

- Denotes New Works
- Denotes New Timber Framed Wall
- Denotes New Masonry Wall
- Denotes Existing Wall
- Denotes Demolished Item

### Wall Legend

Denotes New Timber Framed Wall

Denotes New Masonry Wall

Denotes Existing Wall

Denotes Demolished Item

**Rapid Plans**  
Building Design and Architectural Drafting

Unit 1, 2 Bolingbroke Parade, Fairlight is zoned R1-General Residential  
Unit 1, 2 Bolingbroke Parade, Fairlight is not considered a heritage item  
All Plans to be read in conjunction with Basic Certificate  
New Works to be constructed shown in Shaded/Blue

**NOTES**  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS1288-2017  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Basix**  
Basix Certificate Number A442288\_02  
All Plans to be read in conjunction with Basix Certificate  
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, gable, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	607.3m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Bldg Ht Above Nat. GL	8.5m	Ex.
Front Setback (Min.)	Average	Yes
Rear Setback (Min.)	8.0m	Yes
Min. side bdy setback (Min.)	Calc	Yes
% of landscape open space (35% min)	29%	Variation
Impervious area (m <sup>2</sup> )	66%	Variation
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North

Drawn | Checked GBJ  
Plot Date: 21/04/2022  
Project NO.: RP1021BRU  
Project Status DA-2

Client Fe Design Interiors

Site: Unit 1, 2 Bolingbroke Parade, Fairlight

DRAWING TITLE: **SITE AND LOCATION SITE PLAN**

PROJECT NAME: **Alterations & Additions**

REVISION NO. DATE

- 8/4/22

DRAWING NO. **DA1003**

Plot Date: 21/04/2022  
Sheet Size: A3

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**bdca**  
BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

**bdca**  
ACCREDITED BUILDING DESIGNER

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**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**

**DA2022/0739**

**DA APPLICATION ONLY**  
**NOT FOR CONSTRUCTION**

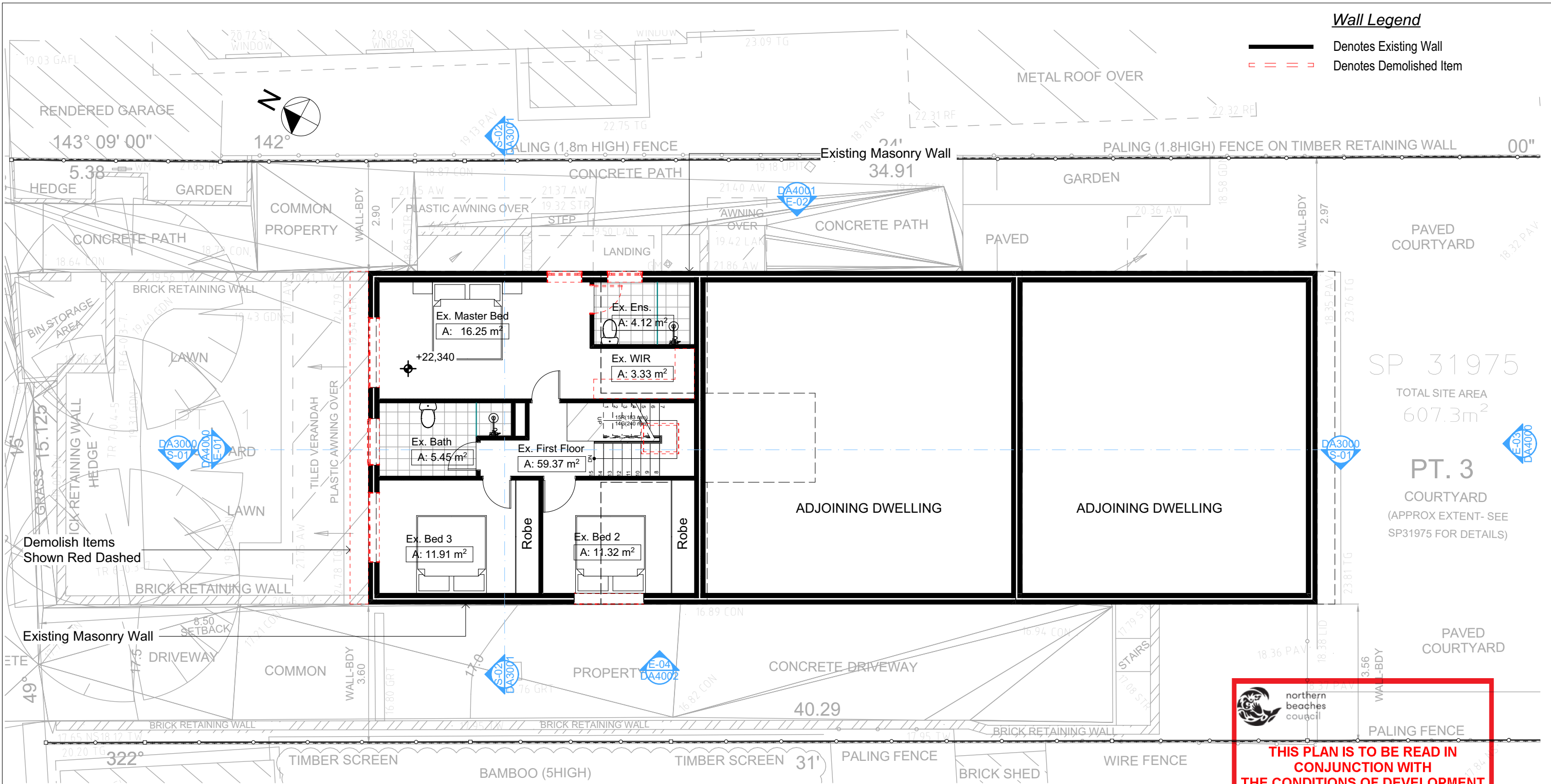
**NO EXCAVATION & FILL PLAN DUE TO NO PROPOSED EXCAVATION OR FILL**

- Fixtures and systems
- Lighting
- The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.
- Fixtures
- The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.
- The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.
- The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

2 SITE PLAN 1:200







Wall Legend

- Denotes Existing Wall  
- - - Denotes Demolished Item

SP 31975

TOTAL SITE AREA  
607.3m<sup>2</sup>

PT. 3

COURTYARD  
(APPROX EXTENT- SEE  
SP31975 FOR DETAILS)



THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT

DA2022/0739

3

DEMOLITION FIRST FLOOR  
1:100

All Demolition to be done in Accordance with Australian  
Standards, BCA and Workcover Regulations

DA APPLICATION  
ONLY  
NOT FOR CONSTRUCTION

NOTES

Unit 1, 2 Bollingbroke Parade, Fairlight is zoned R1-General Residential  
All Plans to be read in conjunction with Basix Certificate  
New Works to be constructed shown in Shaded/Blue  
Unit 1, 2 Bollingbroke Parade, Fairlight is not considered a heritage item

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are  
not to be used for the construction certificate application by any Certifying Authority  
without the written permission of Rapid Plans or the supply of authorised Construction  
Certificate drawings by Rapid Plans

Construction

Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact  
fluorescent lamps

Basix

Basix Certificate Number A448288\_02

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:  
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The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing  
specifications must be satisfied for each window and glazed door.

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or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	607.3m <sup>2</sup>	Yes	% of landscape open space (35% min)	29%	Variation
Housing Density (dwelling/m <sup>2</sup> )	1	Yes	Impervious area (m <sup>2</sup> )	66%	Variation
Max Bldg Ht Above Nat. GL	8.5m	Ex.	Maximum cut into gnd (m)	N/A	Yes
Front Setback (Min.)	Average	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	8.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	Calc	Yes			



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BUILDING DESIGNERS  
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bdac  
ACCREDITED  
BUILDING DESIGNER

Builder to Check and Confirm  
all Measurements Prior to  
Commencement of any works.  
Immediately Report any  
Discrepancies to Rapid Plans



Checked  
Plot Date:  
Project NO.  
Project Status

Client  
Site:  
Sheet Size: A3

DRAWING TITLE :

SITE AND LOCATION  
Demolition First Floor Plan

PROJECT NAME :

Alterations & Additions

REVISION NO.

DATE

8/4/22

DRAWING NO.

DA1009

Fixtures and systems

Lighting

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

Fixtures

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.

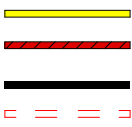
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.

The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.



Denotes New Works

Wall Legend

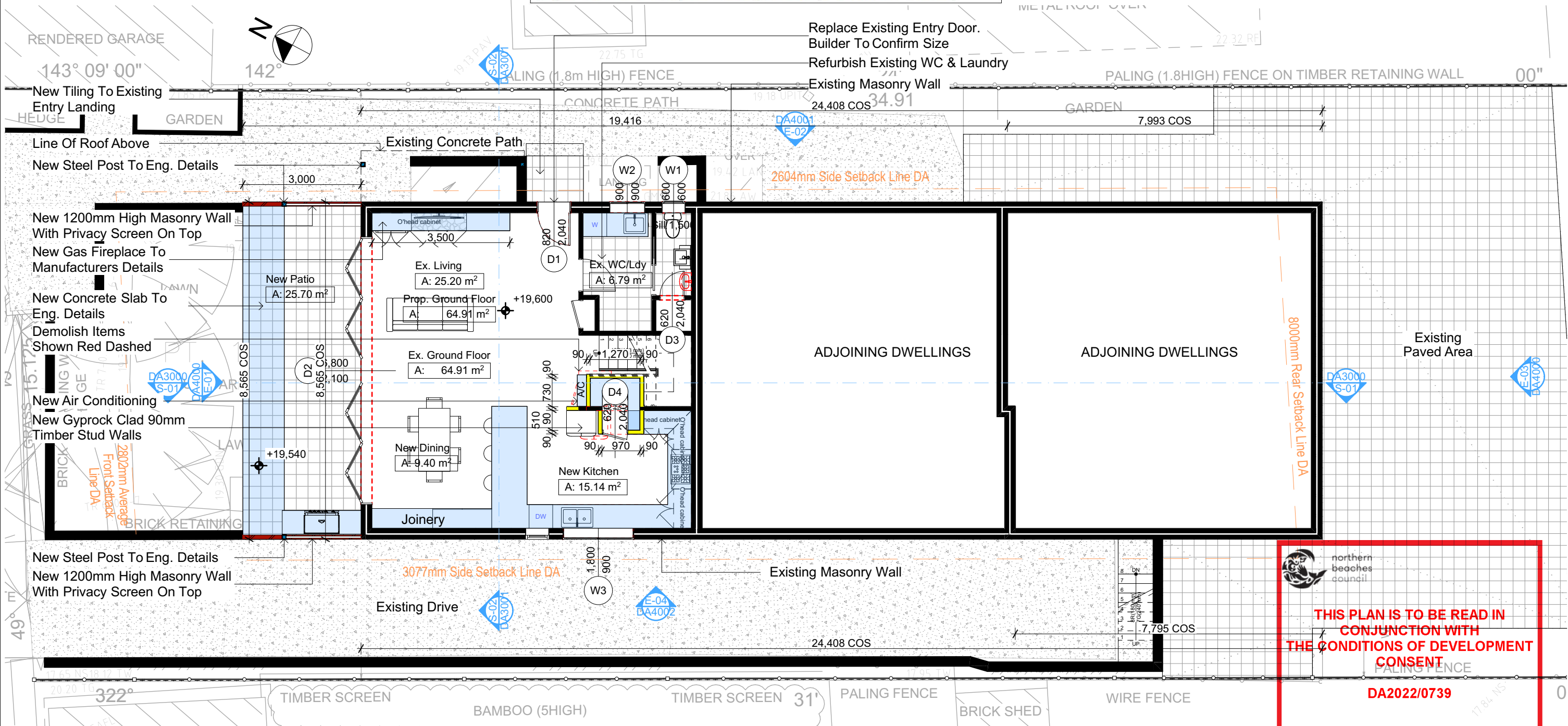


Denotes New Timber Framed Wall

Denotes New Masonry Wall

Denotes Existing Wall

Denotes Demolished Item



**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**

**DA2022/0739**

2

GROUND FLOOR

1:100

**DA APPLICATION ONLY**

**NOT FOR CONSTRUCTION**

**NOTES**

Unit 1, 2 Bolingbroke Parade, Fairlight is zoned R1-General Residential

All Plans to be read in conjunction with Basix Certificate

New Works to be constructed shown in Shaded/Blue

Unit 1, 2 Bolingbroke Parade, Fairlight is not considered a heritage item

**Certifying**

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**Construction**

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS01288-2047

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

**Basix**

Basix Certificate Number A448288\_02

All Plans to be read in conjunction with Basix Certificate

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Housing Density (dwelling/m <sup>2</sup> )	1	Yes	Impervious area (m <sup>2</sup> )	66%	Variation
Max Bldg Ht Above Nat. GL	8.5m	Ex.	Maximum cut into gnd (m)	N/A	Yes
Front Setback (Min.)	Average	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	8.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	Calc	Yes			



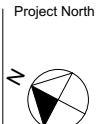
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Project North

Checked  
Plot Date: 21/04/2022  
Project NO: RP1021BRU  
Project Status: DA-2

Client  
Site: Fe Design Interiors  
Unit 1, 2 Bolingbroke Parade,  
Fairlight

Sheet Size: A3

DRAWING TITLE :  
**PLANS**  
**GROUND FLOOR**

PROJECT NAME :  
**Alterations & Additions**

REVISION NO.  
-  
DATE:  
**8/4/22**  
DRAWING NO.  
**DA2002**



Fixtures and systems

Lighting

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

Fixtures

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.

The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.

The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

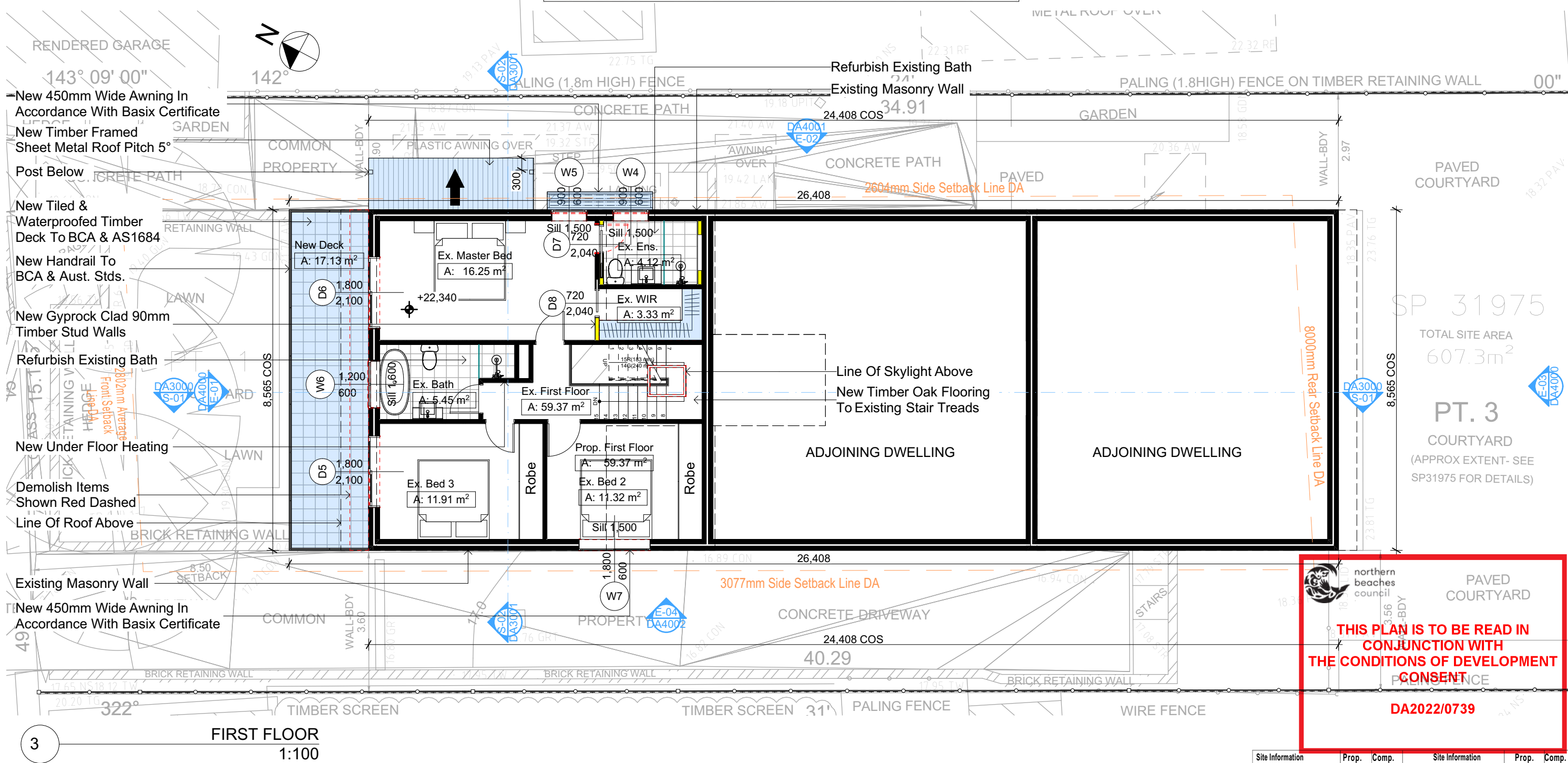
Denotes New Works

**Wall Legend**

Denotes New Timber Framed Wall

Denotes Existing Wall

Denotes Demolished Item



**DA APPLICATION ONLY**

**NOT FOR CONSTRUCTION**

**NOTES**

Unit 1, 2 Bolingbroke Parade, Fairlight is zoned R1-General Residential

All Plans to be read in conjunction with Basix Certificate

New Works to be constructed shown in Shaded/Blue

Unit 1, 2 Bolingbroke Parade, Fairlight is not considered a heritage item

**Certifying**

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**Construction**

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

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Termite Management to BCA and AS 3660.1

Glazing to BCA and AS01288-2047

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

**Basix**

Basix Certificate Number A448288\_02

All Plans to be read in conjunction with Basix Certificate

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Max Bldg Ht Above Nat. GL	8.5m	Ex.	Maximum cut into gnd (m)	N/A	Yes
Front Setback (Min.)	Average	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	8.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	Calc	Yes			

Fixtures and systems

Lighting

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

Fixtures

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.

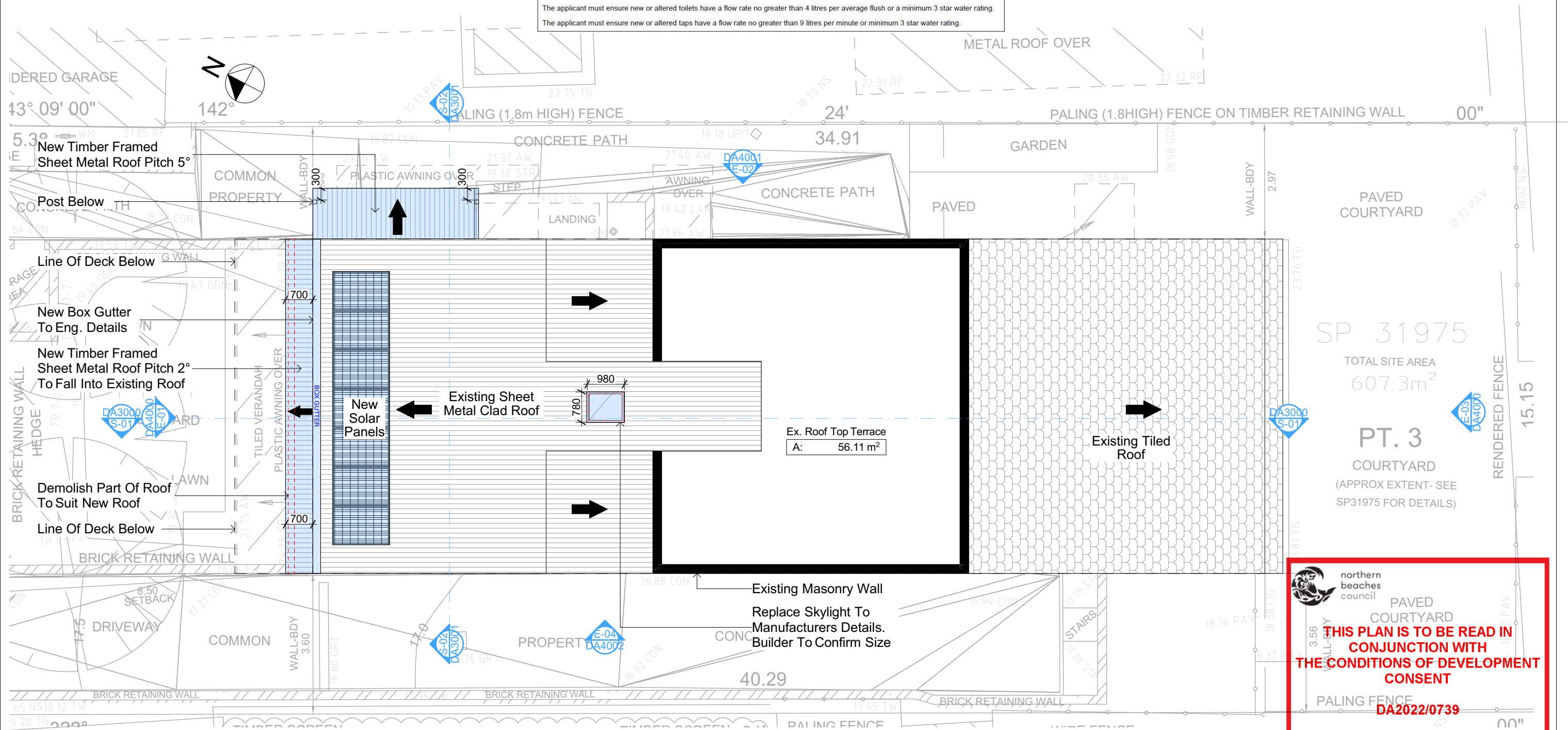
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.

The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

Denotes New Works

Wall Legend

Denotes Demolished Item



**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**  
DA2022/0739

4 Roof Plan 1:100

**DA APPLICATION ONLY**  
**NOT FOR CONSTRUCTION**

**NOTES**  
Unit 1, 2 Bolingbroke Parade, Fairlight is zoned R1-General Residential  
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New Works to be constructed shown in Shaded/Blue  
Unit 1, 2 Bolingbroke Parade, Fairlight is not considered a heritage item  
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Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps

**Basix**  
Basix Certificate Number A448288\_02  
All Plans to be read in conjunction with Basix Certificate  
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b) insulation specified is not required for parts of altered construction where insulation already exists.  
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Front Setback (Min.)	Average	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	8.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	Calc	Yes			



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Project North  
Checked Plot Date: GBJ 21/04/2022 RP1021BRU DA-2  
Project Status  
Client Site: Fe Design Interiors Unit 1, 2 Bolingbroke Parade, Fairlight  
Sheet Size: A3

DRAWING TITLE : PLANS ROOF  
PROJECT NAME : Alterations & Additions

REVISION NO.  
DATE: 8/4/22  
DRAWING NO. DA2004



Fixtures and systems

Lighting

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

Fixtures

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.

The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.

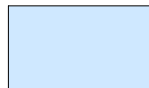
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.



northern  
beaches  
council

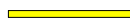
**THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT**

**DA2022/0739**



Denotes New Works

**Wall Legend**



Denotes New Timber Framed Wall



Denotes New Masonry Wall



Denotes New Concrete



Denotes Existing Wall



Denotes Demolished Item

+27,660  
5 ROOF

+24,780  
4 FCL

+22,340  
3 FIRST FLOOR

+19,600  
2 GROUND FLOOR

+16,920  
1 BASEMENT

Replace Skylight To Manufacturers  
Details. Builder To Confirm Size

+27,660

5 ROOF

Existing Tiled Roof

New Solar Panels

Demolish Part Of Roof

To Suit New Roof

New Timber Framed Sheet

Metal Roof Pitch 5°

+24,780

4 FCL

Refurbish Existing Bath

New Handrail To BCA & Aust. Stds.

New Tiled & Waterproofed Timber

Deck To BCA & AS1684

+22,340

3 FIRST FLOOR

Existing Masonry Wall

New Steel Post To Eng. Details

New 1200mm High Masonry

Wall With Privacy Screen On Top

New Concrete Slab To Eng. Details

+19,600

2 GROUND FLOOR

Existing Patio

+16,920

1 BASEMENT

Natural Ground Level

SECTION 1  
1:100

**DA APPLICATION  
ONLY  
NOT FOR CONSTRUCTION**

**NOTES**

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New Works to be constructed shown in Shaded/Blue  
Unit 1, 2 Bolingbroke Parade, Fairlight is not considered a heritage item

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New Lighting to have minimum of 40% compact fluorescent lamps

**Basix**

Basix Certificate Number A448288\_02

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Max Bldg Ht Above Nat. GL	8.5m	Ex.	Maximum cut into gnd (m)	N/A	Yes
Front Setback (Min.)	Average	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	8.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	Calc	Yes			



Rapid Plans  
www.rapidplans.com.au  
PO Box 6193 Frenchs Forest  
NSW 2086  
Fax: (02) 9905-8865  
Mobile: 0414-945-024  
Email: greg@rapidplans.com.au

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**Builder to Check and Confirm  
all Measurements Prior to  
Commencement of any works.  
Immediately Report any  
Discrepancies to Rapid Plans**



Checked  
Plot Date:  
Project NO.  
Project Status

GBJ  
21/04/2022  
RP1021BRU  
DA-2

Client  
Site:  
Fe Design Interiors  
Unit 1, 2 Bolingbroke Parade,  
Fairlight  
Sheet Size: A3

DRAWING TITLE :

SECTIONS  
SECTION 1

PROJECT NAME :

**Alterations & Additions**

REVISION NO.

DATE:

**8/4/22**

DRAWING NO.

**DA3000**



**THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT**

**DA2022/0739**



Denotes New Works

**Wall Legend**



Denotes Existing Wall

#### Fixtures and systems

#### Lighting

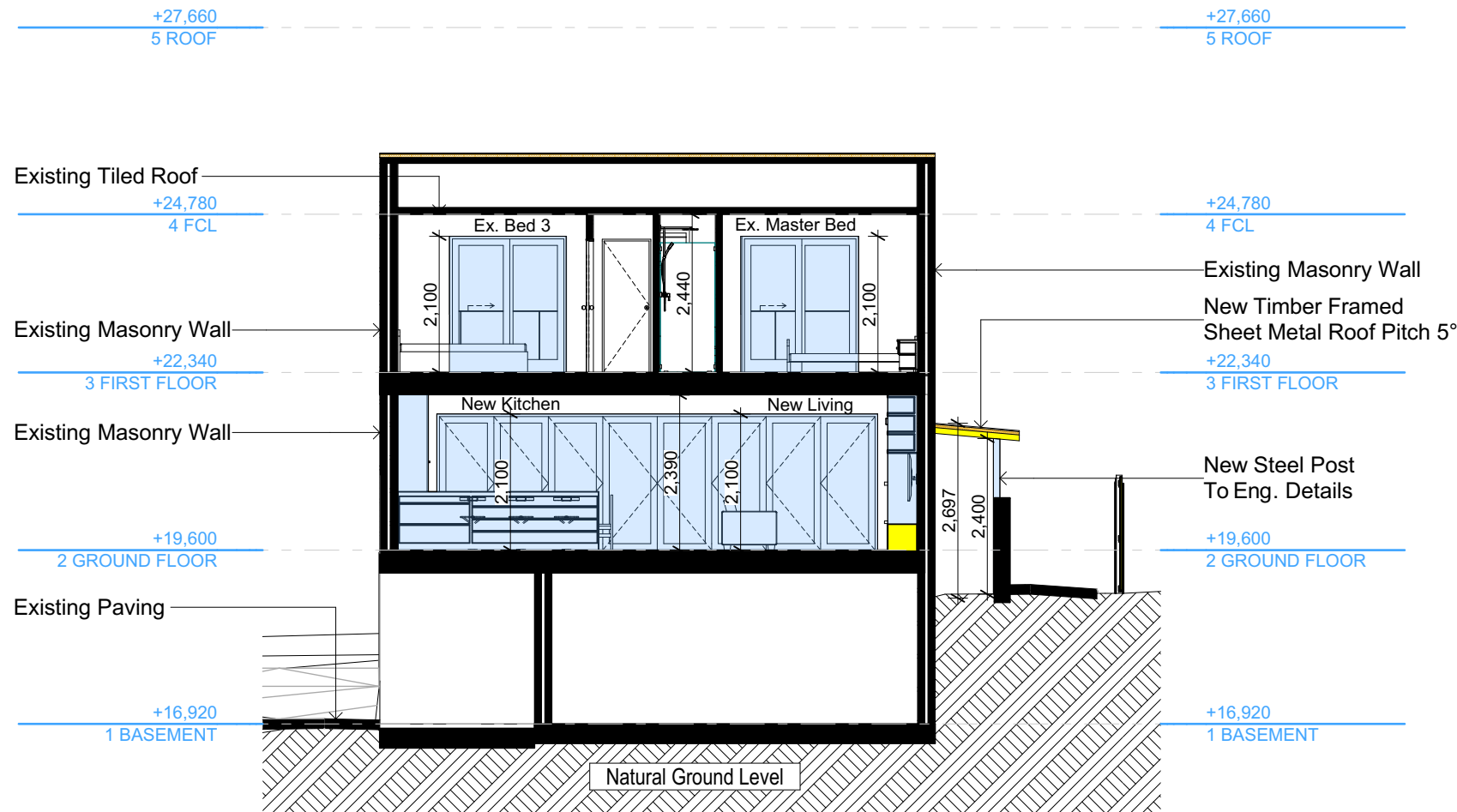
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#### Fixtures

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.

The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.

The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.



S-02

**SECTION 2**  
1:100

#### Glazing requirements

#### Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.

#### Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m <sup>2</sup> )	Height (m)	Distance (m)	Overshadowing	Shading device	Frame and glass type
W1	NE	0.36	0	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W2	NE	0.81	7.2	5.4	5.4	none	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W3	SW	1.62	0	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W4	NE	0.54	4.16	5.4	5.4	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W5	NE	0.54	4.16	5.4	5.4	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W6	NW	0.72	0	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W7	SW	1.08	0	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D2	NW	14.28	0	0	0	projection/height above sill ratio >=0.43	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D5	NW	3.78	0	0	0	projection/height above sill ratio >=0.29	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
D6	NW	3.78	0	0	0	projection/height above sill ratio >=0.29	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)

Skylight number	Area of glazing inc. frame (m <sup>2</sup> )	Shading device	Frame and glass type
S1	0.77	no shading	timber, double clear/air fill, (or U-value: 4.3, SHGC: 0.5)

**DA APPLICATION  
ONLY  
NOT FOR CONSTRUCTION**

#### NOTES

Unit 1, 2 Bolingbroke Parade, Fairlight is zoned R1-General Residential  
All Plans to be read in conjunction with Basix Certificate  
New Works to be constructed shown in Shaded/Blue  
Unit 1, 2 Bolingbroke Parade, Fairlight is not considered a heritage item

#### Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

#### Construction

Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps

#### Basix

Basix Certificate Number A448288\_02

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:

a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>  
b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	607.3m <sup>2</sup>	Yes	% of landscape open space (35% min)	29%	Variation
Housing Density (dwelling/m <sup>2</sup> )	1	Yes	Impervious area (m <sup>2</sup> )	66%	Variation
Max Bldg Ht Above Nat. GL	8.5m	Ex.	Maximum cut into gnd (m)	N/A	Yes
Front Setback (Min.)	Average	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	8.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	Calc	Yes			

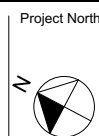


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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.



**Builder to Check and Confirm  
all Measurements Prior to  
Commencement of any works.  
Immediately Report any  
Discrepancies to Rapid Plans**



Checked  
Plot Date:  
Project NO.  
Project Status  
  
Client  
Site:  
  
Sheet Size: A3

GBJ  
21/04/2022  
RP1021BRU  
DA-2

Fe Design Interiors  
Unit 1, 2 Bolingbroke Parade,  
Fairlight

DRAWING TITLE :

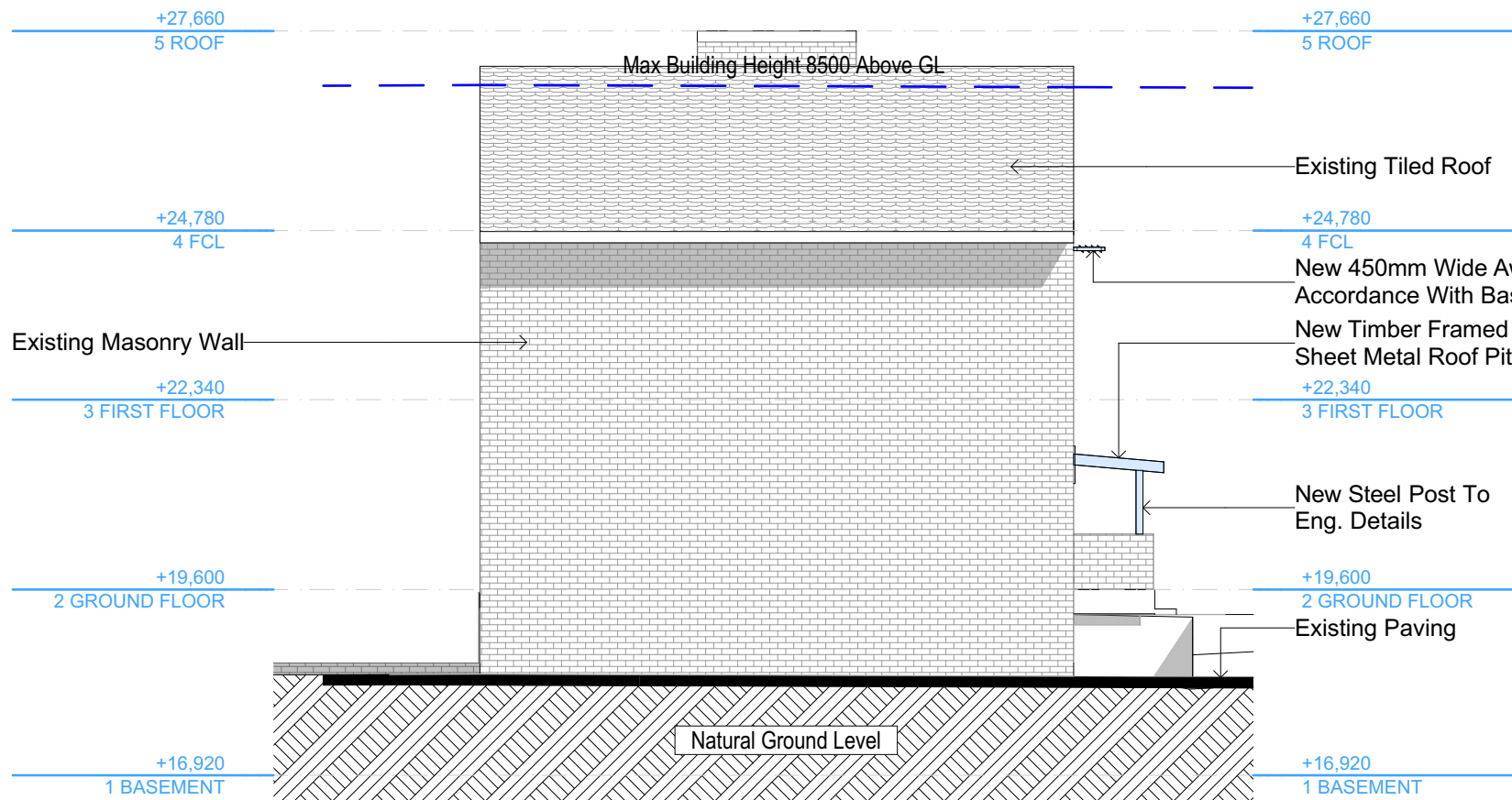
**SECTIONS  
SECTION 2**

PROJECT NAME :

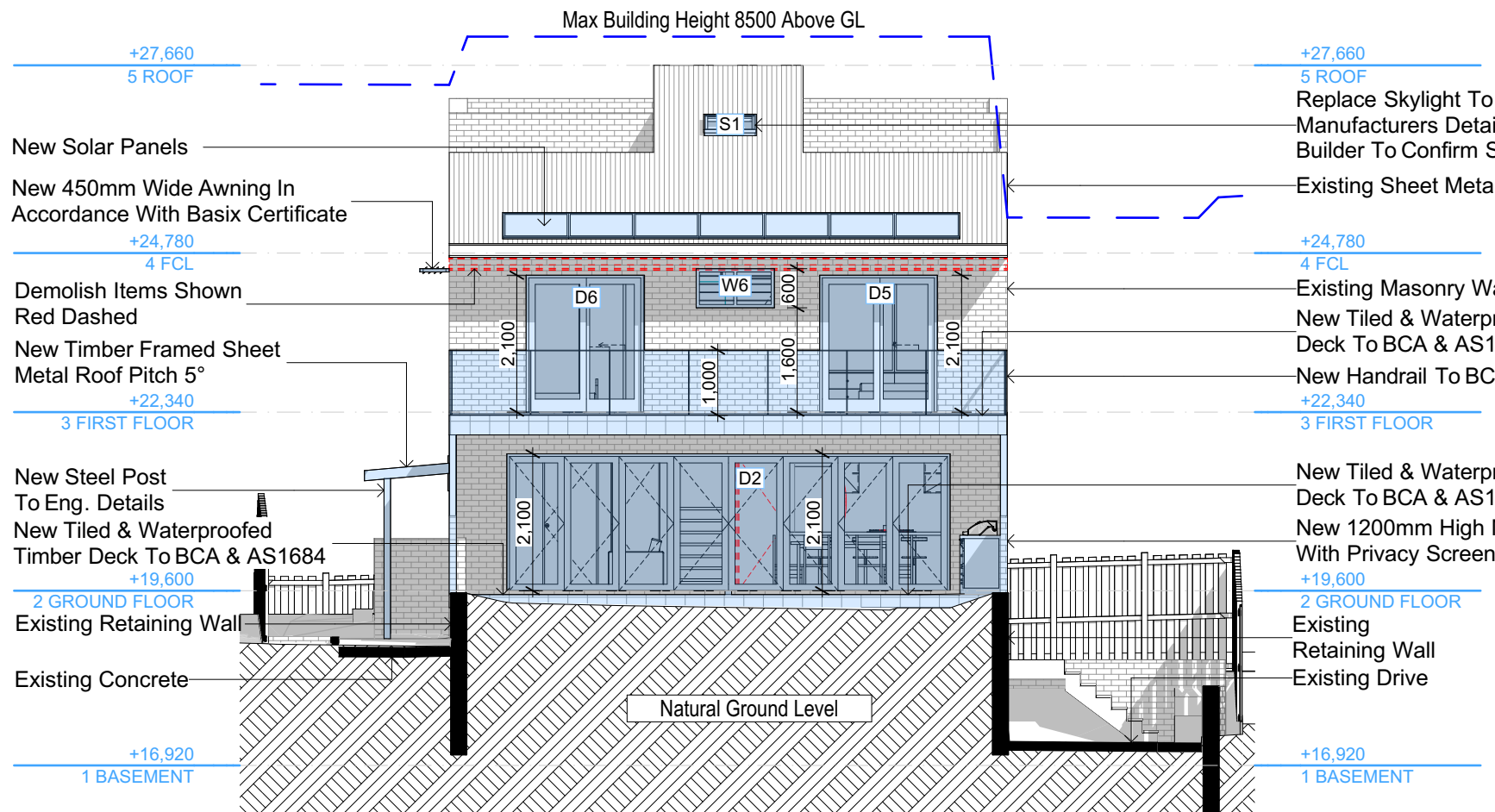
**Alterations & Additions**

REVISION NO.  
-  
DATE:  
**8/4/22**  
DRAWING NO.  
**DA3001**





E-03  
South  
1:100



E-01  
North  
1:100

Denotes New Works

**Wall Legend**

Denotes Existing Item

Denotes Demolished Item

#### Glazing requirements

#### Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.

Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m <sup>2</sup> )	Overshadowing Height (m)	Overshadowing Distance (m)	Shading device	Frame and glass type
W1	NE	0.36	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W2	NE	0.81	7.2	5.4	none	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W3	SW	1.62	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W4	NE	0.54	4.16	5.4	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W5	NE	0.54	4.16	5.4	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W6	NW	0.72	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W7	SW	1.08	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D2	NW	14.28	0	0	projection/height above sill ratio >=0.43	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D5	NW	3.78	0	0	projection/height above sill ratio >=0.29	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
D6	NW	3.78	0	0	projection/height above sill ratio >=0.29	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)

Skylight number	Area of glazing inc. frame (m <sup>2</sup> )	Shading device	Frame and glass type
S1	0.77	no shading	timber, double clear/air fill, (or U-value: 4.3, SHGC: 0.5)

**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**

DA2022/0739

**DA APPLICATION ONLY**

**NOT FOR CONSTRUCTION**

Building Design and Architectural Drafting

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**bdca**  
BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

**bdca**  
ACCREDITED BUILDING DESIGNER

Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans. All copies of this drawing will be returned to Rapid Plans upon request.

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

**NOTES**  
Unit 1, 2 Bolingbroke Parade, Fairlight is zoned R1-General Residential.  
Unit 1, 2 Bolingbroke Parade, Fairlight is not considered a heritage item.  
All Plans to be read in conjunction with Basic Certificate.  
New Works to be constructed shown in ShadedBlue.

**Construction**  
Refer to Engineers drawings for structural details.  
All work to Engineers Specification and BCA.  
Timber framing to BCA and AS 1684.  
Termite Management to BCA and AS 3660.1.  
Glazing to BCA and AS1288-2007.  
Waterproofing to BCA and AS 3740.  
New Lighting to have minimum of 40% compact fluorescent lamps.  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Certifying**  
The DA Application Only plans are for DA-Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of a authorised Construction Certificate drawings by Rapid Plans.

**Basic**  
Basic Certificate Number A44288\_02  
All Plans to be read in conjunction with Basic Certificate.  
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	607.3m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Bldg Ht Above Nat. GL	8.5m	Ex.
Front Setback (Min.)	Average	Yes
Rear Setback (Min.)	8.0m	Yes
Min. side bdy setback (Min.)	Calc	Yes
% of landscape open space (35% min)	29%	Variation
Impervious area (m <sup>2</sup> )	66%	Variation
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North

Drawn | Checked GBJ  
Plot Date: 21/04/2022  
Project NO.: RP1021BRU  
Project Status DA-2

Client: Fe Design Interiors

Site: Unit 1, 2 Bolingbroke Parade, Fairlight

DRAWING TITLE: ELEVATIONS  
**ELEVATIONS 1**

PROJECT NAME: **Alterations & Additions**

REVISION NO. DATE  
- 8/4/22

DRAWING NO. **DA4000**

Plot Date: 21/04/2022  
Sheet Size: A3



Glazing requirements					
Windows and glazed doors					
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.					
The following requirements must also be satisfied in relation to each window and glazed door:					
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.					
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.					
For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.					
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.					
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.					
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.					

W4	NE	0.54	4.16	5.4	eave/verandah/pergola/balcony >=450 mm	6.44, SHGC: 0.75)
W5	NE	0.54	4.16	5.4	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W6	NW	0.72	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W7	SW	1.08	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D2	NW	14.28	0	0	projection/height above sill ratio >=0.43	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D5	NW	3.78	0	0	projection/height above sill ratio >=0.29	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
D6	NW	3.78	0	0	projection/height above sill ratio >=0.29	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)

Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type
S1	0.77	no shading	timber, double clear/air fill, (or U-value: 4.3, SHGC: 0.5)



**northern beaches council**

**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**

**DA2022/0739**

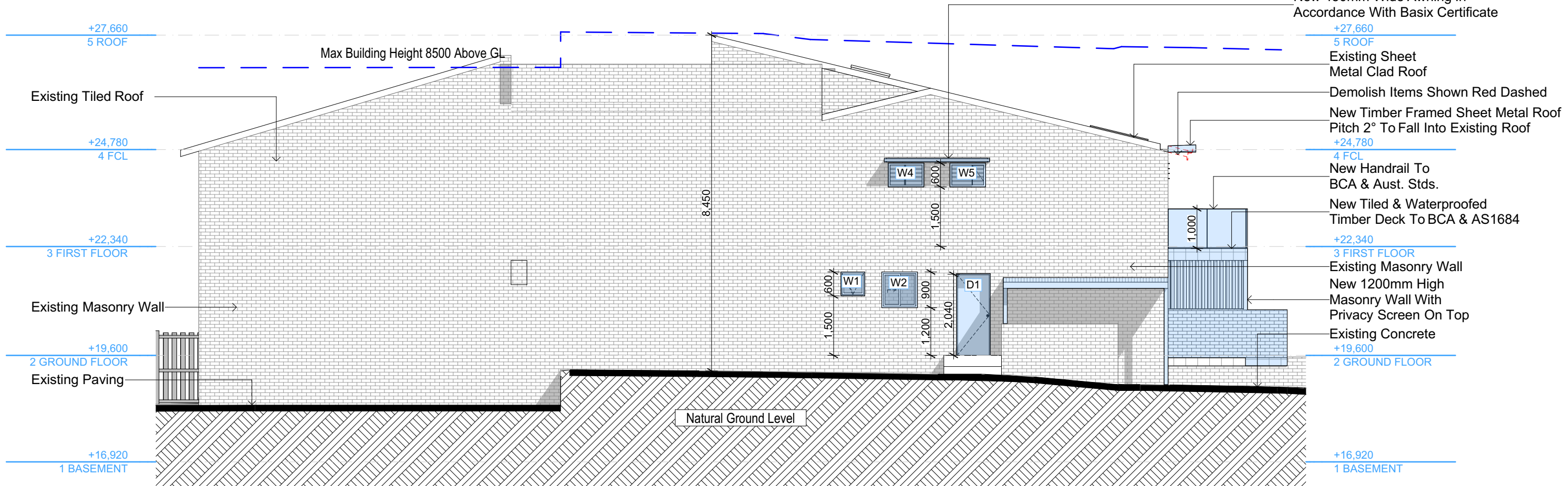
Denotes New Works

**Wall Legend**

Denotes Existing Wall

Denotes Demolished Item

Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Height (m)	Distance (m)	Shading device	Frame and glass type
W1	NE	0.36	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W2	NE	0.81	7.2	5.4	none	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W3	SW	1.62	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)



E-02 East  
1:100

**DA APPLICATION ONLY**

**NOT FOR CONSTRUCTION**

**NOTES**

Unit 1, 2 Bolingbroke Parade, Fairlight is zoned R1-General Residential

All Plans to be read in conjunction with Basix Certificate

New Works to be constructed shown in Shaded/Blue

Unit 1, 2 Bolingbroke Parade, Fairlight is not considered a heritage item

**Certifying**

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**Construction**

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS01288-2047

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

**Basix**

Basix Certificate Number A448288\_02

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:

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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	607.3m2	Yes	% of landscape open space (35% min)	29%	Variation
Housing Density (dwelling/m2)	1	Yes	Impervious area (m2)	66%	Variation
Max Bldg Ht Above Nat. GL	8.5m	Ex.	Maximum cut into gnd (m)	N/A	Yes
Front Setback (Min.)	Average	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	8.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	Calc	Yes			

**DRAWING TITLE :**

**ELEVATIONS**

**ELEVATIONS 2**

**PROJECT NAME :**

**Alterations & Additions**


REVISION NO.

DATE:

**8/4/22**


DRAWING NO.

**DA4001**




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**BUILDING DESIGNERS**

**ASSOCIATION OF AUSTRALIA**




**ACCREDITED**

**BUILDING DESIGNER**

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North



Checked: GBJ

Plot Date: 21/04/2022

Project NO: RP1021BRU

Project Status: DA-2

Client: Fe Design Interiors

Site: Unit 1, 2 Bolingbroke Parade, Fairlight

Sheet Size: A3



Glazing requirements

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.

Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m2)	Height (m)	Distance (m)	Shading device	Frame and glass type
W1	NE	0.36	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W2	NE	0.81	7.2	5.4	none	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W3	SW	1.62	0	0	none	improved aluminium, single clear, (U-value:

W4	NE	0.54	4.16	5.4	eave/verandah/pergola/balcony >=450 mm	6.44, SHGC: 0.75)
W5	NE	0.54	4.16	5.4	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W6	NW	0.72	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W7	SW	1.08	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D2	NW	14.28	0	0	projection/height above sill ratio >=0.43	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D5	NW	3.78	0	0	projection/height above sill ratio >=0.29	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
D6	NW	3.78	0	0	projection/height above sill ratio >=0.29	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)

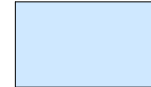
Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type
S1	0.77	no shading	timber, double clear/air fill, (or U-value: 4.3, SHGC: 0.5)



northern  
beaches  
council

THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT

DA2022/0739



Denotes New Works

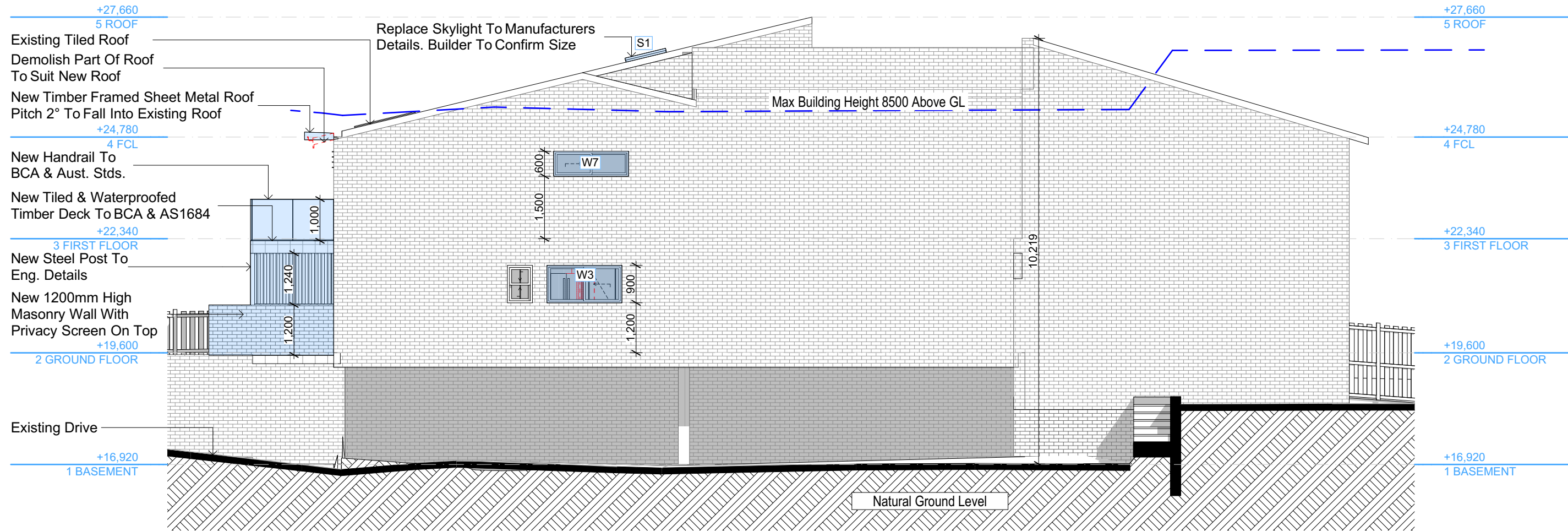
Wall Legend



Denotes Existing Wall



Denotes Demolished Item



E-04

West  
1:100

DA APPLICATION  
ONLY  
NOT FOR CONSTRUCTION

NOTES

Unit 1, 2 Bolingbroke Parade, Fairlight is zoned R1-General Residential  
All Plans to be read in conjunction with Basix Certificate  
New Works to be constructed shown in Shaded/Blue  
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Certifying

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Construction

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Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A448288\_02

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:  
a) additional insulation is not required where the area of new construction is less than 2m2  
b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	607.3m2	Yes	% of landscape open space (35% min)	29%	Variation
Housing Density (dwelling/m2)	1	Yes	Impervious area (m2)	66%	Variation
Max Bldg Ht Above Nat. GL	8.5m	Ex.	Maximum cut into gnd (m)	N/A	Yes
Front Setback (Min.)	Average	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	8.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	Calc	Yes			

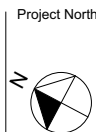


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Builder to Check and Confirm  
all Measurements Prior to  
Commencement of any works.  
Immediately Report any  
Discrepancies to Rapid Plans



Checked  
Plot Date:  
Project NO.  
Project Status

GBJ  
21/04/2022  
RP1021BRU  
DA-2

Client  
Site:  
Fe Design Interiors  
Unit 1, 2 Bolingbroke Parade,  
Fairlight  
Sheet Size: A3

DRAWING TITLE :

ELEVATIONS  
ELEVATIONS 3

PROJECT NAME :

Alterations & Additions

REVISION NO.

DATE:  
8/4/22  
DRAWING NO.  
DA4002