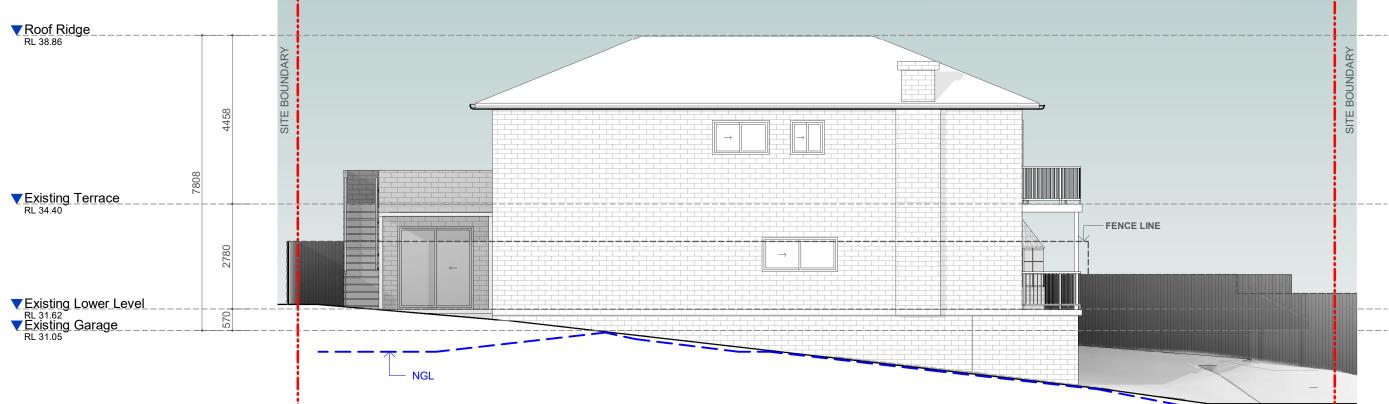


JULIE DEPAOLO	PROPOSED PLAN- ROOF PLAN						
PROJECT GRANNY FLAT EXTENSION	SCALE @ A3 1:100	DATE 25/06/2021	DRAWN TN	CHECKED LK			
16 Maranui Avenue, Dee Why, NSW 2099	JOB 21009	DRAWING A2-07		REVISION 4			



EXISTING NORTH ELEVATION





EXISTING SOUTH ELEVATION

1 : 100

IMPORTANT NOTES:	REV	DATE	DESCRIPTION	BY
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NSW Nom Arch - Pav Dunski(11381) D+BP Reg's 2021 - DEP0001677 ACN 34 643 817 985

JULIE DEPAOLO	DRAWING TITLE EXISTING ELEVATION - I SOUTH		N - NORT	ORTH,	
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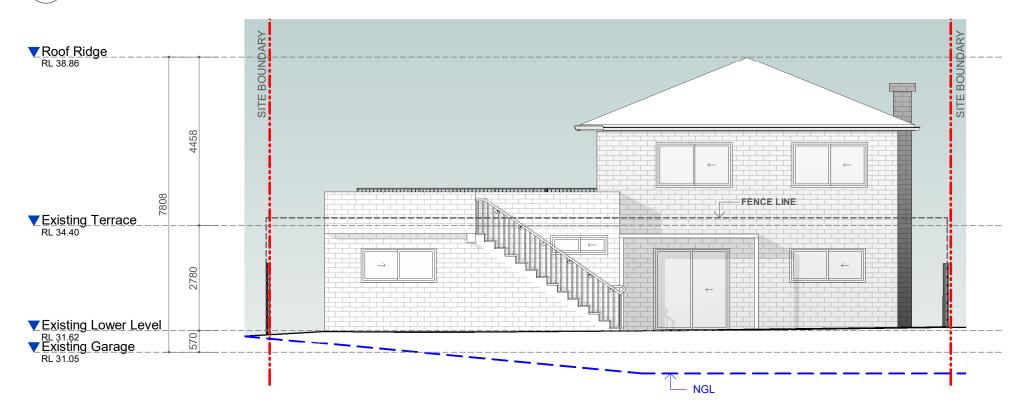
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 16 Maranui Avenue, Dee Why, NSW 2099
 JOB 21009
 DRAWING A3-01

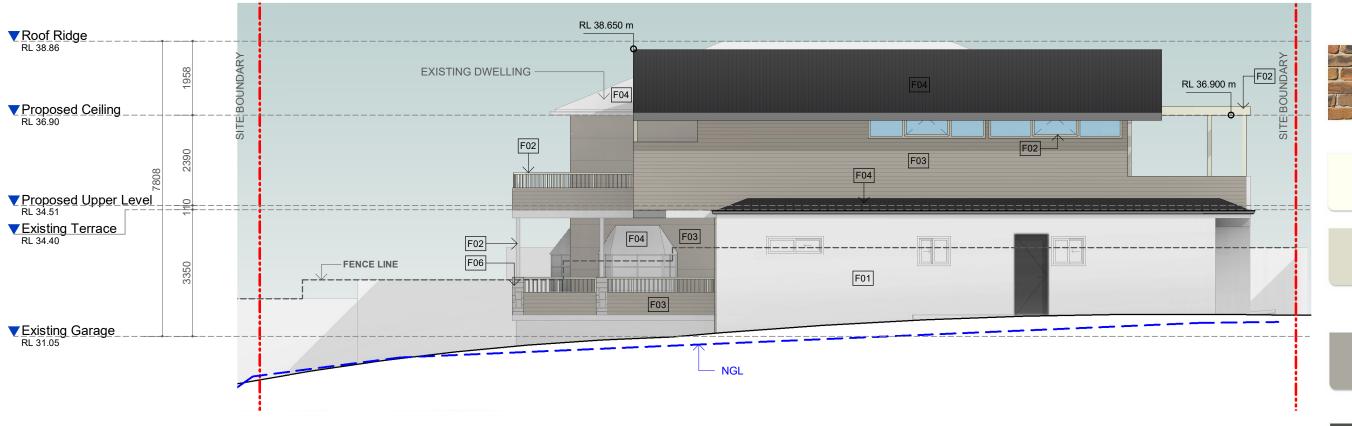


1 EXISTING EAST ELEVATION 1:100



2 EXISTING WEST ELEVATION 1:100

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For Review			www.kndarchitects.com.au NSW Nom Arch - Pav Dunski(11381)	PROJECT RESIDENCE EXTENSION	SCALE @ A3 1:100	DATE 25/06/2021	DRAWN TN	CHECKED LK
NOT FOR CONSTRUCTION		ARCHITECTS	D+BP Reg's 2021 - DEP0001677 ACN 34 643 817 985	16 Maranui Avenue, Dee Why, NSW 2099	JOB 21009	DRAWING A3-02	•	REVISION 3



EXISTING BRICK

EXISTING LOW WALLS UNDER BALCONY AND HOUSE WALLS AS

F02

WHITE (SURFMIST OR WHITEHAVEN)

- NEW AND EXISTING WINDO FRAMES EXITING AND NEW COLUMNS
- EXISTING AND NEW PERGOLA BALUSTRADE AND STAIR HANDRAIL
- SKYLIGHT FRAMING

- SATLIGHT FRAMING EXISTING DOORS GUTTERS FASCIAS STEEL POSTS TO BALCONY



LIGHT GREY (DUNE)

- EXISTING HOUSE WALL CLADDING (600MM PANELS) - EXTENSION WALL CLADDING (150MM BOARD)

DARK GREY (WOODLAND)

- ROOF TILES - NEW METAL DECK ROOF TO **EXTENSION**

- GARAGE DOOR - BAY WINDOW ROOF/HOOD

AND BASE

F05 CEILING WHITE

- ROOF EAVES

- U/SIDE OF SLAB



STONE VENEER (SANDSTONE)

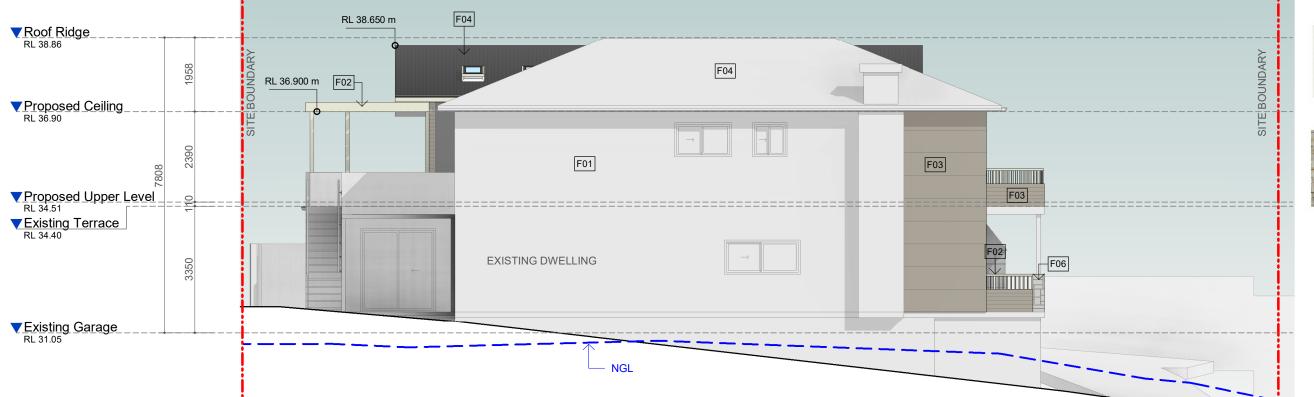
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LK

- STACK-STONE TO EXISTING BALCONY COLUMNS AT BALUSTRADE HEIGHT

PROPOSED ELEVATION - NORTH 1:100



PROPOSED ELEVATION - SOUTH

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on site before commencement of work. All discrepancies	2	13/11/2021	For Review	LK	
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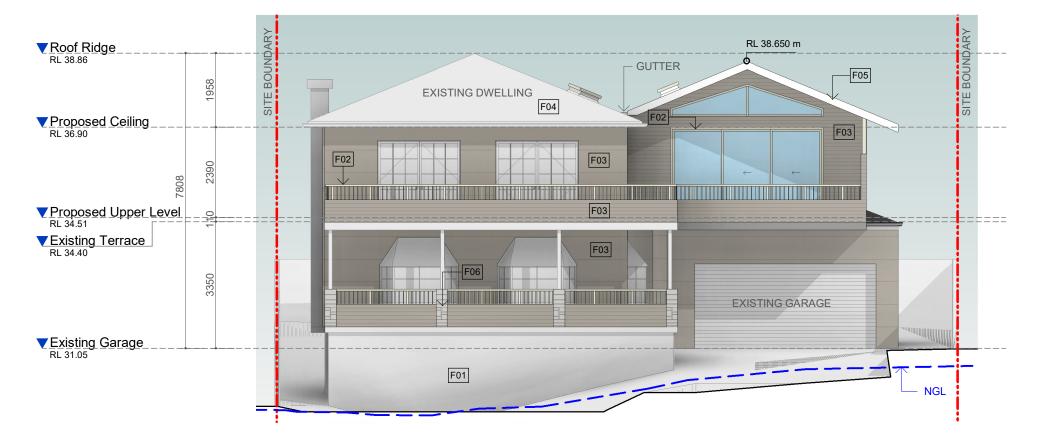
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PROJECT GRANNY FLAT EXTENSION	SCALE @ A3 1:100	DATE 25/06/2021	DRAWN TN

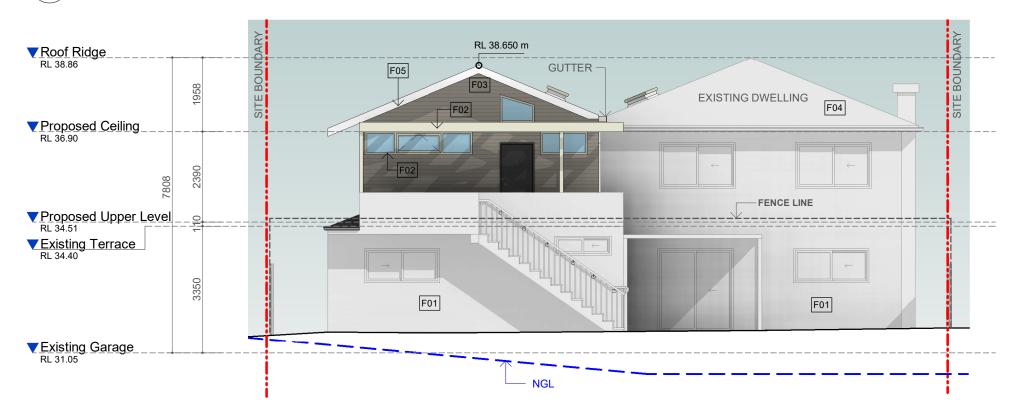
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DRAWING A3-03

16 Maranui Avenue, Dee Why, NSW 2099



PROPOSED ELEVATION - EAST 1:100



PROPOSED ELEVATION - WEST 1:100

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For Review			www.kndarchitects.com.au NSW Nom Arch - Pav Dunski(11381)	PROJECT GRANNY FLAT EXTENSION	SCALE @ A3 1:100	DATE DRAWN TN	CHECKED LK
NOT FOR CONSTRUCTION		ARCHITECTS	D+BP Reg's 2021 - DEP0001677 ACN 34 643 817 985	16 Maranui Avenue, Dee Why, NSW 2099	JOB 21009	DRAWING A3-04	REVISION 4



EXISTING BRICK

EXISTING LOW WALLS UNDER BALCONY AND HOUSE WALLS AS

F02

WHITE (SURFMIST OR WHITEHAVEN)

- NEW AND EXISTING WINDO FRAMES EXITING AND NEW COLUMNS
- EXISTING AND NEW PERGOLA BALUSTRADE AND STAIR HANDRAIL
- SKYLIGHT FRAMING

- SXTLIGHT FRAMING EXISTING DOORS GUTTERS FASCIAS STEEL POSTS TO BALCONY



LIGHT GREY (DUNE)

- EXISTING HOUSE WALL CLADDING (600MM PANELS) - EXTENSION WALL CLADDING (150MM BOARD)



DARK GREY (WOODLAND)

- ROOF TILES - NEW METAL DECK ROOF TO

EXTENSION
- GARAGE DOOR
- BAY WINDOW ROOF/HOOD

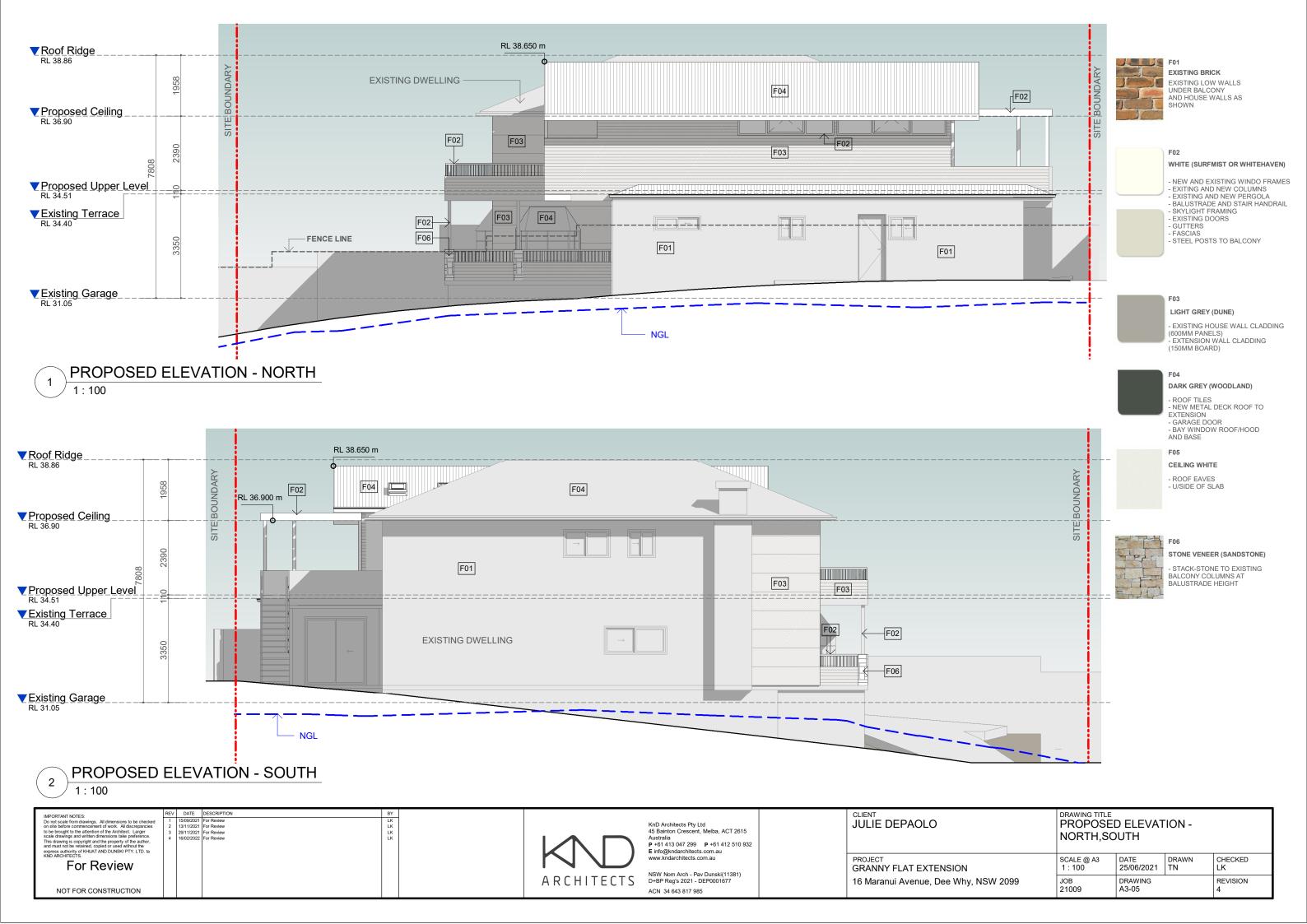
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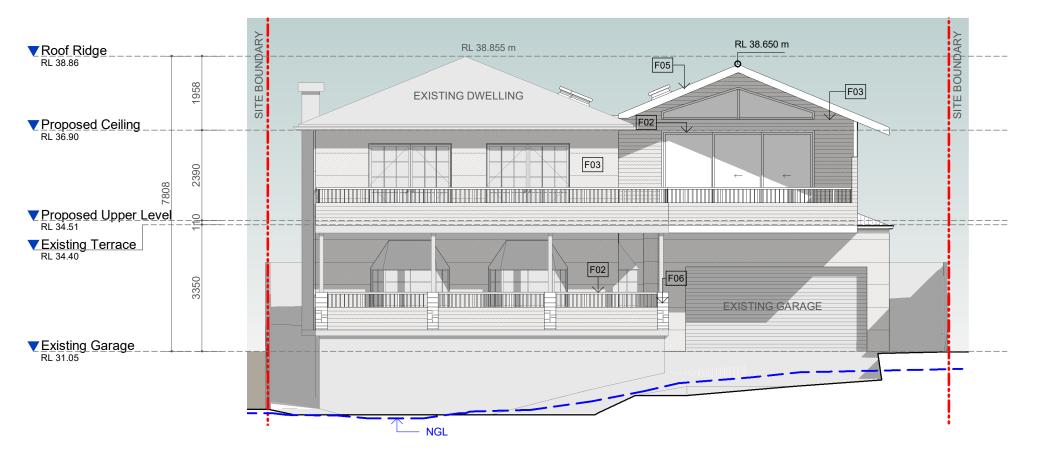
F05 CEILING WHITE

- ROOF EAVES - U/SIDE OF SLAB

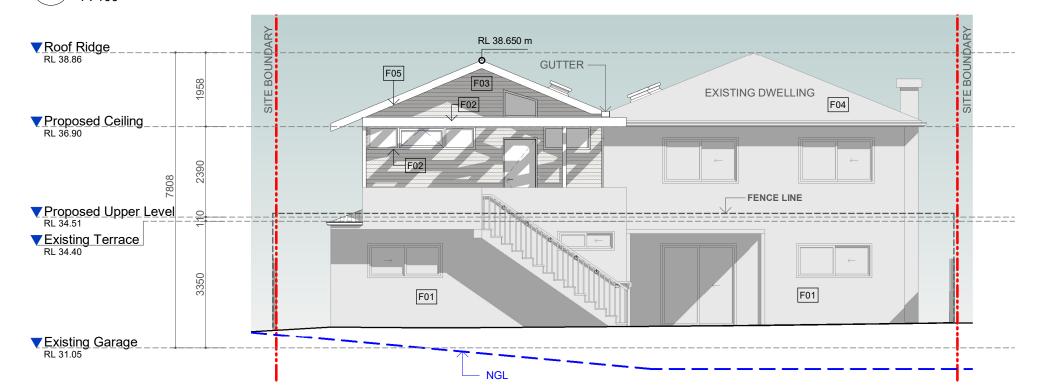
STONE VENEER (SANDSTONE)

- STACK-STONE TO EXISTING BALCONY COLUMNS AT BALUSTRADE HEIGHT





PROPOSED ELEVATION - EAST



PROPOSED ELEVATION - WEST 1:100

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EXISTING BRICK

EXISTING LOW WALLS UNDER BALCONY AND HOUSE WALLS AS

F02

WHITE (SURFMIST OR WHITEHAVEN)

- NEW AND EXISTING WINDO FRAMES EXITING AND NEW COLUMNS
- EXISTING AND NEW PERGOLA BALUSTRADE AND STAIR HANDRAIL
- SKYLIGHT FRAMING
- EXISTING DOORS GUTTERS

- FASCIAS STEEL POSTS TO BALCONY



LIGHT GREY (DUNE)

- EXISTING HOUSE WALL CLADDING (600MM PANELS) - EXTENSION WALL CLADDING (150MM BOARD)



DARK GREY (WOODLAND)

- ROOF TILES - NEW METAL DECK ROOF TO **EXTENSION**

- GARAGE DOOR - BAY WINDOW ROOF/HOOD

AND BASE

F05 CEILING WHITE

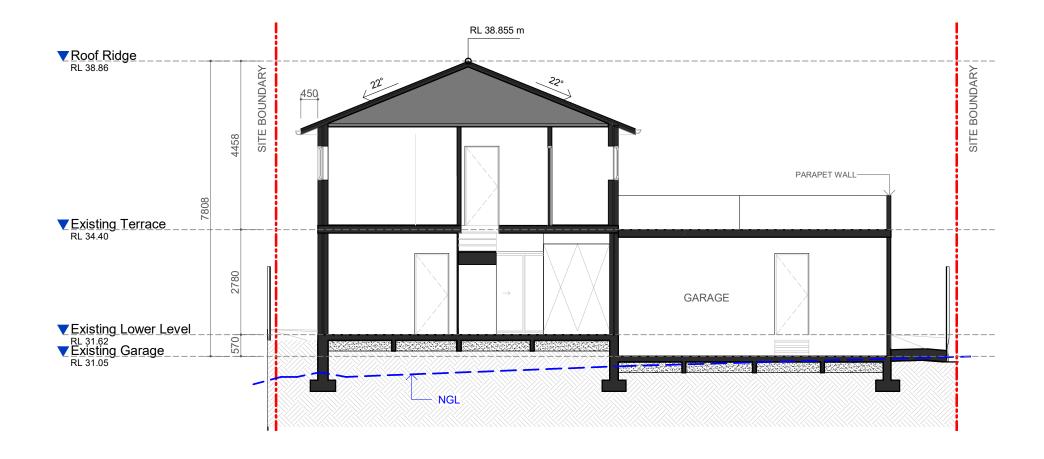
- ROOF EAVES

- U/SIDE OF SLAB

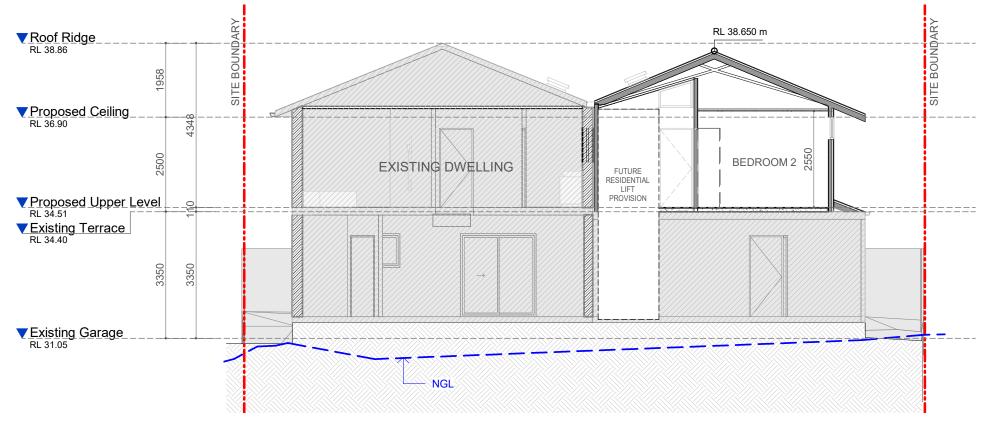


STONE VENEER (SANDSTONE)

- STACK-STONE TO EXISTING BALUSTRADE HEIGHT

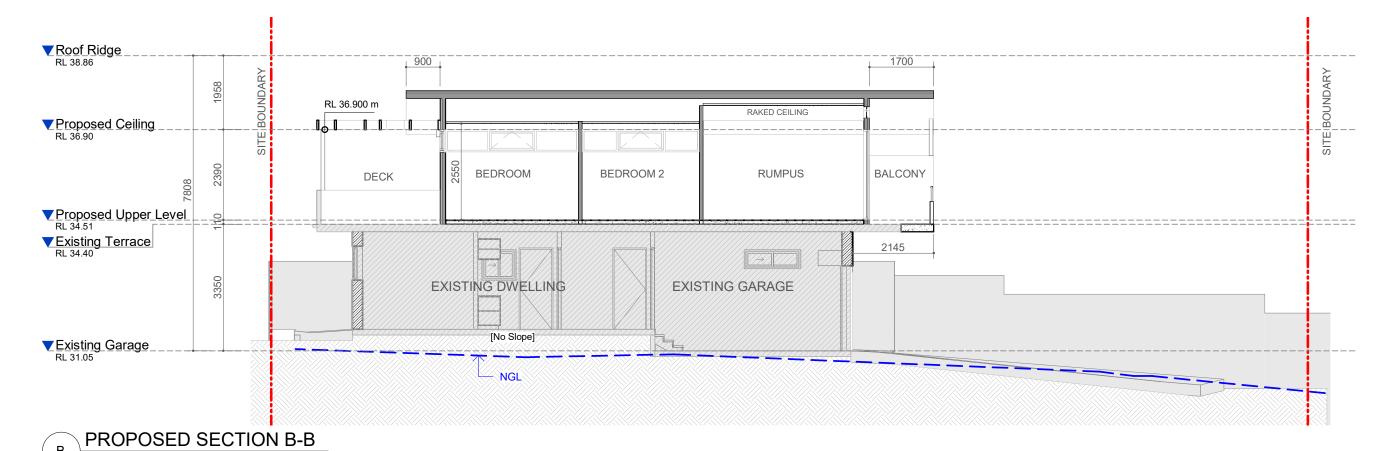


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For Review					www.kndarchitects.com.au NSW Nom Arch - Pav Dunski(11381)	RESIDENCE EXTENSION	1:100	25/06/2021	DRAWN TN	CHECKED LK
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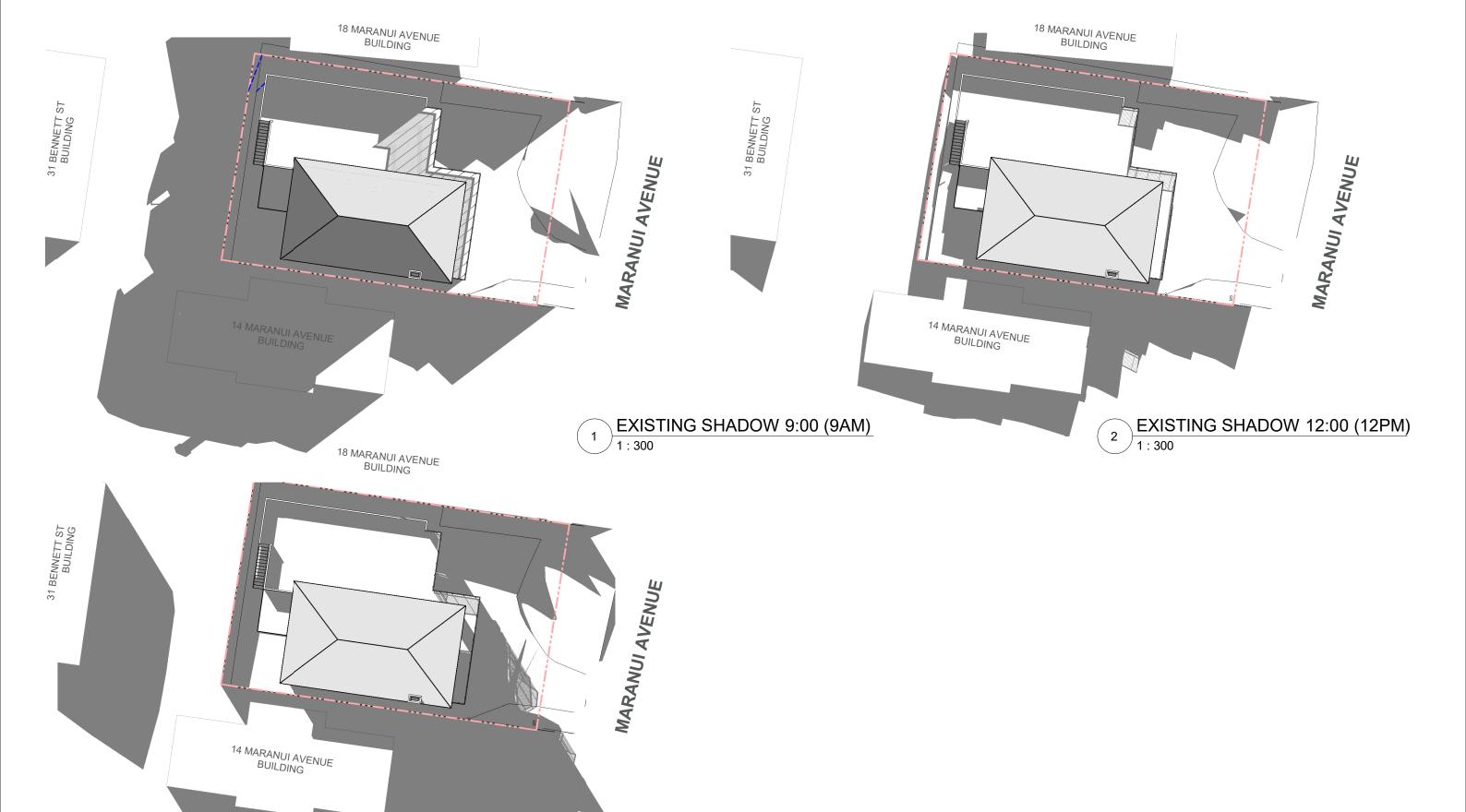


PROPOSED SECTION A-A 1:100

1:100



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١	For Review				www.kndarchitects.com.au NSW Nom Arch - Pav Dunski(11381)	PROJECT GRANNY FLAT EXTENSION		DATE 25/06/2021	DRAWN TN	CHECKED LK
١	NOT FOR CONSTRUCTION			ARCHITECTS	D+BP Reg's 2021 - DEP0001677 ACN 34 643 817 985		JOB 21009	DRAWING A4-02		REVISION 4



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	before commencement of work. All discrepancies
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1	15/09/2021	For Review	LK
2	13/11/2021	For Review	LK
3	29/11/2021	For Review	LK
4	16/02/2022	For Review	LK



1:300

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EXISTING SHADOW 3:00 (3PM)

ACN 34 643 817 985

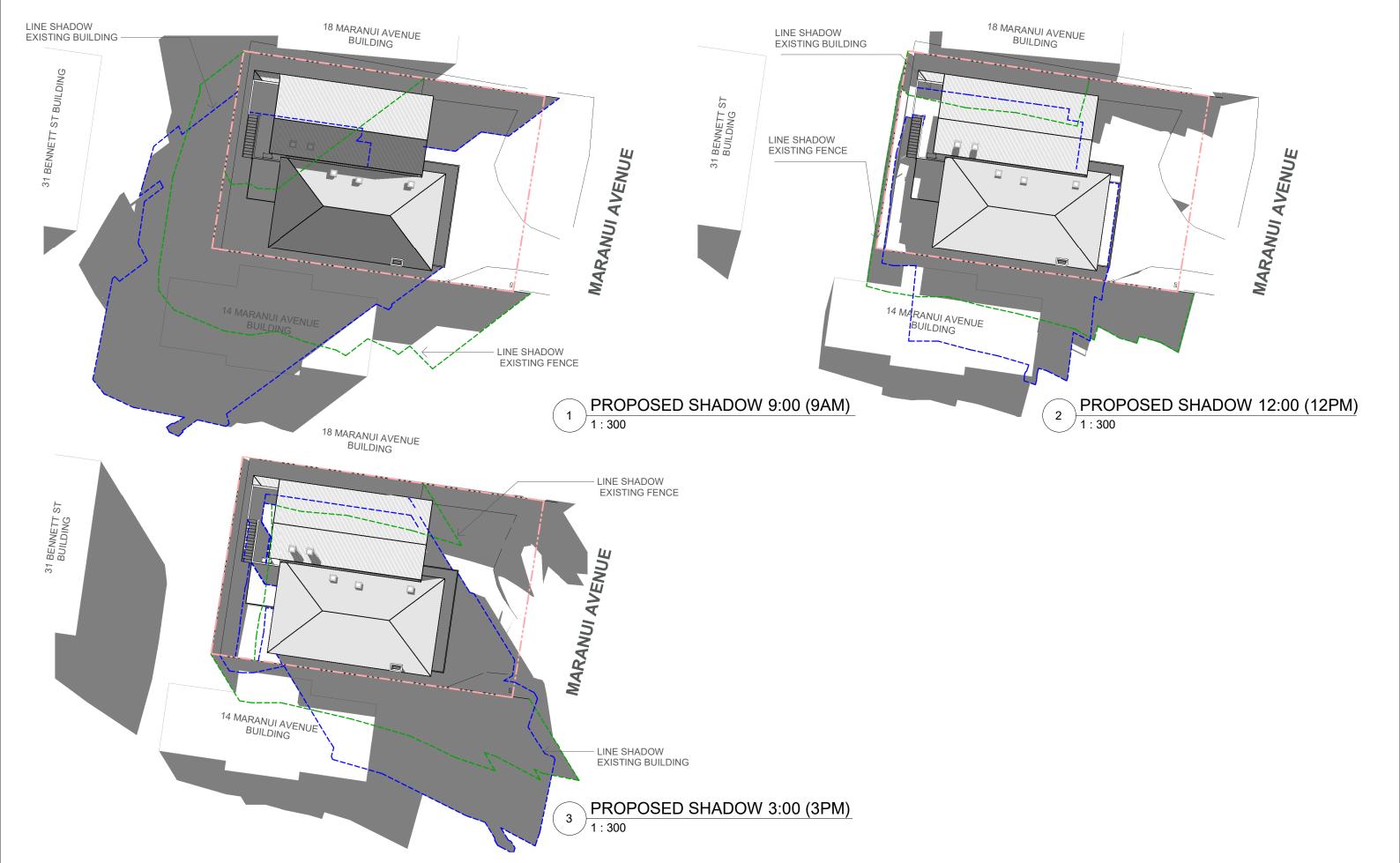
JULIE DEPAOLO	DRAWING TITLE SHADOW A WINTER SO			
PROJECT	SCALE @ A3	DATE	DRAWN	CHECKED
GRANNY FLAT EXTENSION	1:300	25/06/2021	TN	LK

16 Maranui Avenue, Dee Why, NSW 2099

JOB 21009

DRAWING A7-01

REVISION



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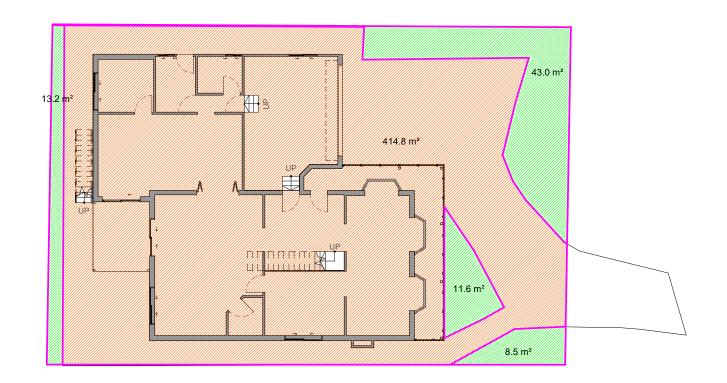
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JULIE DEPAOLO	DRAWING TITLE SHADOW ANALYSIS - PROPOSED WINTER SOLSTICE (21 JUNE)							
PROJECT GRANNY FLAT EXTENSION	SCALE @ A3 1:300	DATE 25/06/2021	DRAWN TN	CHECKED LK				

REVISION

25/06/2021 TN **GRANNY FLAT EXTENSION** 1:300 DRAWING A7-02 16 Maranui Avenue, Dee Why, NSW 2099 JOB 21009





1 GFA LOWER LEVEL 1: 200 GFA UPPER LEVEL

1:200

EXISTING LANDSCAPED AREA 76.2 m²
EXISTING BUILT UPON AREA 414.8 m²

PROPOSED GFA 65 m²

PROPOSED PRIVATE OPEN SPACE 28.6 m²

IMPORTANT NOTES:	REV	DATE	DESCRIPTION	BY	Г
Do not scale from drawings. All dimensions to be checked	1	15/09/2021	For Review	LK	1
on site before commencement of work. All discrepancies	2	13/11/2021	For Review	LK	ı
to be brought to the attention of the Architect. Larger	3	29/11/2021	For Review	LK	ı
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JULIE DEPAOLO	DRAWING TITLE GFA DIAGRAMS							
PROJECT RESIDENCE EXTENSION	SCALE @ A3 1:200	DATE 25/06/2021	DRAWN TN	CHECKED LK				
16 Maranui Avenue, Dee Why, NSW 2099	JOB 21009	DRAWING A7-10		REVISION 3				



F02

F04

F05





EXISTING BRICK

EXISTING LOW WALLS UNDER BALCONY AND HOUSE WALLS AS SHOWN

F02

WHITE (SURFMIST OR WHITEHAVEN)

- NEW AND EXISTING WINDO FRAMES
- EXITING AND NEW COLUMNS EXISTING AND NEW PERGOLA BALUSTRADE AND STAIR HANDRAIL

- BALUS IRADE AND STAIR HAI SKYLIGHT FRAMING EXISTING DOORS GUTTERS FASCIAS STEEL POSTS TO BALCONY



LIGHT GREY (DUNE)

- EXISTING HOUSE WALL CLADDING
- (600MM PANELS)
 EXTENSION WALL CLADDING
 (150MM BOARD)

F04

DARK GREY (WOODLAND)

- ROOF TILES NEW METAL DECK ROOF TO - NEW MIETAL DECK ROOF TO EXTENSION - GARAGE DOOR - BAY WINDOW ROOF/HOOD AND BASE

F05

CEILING WHITE

- ROOF EAVES - U/SIDE OF SLAB



STONE VENEER (SANDSTONE)

- STACK-STONE TO EXISTING BALCONY COLUMNS AT BALUSTRADE HEIGHT

PERSPECTIVE 2 2



PERSPECTIVE 3 3

NOT FOR CONSTRUCTION

PERSPECTIVE 1

F03

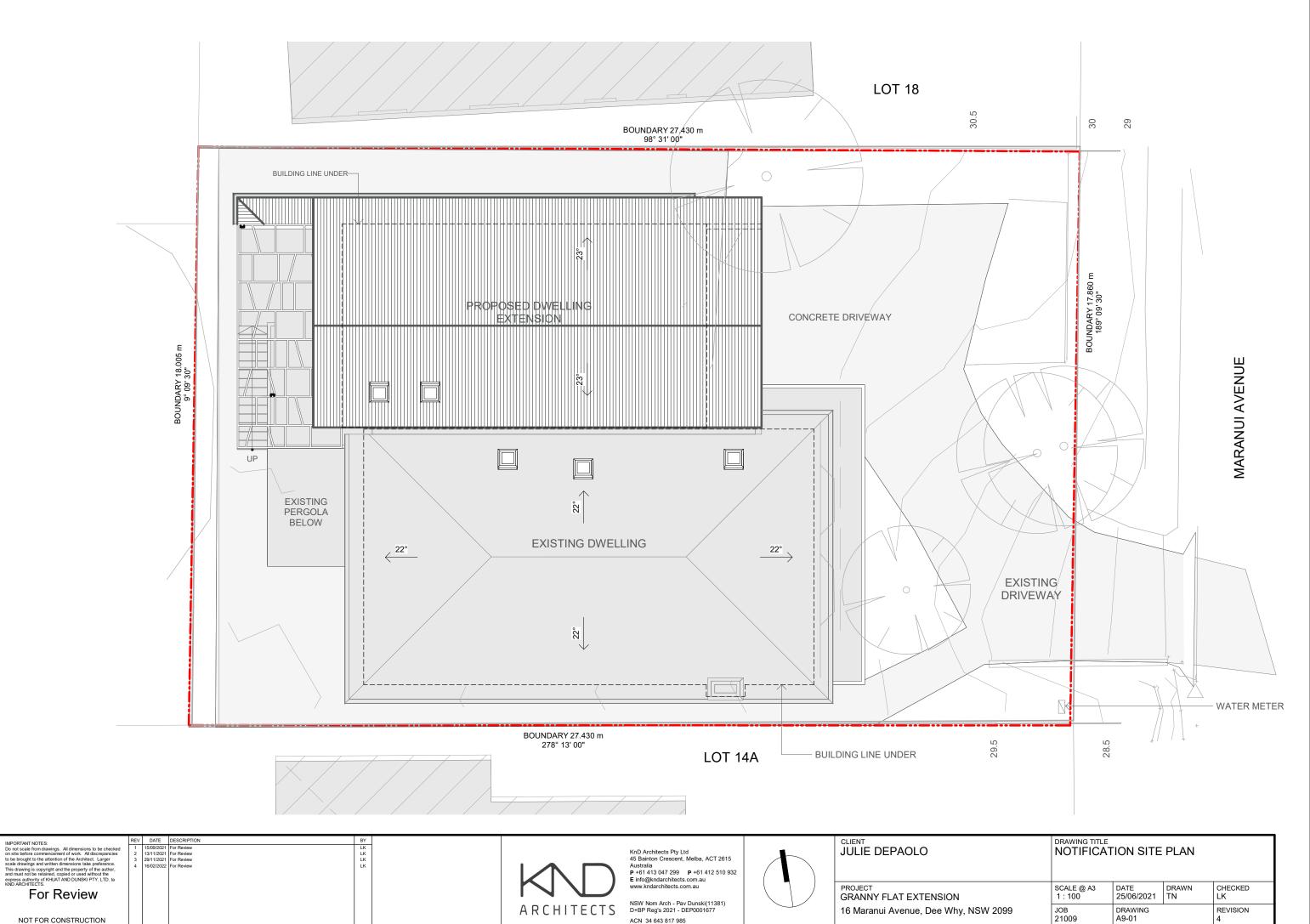
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Do not scale from drawings. All dimensions to be checked	1	15/09/2021	For Review	Lŀ
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to be brought to the attention of the Architect. Larger	3	29/11/2021	For Review	LH
scale drawings and written dimensions take preference. This drawing is copyright and the property of the author.	4	16/02/2022	For Review	LH
and must not be retained, copied or used without the				ĺ
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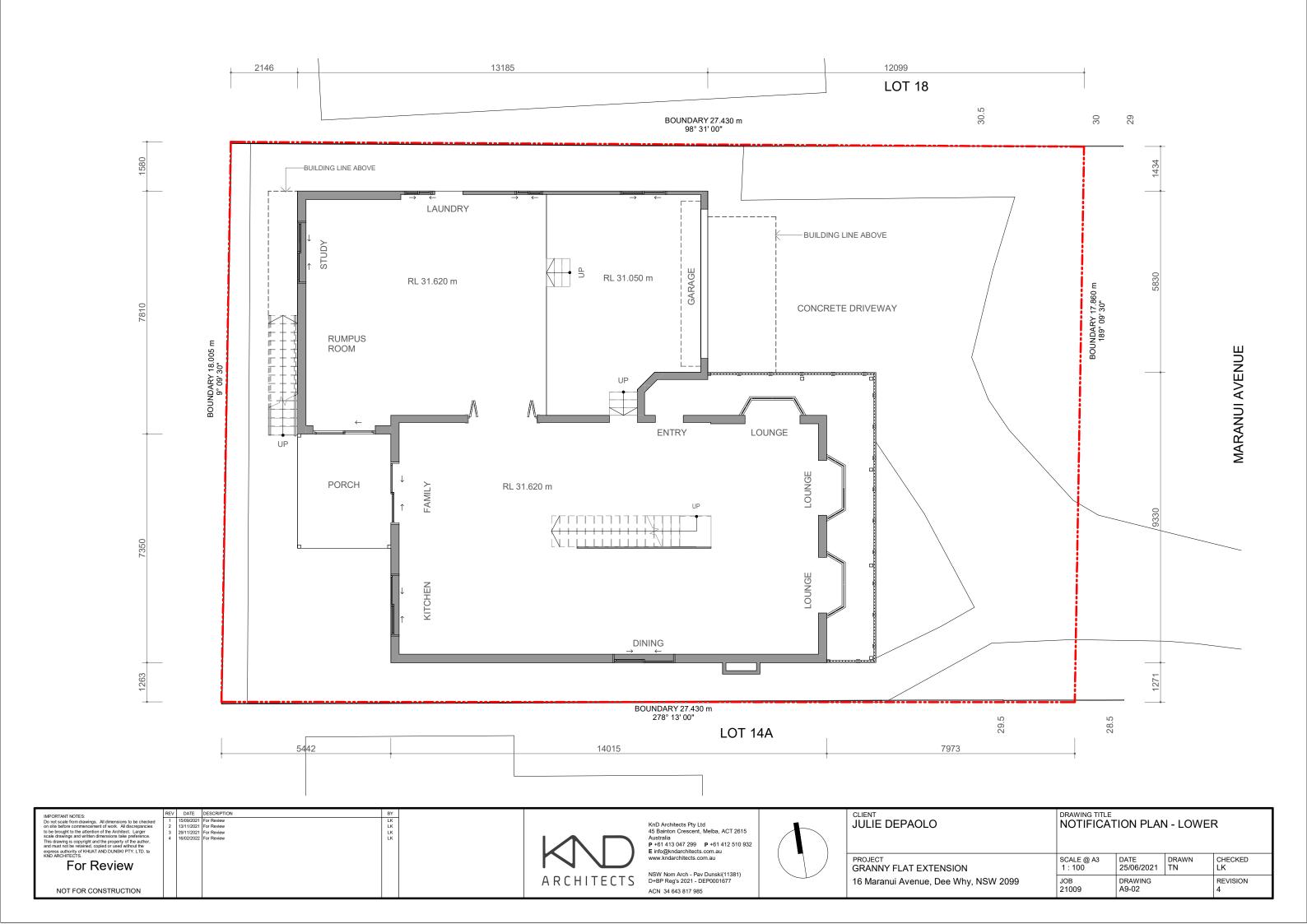
PERSPECTIVE 4

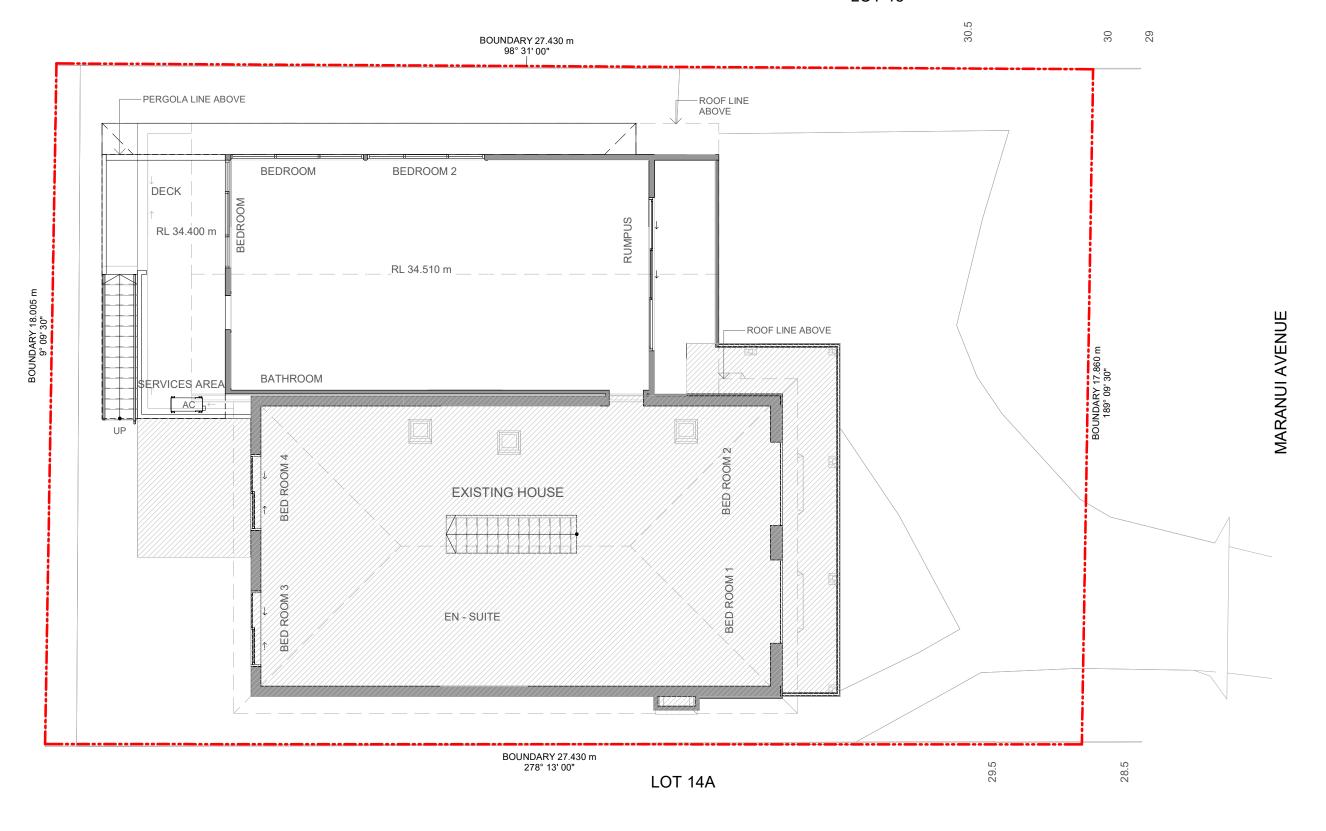


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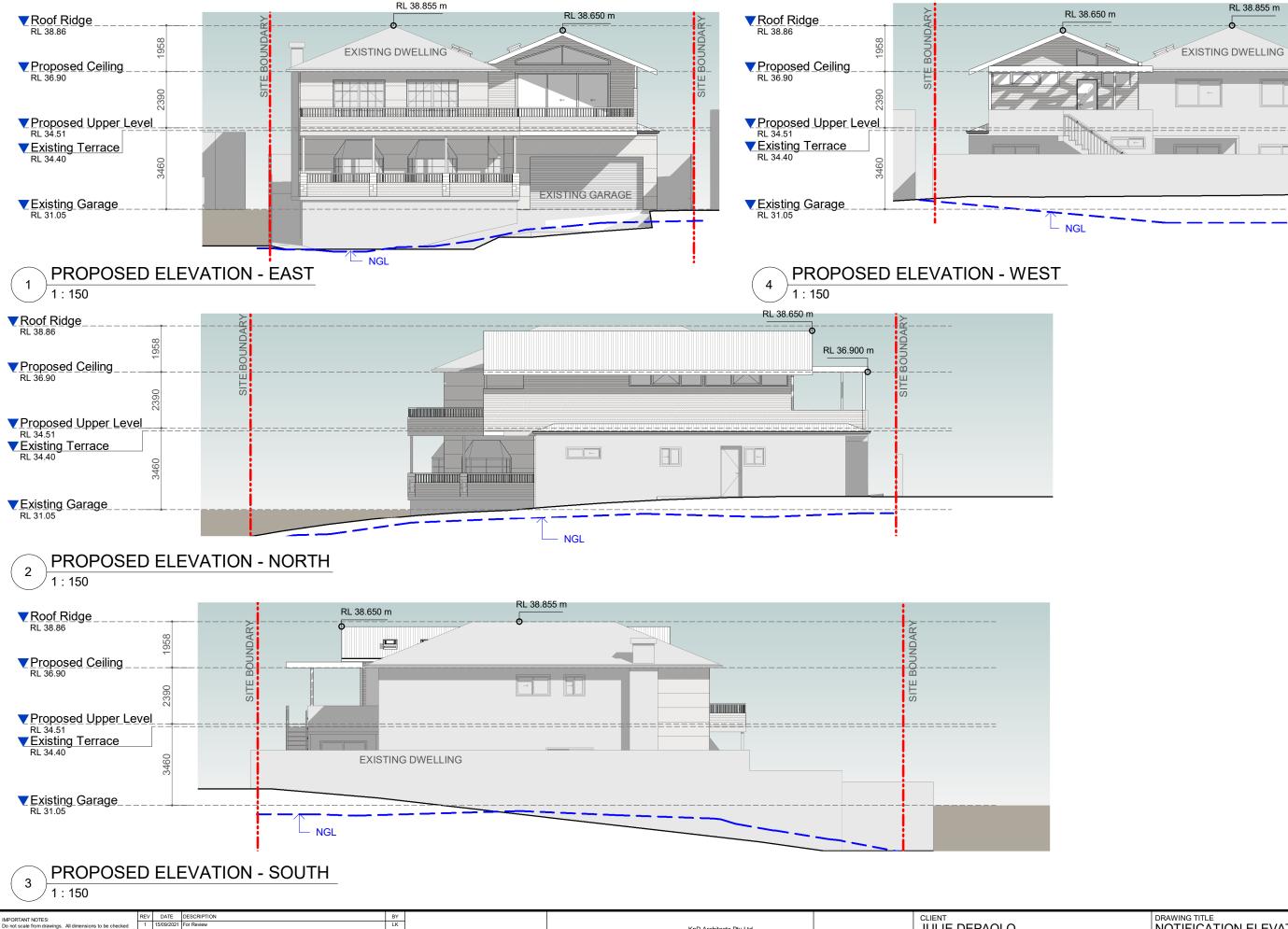
JULIE DEPAOLO	DRAWING TITLE PERSPECTIVES						
PROJECT GRANNY FLAT EXTENSION	SCALE @ A3 1:100	DATE 25/06/2021	DRAWN TN	CHECKED LK			
16 Maranui Avenue, Dee Why, NSW 2099	JOB 21009	DRAWING A8-01		REVISION 4			







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NOT FOR CONSTRUCTION			ARCHITECTS DHB Reg's 2021 - DEP0001677 ACN 34 643 817 985		16 Maranui Avenue, Dee Why, NSW 2099		DRAWING A9-03	REVISION 4



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on site before commencement of work. All discrepancies 2 13/11/2021	11 For Review 11 For Review 11 For Review 22 For Review	LK LK LK LK		KnD Architects Pty Ltd 45 Bainton Crescent, Melba, ACT 2615 Australia P +61 413 047 299 P +61 412 510 932 E info@kndarchitects.com.au	JULIE DEPAOLO	NOTIFICATION ELEVATION					
For Review			NU	www.kndarchitects.com.au NSW Nom Arch - Pav Dunski(11381)	PROJECT GRANNY FLAT EXTENSION	SCALE @ A3 1:150	DATE 25/06/2021	DRAWN TN	CHECKED LK		
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