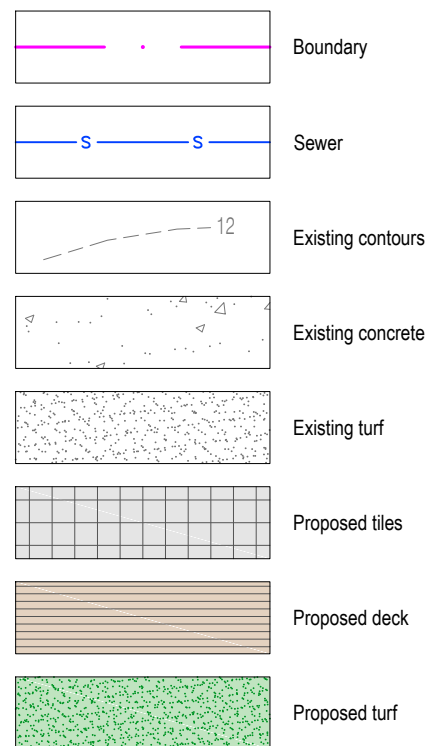
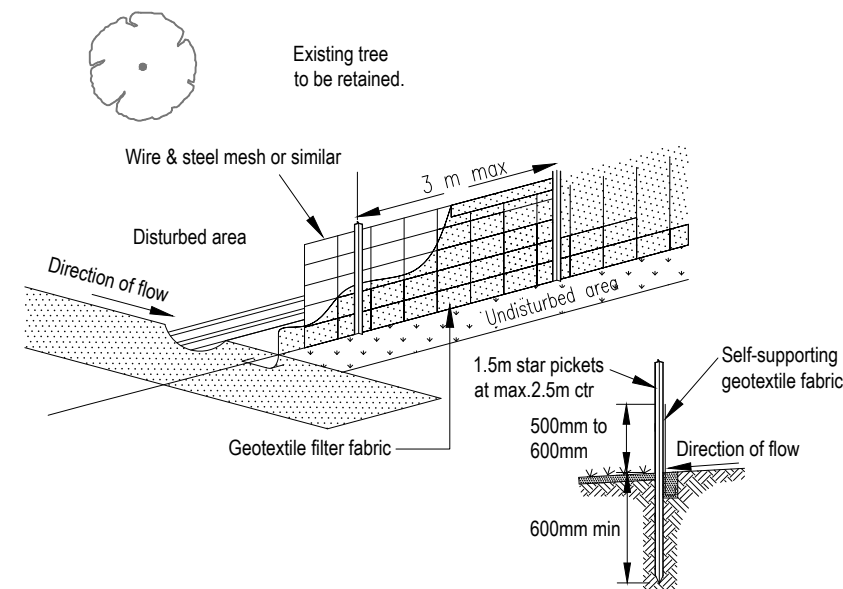


## Legend



## Landscape Area Calculations

Scale 1:400



## Sediment fence detail

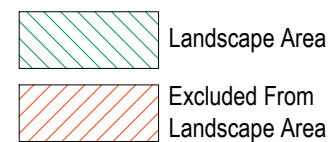
N.T.S

## Sediment & erosion control notes

During earthworks the following procedures shall be followed:

1. Install silt barriers where shown on plan prior to commencement of works.
2. Silt barriers to be maintained regularly & after heavy rain by removal of built up silt & spreading silt on existing site when 50% capacity.
3. Repair any damages to fence immediately.
4. Clean up spillages outside silt fence immediately.
5. Sediment control measures to be left in place until works completed.
6. Topsoil from the work's area will be stockpiled for later use in landscaping if necessary.
7. Approved bins for building waste, concrete and mortar slurries, paints and acid washings will be provided by contractor.

## Landscape Area Calculations Legend

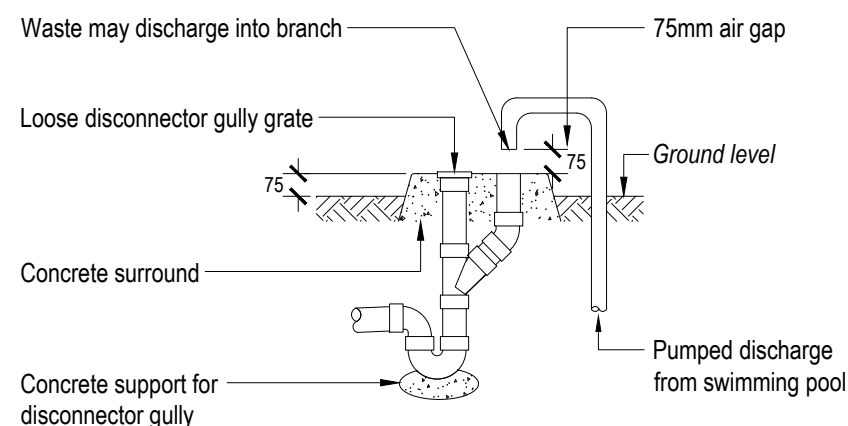


## Landscape area calculations

Site area:	839.80m <sup>2</sup>
Required landscape area:	503.88m <sup>2</sup> (60%)
Existing landscape area:	494.05m <sup>2</sup> (58.83%)
Proposed landscape area:	474.44m <sup>2</sup> (56.55%)
Impervious area allowance:	50.39m <sup>2</sup> (6%)
Total landscape area:	524.83m <sup>2</sup> (62.49%)

## Site Analysis Legend

	Site vehicle entry		Prevailing wind
	Waste storage area during construction phase		Materials storage area during construction phase
	Sediment control device during construction phase		Proposed 'hard' works shown blue
	Existing tree to be retained		



Note: Overflow relief gully (ORG) to be constructed to AS/NZS 3500.

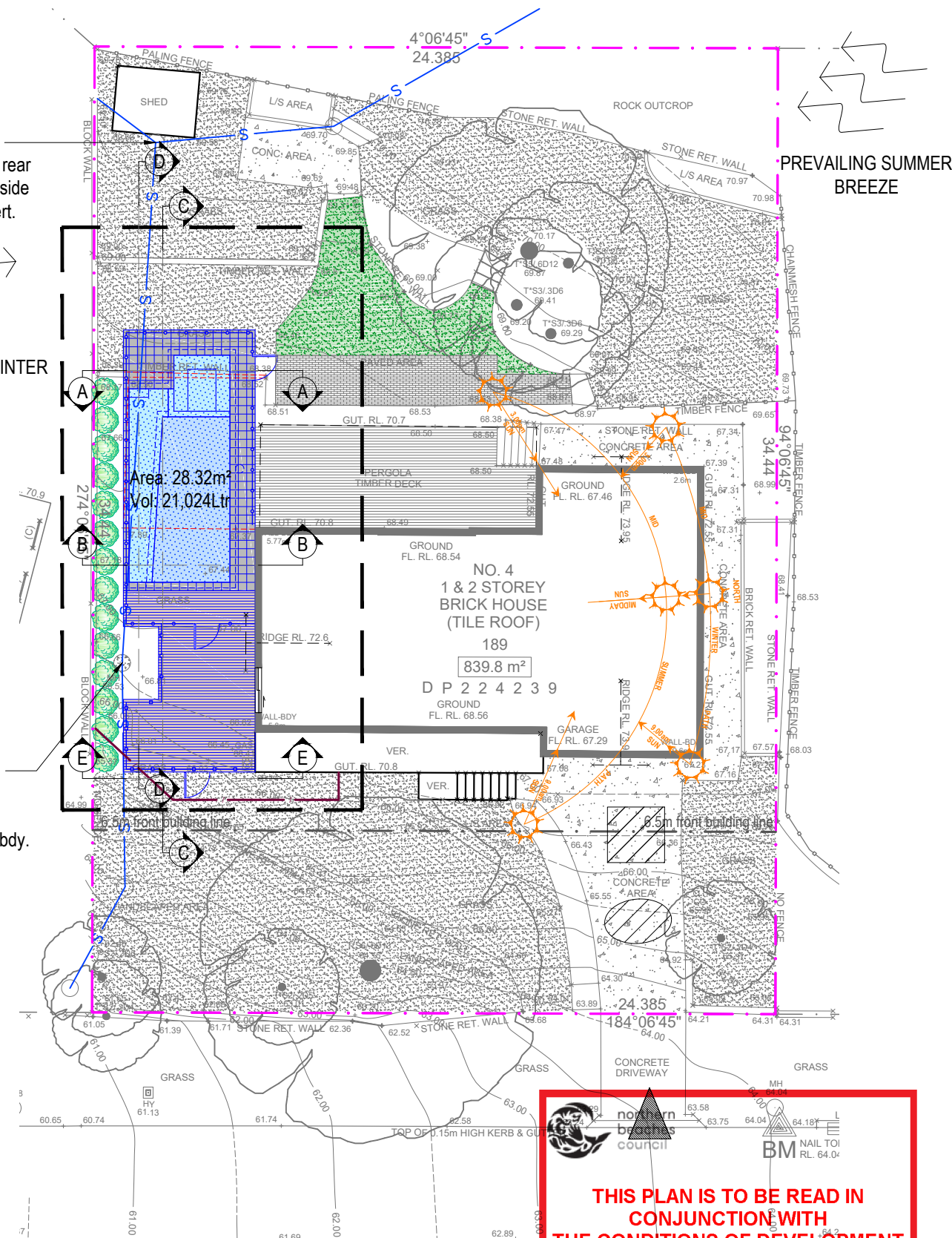
## Overflow relief gully

N.T.S

Access chamber  
2.75m S.O. from rear bdy, 2.15m S.O. side bdy. 1.1m to invert.

PREVAILING WINTER BREEZE

Access chamber  
18.8m from rear access chamber, 0.92m S.O. side bdy. 1.05m to invert.



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DA2022/0516

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Client:  
**Shane Spittles & Kate Best**

Site Address:  
**4 Wakooka Avenue  
Elanora Heights**

Drawing Title:  
**Site Plan / Site Analysis /  
Sedimentation Control Plan**

Drawn by:  
**Ben Danks**  
TLA Member

Project Number:  
**21843**


Scale:  
**1:400 @ A3**

Sheet Number:  
**L-01 of 7**

Rev:	Date:	Issue:	Checked:
A	17/01/2022	Preliminary Issue	BF
B	24/02/2022	Preliminary Issue	BF
C	01/03/2022	DA Issue	BF
D	09/06/2022	Updated DA Issue	BF





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Extent of concrete encasement shown dashed.

1200mm (h) frameless glass fence returns to 1800mm (h) 'pool safe' boundary fence as per AS1926.1-2012.

Existing retaining wall and deck to be demolished shown dashed.

Pool entry steps & seating ledge to ensure encasement clearance is achieved.

Sewer main as per SPR. Outside edge of pipe shown dashed.

Screen planting to be maintained clear of the NCZ as per AS1926.1-2012. AS (14)

Outside edge of main body of pool shown dashed. Min. 600mm clearance from outside edge of sewer main.

Existing block wall on boundary to be upgraded if required to ensure 'pool safe' compliance as per AS1926.1-2012.

1200mm (h) frameless glass pool fence with top rail over as per AS1926.1-2012.

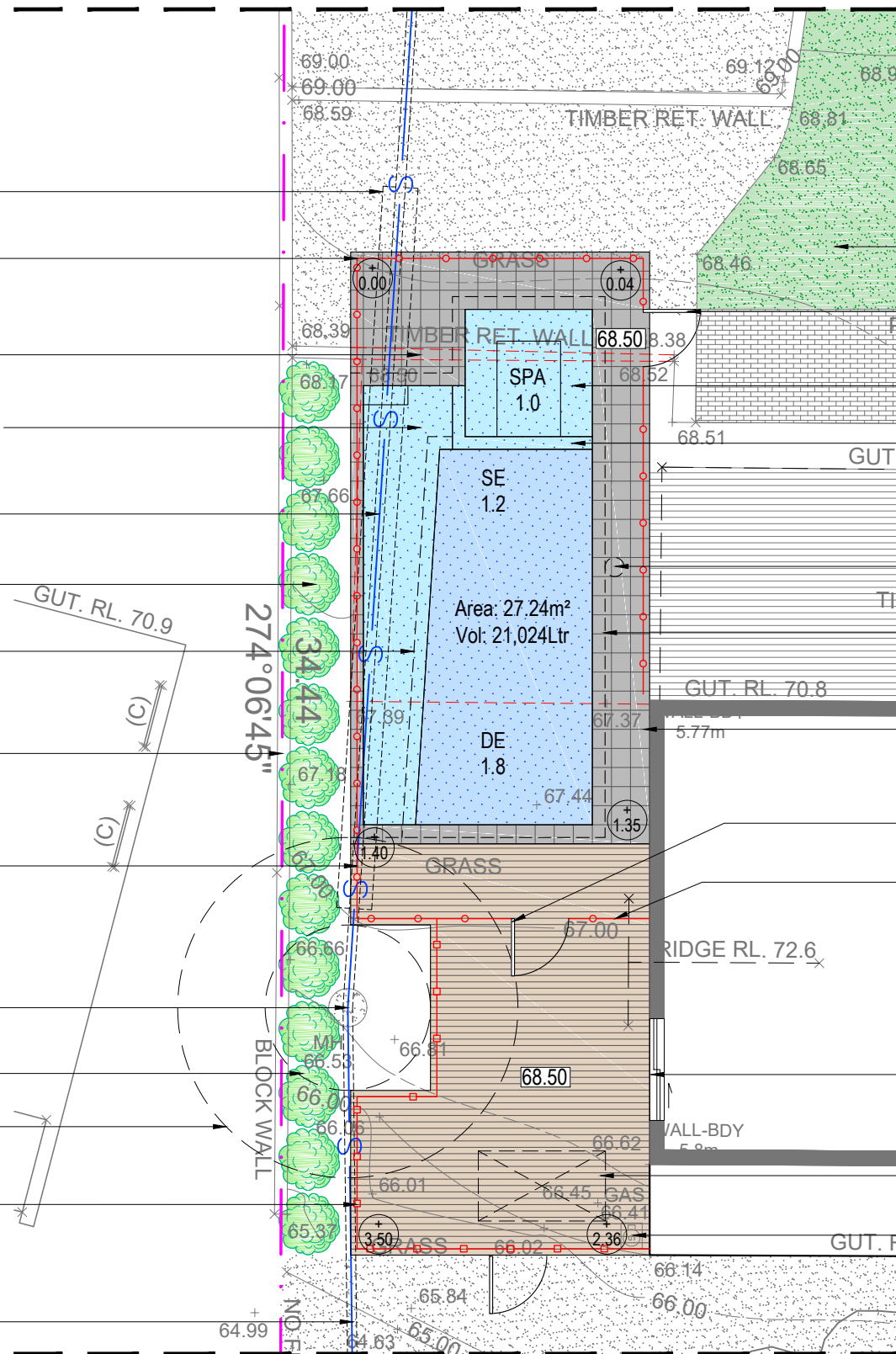
Access chamber as per SPR.

Access offset shown dashed.

Structural offset shown dashed.

1200mm (h) balustrade to match existing verandah detail.

Sewer mains as per Dial Before You Dig.



Beyond scope of works. Refer to L-01 for details.

Remove existing pavers and replace with Soft Leaf Buffalo turf.

Self closing, self locking pool gate as per AS1926.1-2012.

Spa.

Weir wall to spa.

Skimmer box under tile infill lid.

Vertical face of pool shell shown dashed.

Existing hot water system to be relocated.

Self closing, self locking pool gate as per AS1926.1-2012.

1200mm (h) frameless glass pool fence as per AS1926.1-2012.

Proposed door.


Pool equipment located within soundproof enclosure.

Existing gas meter to be relocated.

ZONE A PROPOSED PLANT SCHEDULE					
KEY	BOTANICAL NAME	COMMON NAME	QTY	MATURE HEIGHT	POT SIZE
AS*	<b>SHRUBS</b> ACMENA SMITHII 'SUBLIME'	SUBLIME LILLY PILLY	14	4m	200mm

• \* Denotes cultivar of species selected from 'Native plants for your garden' publication.



Note:  Denotes difference between coping & existing ground level

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Client:  
**Shane Spittles & Kate Best**

Site Address:  
**4 Wakooka Avenue  
Elanora Heights**

Drawing Title:  
**Detail Plan**

Drawn by:  
**Ben Danks**  
TLA Member

Project Number:  
**21843**

Scale:  
**1:100 @ A3**

Sheet Number:  
**L-02 of 7**

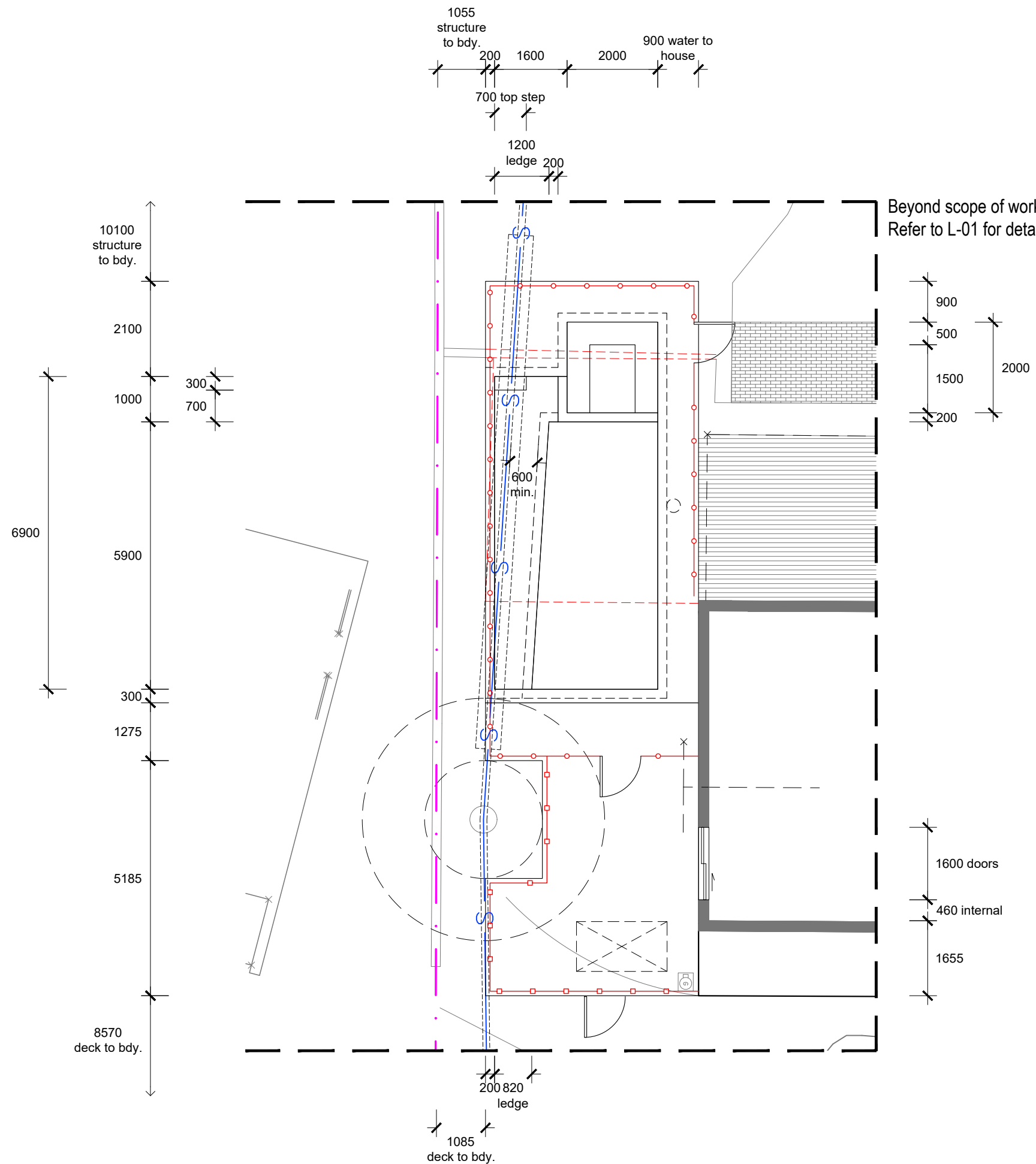
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A	17/01/2022	Preliminary Issue	BF
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 northern  
beaches  
council

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Note:  $\oplus_{0.00}$  Denotes difference between  
coping & existing ground level

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Client:  
**Shane Spittles & Kate Best**

Site Address:  
**4 Wakooka Avenue  
Elanora Heights**

Drawing Title:  
**Setout Plan**

Drawn by:  
**Ben Danks**  
TLA Member

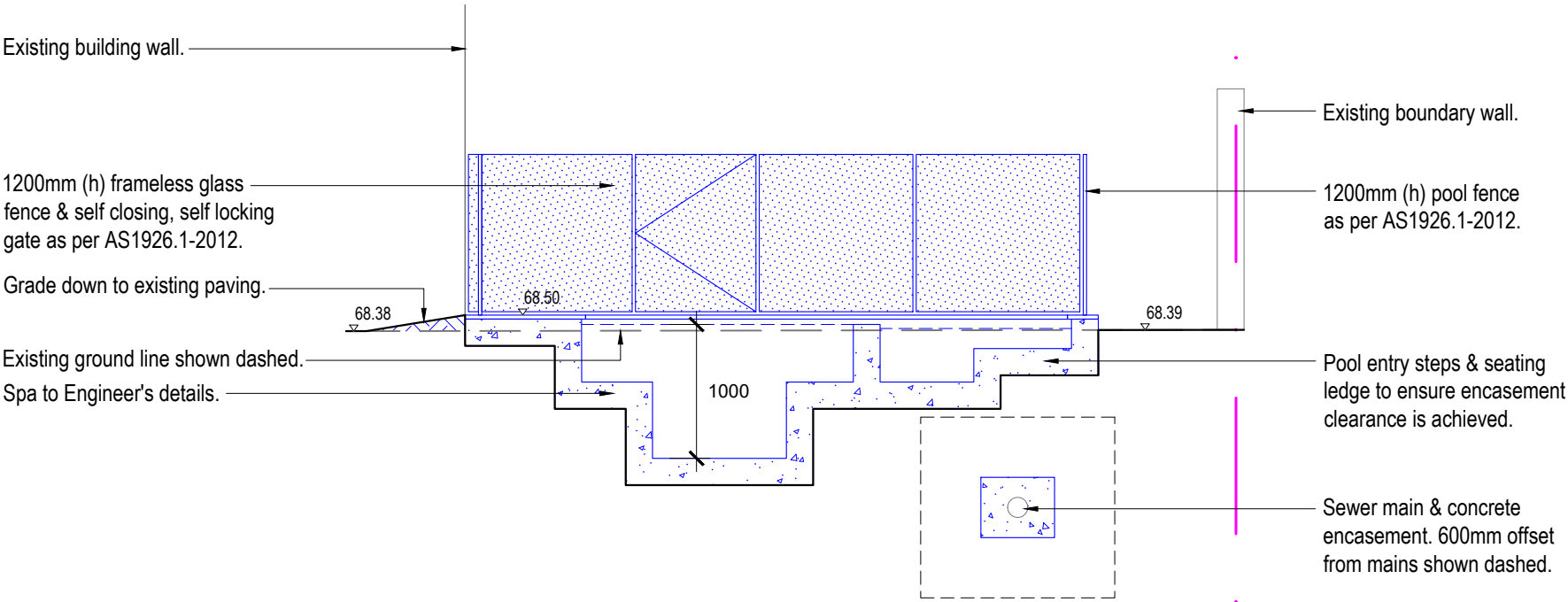
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Scale:  
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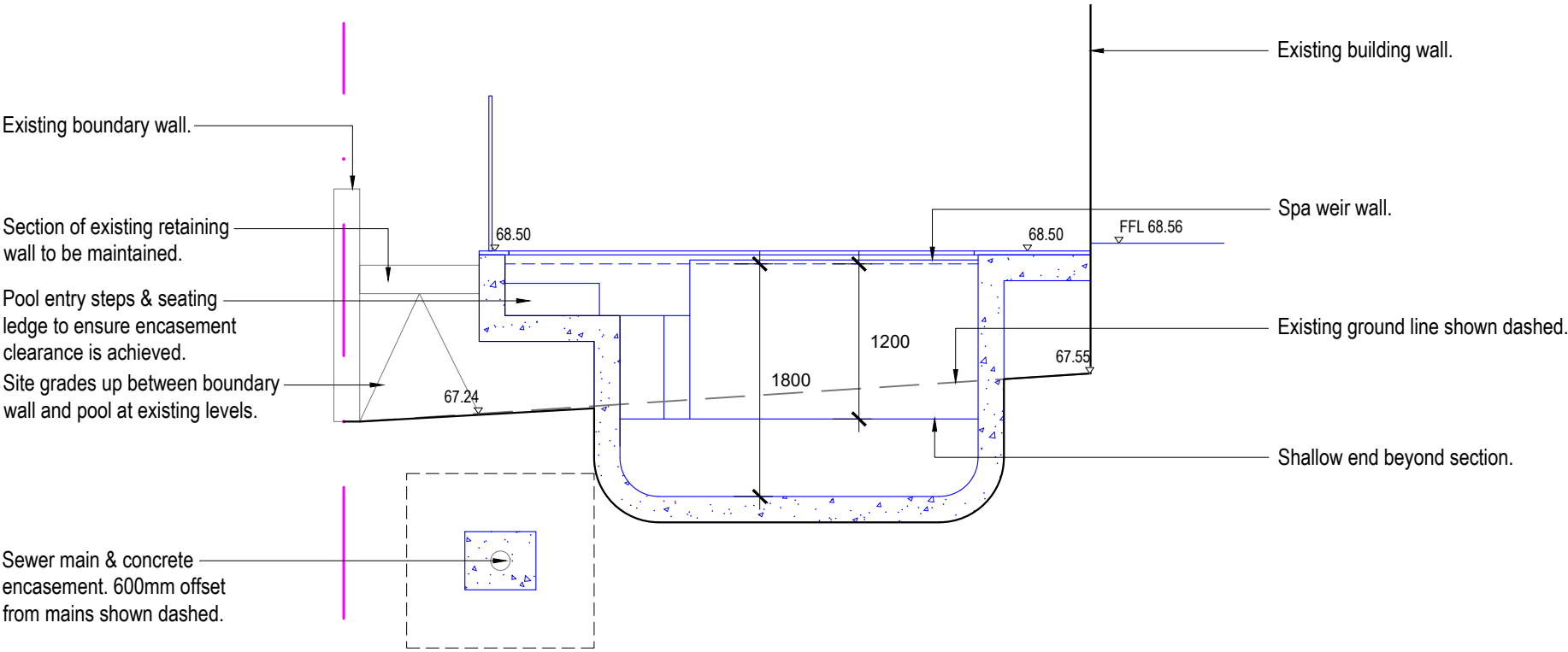
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Rev:	Date:	Issue:	Checked:
A	17/01/2022	Preliminary Issue	BF
B	24/02/2022	Preliminary Issue	BF
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Sectional Elevation AA  
Scale 1:50



Sectional Elevation BB  
Scale 1:50



northern  
beaches  
council

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Client: Shane Spittles & Kate Best		Drawing Title: Sectional Elevations				Rev:	Date:	Issue:	Checked:
Site Address: 4 Wakooka Avenue Elanora Heights		Drawn by:	Project Number:	Scale:	Sheet Number:	A	17/01/2022	Preliminary Issue	BF
		Ben Danks TLA Member	21843	1:50 @ A3	L-04 of 7	B	24/02/2022	Preliminary Issue	BF
						C	01/03/2022	DA Issue	BF
						D	09/06/2022	Updated DA Issue	BF

1200mm (h) frameless glass fence & self closing, self locking gate as per AS1926.1-2012.

Spa weir wall.

Spa. Pool shell to Engineer's details.

Sectional Elevation CC  
Scale 1:50



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**DA2022/0516**

Existing line shown dashed.  
Pool shell to Engineer's details.

1200mm (h) frameless glass fence as per AS1926.1-2012.

New sliding door.

New 1200mm (h) balustrade to match existing verandah detail.

Screening to underside of deck with door to access pool equipment.

Pool equipment in soundproof enclosure under deck.

1200mm (h) frameless glass fence & self closing, self locking gate as per AS1926.1-2012.

Seating ledge to ensure encasement clearance is achieved.

Spa beyond section shown dashed.

Sectional Elevation DD  
Scale 1:50

Sewer main & concrete encasement. 600mm offset from mains shown dashed.

Pool beyond section shown dashed.

1200mm (h) frameless glass pool fence as per AS1926.1-2012.

900mm (min) perspex panel to ensure NCZ is maintained as per AS1926.1-2012.

New 1200mm (h) balustrade to match existing verandah detail.

Screening to underside of deck to conceal pool equipment & deck sub-structure.

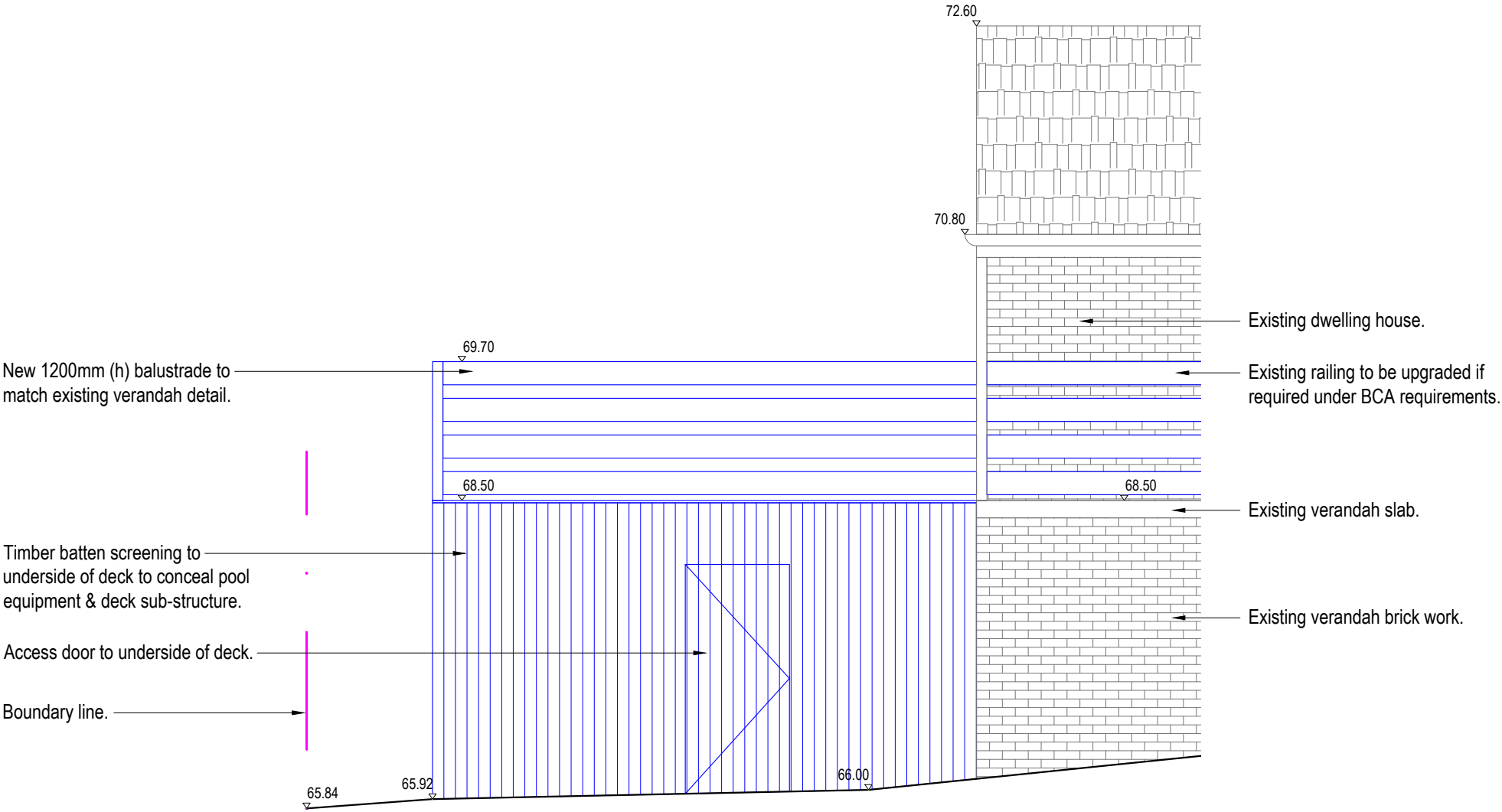
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Client: <b>Shane Spittles &amp; Kate Best</b>		Drawing Title: <b>Sectional Elevation</b>				Rev:	Date:	Issue:	Checked:		
Site Address: <b>4 Wakooka Avenue Elanora Heights</b>		Drawn by:	Project Number:	Scale:	Sheet Number:	A	17/01/2022	Preliminary Issue	BF		
		Ben Danks TLA Member	21843	1:50 @ A3	L-05 of 7	B	24/02/2022	Preliminary Issue	BF		
						C	01/03/2022	DA Issue	BF		
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Sectional Elevation EE  
Scale 1:50



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