

Construction

Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
suspended floor with enclosed subfloor: framed (R0.7).	R0.60 (down) (or R1.30 including construction)	
external wall: brick veneer	R1.16 (or R1.70 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
raked ceiling, pitched/skillion roof: framed	ceiling: R1.74 (up), roof: foil backed blanket (75 mm)	medium (solar absorbance 0.475 - 0.70)

Fixtures and systems

Lighting

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

Fixtures

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.

The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.

The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

Denotes New Works

Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Masonry Wall
- Denotes Existing Wall
- Denotes Demolished Item



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ASSOCIATION OF AUSTRALIA



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BUILDING DESIGNER

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES

28 Meehan Road, Cromer is zoned R2-Low Density Residential

28 Meehan Road, Cromer is not considered a heritage item

All Plans to be read in conjunction with Basic Certificate

New Works to be constructed shown in ShadedBlue

Construction

Site and Framed Floors, Brick Veneer and Framed Walls

Roof Framed to have R1.74 Insulation

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS 2208

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Carrying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any

Certifying Authority without the written permission of Rapid Plans or the

supply of authorised Construction Certificate drawings by Rapid Plans

Basic

Basic Certificate Number A442389 (2)

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor

(s), walls, and ceilings/roofs) in accordance with the specifications

listed in the table below, except that a) additional insulation is not

required where the area of new construction is less than 2m², b)

insulation specified is not required for parts of altered construction

where insulation already exists.

The applicant must install the windows, glazed doors and shading

devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each

window and glazed door.

For projections described in millimetres, the leading edge of each

space, verandah, balcony or awning must be no more

than 500 mm above the head of the window or glazed door and

no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and

distance from the centre and the base of the window and glazed door.

Builder to Check and Confirm all

Measurements Prior to

Commencement of any works.

Immediately Report any Discrepancies

to Rapid Plans

Project North

Drawn | Checked GBJ

Plot Date: 6/04/2022

Project NO: RP0721800

Project Status DA

Client Nathan Booker and Bree Hulme

Site: 28 Meehan Road, Cromer

DRAWING TITLE:

SITE AND LOCATION

PROJECT NAME:

Alterations & Additions

REVISION NO. DATE

- 1/12/21

DRAWING NO.

DA1003

Plot Date: 6/04/2022

Sheet Size: A3

2

SITE PLAN
1:200

Summer
Cooling
Winds



northern
beaches
council

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2022/0602

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NOT FOR CONSTRUCTION



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

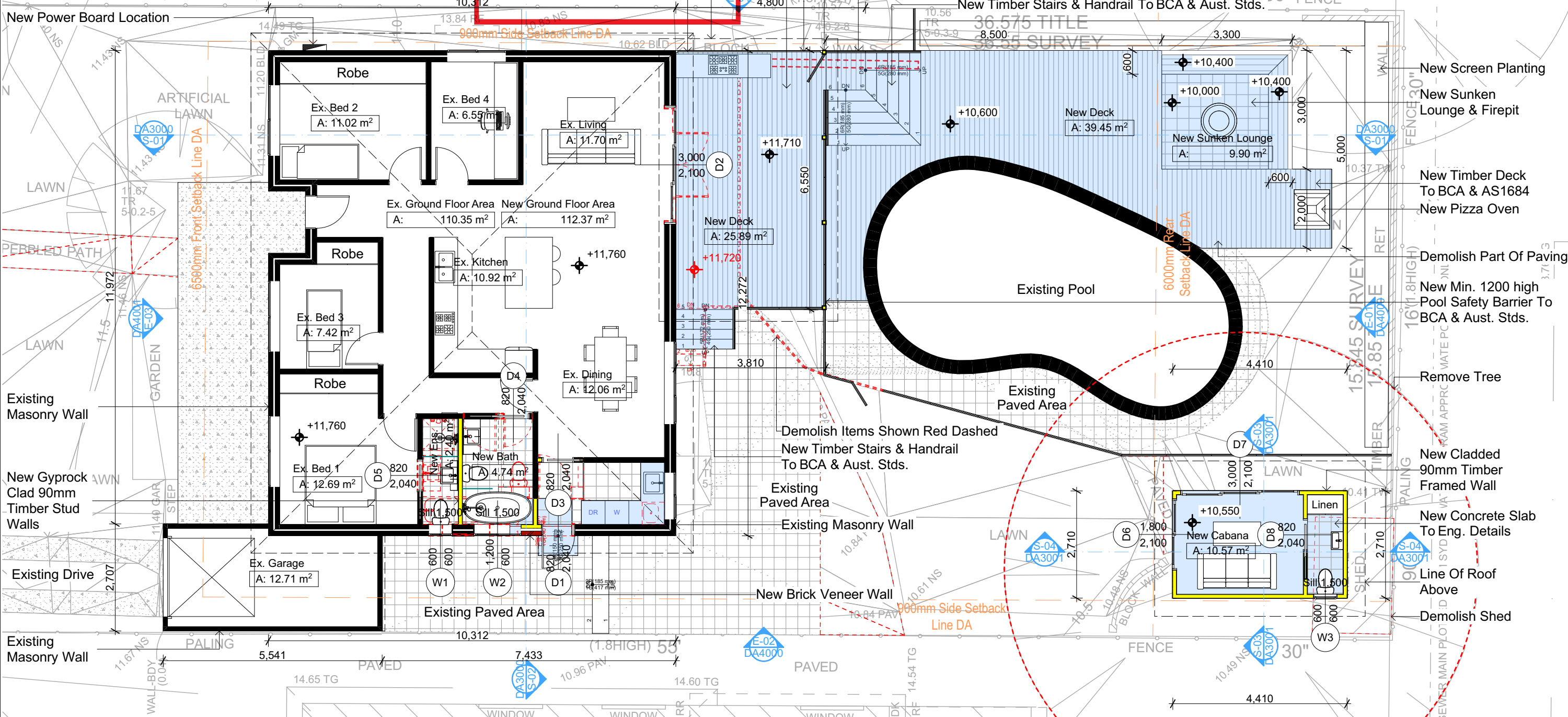
DA2022/0602

Denotes New Works

- Wall Legend**
- Denotes New Timber Framed Wall
 - Denotes New Masonry Wall
 - Denotes Existing Wall
 - Denotes Demolished Item

- New Timber Deck To BCA & AS1684
- Line Of Roof Above
- New 1600mm High Timber Privacy Screen

- Enclose Under Side Of Deck For Store
- New Timber Post
- New Min. 1200 high Pool Safety Barrier To BCA & Aust. Stds.
- New Timber Stairs & Handrail To BCA & Aust. Stds.



GROUND FLOOR
1:100

DA APPLICATION ONLY
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NOTES
28 Meehan Road, Cromer is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
28 Meehan Road, Cromer is not considered a heritage item

Certifying
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Construction
Slab and Framed Floors, Brick Veneer and Framed Walls
Roof Framed to have R1.74 Insulation
Insulation to External Brick Veneer and Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A442389_02
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m²
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	579.1m ²	Yes	Building envelope	4m@45Deg	Yes
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	38%	Variation
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	62%	Variation
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	579mm	Yes
Front Setback (Min.)	6.5m	Existing	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Variation	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Existing			

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
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concrete slab on ground floor.	nil	
suspended floor with enclosed subfloor: framed (R0.7).	R0.60 (down) (or R1.30 including construction)	
external wall: brick veneer	R1.16 (or R1.70 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
raked ceiling, pitched/skillion roof: framed	ceiling: R1.74 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

Fixtures and systems	
Lighting	
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.	
Fixtures	
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.	
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.	
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.	

Denotes New Works



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2022/0602



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NOTES
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28 Meehan Road, Cromer is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded Blue
Construction
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Roof Framed to have R1.74 Insulation
Insulation to External Brick Veneer and Framed Walls R1.70
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Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1288-2007
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Site Information

Site Information	Prop.	Comp.
Site Area	579.1m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Ex.
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Ex.
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	38%	Variation
Impervious area (m2)	62%	Variation
Maximum cut into gnd (m)	579mm	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Site Information	Prop.	Comp.
Site Area	579.1m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Ex.
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Ex.
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	38%	Variation
Impervious area (m2)	62%	Variation
Maximum cut into gnd (m)	579mm	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 6/04/2022
Project NO.: R20721800
Project Status DA

Client Nathan Booker and Bree Hulme

Site: 28 Meehan Road, Cromer

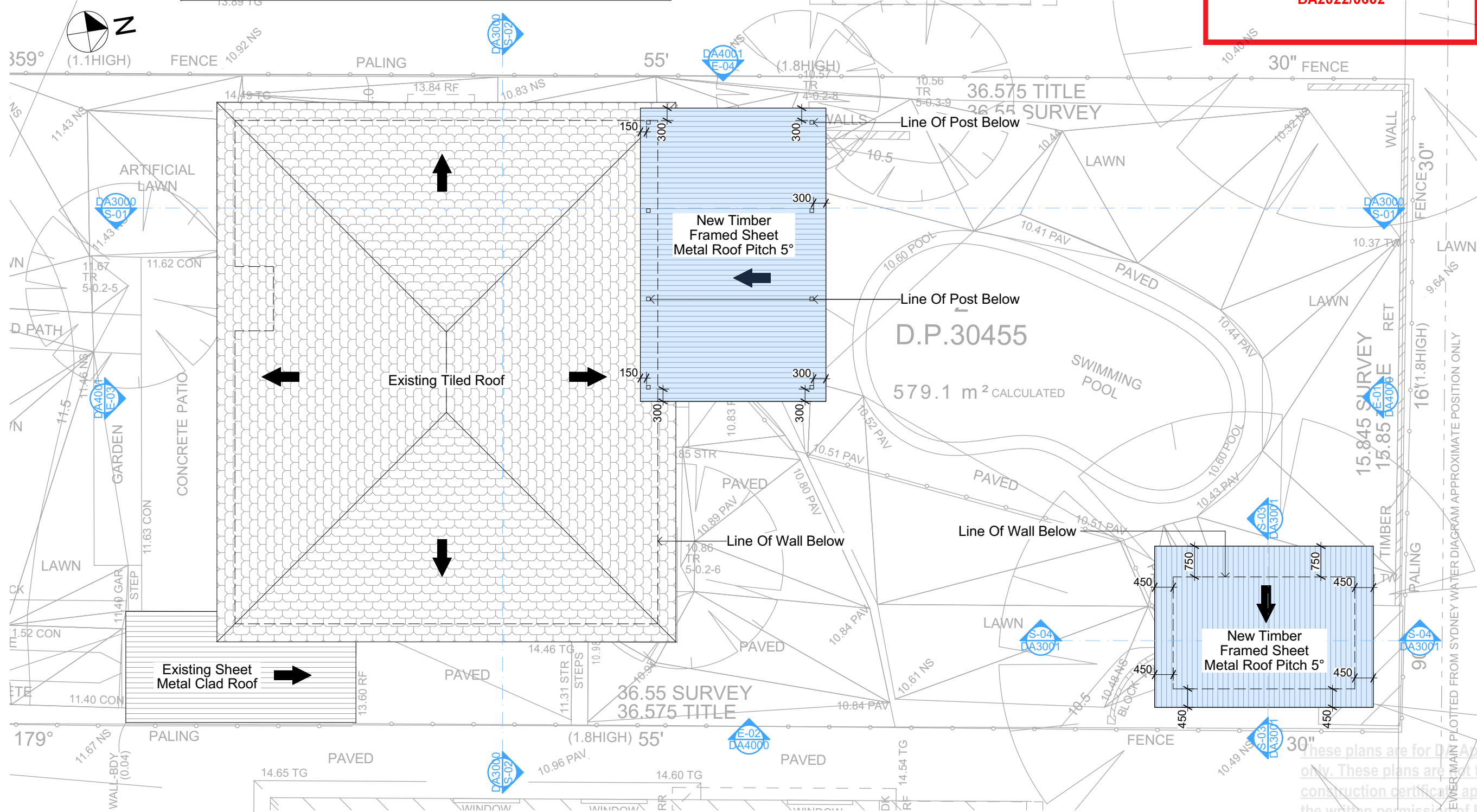
DRAWING TITLE: PLANS
ROOF

PROJECT NAME: Alterations & Additions

REVISION NO. DATE
- 1/12/21

DRAWING NO. DA2002

Plot Date: 6/04/2022
Sheet Size: A3

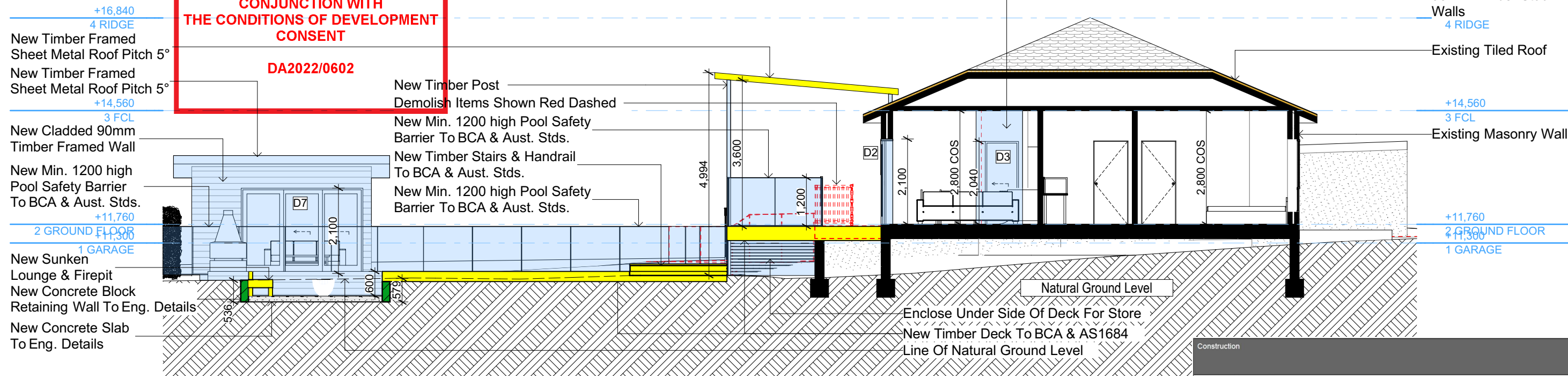


3
ROOF
1:100

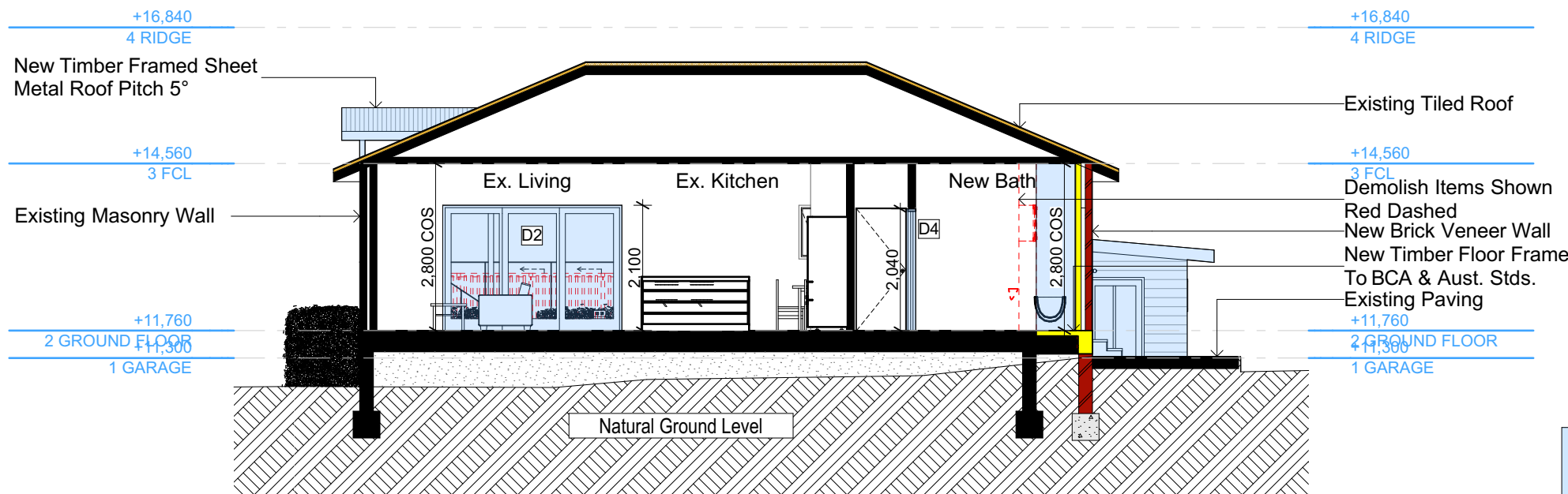
DA APPLICATION
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**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
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CONSENT**

DA2022/0602



S-01



S-02

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
suspended floor with enclosed subfloor: framed (R0.7).	R0.60 (down) (or R1.30 including construction)	
external wall: brick veneer	R1.16 (or R1.70 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
raked ceiling, pitched/skillion roof: framed	ceiling: R1.74 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)
Fixtures and systems		
Lighting		
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		
Fixtures		
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		

Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Masonry Wall
- Denotes New Concrete Block Wall
- Denotes New Concrete
- Denotes Existing Wall
- Denotes Demolished Item

NOTES

28 Meehan Road, Cromer is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
28 Meehan Road, Cromer is not considered a heritage item

Certifying

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Construction

Slab and Framed Floors, Brick Veneer and Framed Walls
Roof Framed to have R1.74 Insulation
Insulation to External Brick Veneer and Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A442389_02
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
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b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

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**Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans**

Project North

Checked
Plot Date:
Project NO.
Project Status

GBJ
6/04/2022
RP0721BOO
DA

Client
Site:
Nathan Booker and Bree Hulme
28 Meehan Road, Cromer

Sheet Size: A3

DRAWING TITLE :
**SECTIONS
SECTION 1**
Alterations & Additions

REVISION NO.
-
DATE:
1/12/21
DRAWING NO.
DA3000

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	579.1m2	Yes	Building envelope	4m@45Deg	Yes
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40% min)	38%	Variation
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m2)	62%	Variation
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	579mm	Yes
Front Setback (Min.)	6.5m	Existing	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Variation	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Existing			

Glazing requirements

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W1	E	0.36	0	0	eave/verandah/pergola/balcony >=450 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W2	E	0.72	0	0	eave/verandah/pergola/balcony >=450 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W3	NE	0.36	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

Glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
D2	N	6.3	0	0	eave/verandah/pergola/balcony >=900 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
D6	S	3.78	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D7	W	6.3	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2022/0602

Construction

Insulation requirements

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Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
suspended floor with enclosed subfloor: framed (R0.7).	R0.60 (down) (or R1.30 including construction)	
external wall: brick veneer	R1.16 (or R1.70 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
raked ceiling, pitched/skillion roof: framed	ceiling: R1.74 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

Fixtures and systems

Lighting

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

Fixtures

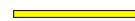
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.

The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.

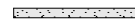
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.



Denotes New Works



Denotes New Timber Framed Wall



Denotes New Concrete



Denotes Demolished Item

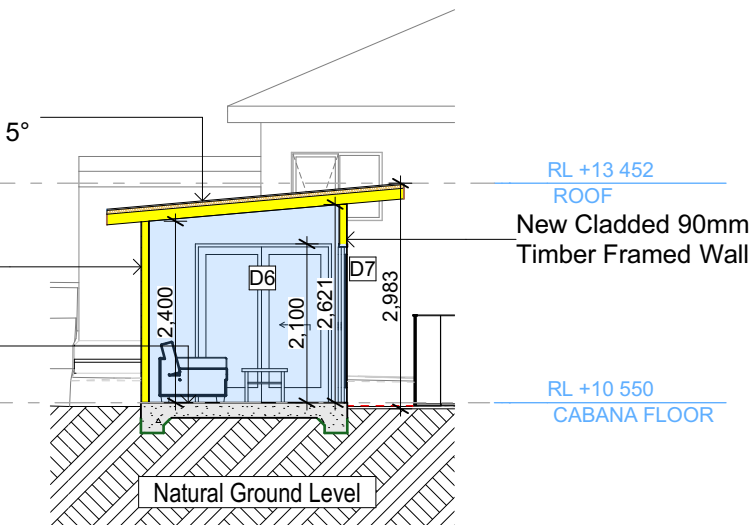
New Timber Framed Sheet Metal Roof Pitch 5°

RL +13 452
ROOF

New Cladded 90mm Timber Framed Wall

New Concrete Slab To Eng. Details

RL +10 550
CABANA FLOOR



S-03
-

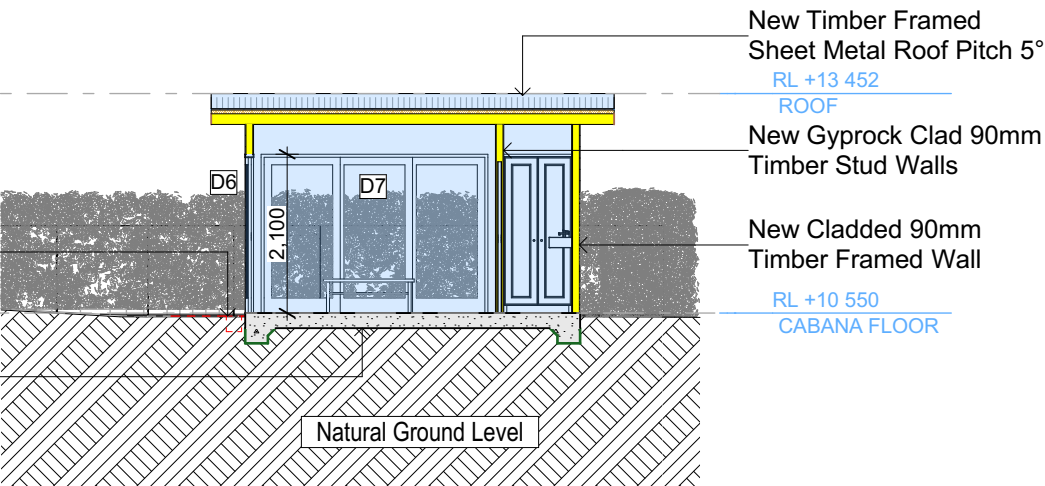
SECTION CABANA 1
1:100

RL +13 452
ROOF

Demolish Items Shown Red Dashed

RL +10 550
CABANA FLOOR

New Concrete Slab To Eng. Details



S-04
-

SECTION CABANA 2
1:100

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NOT FOR CONSTRUCTION



Rapid Plans
PO Box 6239 Pittwater NSW 1505
Tel: (02) 9368-8845 Mobile: 0414-945-024
Email: info@rapidplans.com.au

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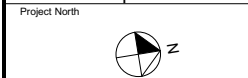
NOTES
28 Meehan Road, Cromer is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in ShadedBlue
Construction
Slab and Framed Floors, Brick Veneer and Framed Walls
Roof Framed to have R1.74 Insulation
Insulation to External Brick Veneer and Framed Walls R1.70
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Glazing to BCA and AS1078-2007
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Basic
Basic Certificate Number A442389_02
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
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For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	579.1m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Ex.
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Ex.
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	38%	Variation
Impervious area (m ²)	62%	Variation
Maximum cut into gnd (m)	579mm	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 6/04/2022
Project NO.: RP0721800
Project Status DA

Client Nathan Booker and Bree Hulme

Site: 28 Meehan Road, Cromer

DRAWING TITLE : SECTIONS
SECTION CABANA

PROJECT NAME : Alterations & Additions

REVISION NO. DATE
- 1/12/21

DRAWING NO.
DA3001

Plot Date: 6/04/2022
Sheet Size: A3

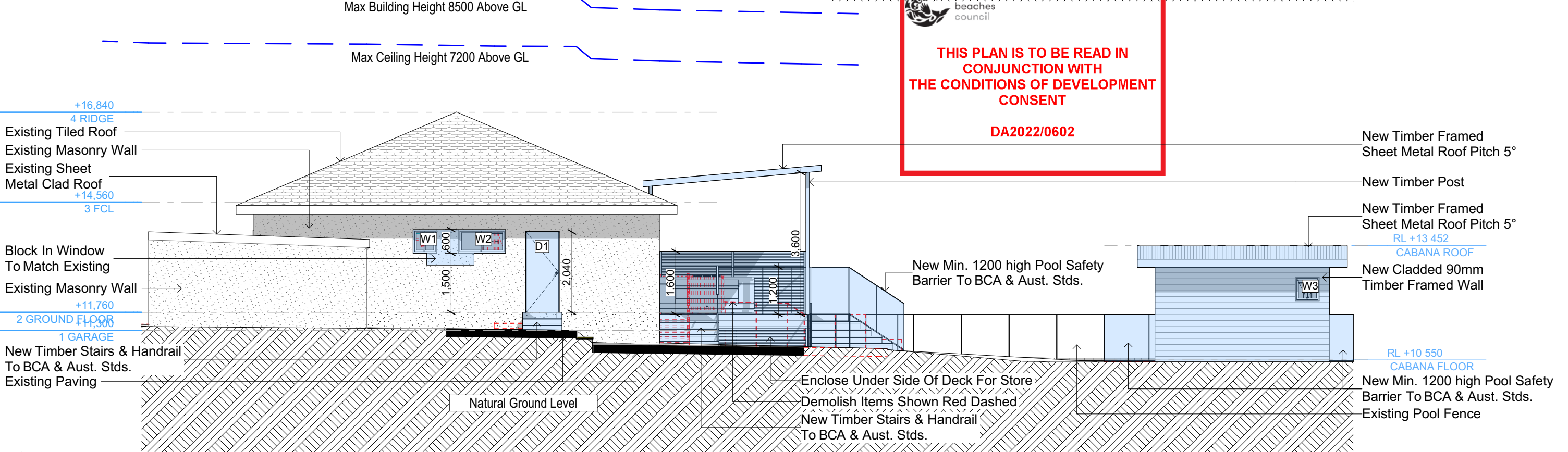
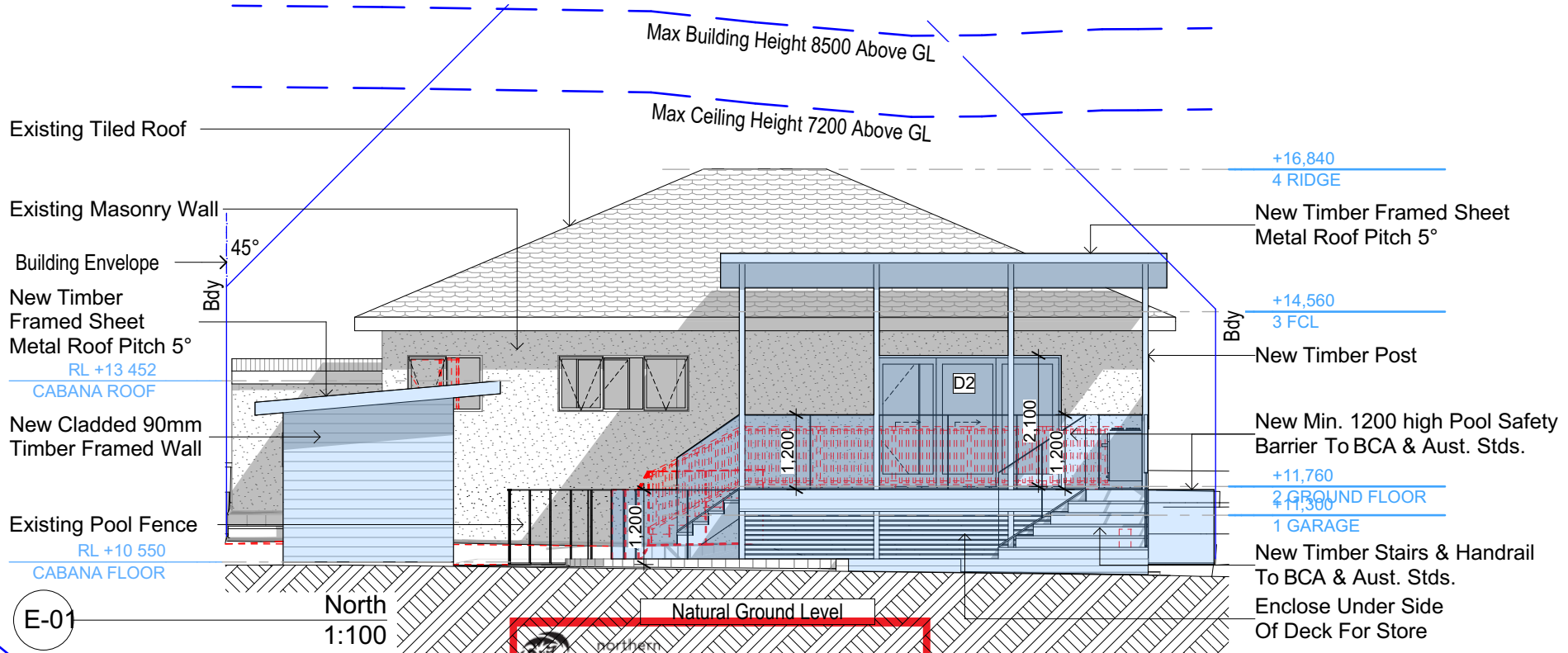
Glazing requirements					
Windows and glazed doors					
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.					
The following requirements must also be satisfied in relation to each window and glazed door:					
Each window or glazed door with standard aluminium or timber frames and single clear or tinted glass may either match the description, or have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.					
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.					
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.					
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.					
Windows and glazed doors glazing requirements					
Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Distance (m)	Shading device
W1	E	0.36	0	0	eave/verandah/pergola/balcony >=450 mm
W2	E	0.72	0	0	eave/verandah/pergola/balcony >=450 mm
W3	NE	0.36	0	0	eave/verandah/pergola/balcony >=450 mm
Frame and glass type					
timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)					
timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)					
improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)					
Glazing requirements					
Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Distance (m)	Shading device
D2	N	6.3	0	0	eave/verandah/pergola/balcony >=900 mm
D6	S	3.78	0	0	eave/verandah/pergola/balcony >=450 mm
D7	W	6.3	0	0	eave/verandah/pergola/balcony >=750 mm
Frame and glass type					
timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)					
improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)					
improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)					

Denotes New Works

Wall Legend

Denotes Existing Item

Denotes Demolished Item




E-02

East

1:100

NOTES					
28 Meehan Road, Cromer is zoned R2-Low Density Residential					
All Plans to be read in conjunction with Basix Certificate					
New Works to be constructed shown in Shaded/Blue					
28 Meehan Road, Cromer is not considered a heritage item					
Certifying					
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans					
Construction					
Slab and Framed Floors, Brick Veneer and Framed Walls					
Roof Framed to have R1.74 Insulation					
Insulation to External Brick Veneer and Framed Walls R1.70					
Refer to Engineers drawings for structural details					
All work to Engineers Specification and BCA					
Timber framing to BCA and AS 1684					
Termite Management to BCA and AS 3660.1					
Glazing to BCA and AS01288-2047					
Waterproofing to BCA and AS 3740					
New Lighting to have minimum of 40% compact fluorescent lamps					
Basix					
Basix Certificate Number A442389_02					
All Plans to be read in conjunction with Basix Certificate					
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:					
a) additional insulation is not required where the area of new construction is less than 2m ²					
b) insulation specified is not required for parts of altered construction where insulation already exists.					
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.					
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.					
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.					




Building Design and Architectural Drafting


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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

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
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ACCREDITED
BUILDING DESIGNER

Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans

Project North



Checked
Plot Date:
Project NO.
Project Status

GBJ
6/04/2022
RP0721800
DA

Client
Site:

Nathan Booker and Bree Hulme
28 Meehan Road, Cromer

Sheet Size: A3

DRAWING TITLE :

ELEVATIONS
ELEVATIONS 1

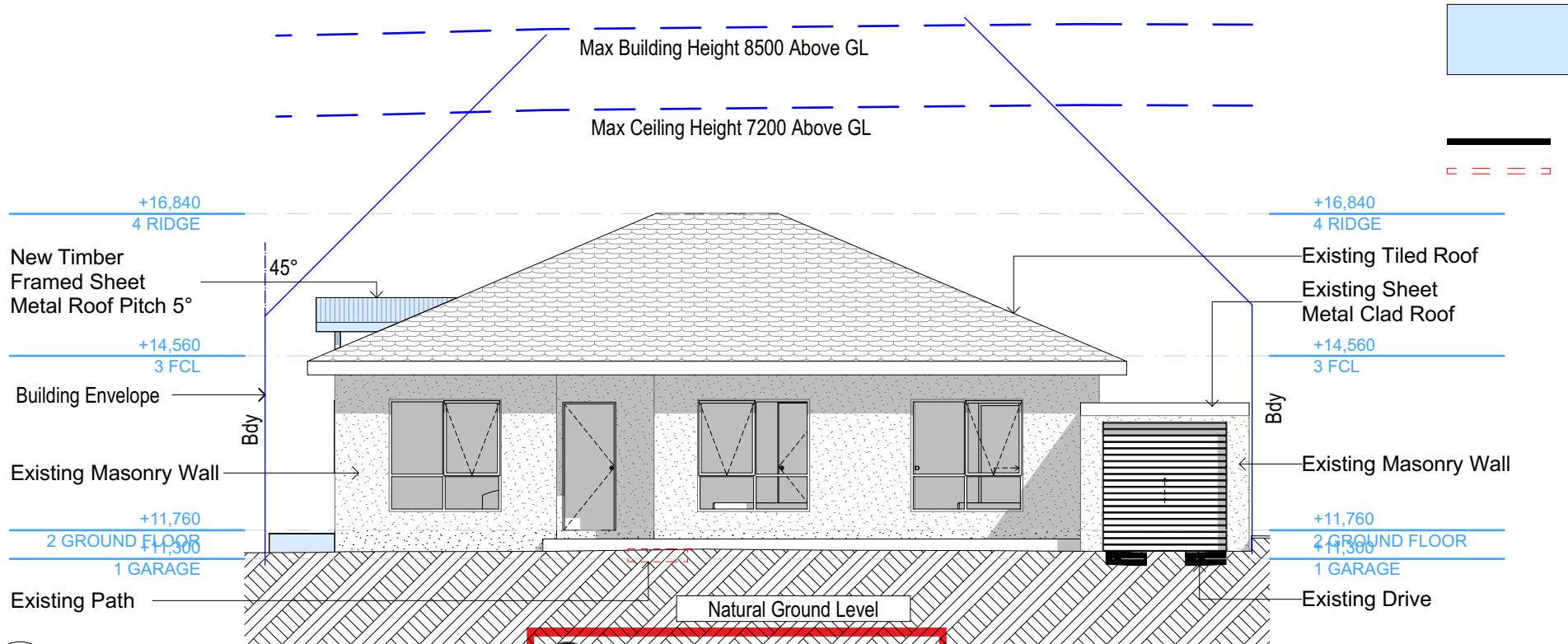
PROJECT NAME :

Alterations & Additions

REVISION NO.

DATE:
1/12/21

DRAWING NO.
DA4000



Denotes New Works

Wall Legend

Denotes Existing Item

Denotes Demolished Item

Glazing requirements						
Windows and glazed doors						
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.						
The following requirements must also be satisfied in relation to each window and glazed door:						
Each window or glazed door with standard aluminium or timber frames and single clear or tinted glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.						
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or tinted/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.						
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.						
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.						
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.						
Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Overshadowing Distance (m)	Shading device	Frame and glass type
W1	E	0.36	0	0	eave/verandah/pergola/balcony >=450 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W2	E	0.72	0	0	eave/verandah/pergola/balcony >=450 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W3	NE	0.36	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

Glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Overshadowing Distance (m)	Shading device	Frame and glass type
D2	N	6.3	0	0	eave/verandah/pergola/balcony >=900 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
D6	S	3.78	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D7	W	6.3	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2022/0602

E-03

New Timber Framed Sheet Metal Roof Pitch 5°

New Timber Post

New Timber Framed Sheet Metal Roof Pitch 5°

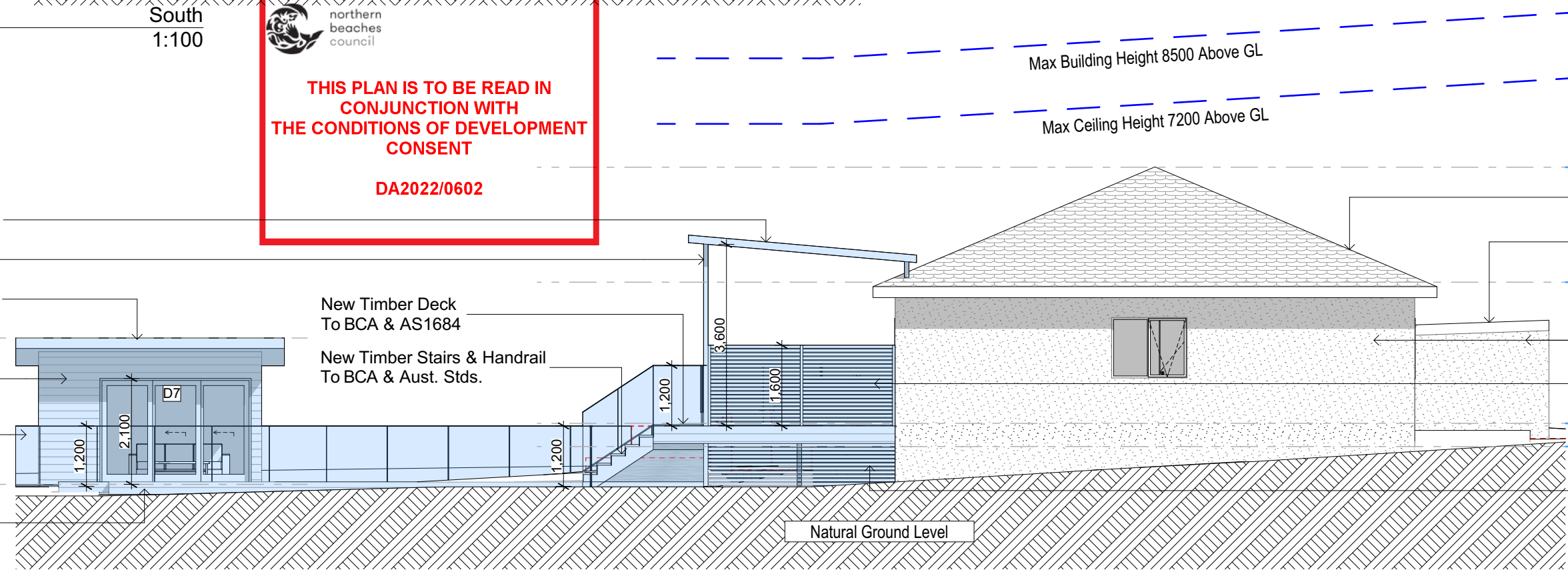
RL +13 452
CABANA ROOF

New Cladded 90mm Timber Framed Wall

New Min. 1200 high Pool Safety Barrier To BCA & Aust. Stds.

RL +10 550
CABANA FLOOR

New Timber Deck To BCA & AS1684



Max Building Height 8500 Above GL

Max Ceiling Height 7200 Above GL

Existing Tiled Roof

Existing Sheet Metal Clad Roof

+14,560
3 FCL

Existing Masonry Wall

New 1600mm High Timber Privacy Screen

+11,760
2 GROUND FLOOR
+11,300
1 GARAGE

Enclose Under Side Of Deck For Store

E-04

DA APPLICATION ONLY

NOT FOR CONSTRUCTION

NOTES

28 Meehan Road, Cromer is zoned R2-Low Density Residential

All Plans to be read in conjunction with Basix Certificate

New Works to be constructed shown in Shaded/Blue

28 Meehan Road, Cromer is not considered a heritage item

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction

Slab and Framed Floors, Brick Veneer and Framed Walls

Roof Framed to have R1.74 Insulation

Insulation to External Brick Veneer and Framed Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS01288-2047

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A442389_02

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:

a) additional insulation is not required where the area of new construction is less than 2m2


b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	579.1m2	Yes	Building envelope	4m@45Deg	Yes
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40% min)	38%	Variation
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m2)	62%	Variation
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	579mm	Yes
Front Setback (Min.)	6.5m	Existing	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Variation	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Existing			




Building Design and Architectural Drafting


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Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North



Checked
Plot Date:
Project NO.
Project Status

GBJ
6/04/2022
RP0721BOO
DA

Client
Site:

Nathan Booker and Bree Hulme
28 Meehan Road, Cromer

Sheet Size: A3

DRAWING TITLE :

**ELEVATIONS
ELEVATIONS 2**

PROJECT NAME :

Alterations & Additions

REVISION NO.

-

DATE:
1/12/21

DRAWING NO.
DA4001