

DA DRAWING LIST

- A0-01

COVER PAGE
- A0-02

GENERAL NOTES
- A0-03

EROSION AND SEDIMENT CONTROL NOTE
- A0-04

EROSION AND SEDIMENT CONTROL PLAN
- A1-01

SITE PLAN - EXISTING
- A1-02

SITE PLAN - DEMOLITION
- A1-03

SITE PLAN - PROPOSED
- A2-01

EXISTING PLAN - LOWER LEVEL
- A2-02

EXISTING PLAN - UPPER LEVEL
- A2-03

EXISTING PLAN - ROOF PLAN
- A2-04

DEMOLITION - UPPER LEVEL
- A2-05

PROPOSED PLAN - LOWER LEVEL
- A2-06

PROPOSED PLAN - UPPER LEVEL
- A2-07

PROPOSED PLAN- ROOF PLAN
- A3-01

EXISTING ELEVATION - NORTH, SOUTH
- A3-02

EXISTING ELEVATION - EAST, WEST
- A3-03

PROPOSED ELEVATION - NORTH, SOUTH (COLORED)
- A3-04

PROPOSED ELEVATION - EAST, WEST (COLORED)
- A3-05

PROPOSED ELEVATION - NORTH, SOUTH
- A3-06

PROPOSED ELEVATION - EAST, WEST
- A4-01

EXISTING SECTION
- A4-02

PROPOSED SECTION
- A7-01

SHADOW ANALYSIS - EXISTING WINTER SOLSTICE (21 JUNE)
- A7-02

SHADOW ANALYSIS - PROPOSED WINTER SOLSTICE (21 JUNE)
- A7-10

GFA DIAGRAMS
- A8-01

PERSPECTIVES
- A9-01

NOTIFICATION SITE PLAN
- A9-02

NOTIFICATION PLAN - LOWER
- A9-03

NOTIFICATION PLAN - UPPER
- A9-04

NOTIFICATION ELEVATION



LOCATION PLAN

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VERGE MANAGEMENT NOTES

INSTALL 1800mm CHAIN MESH FENCE SUPPORTED BY 2400mm TALL STAR STEEL POSTS AROUND VERGES AND RETAINED VEGETATION.

FENCING TO BE ERECTED ON COMMENCEMENT OF SITE WORKS AND REMOVED AT COMPLETION OF CONSTRUCTION AND COMMENCEMENT OF VERGE RESTORATION. THE FENCE IS TO REMAIN CONTINUOUS THROUGHOUT PROJECT, EXCEPT WHERE APPROVED SERVICE INSTALLATION OCCURS.

ENSURE ADEQUATE WATER IS APPLIED TO THE ROOT ZONE OF RETAINED TREES THROUGHOUT THE CONSTRUCTION PERIOD.

ALL WORK IS TO BE IN ACCORDANCE WITH THE "CANBERRA LANDSCAPE GUIDELINES" & THE BASIC SPECIFICATIONS FOR ROADS HYDRAULICS AND LANDSCAPE, JULY 1991.

MAKE GOOD ANY DAMAGE TO EXISTING GRASS VERGES, RE-INSTATE AS PER BASIC SPECIFICATIONS.

IT IS THE RESPONSIBILITY OF THE BUILDER TO ENSURE THAT ANY DISTURBANCES TO THE VERGE GROUND COVER, TREES, PATHS, KERBS, ROADWAYS OR SERVICES OCCURING FROM EITHER CONSTRUCTION WORKS OR STORAGE OF MACHINERY / MATERIALS DURING THE CONSTRUCTION WORKS ARE RECTIFIED TO THE SATISFACTION OF RELEVANT AUTHORITIES.

AT THE COMPLETION OF CONSTRUCTION, VERGES SHOULD STILL HAVE ESTABLISHED DRYLAND GRASS COVER. TOPSOIL IS NOT TO BE REMOVED AND LEVELS NOT TO BE CHANGED.

NO CARPARKING OR EQUIPMENT PARKING PERMITTED ON VERGES OR UNDER DRIPLINE OF RETAINED TREES.

NO SITE SHEDS, STORAGE SHEDS, SITE AMENITIES OR BILLBOARDS TO BE ERECTED ON VERGES OR UNDER DRIPLINE OF RETAINED TREES.

NO CONSTRUCTION MATERIAL TO BE STORED ON VERGES OR UNDER DRIPLINE OF RETAINED TREES.

THE DEVELOPMENT WILL COMPLY WITH THE ACT ENVIRONMENT PROTECTION AUTHORITY, ENVIRONMENT PROTECTION GUIDELINES FOR CONSTRUCTION AND LAND DEVELOPMENT IN THE ACT AUG 07

MAINTENANCE SCHEDULE

MONTHLY:

TURN OVER STABILISED CONSTRUCTION ENTRY MATERIAL AND TOP UP AS REQUIRED.

WEEKLY:

CHECK AND REINSTATE SILT CONTROL FENCES.

DAILY:

SWEEP AND REMOVE ANY DIRT TRACKED ON TO PUBLIC ROADS BY VEHICLES. ALL NECESSARY STEPS SHOULD BE TAKEN THAT ARE PRACTICAL AND REASONABLE TO MINIMISE DUST POLLUTION ON LAND DEVELOPMENT AND CONSTRUCTION SITE.

DURING/ AFTER WET WEATHER:

LIMIT CONSTRUCTION VEHICLE ACCESS TO SITE DURING AND IMMEDIATELY FOLLOWING WET WEATHER.

DUST MANAGEMENT

- A WATER CART OR SUFFICIENT WATER SPRAYS SHALL BE MADE AVAILABLE IN DRY AND WINDY CONDITIONS TO MAINTAIN DUST SUPPRESSION.
- WATER SHALL BE APPLIED TO SUPPRESS DUST FROM OPEN EARTHWORKS AS WELL AS UNPROTECTED STOCKPILES.
- STOCKPILES SHALL BE EITHER COVERED OR SEEDED TO PREVENT DUST.
- AREAS OF COMPLETED EARTHWORKS SHALL BE PROGRESSIVELY REHABILITATED WITH DRYLAND GRASS AND FENCED OFF AS SOON AS PRACTICABLE TO PREVENT FURTHER EROSION.
- THE CONTRACTOR SHALL CONTACT ACTEWAGL TO OBTAIN AN EXEMPTION TO USE WATER ON THE SITE.

GENERAL NOTES

PROJECT MANAGER, TBC.

SITE FOREMAN, TBC.

CONTACT DETAILS

SITE WORKS TO BE CONDUCTED ONLY BETWEEN THE FOLLOWING HOURS:
• WEEKDAYS 7:00AM TO 6:00PM
• SATURDAYS 7:00AM TO 6:00PM
• NO WORK ON SUNDAYS OR PUBLIC HOLIDAYS

HOURS OF OPERATION

- WASTE ENCLOSURE(S) WILL BE USED FOR ALL RUBBISH ON SITE AND RUBBISH REMOVED FROM ENCLOSURE(S) WHEN REQUIRED OR FULL.
- IT IS A BALANCED SITE.

SEDIMENT RETENTION POND

• THE SEDIMENT RETENTION POND SHALL BE FULLY MAINTAINED UNTIL THE DISTURBED CATCHMENT AREA IS PROTECTED AGAINST EROSION BY PERMANENT STABILISATION.

• PROTECTION SHALL BE PROVIDED FOR THE FINAL LANDSCAPE WORKS UTILISING SILT CONTROL FENCING.

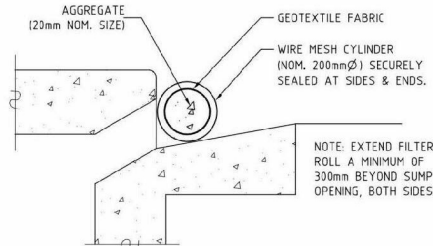
• THE SEDIMENT RETENTION POND SHALL BE CLEANED OUT WHEN THE VOLUME REMAINING IS REDUCED BY SEDIMENTATION TO 90%.

• THE EMBANKMENT SHALL BE STABILISED WITH HESIAN TEMPORARILY.

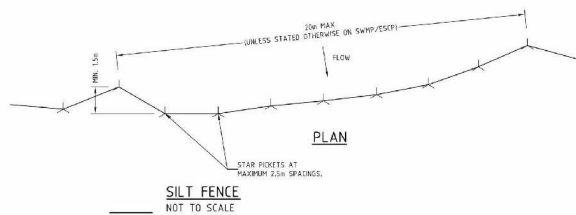
• THE POND IS TO BE HELD EMPTY TO ENABLE IT TO CAPTURE STORM EVENTS. CAPTURED STORM FLOWS SHALL BE CHEMICALLY DOSED WITH GYPSUM AT A RATE OF 320MG PER CUBIC METRE.

• DISCHARGE FROM THE POND IS PERMITTED WHEN THE WATER HAS CLARIFIED TO BELOW 60MG/L (USUALLY WITHIN 24-36 HOURS).

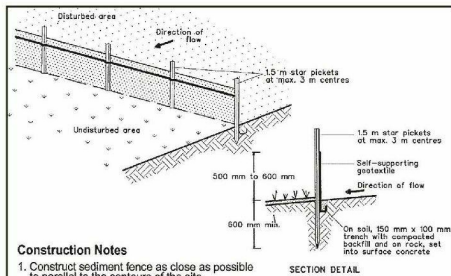
• ENVIRONMENT ACT TO BE ADVISED OF PROPOSED POND DISCHARGE PRIOR TO DISCHARGE.



TYPICAL SECTION FILTER ROLL
NOT TO SCALE



SILT FENCE
NOT TO SCALE



- Construction Notes**
- Construct sediment fence as close as possible to parallel to the contours of the site.
 - Drive 1.5 metre long star pickets into ground, 2.5 metres apart (max.).
 - Dig a 150 mm deep trench along the upslope line of the fence for the bottom of the fabric to be entrenched.
 - Fix self-supporting geotextile to upslope side of posts with wire ties or as recommended by geotextile manufacturer.
 - Join sections of fabric at a support post with a 150 mm overlap.
 - Backfill the trench over the base of the fabric and compact it thoroughly over the geotextile.

SEDIMENT FENCE

SEDIMENT CONTROL NOTES

1. SEDIMENT AND EROSION CONTROL DEVICES TO BE INSTALLED AND FULLY OPERATIONAL PRIOR TO STRIPPING OF SITE TOP SOIL.

2. STOCK PILE/S TO BE LOCATED AWAY FROM DRAINAGE LINES AND SURFACE FLOW PATHS. CONTOURED STRIATIONS OR FURROWS TO BE PROVIDED TO STOCK PILES TO MINIMISE EROSION.

3. STABILISED CONSTRUCTION ENTRANCE TO BE CONSTRUCTED PRIOR TO ACCESS TO SITE BY CONSTRUCTION VEHICLES. AGGREGATE TO BE TURNED WHEN SEDIMENT BUILDS UP AND RENEWED WHEN REQUIRED.

4. WHERE STORMWATER DRAINAGE IS INSTALLED TO INTERNAL ROADWORKS, PROVIDE GRATED SUMP FILTER IN ACCORDANCE WITH GIVEN DETAIL.

5. AVERAGE EXISTING SITE SLOPE 3.1%

6. TOTAL SITE AREA 801m².

7. BUILDER IS TO ESTABLISH A MAINTENANCE PROGRAM FOR SEDIMENT & EROSION CONTROL DEVICES TO ENSURE INSPECTION AFTER SIGNIFICANT RAINFALL AND THAT ANY REPAIRS NECESSARY ARE QUICKLY ATTENDED TO.

8. ENVIRONMENT PROTECTION AGREEMENT TO BE TAKEN OUT BY BUILDING CONTRACTOR WITH ENVIRONMENT PROTECTION AUTHORITY. (TELEPHONE 132281)

9. ALL NEW CONSTRUCTION WORK MUST BE CONTAINED WITHIN THE SITE EXCEPT FOR APPROVED SERVICE CONNECTIONS AND ROADWORKS.

10. LIMIT ACCESS TO SITE DURING AND IMMEDIATELY AFTER WET WEATHER.

11. REGULARLY REMOVE ANY SOIL FROM ROADS ADJACENT TO THE SITE.

12. NO STORAGE OF CONSTRUCTION MATERIALS, PARKING OF VEHICLES NOR EQUIPMENT PERMITTED OUTSIDE OF BLOCK WITHOUT TAMS APPROVAL.

13. NO SITE SHEDS, STORAGE SHEDS, SITE AMENITIES TO BE ERECTED OUTSIDE OF BLOCK WITHOUT TAMS APPROVAL.

14. PROVIDE KERB SIDE FILTER ROLL TO EXISTING SUMPS WHERE INDICATED, REFER TO GIVEN DETAIL.

15. KERB SIDE FILTER ROLLS TO BE REMOVED, CLEANED AND REINSTATED ON A WEEKLY BASIS AT A MINIMUM. TRAPPED SEDIMENT ABOUT SUMPS ALSO TO BE REMOVED. CLEANING IS ALSO TO TAKE PLACE IMMEDIATELY AFTER PERIODS OF RAINFALL DURING CONSTRUCTION.

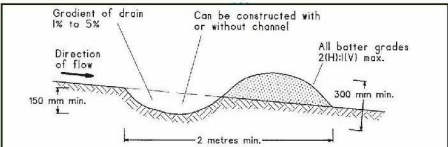
16. ALL SERVICE TRENCHES TO BE BACK FILLED WITHIN 24 HOURS OF INSPECTION.

17. EXCESS SOIL IS TO BE DISPOSED AT AN EPA APPROVED LOCATION.

18. THE SITE FOREMAN IS TO CONTACT THE EPA (132281) TO ARRANGE A SITE INSPECTION AND ENDORSEMENT OF SEDIMENT AND EROSION CONTROL MEASURES PRIOR TO WORKS COMMENCING.

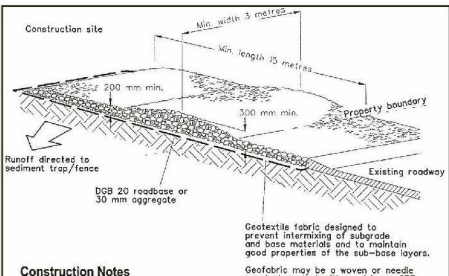
19. THE SITE FOREMAN IS TO CONTACT THE EPA (132281) TO DISCUSS ANY PROPOSED MAJOR CHANGES TO SEDIMENT AND EROSION CONTROLS ON SITE PRIOR TO IMPLEMENTING THE CHANGES.

20. THE SITE FOREMAN WILL ENSURE CONTRACTORS ACCESS AND EXIT THE SITE USING ONLY EPA APPROVED STABILISED ACCESS/EXIT POINTS AS DETAILED ON ENDORSED SEDIMENT AND EROSION CONTROL PLANS.



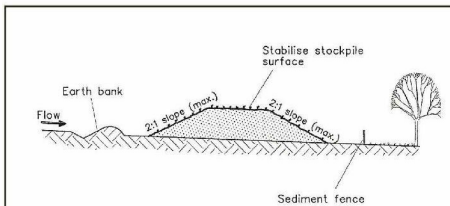
- Construction Notes**
- Construct with gradient of 1 per cent to 5 per cent.
 - Avoid removing trees and shrubs if possible.
 - Drains to be of circular, parabolic or trapezoidal cross section not V-shaped.
 - Earth banks to be adequately compacted in order to prevent failure.
 - Permanent or temporary stabilisation of the earth bank to be completed within 10 days of construction.
 - All outlets from disturbed lands are to feed into a sediment basin or similar.
 - Discharge runoff collected from undisturbed lands onto either a stabilised or an undisturbed disposal site within the same subcatchment area from which the water originated.
 - Compact bank with a suitable implement in situations where they are required to function for more than five days.
 - Earth banks to be free of projections or other irregularities that will impede normal flow.

EARTH BANK (LOW FLOW)



- Construction Notes**
- Strip topsoil and level site.
 - Compact subgrade.
 - Cover area with needle-punched geotextile.
 - Construct 200 mm thick pad over geotextile using roadbase or 30 mm aggregate. Minimum length 15 metres or to building alignment. Minimum width 3 metres.
 - Construct hump immediately within boundary to divert water to a sediment fence or other sediment trap.

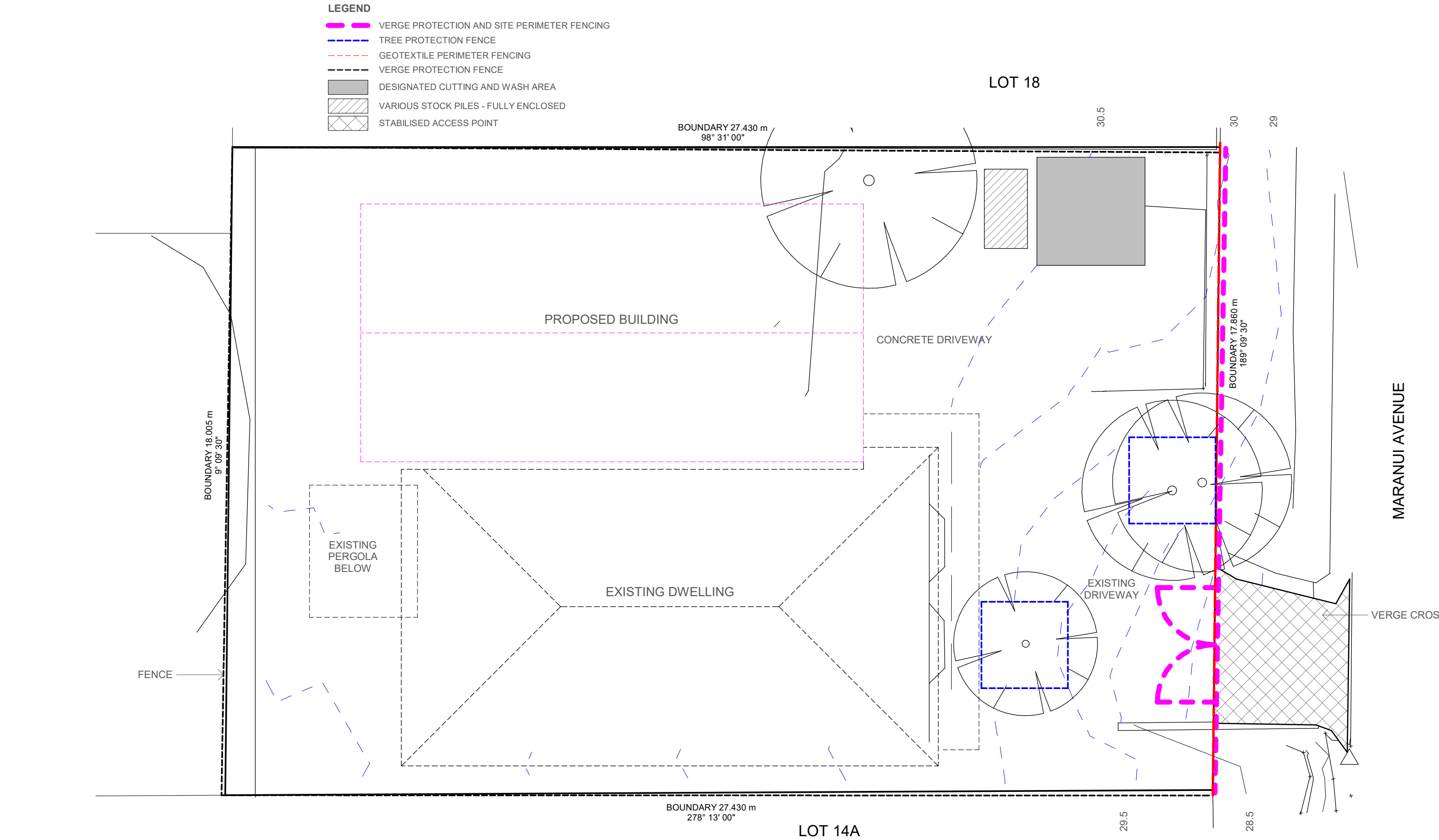
STABILISED SITE ACCESS



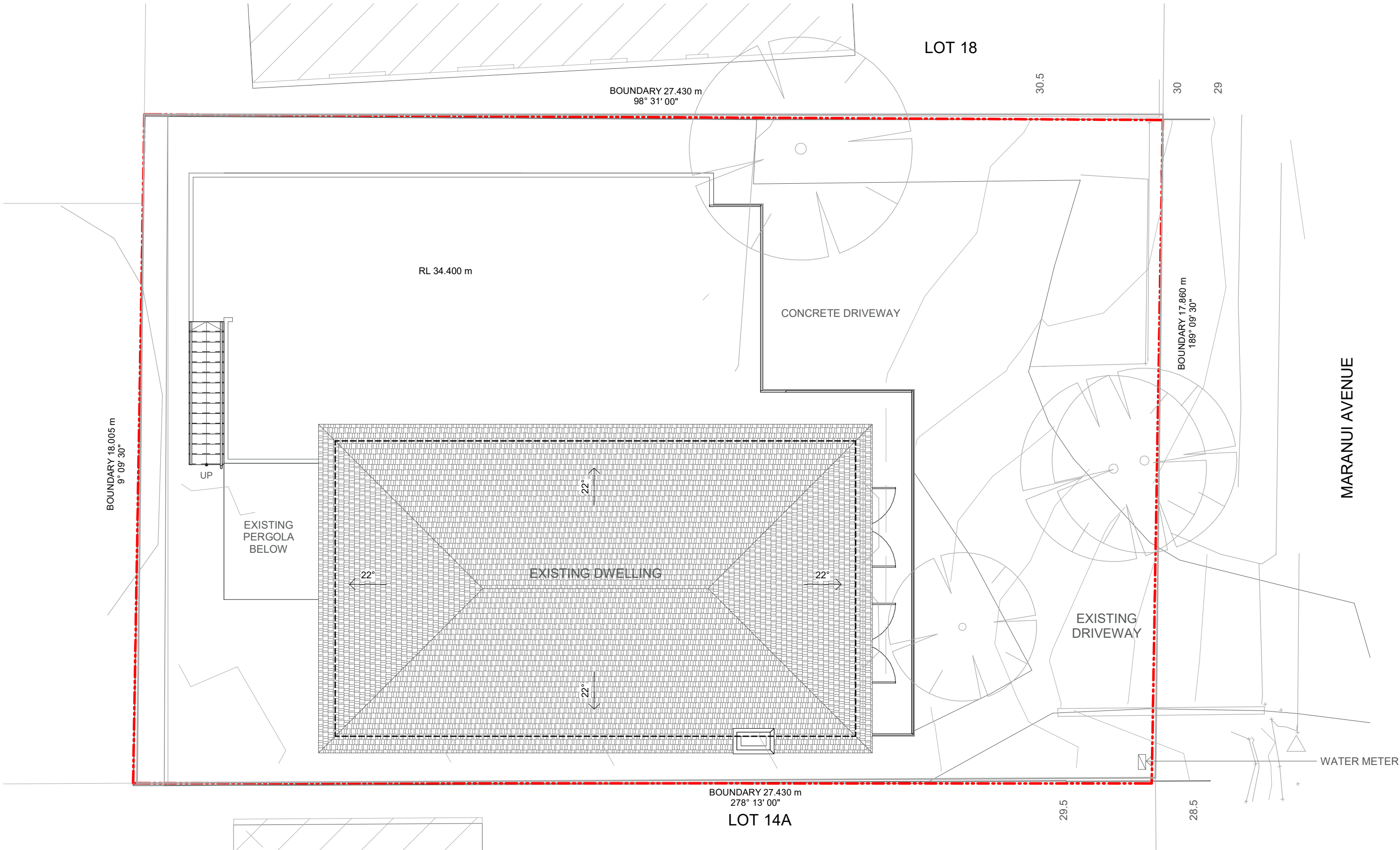
- Construction Notes**
- Where possible locate stockpile at least 5 metres from existing vegetation, concentrated water flows, roads and hazard areas.
 - Construct on the contour as a low, flat, elongated mound.
 - Where there is sufficient area topsoil stockpiles shall be less than 2 metres in height.
 - Rehabilitate in accordance with the SWMP/ESCP.
 - Construct earth bank (Standard Drawing 5-5) on the upslope side to divert run off around the stockpile and a sediment fence (Standard Drawing 6-6) 1 to 2 metres downslope of stockpile.

TOPSOIL STOCKPILE

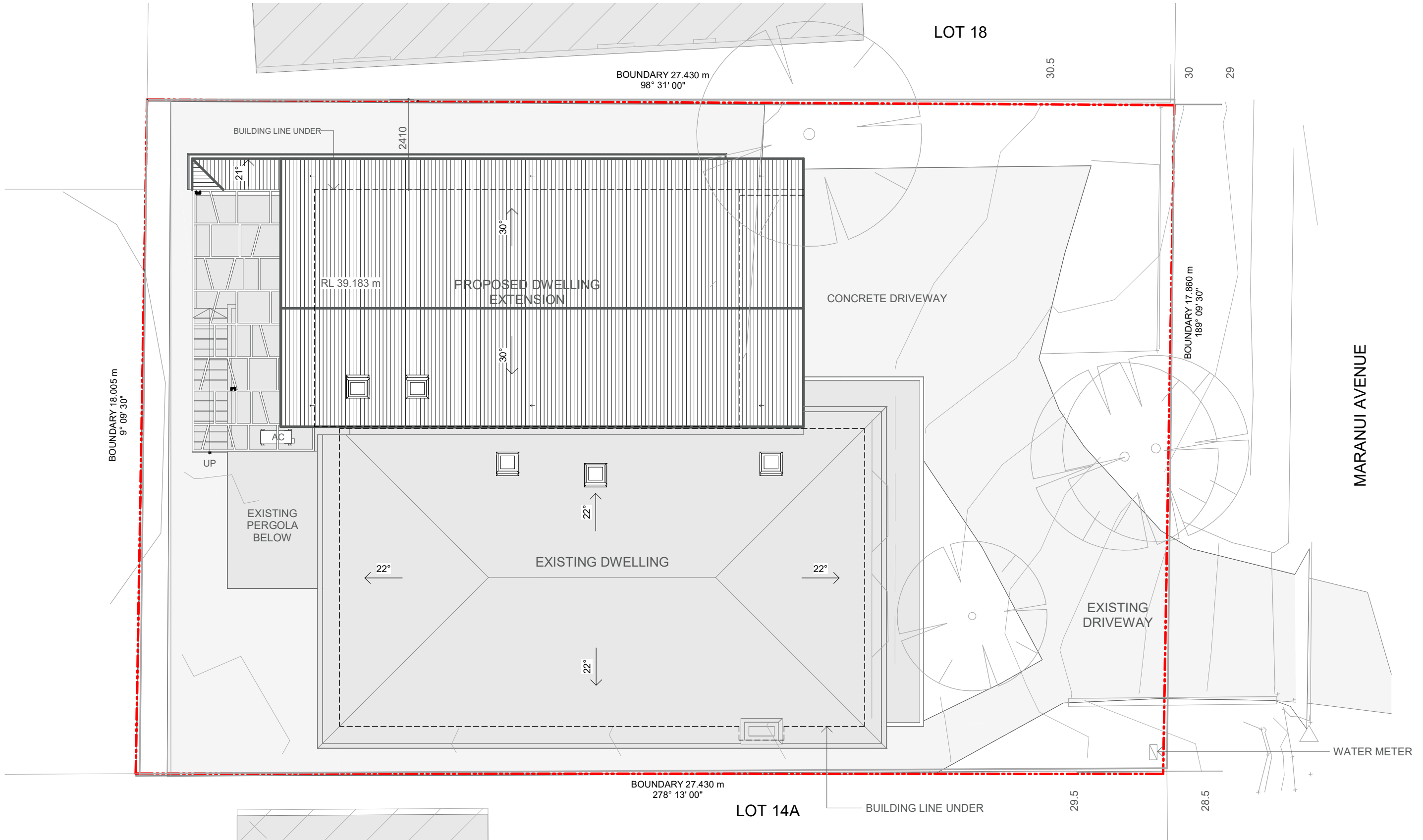
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	1	15/09/2021	For Review	LK				SCALE @ A3 NTS	DATE 25/06/2021	DRAWN TN	CHECKED LK
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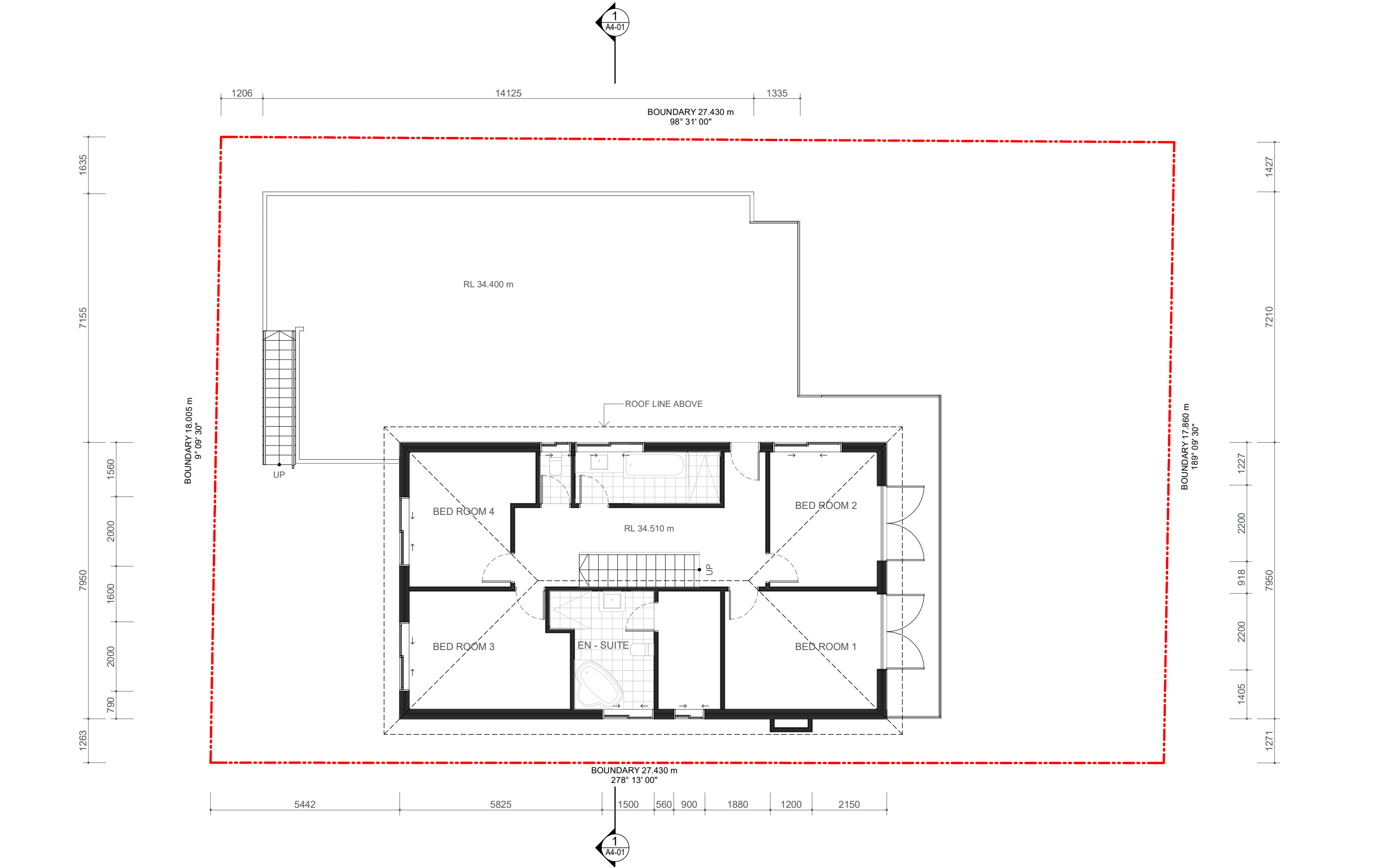
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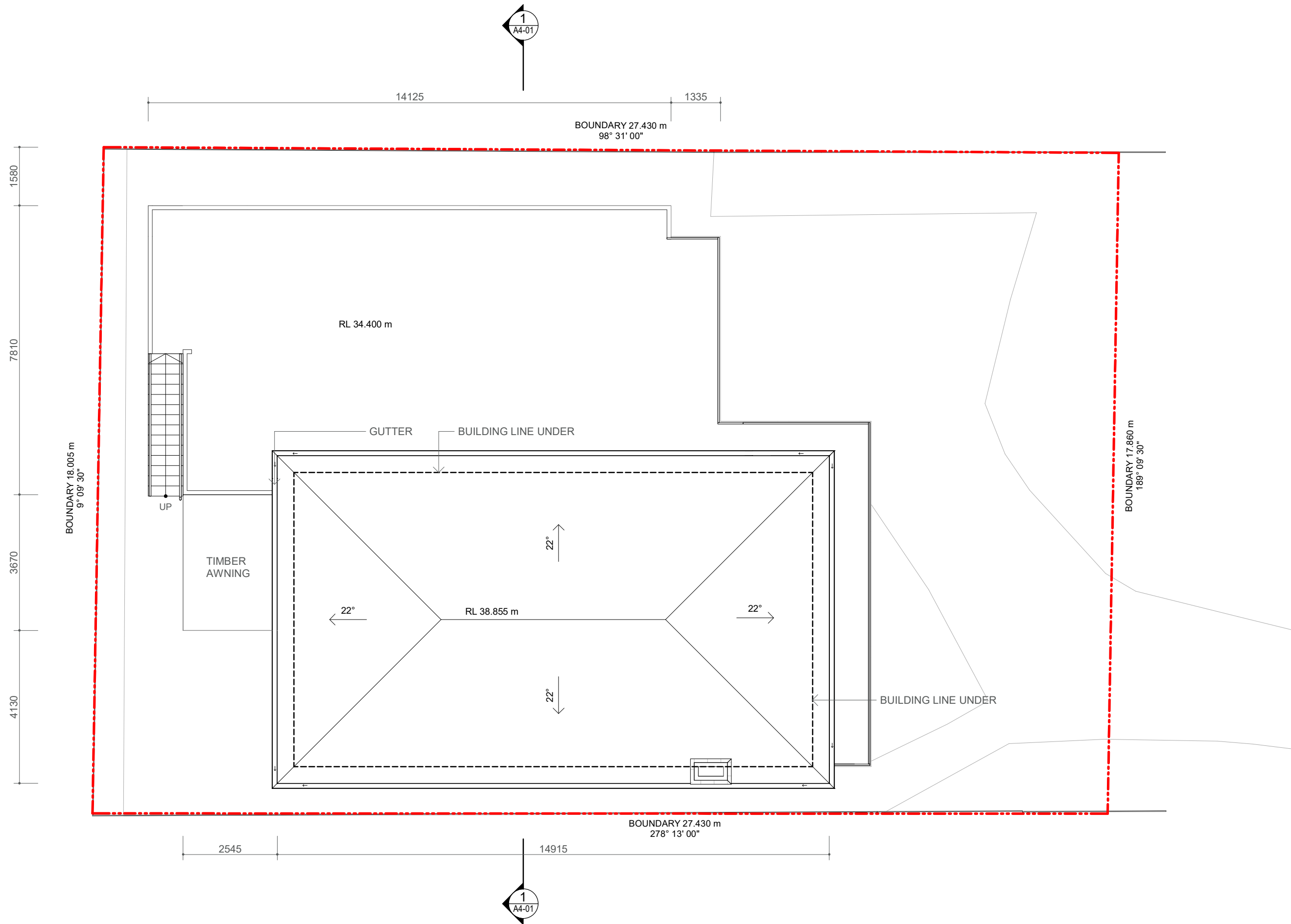
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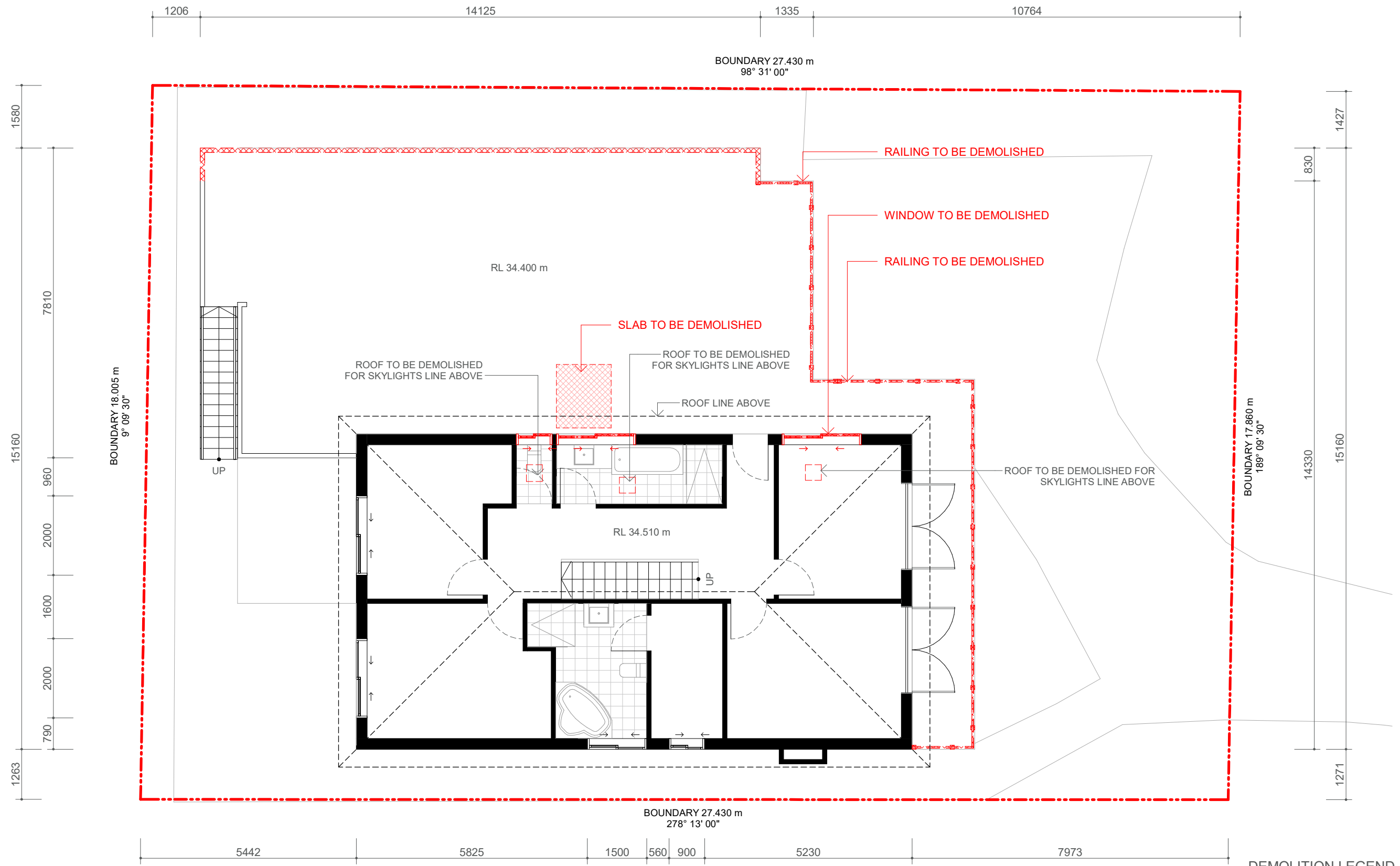
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
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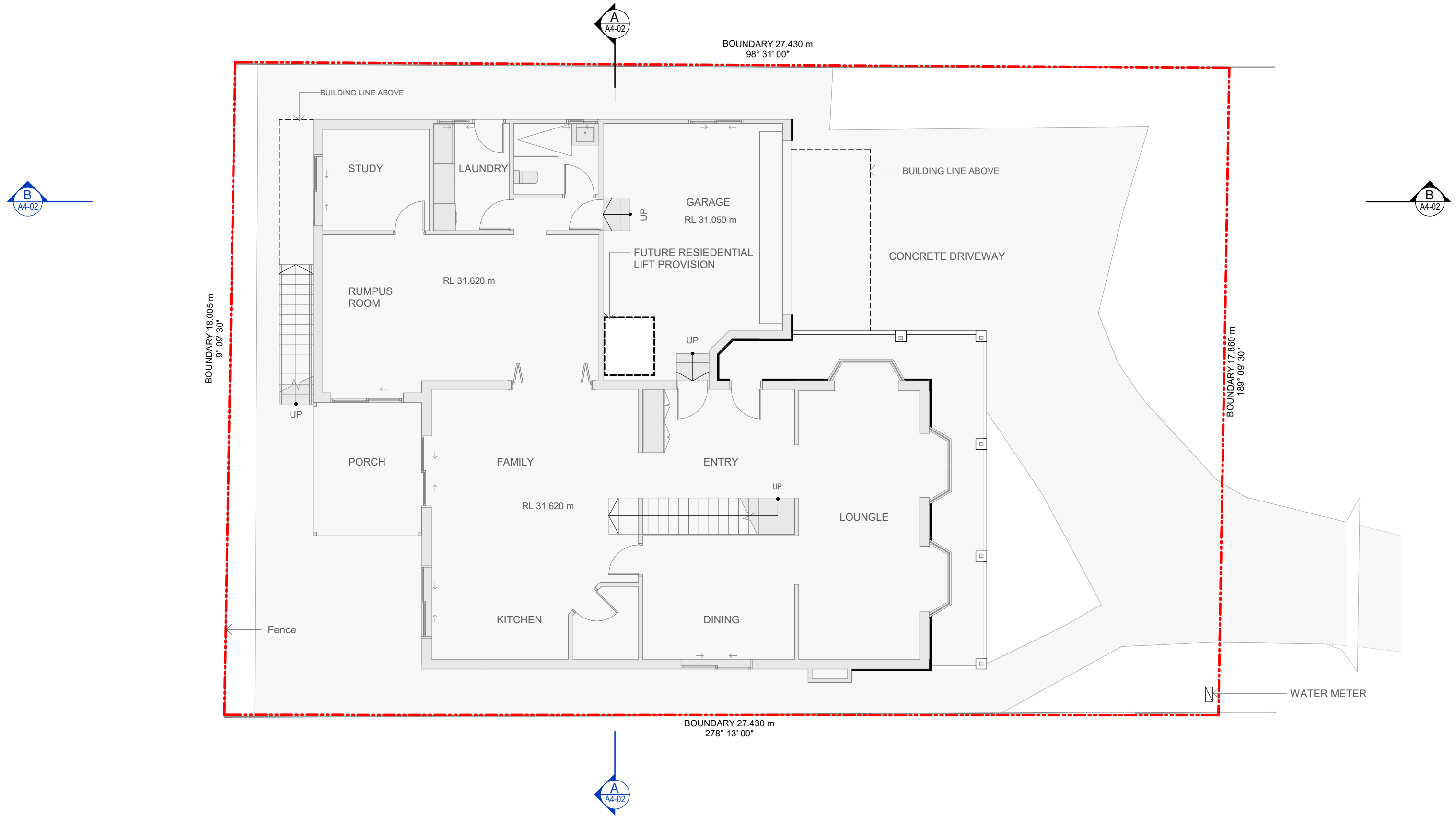
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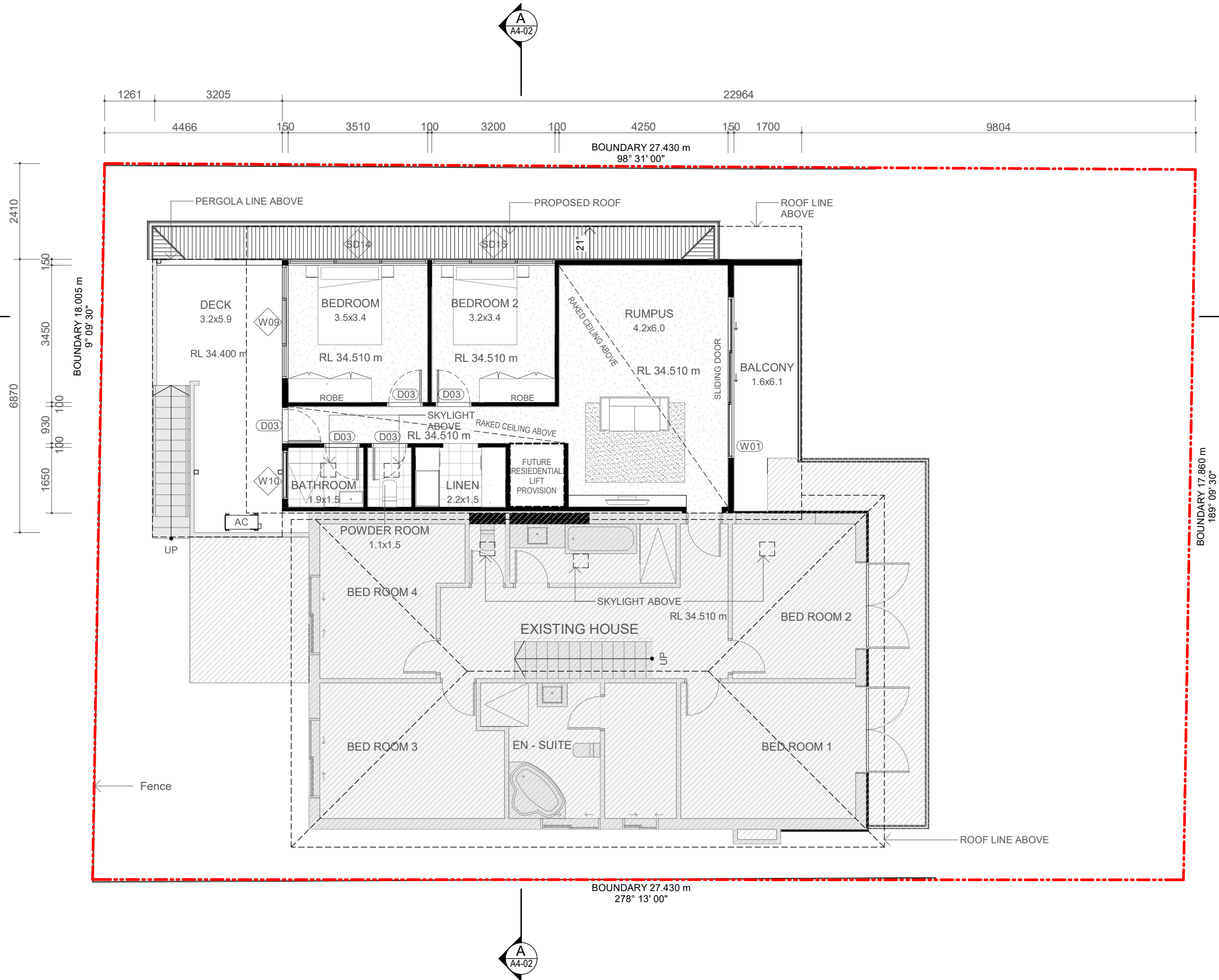
DEMOLITION LEGEND

 ELEMENTS TO BE DEMOLISHED

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	1	15/09/2021	For Review	LK			PROJECT RESIDENCE EXTENSION 16 Maranui Avenue, Dee Why, NSW 2099	SCALE @ A3 1 : 100	DATE 25/06/2021	DRAWN TN	CHECKED LK	
	2	13/11/2021	For Review	LK				JOB 21009	DRAWING A2-04	REVISION 3		
	3	29/11/2021	For Review	LK								



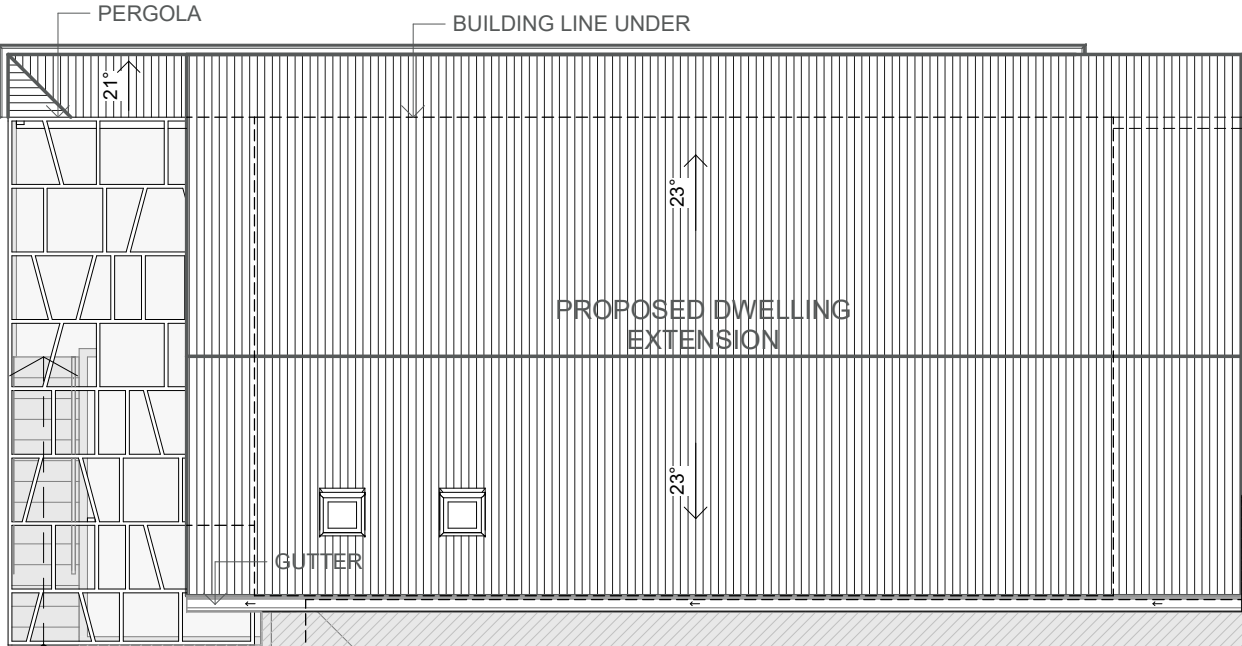
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								SCALE @ A3 1 : 100	DATE 25/06/2021	DRAWN TN	CHECKED LK
								JOB 21009	DRAWING A2-05	REVISION 3	



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	PROJECT RESIDENCE EXTENSION 16 Maranui Avenue, Dee Why, NSW 2099											
									SCALE @ A3 1 : 100	DATE 25/06/2021	DRAWN TN	CHECKED LK
										JOB 21009	DRAWING A2-06	REVISION 3



BOUNDARY 27.430 m
98° 31' 00"



BOUNDARY 17.860 m
189° 09' 30"

BUILDING LINE UNDER

BOUNDARY 27.430 m
278° 13' 00"



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For Review

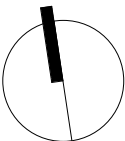
NOT FOR CONSTRUCTION

REV	DATE	DESCRIPTION	BY
1	15/09/2021	For Review	LK
2	13/11/2021	For Review	LK
3	29/11/2021	For Review	LK
4	16/02/2022	For Review	LK



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NSW Nom Arch - Pav Dunski(11381)
D+BP Reg's 2021 - DEP0001677
ACN 34 643 817 985

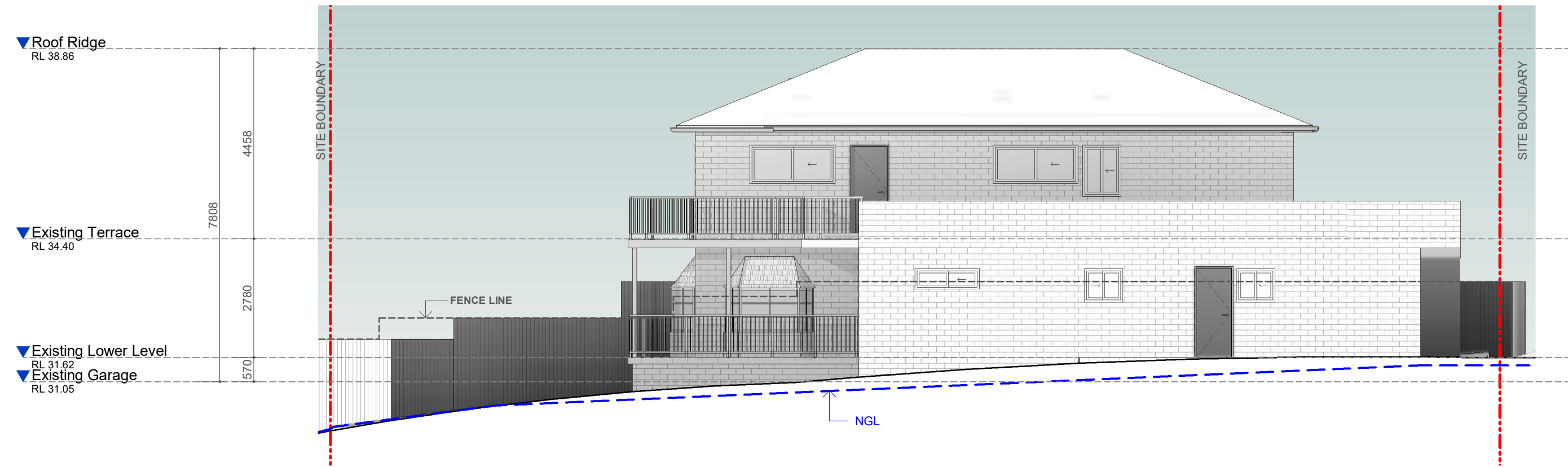


CLIENT
JULIE DEPAOLO

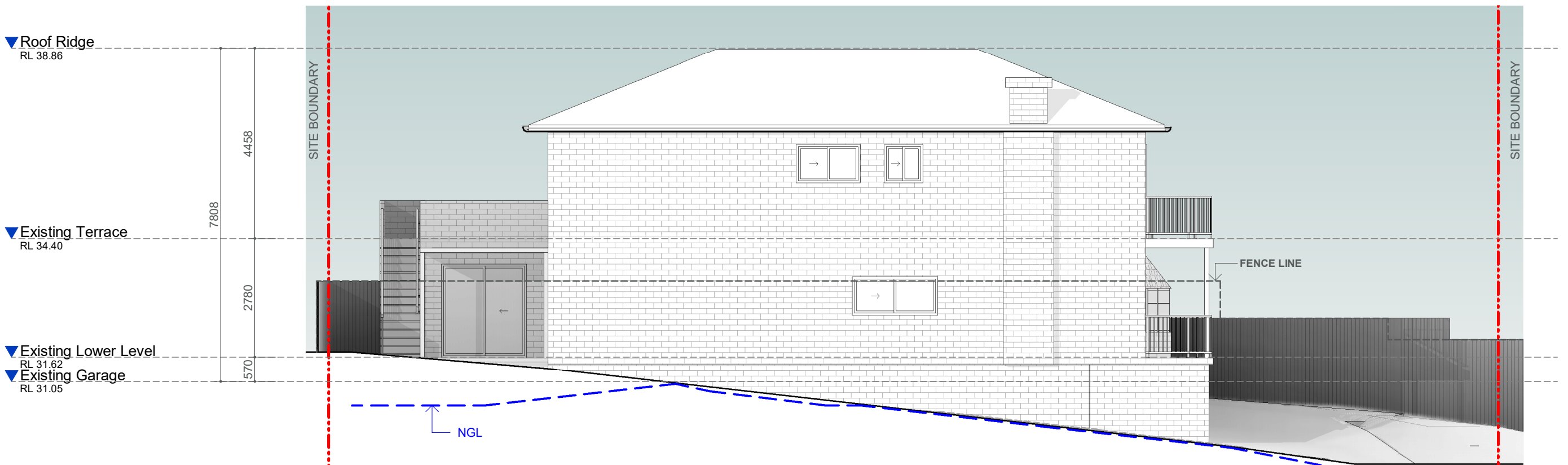
PROJECT
GRANNY FLAT EXTENSION
16 Maranui Avenue, Dee Why, NSW 2099

DRAWING TITLE
PROPOSED PLAN- ROOF PLAN

SCALE @ A3 1 : 100	DATE 25/06/2021	DRAWN TN	CHECKED LK
JOB 21009	DRAWING A2-07	REVISION 4	



1 EXISTING NORTH ELEVATION
1 : 100

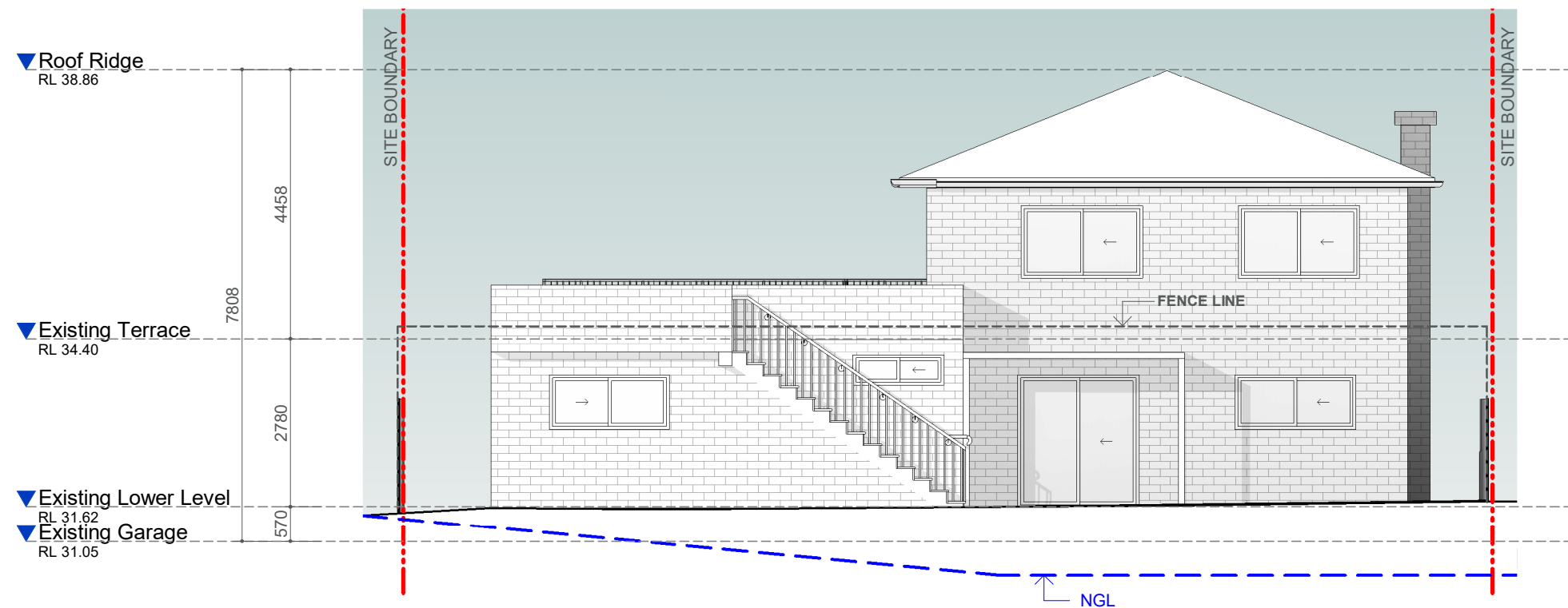


2 EXISTING SOUTH ELEVATION
1 : 100

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	1	15/09/2021	For Review	LK							
	2	13/11/2021	For Review	LK							
	3	29/11/2021	For Review	LK							
SCALE @ A3 1 : 100		DATE 25/06/2021	DRAWN TN	CHECKED LK		JOB 21009		DRAWING A3-01	REVISION 3		

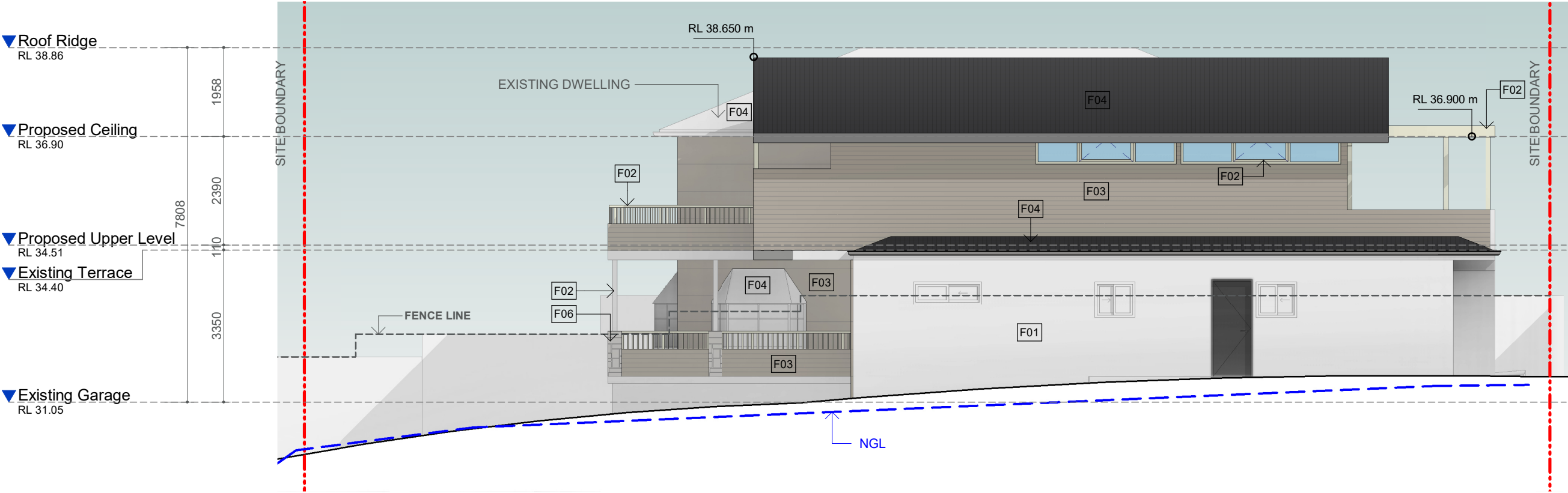


1 EXISTING EAST ELEVATION
1 : 100



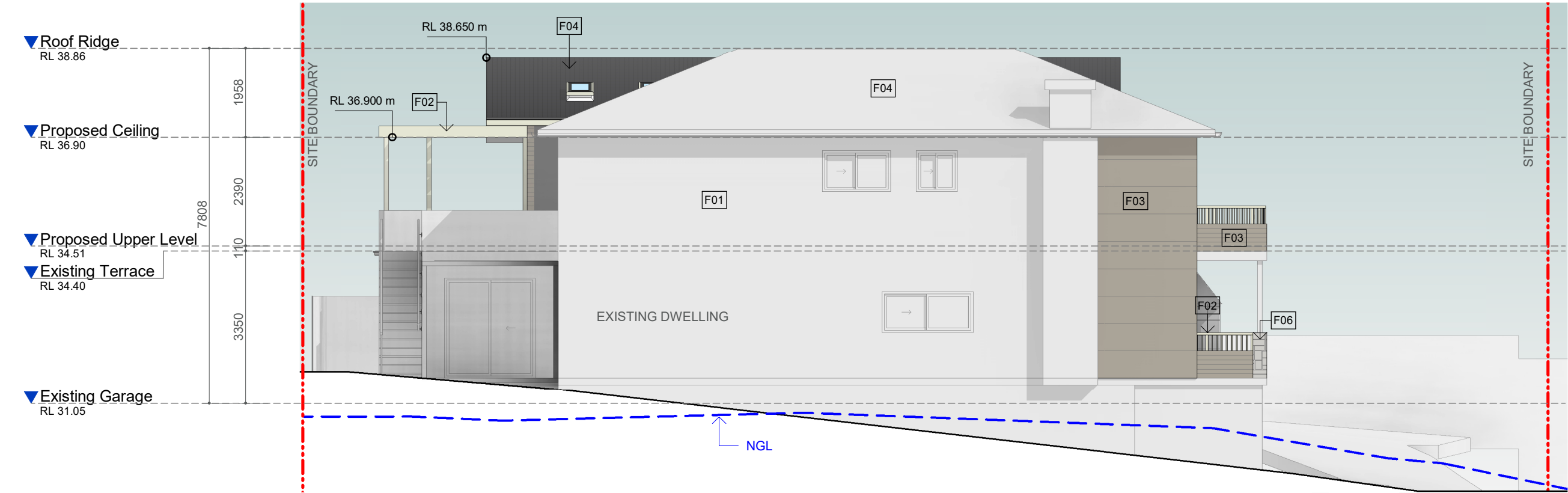
2 EXISTING WEST ELEVATION
1 : 100

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	1	15/09/2021	For Review	LK			SCALE @ A3 1 : 100	DATE 25/06/2021	DRAWN TN	CHECKED LK
	2	13/11/2021	For Review	LK			JOB 21009	DRAWING A3-02		REVISION 3
	3	29/11/2021	For Review	LK						



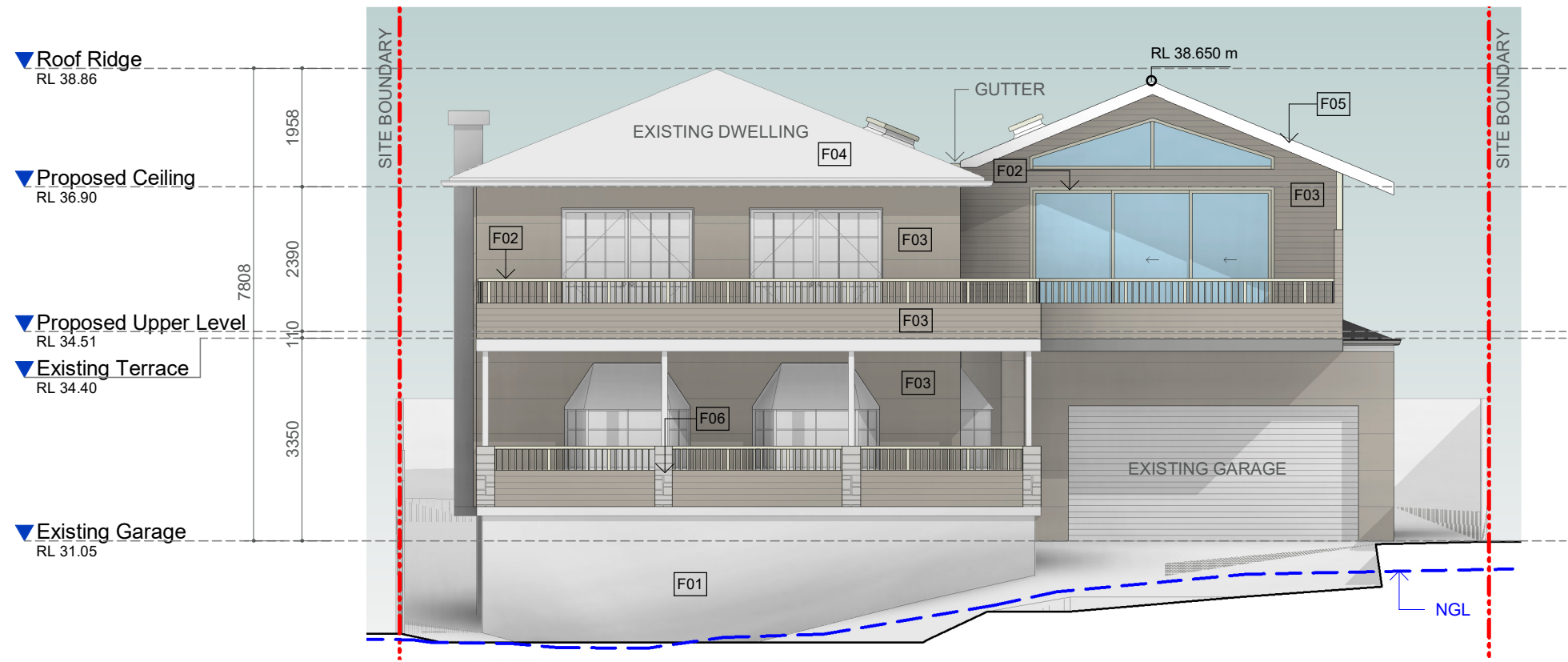
- F01**
EXISTING BRICK
EXISTING LOW WALLS
UNDER BALCONY
AND HOUSE WALLS AS
SHOWN
- F02**
WHITE (SURFMIST OR WHITEHAVEN)
- NEW AND EXISTING WINDO FRAMES
- EXITING AND NEW COLUMNS
- EXISTING AND NEW PERGOLA
- BALUSTRADE AND STAIR HANDRAIL
- SKYLIGHT FRAMING
- EXISTING DOORS
- GUTTERS
- FASCIAS
- STEEL POSTS TO BALCONY
- F03**
LIGHT GREY (DUNE)
- EXISTING HOUSE WALL CLADDING
(600MM PANELS)
- EXTENSION WALL CLADDING
(150MM BOARD)
- F04**
DARK GREY (WOODLAND)
- ROOF TILES
- NEW METAL DECK ROOF TO
EXTENSION
- GARAGE DOOR
- BAY WINDOW ROOF/HOOD
AND BASE
- F05**
CEILING WHITE
- ROOF EAVES
- U/SIDE OF SLAB
- F06**
STONE VENEER (SANDSTONE)
- STACK-STONE TO EXISTING
BALCONY COLUMNS AT
BALUSTRADE HEIGHT

1 **PROPOSED ELEVATION - NORTH**
1 : 100

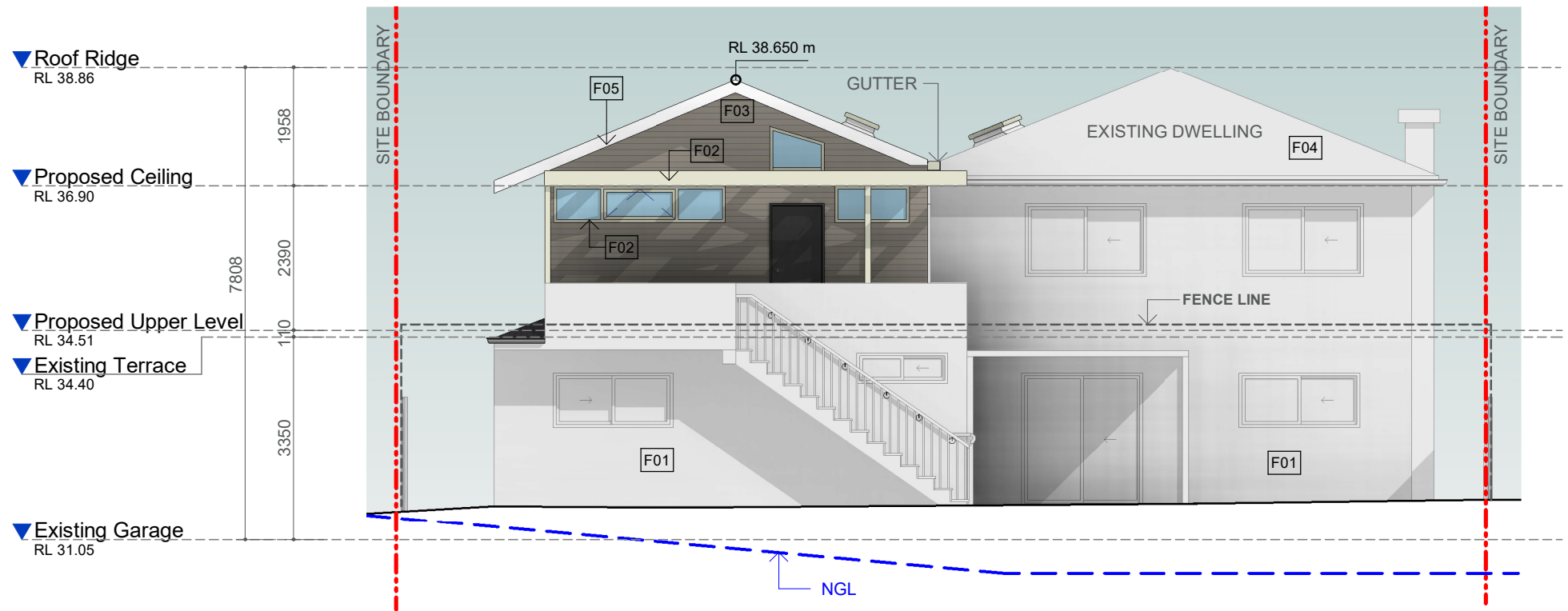


2 **PROPOSED ELEVATION - SOUTH**
1 : 100

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	PROPOSED ELEVATION - NORTH,SOUTH (COLORED)									
	SCALE @ A3 1 : 100		DATE 25/06/2021	DRAWN TN			CHECKED LK			
	JOB 21009		DRAWING A3-03				REVISION 4			



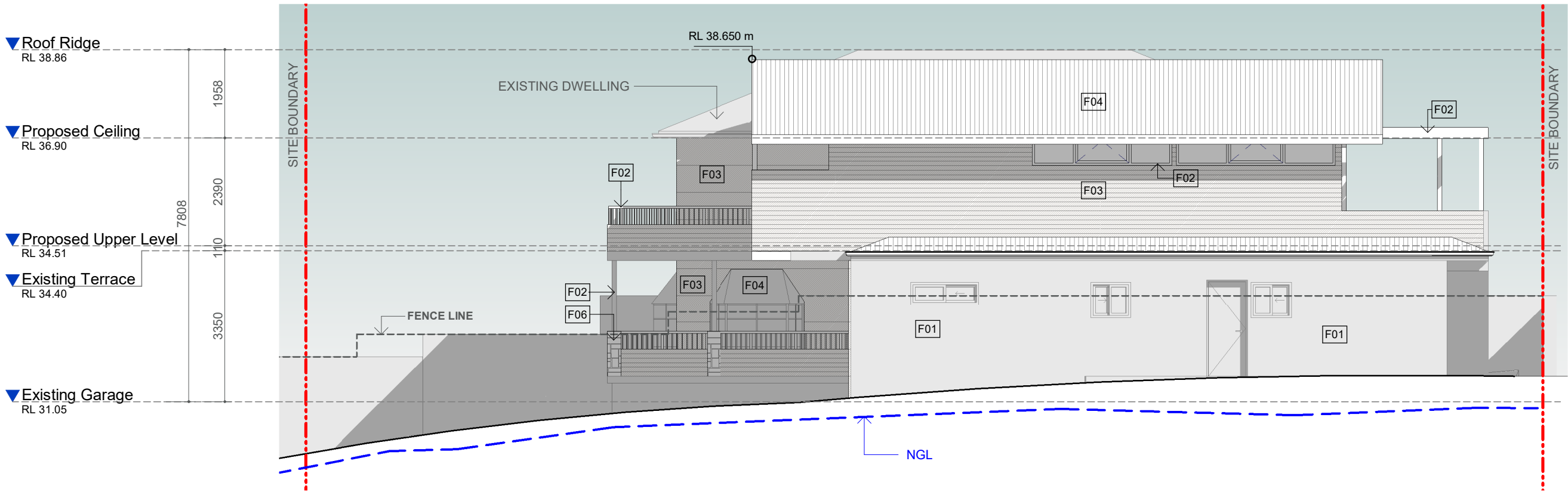
1 PROPOSED ELEVATION - EAST
1 : 100



2 PROPOSED ELEVATION - WEST
1 : 100

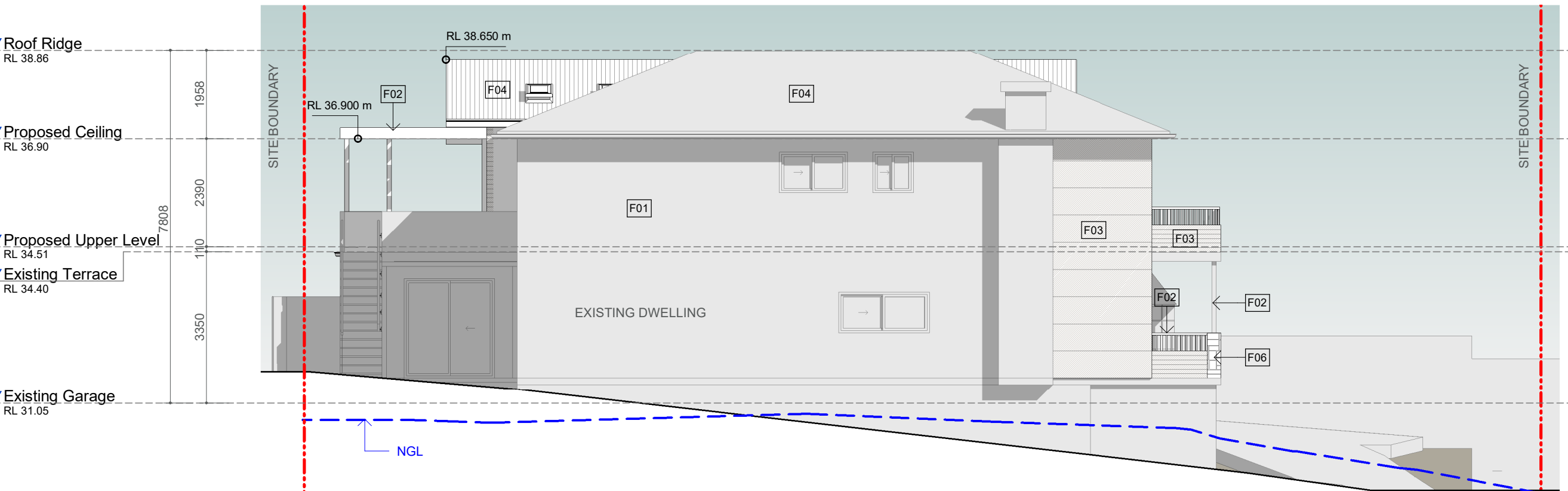
- F01**
EXISTING BRICK
EXISTING LOW WALLS
UNDER BALCONY
AND HOUSE WALLS AS
SHOWN
- F02**
WHITE (SURFMIST OR WHITEHAVEN)
- NEW AND EXISTING WINDO FRAMES
- EXITING AND NEW COLUMNS
- EXISTING AND NEW PERGOLA
- BALUSTRADE AND STAIR HANDRAIL
- SKYLIGHT FRAMING
- EXISTING DOORS
- GUTTERS
- FASCIAS
- STEEL POSTS TO BALCONY
- F03**
LIGHT GREY (DUNE)
- EXISTING HOUSE WALL CLADDING
(600MM PANELS)
- EXTENSION WALL CLADDING
(150MM BOARD)
- F04**
DARK GREY (WOODLAND)
- ROOF TILES
- NEW METAL DECK ROOF TO
EXTENSION
- GARAGE DOOR
- BAY WINDOW ROOF/HOOD
AND BASE
- F05**
CEILING WHITE
- ROOF EAVES
- U/SIDE OF SLAB
- F06**
STONE VENEER (SANDSTONE)
- STACK-STONE TO EXISTING
BALCONY COLUMNS AT
BALUSTRADE HEIGHT

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	1	15/09/2021	For Review	LK			PROJECT GRANNY FLAT EXTENSION 16 Maranui Avenue, Dee Why, NSW 2099	SCALE @ A3 1 : 100	DATE 25/06/2021	DRAWN TN	CHECKED LK	
	2	13/11/2021	For Review	LK				JOB 21009	DRAWING A3-04	REVISION 4		
	3	29/11/2021	For Review	LK								
	4	16/02/2022	For Review	LK								



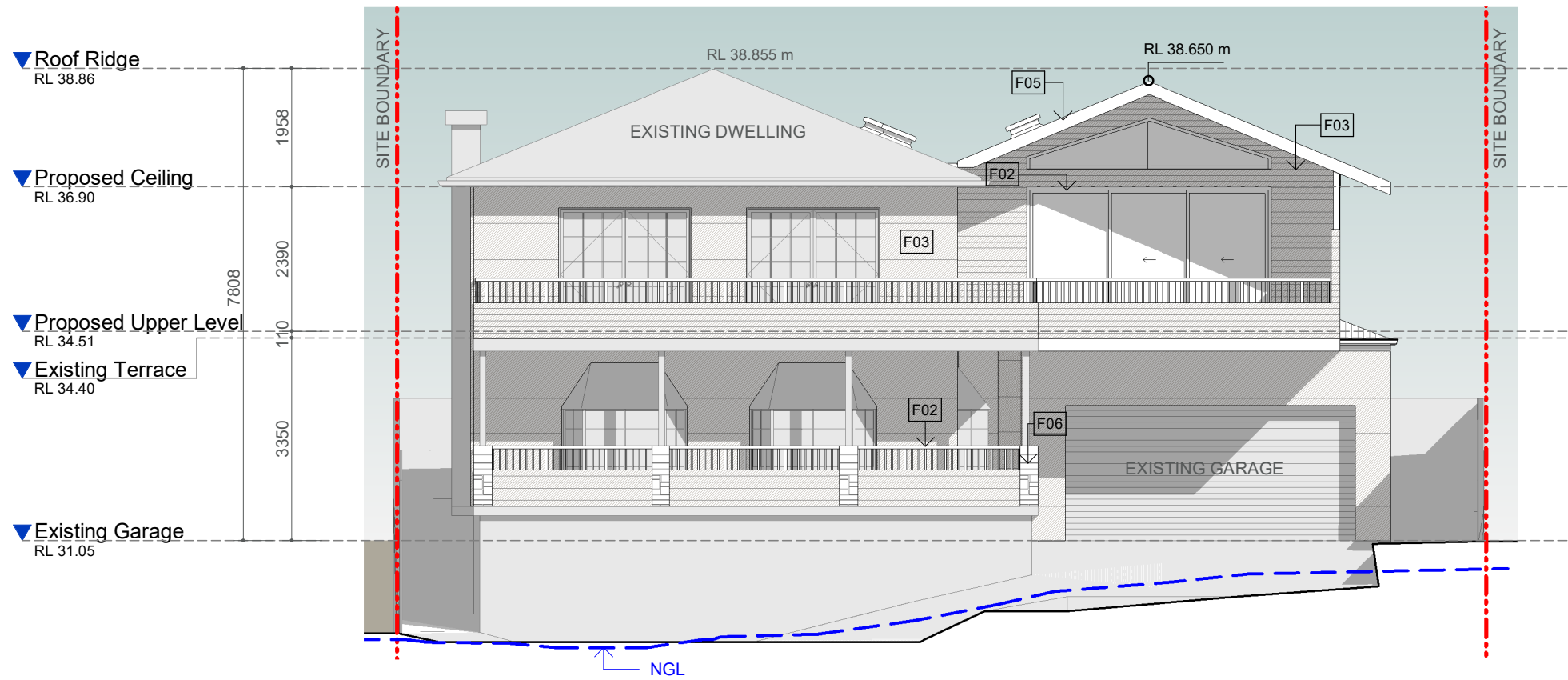
1 PROPOSED ELEVATION - NORTH
1 : 100

- F01**
EXISTING BRICK
EXISTING LOW WALLS
UNDER BALCONY
AND HOUSE WALLS AS
SHOWN
- F02**
WHITE (SURFMIST OR WHITEHAVEN)
- NEW AND EXISTING WINDO FRAMES
- EXITING AND NEW COLUMNS
- EXISTING AND NEW PERGOLA
- BALUSTRADE AND STAIR HANDRAIL
- SKYLIGHT FRAMING
- EXISTING DOORS
- GUTTERS
- FASCIAS
- STEEL POSTS TO BALCONY
- F03**
LIGHT GREY (DUNE)
- EXISTING HOUSE WALL CLADDING
(600MM PANELS)
- EXTENSION WALL CLADDING
(150MM BOARD)
- F04**
DARK GREY (WOODLAND)
- ROOF TILES
- NEW METAL DECK ROOF TO
EXTENSION
- GARAGE DOOR
- BAY WINDOW ROOF/HOOD
AND BASE
- F05**
CEILING WHITE
- ROOF EAVES
- U/SIDE OF SLAB
- F06**
STONE VENEER (SANDSTONE)
- STACK-STONE TO EXISTING
BALCONY COLUMNS AT
BALUSTRADE HEIGHT

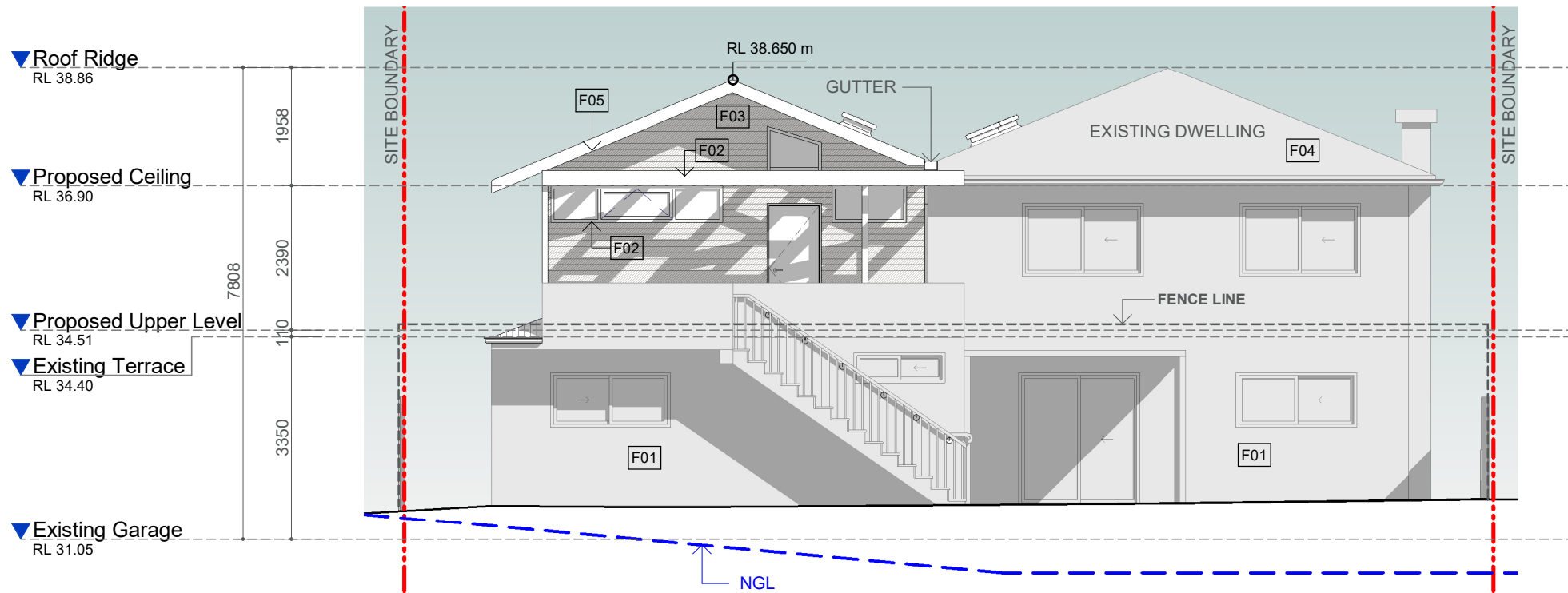


2 PROPOSED ELEVATION - SOUTH
1 : 100

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	1	15/09/2021	For Review	LK						
	2	13/11/2021	For Review	LK						
	3	29/11/2021	For Review	LK						
	4	16/02/2022	For Review	LK		SCALE @ A3 1 : 100 JOB 21009		DATE 25/06/2021	DRAWN TN	CHECKED LK
								DRAWING A3-05		REVISION 4



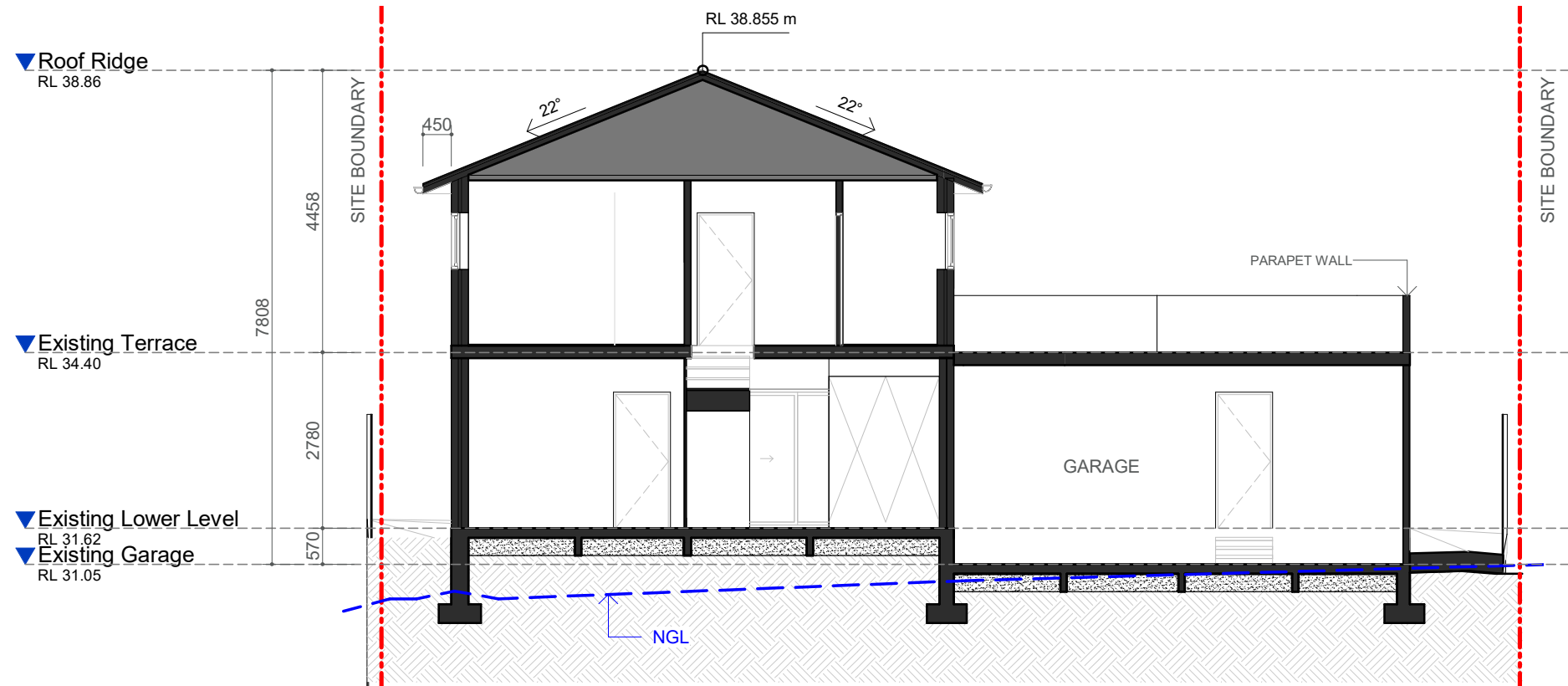
1 PROPOSED ELEVATION - EAST
1 : 100



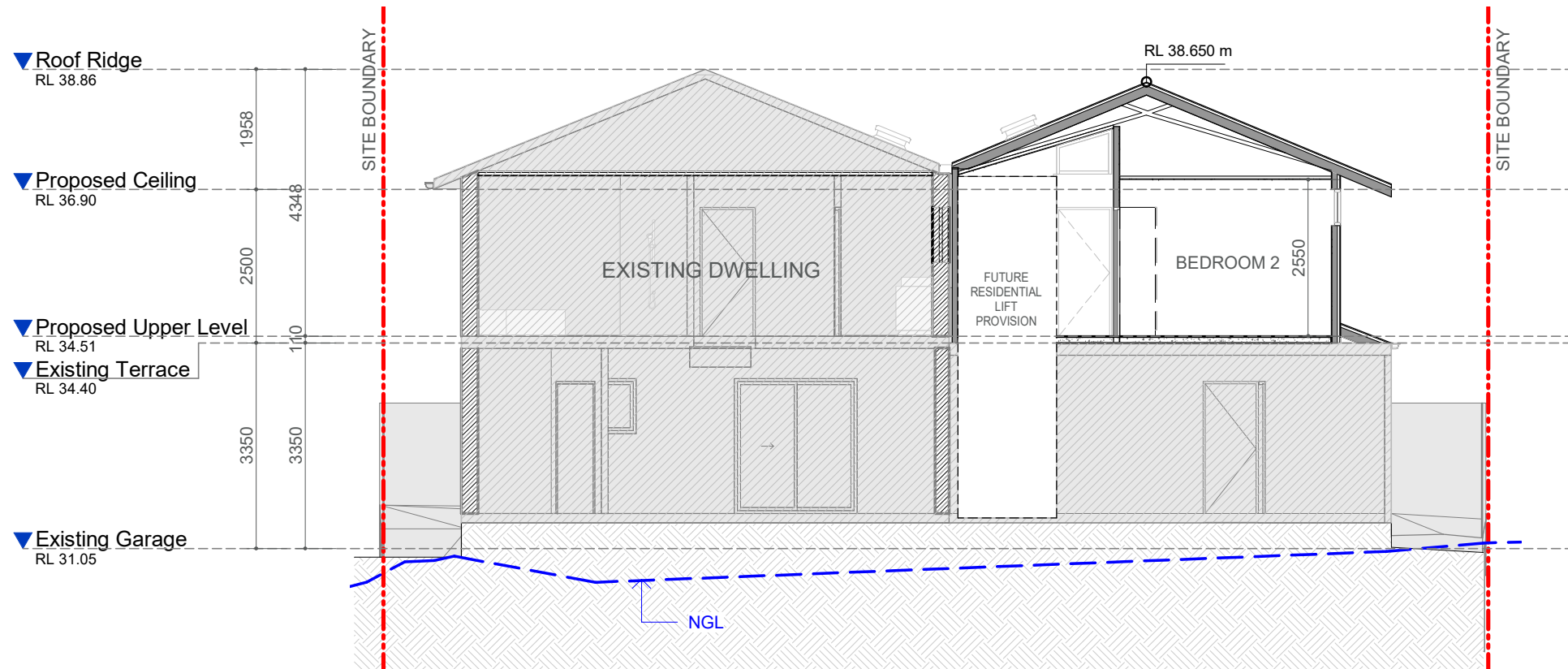
2 PROPOSED ELEVATION - WEST
1 : 100

- F01**
EXISTING BRICK
EXISTING LOW WALLS
UNDER BALCONY
AND HOUSE WALLS AS
SHOWN
- F02**
WHITE (SURFMIST OR WHITEHAVEN)
- NEW AND EXISTING WINDO FRAMES
- EXITING AND NEW COLUMNS
- EXISTING AND NEW PERGOLA
- BALUSTRADE AND STAIR HANDRAIL
- SKYLIGHT FRAMING
- EXISTING DOORS
- GUTTERS
- FASCIAS
- STEEL POSTS TO BALCONY
- F03**
LIGHT GREY (DUNE)
- EXISTING HOUSE WALL CLADDING
(600MM PANELS)
- EXTENSION WALL CLADDING
(150MM BOARD)
- F04**
DARK GREY (WOODLAND)
- ROOF TILES
- NEW METAL DECK ROOF TO
EXTENSION
- GARAGE DOOR
- BAY WINDOW ROOF/HOOD
AND BASE
- F05**
CEILING WHITE
- ROOF EAVES
- U/SIDE OF SLAB
- F06**
STONE VENEER (SANDSTONE)
- STACK-STONE TO EXISTING
BALCONY COLUMNS AT
BALUSTRADE HEIGHT

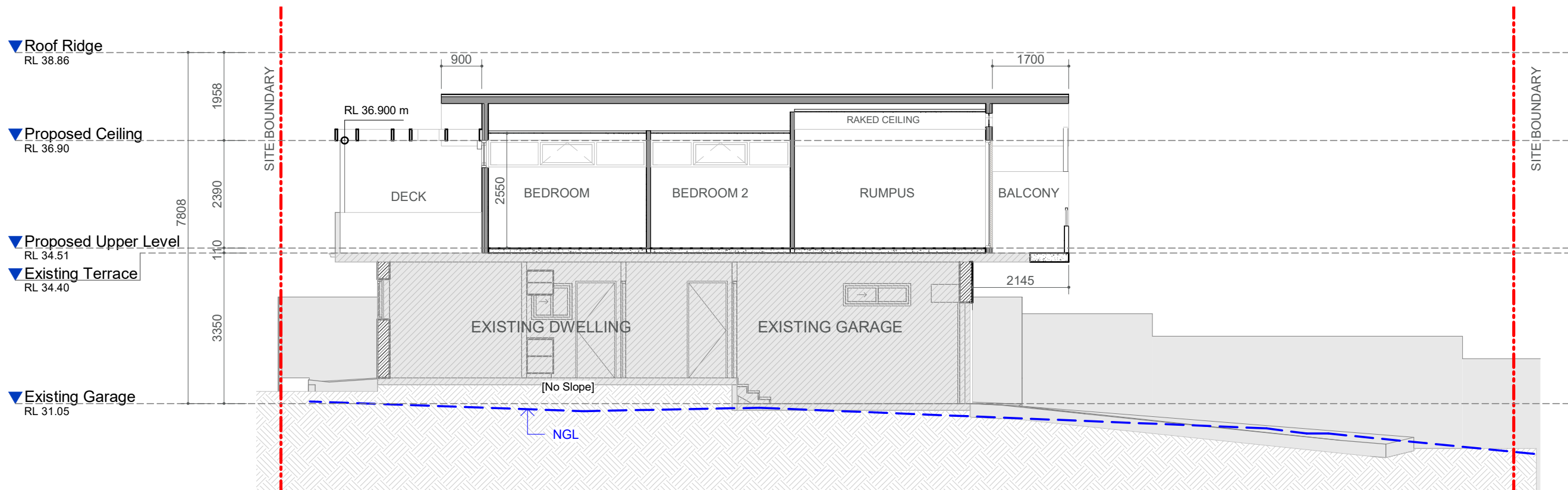
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	1	15/09/2021	For Review	LK				SCALE @ A3 1 : 100	DATE 25/06/2021	DRAWN TN	CHECKED LK
	2	13/11/2021	For Review	LK				JOB 21009	DRAWING A3-06	REVISION 4	
	3	29/11/2021	For Review	LK							
	4	16/02/2022	For Review	LK							



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	1	15/09/2021	For Review	LK				PROJECT RESIDENCE EXTENSION 16 Maranui Avenue, Dee Why, NSW 2099	SCALE @ A3 1 : 100	DATE 25/06/2021	DRAWN TN	CHECKED LK
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	3	29/11/2021	For Review	LK								

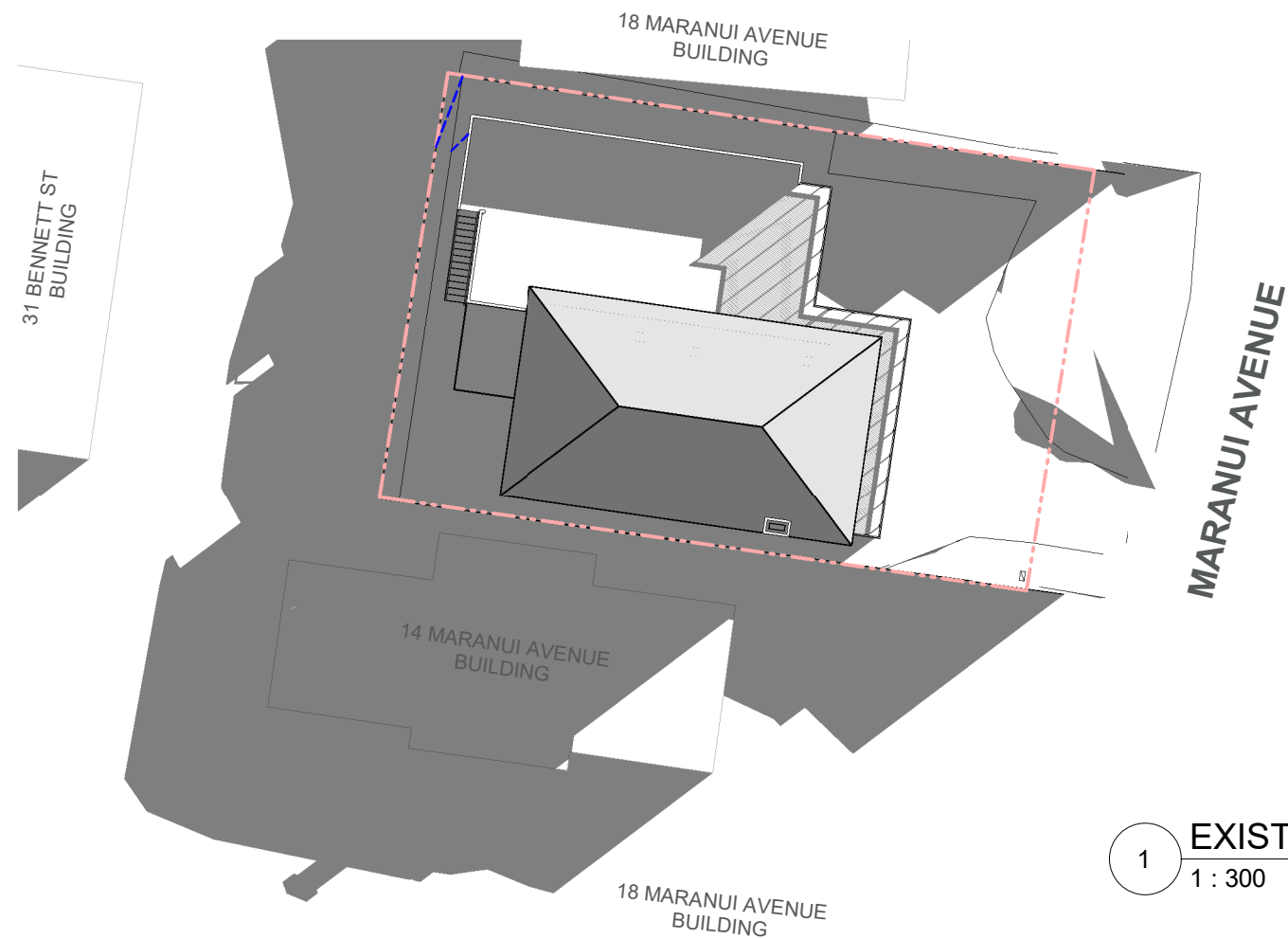


A PROPOSED SECTION A-A
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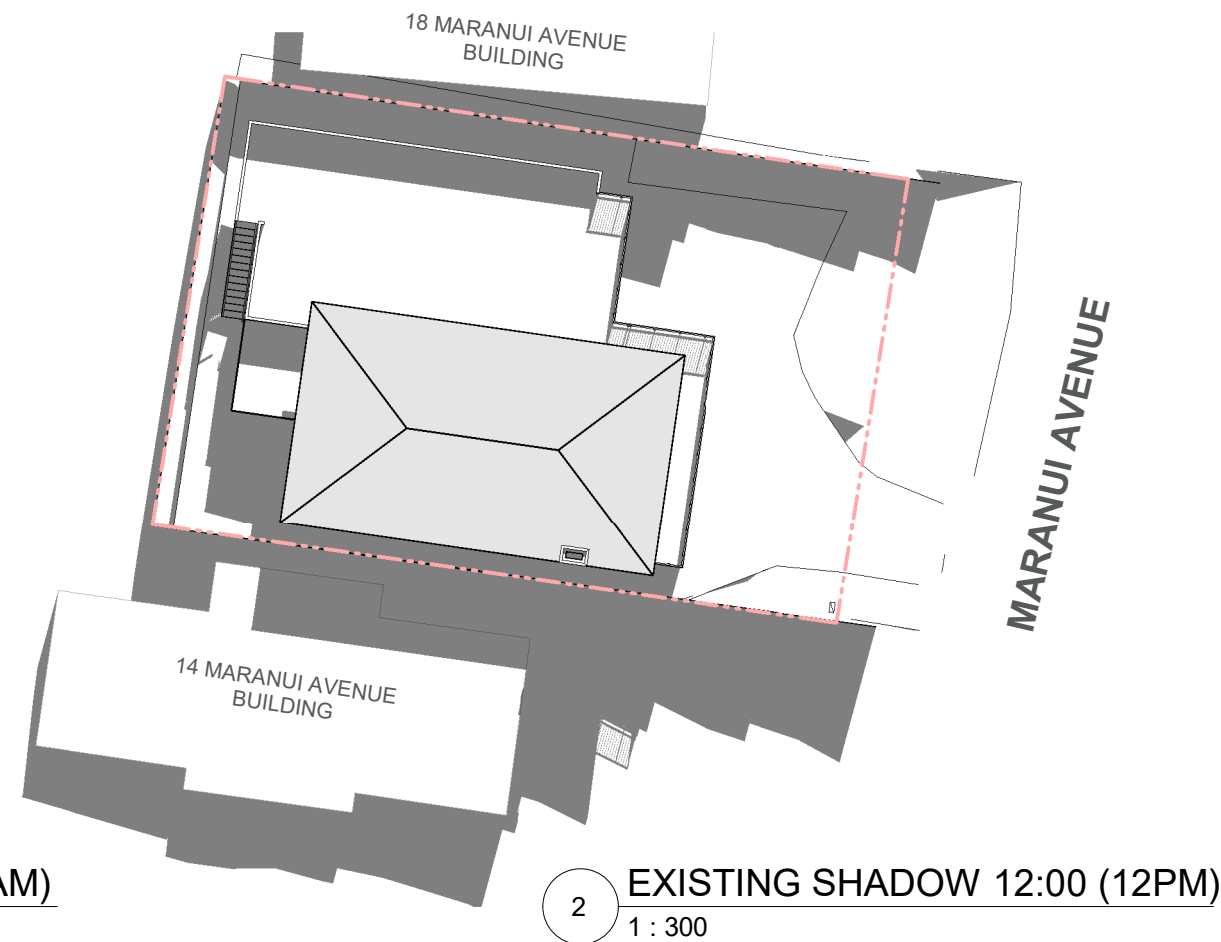


B PROPOSED SECTION B-B
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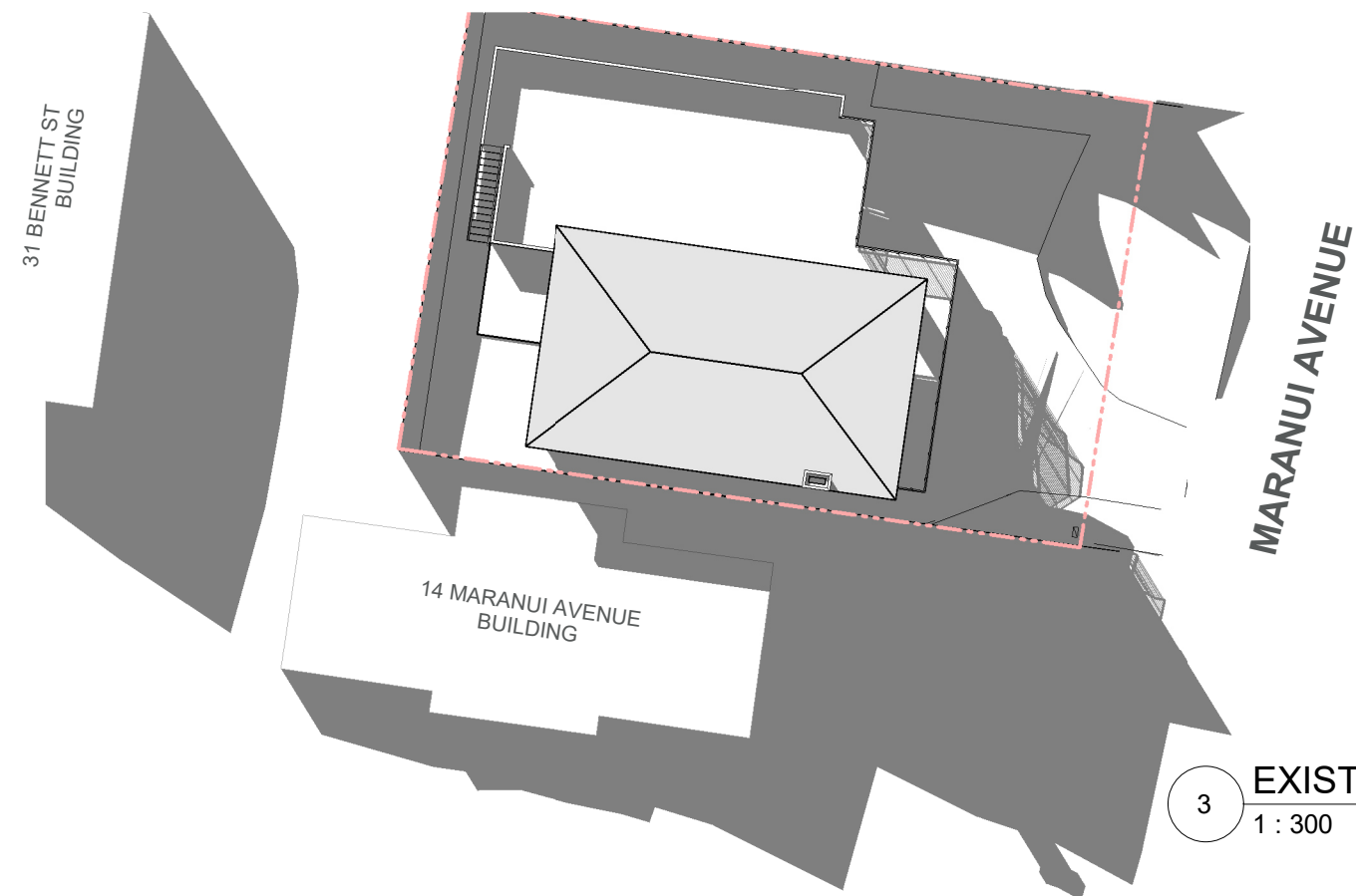
<div>IMPORTANT NOTES: Do not scale from drawings. All dimensions to be checked on site before commencement of work. All discrepancies to be brought to the attention of the Architect. Larger scale drawings and written dimensions take preference. This drawing is copyright and the property of the author, and must not be retained, copied or used without the express authority of KND ARCHITECTS. <div>For Review</div><div>NOT FOR CONSTRUCTION</div></div>	REV	DATE	DESCRIPTION	BY	<div><div><div><div></div><div></div></div><div>ARCHITECTS</div></div><div><div>KnD Architects Pty Ltd 45 Bainton Crescent, Melba, ACT 2615 Australia P +61 413 047 299 P +61 412 510 932 E info@kndarchitects.com.au www.kndarchitects.com.au NSW Nom Arch - Pav Dunski(11381) D+BP Reg's 2021 - DEP0001677 ACN 34 643 817 985</div></div></div>	<div>CLIENT JULIE DEPAOLO</div>		<div>DRAWING TITLE PROPOSED SECTION</div>			
	1	15/09/2021	For Review	LK		<div>PROJECT GRANNY FLAT EXTENSION 16 Maranui Avenue, Dee Why, NSW 2099</div>	SCALE @ A3 1 : 100	DATE 25/06/2021	DRAWN TN	CHECKED LK	
	2	13/11/2021	For Review	LK			<div>JOB 21009</div>	<div>DRAWING A4-02</div>	<div>REVISION 4</div>		
	3	29/11/2021	For Review	LK							
4	16/02/2022	For Review	LK								



1 EXISTING SHADOW 9:00 (9AM)
1 : 300

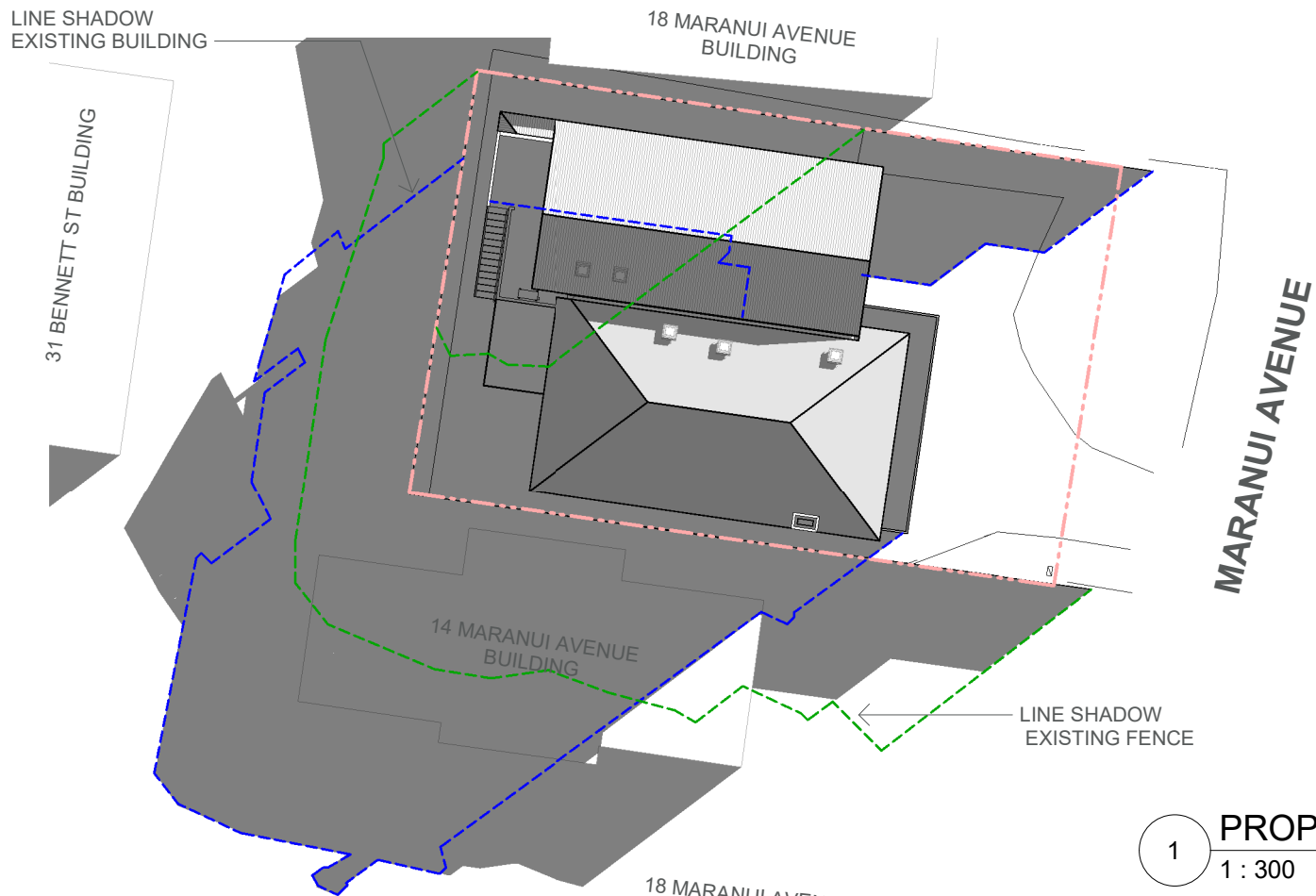


2 EXISTING SHADOW 12:00 (12PM)
1 : 300

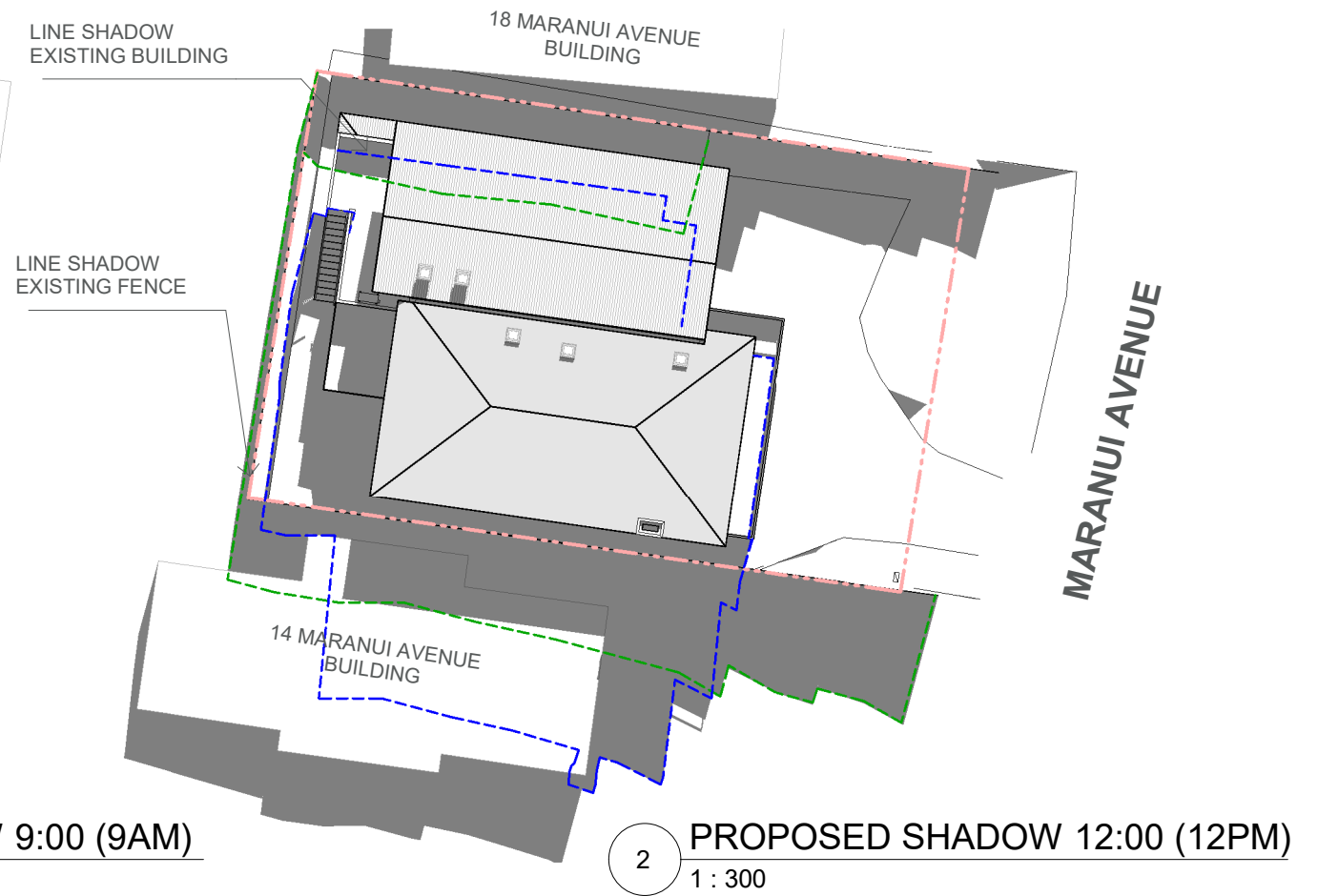


3 EXISTING SHADOW 3:00 (3PM)
1 : 300

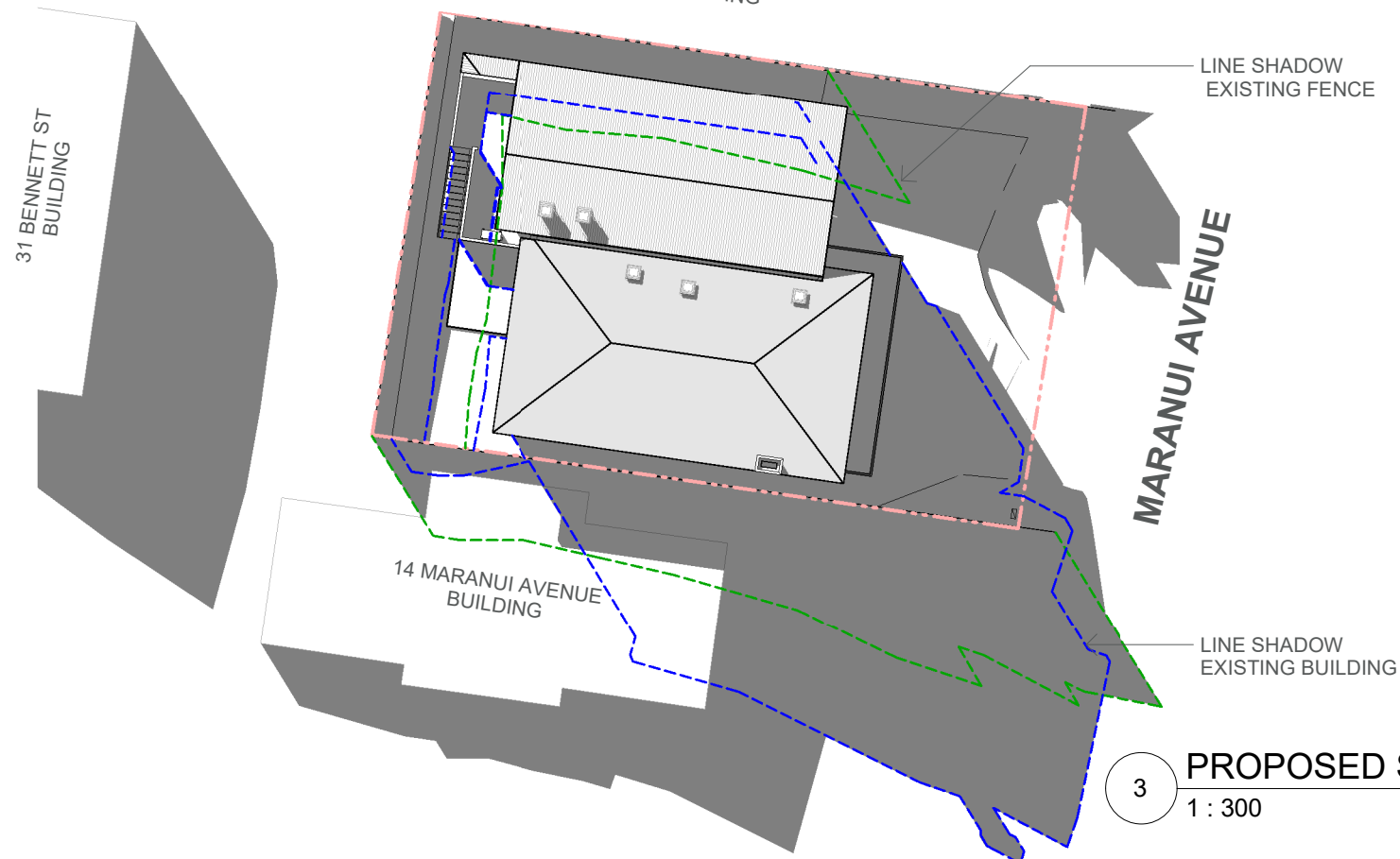
<div>IMPORTANT NOTES: Do not scale from drawings. All dimensions to be checked on site before commencement of work. All discrepancies to be brought to the attention of the Architect. Larger scale drawings and written dimensions take preference. This drawing is copyright and the property of the author, and must not be retained, copied or used without the express authority of KHJAT AND DUNSKI PTY. LTD. is KND ARCHITECTS.</div> <div>For Review</div> <div>NOT FOR CONSTRUCTION</div>		<table><tr><th>REV</th><th>DATE</th><th>DESCRIPTION</th><th>BY</th></tr><tr><td>1</td><td>15/09/2021</td><td>For Review</td><td>LK</td></tr><tr><td>2</td><td>13/11/2021</td><td>For Review</td><td>LK</td></tr><tr><td>3</td><td>29/11/2021</td><td>For Review</td><td>LK</td></tr><tr><td>4</td><td>16/02/2022</td><td>For Review</td><td>LK</td></tr></table>	REV	DATE	DESCRIPTION	BY	1	15/09/2021	For Review	LK	2	13/11/2021	For Review	LK	3	29/11/2021	For Review	LK	4	16/02/2022	For Review	LK	<div><div><div><div>KND</div><div>ARCHITECTS</div></div><div><div>KnD Architects Pty Ltd 45 Bainton Crescent, Melba, ACT 2615 Australia P +61 413 047 299 P +61 412 510 932 E info@kndarchitects.com.au www.kndarchitects.com.au</div><div><div>NSW Nom Arch - Pav Dunski(11381) D+BP Reg's 2021 - DEP0001677 ACN 34 643 817 985</div></div></div></div></div>	<div><div><div></div></div><div><div>CLIENT JULIE DEPAOLO</div><div>PROJECT GRANNY FLAT EXTENSION 16 Maranui Avenue, Dee Why, NSW 2099</div></div></div>	<div><div>DRAWING TITLE SHADOW ANALYSIS - EXISTING WINTER SOLSTICE (21 JUNE)</div><div><div><div>SCALE @ A3 1 : 300</div><div>DATE 25/06/2021</div><div>DRAWN TN</div><div>CHECKED LK</div></div><div><div>JOB 21009</div><div>DRAWING A7-01</div><div>REVISION 4</div></div></div></div>
REV	DATE	DESCRIPTION	BY																						
1	15/09/2021	For Review	LK																						
2	13/11/2021	For Review	LK																						
3	29/11/2021	For Review	LK																						
4	16/02/2022	For Review	LK																						



1 PROPOSED SHADOW 9:00 (9AM)
1 : 300



2 PROPOSED SHADOW 12:00 (12PM)
1 : 300



3 PROPOSED SHADOW 3:00 (3PM)
1 : 300

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PROJECT GRANNY FLAT EXTENSION		16 Maranui Avenue, Dee Why, NSW 2099		SCALE @ A3 1 : 300	DATE 25/06/2021					DRAWN TN	CHECKED LK				
JOB 21009		DRAWING A7-02		REVISION 4											
For Review		1	15/09/2021	For Review	LK										
		2	13/11/2021	For Review	LK										
		3	29/11/2021	For Review	LK										
		4	16/02/2022	For Review	LK										
NOT FOR CONSTRUCTION															

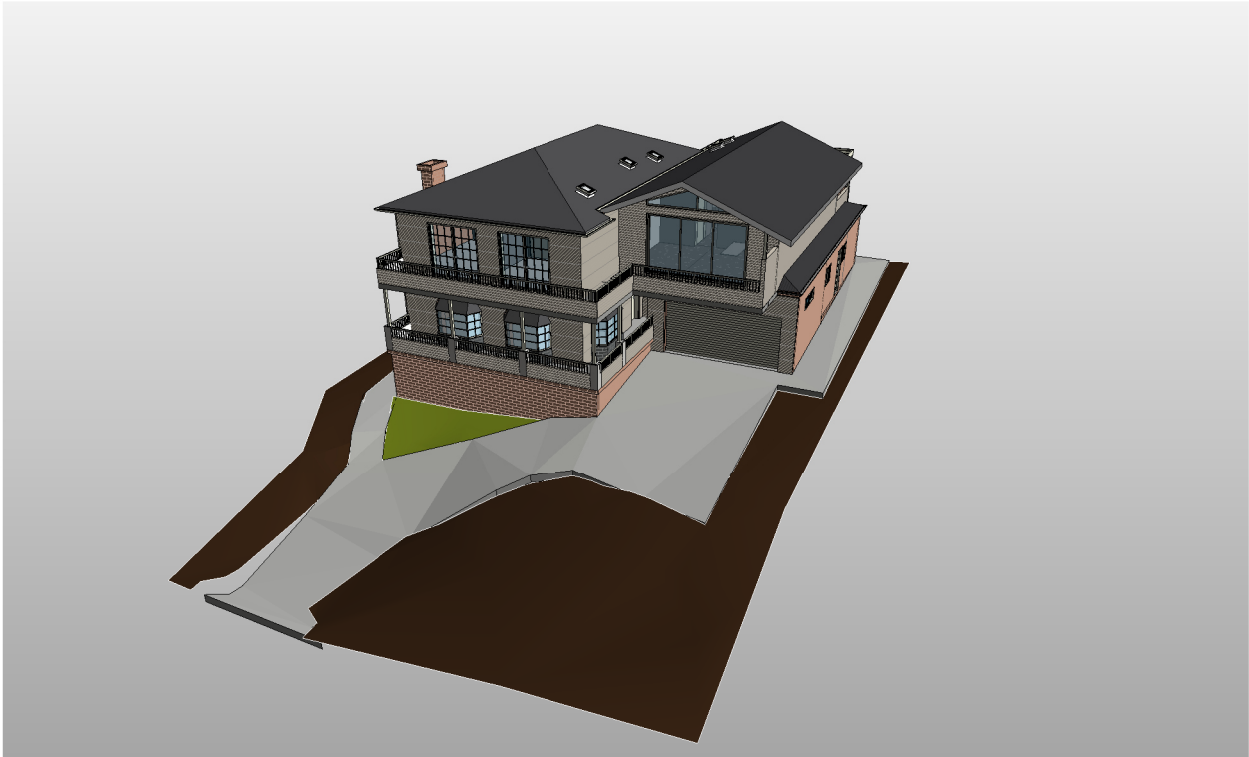


EXISTING BUILT UPON AREA	414.8 m ²
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PROPOSED PRIVATE OPEN SPACE	28.6 m²
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	1	15/09/2021	For Review	LK			<p>SCALE @ A3 1 : 200</p> <p>JOB 21009</p>	<p>DATE 25/06/2021</p> <p>DRAWING A7-10</p>	<p>DRAWN TN</p>	<p>CHECKED LK</p> <p>REVISION 3</p>
	2	13/11/2021	For Review	LK						



1. PERSPECTIVE 1



2. PERSPECTIVE 2

- 

F01
EXISTING BRICK
EXISTING LOW WALLS
UNDER BALCONY
AND HOUSE WALLS AS
SHOWN
- 

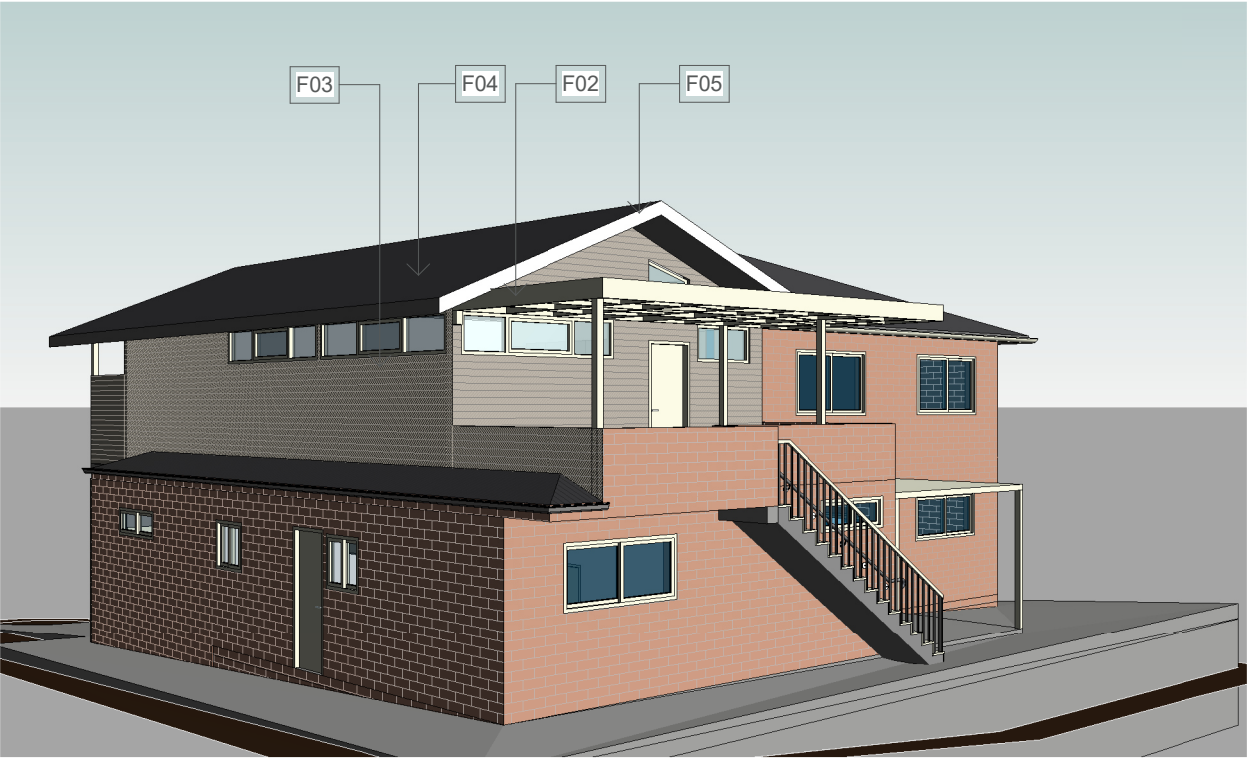
F02
WHITE (SURFMIST OR WHITEHAVEN)
- NEW AND EXISTING WINDO FRAMES
- EXITING AND NEW COLUMNS
- EXISTING AND NEW PERGOLA
- BALUSTRADE AND STAIR HANDRAIL
- SKYLIGHT FRAMING
- EXISTING DOORS
- GUTTERS
- FASCIAS
- STEEL POSTS TO BALCONY
- 

F03
LIGHT GREY (DUNE)
- EXISTING HOUSE WALL CLADDING
(600MM PANELS)
- EXTENSION WALL CLADDING
(150MM BOARD)
- 

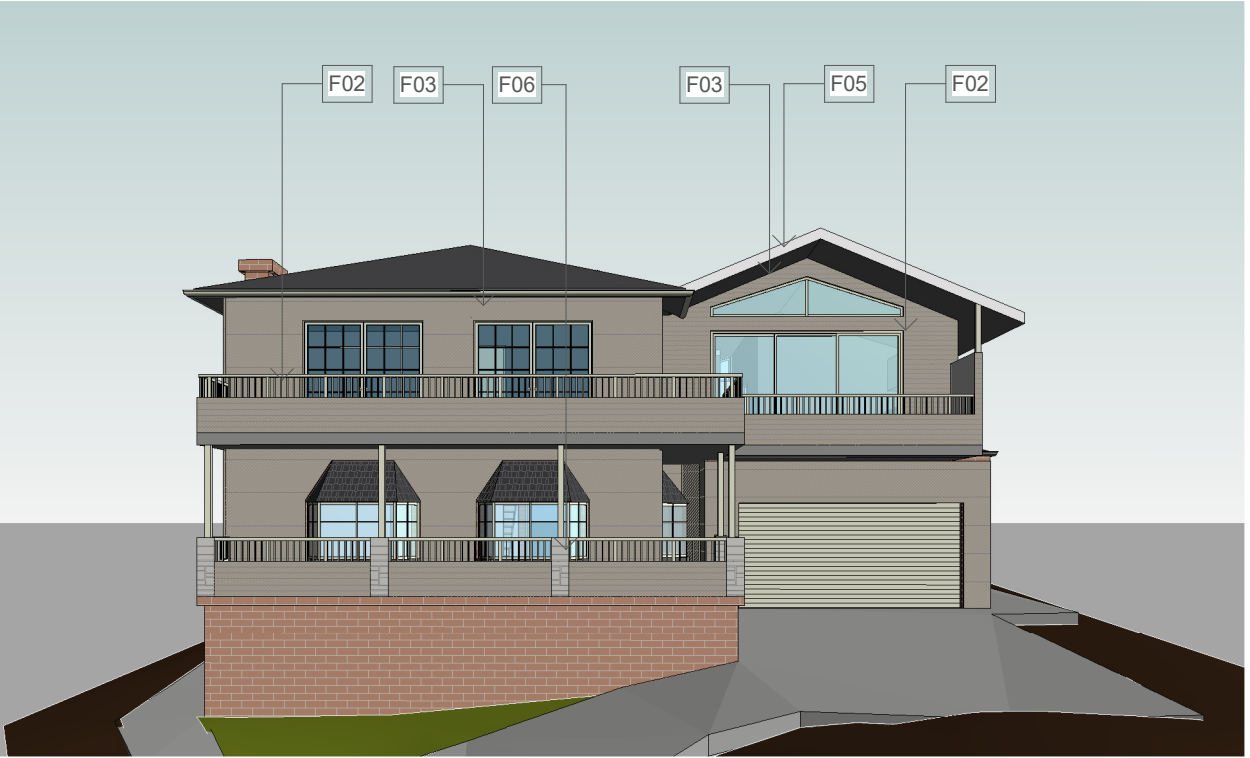
F04
DARK GREY (WOODLAND)
- ROOF TILES
- NEW METAL DECK ROOF TO
EXTENSION
- GARAGE DOOR
- BAY WINDOW ROOF/HOOD
AND BASE
- 

F05
CEILING WHITE
- ROOF EAVES
- U/SIDE OF SLAB
- 

F06
STONE VENEER (SANDSTONE)
- STACK-STONE TO EXISTING
BALCONY COLUMNS AT
BALUSTRADE HEIGHT

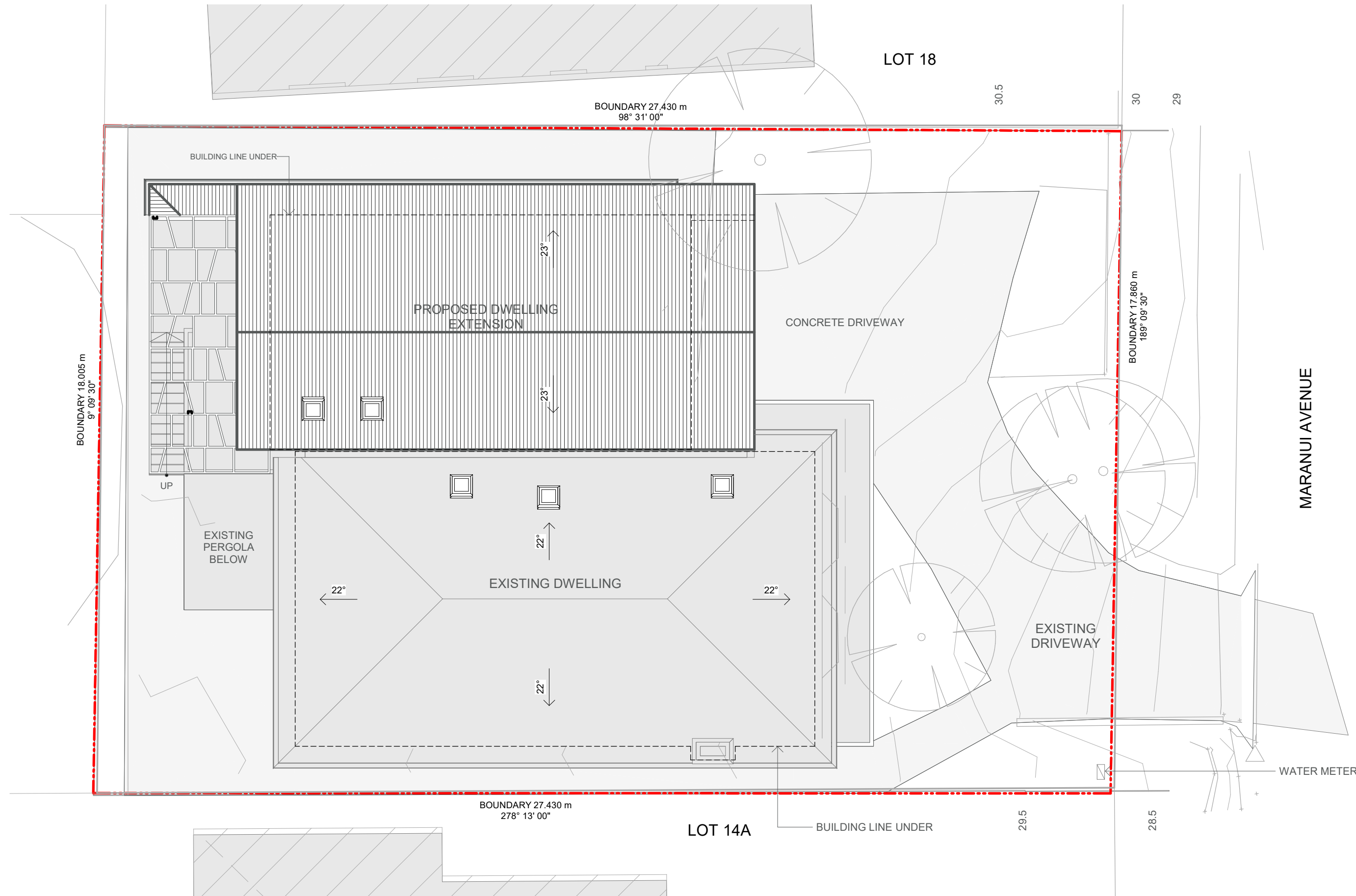


3. PERSPECTIVE 3

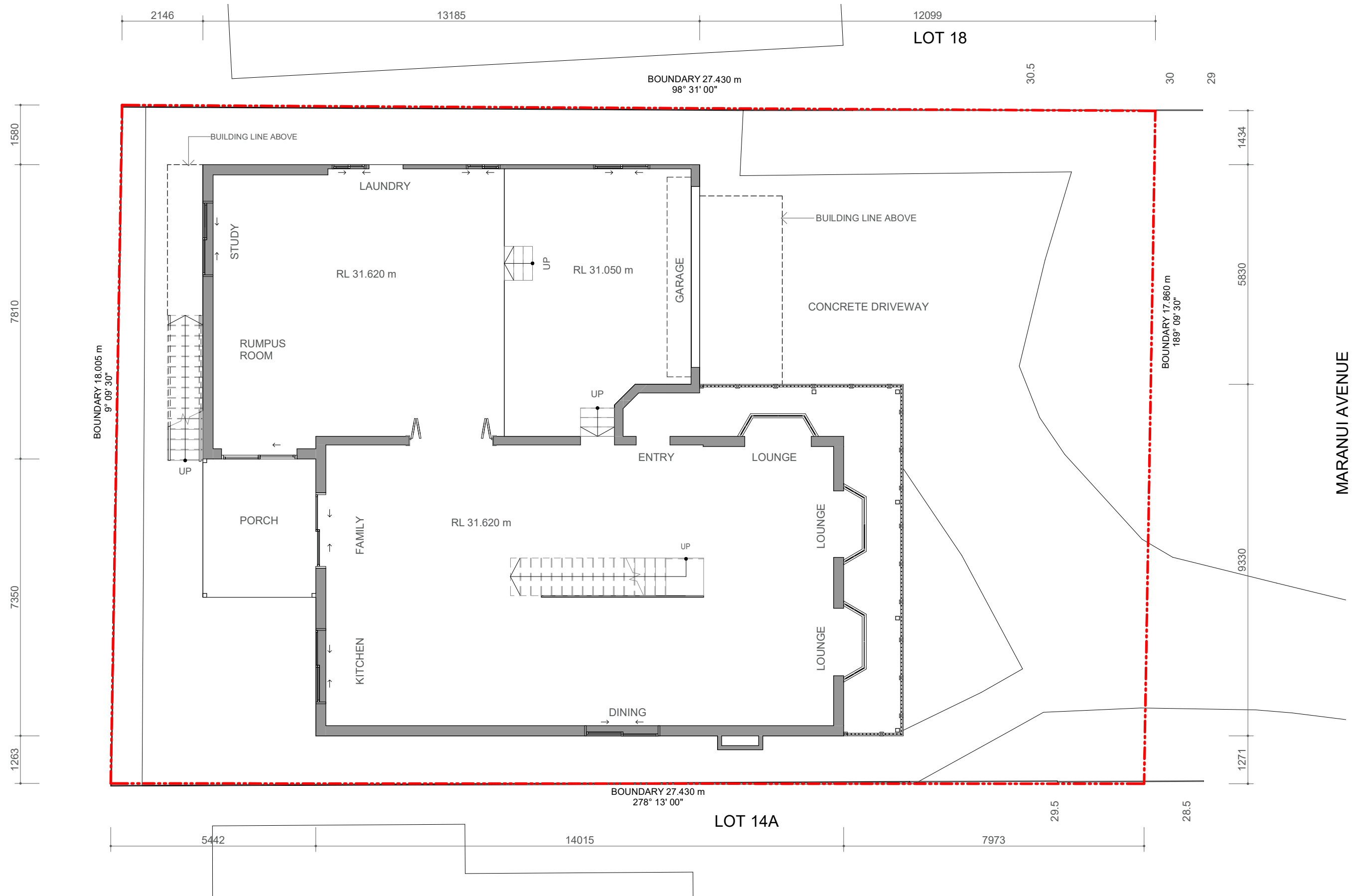


4. PERSPECTIVE 4

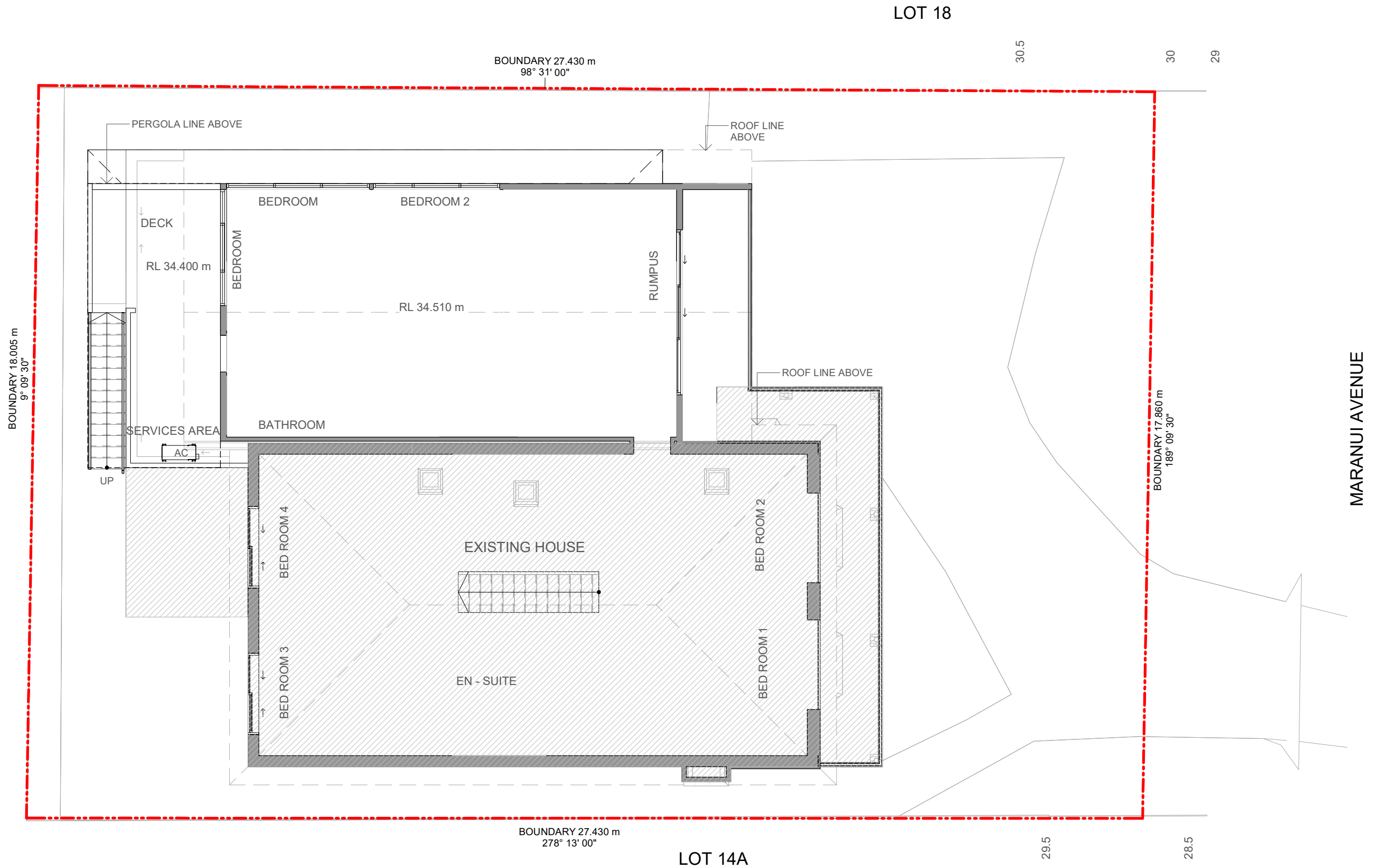
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	1	15/09/2021	For Review	LK			PROJECT GRANNY FLAT EXTENSION 16 Maranui Avenue, Dee Why, NSW 2099	SCALE @ A3 1 : 100	DATE 25/06/2021	DRAWN TN	CHECKED LK	
	2	13/11/2021	For Review	LK				JOB 21009	DRAWING A8-01	REVISION 4		
	3	29/11/2021	For Review	LK								
4	16/02/2022	For Review	LK									



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	1	15/09/2021	For Review	LK						
	2	13/11/2021	For Review	LK						
	3	29/11/2021	For Review	LK						
	4	16/02/2022	For Review	LK	<div>NSW Nom Arch - Pav Dunski(11381) D+BP Reg's 2021 - DEP0001677 ACN 34 643 817 985</div>	<div>CLIENT JULIE DEPAOLO</div> <div>PROJECT GRANNY FLAT EXTENSION 16 Maranui Avenue, Dee Why, NSW 2099</div>	SCALE @ A3 1 : 100	DATE 25/06/2021	DRAWN TN	CHECKED LK
							JOB 21009	DRAWING A9-01		REVISION 4



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For Review		1	15/09/2021	For Review	LK				PROJECT GRANNY FLAT EXTENSION 16 Maranui Avenue, Dee Why, NSW 2099	SCALE @ A3 1 : 100	DATE 25/06/2021	DRAWN TN	CHECKED LK
		2	13/11/2021	For Review	LK					JOB 21009	DRAWING A9-02	REVISION 4	
		3	29/11/2021	For Review	LK								
		4	16/02/2022	For Review	LK								
NOT FOR CONSTRUCTION													



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	1	15/09/2021	For Review	LK							
	2	13/11/2021	For Review	LK							
	3	29/11/2021	For Review	LK							
	4	16/02/2022	For Review	LK							
SCALE @ A3 1 : 100		DATE 25/06/2021	DRAWN TN	CHECKED LK							
JOB 21009	DRAWING A9-03		REVISION 4								

