

### SITE ANALYSIS

SITE AREA APPROX=	574	sq.m
EXISTING APPROX INTERNAL NIT AREA =	90	sq.m.
EXISTING APPROX ROOF TERRACE =	95	sq.m

**PROPOSED VERGOLA = 30.69 sq.m.**

**NOTES:-**  
AS THE PROPOSED VERGOLA IS TO BE BUILT OVER AN EXISTING HARDSTAND AREA WITHIN AN EXISTING UNIT BLOCK, THERE WILL BE NO INCREASE IN THE EXISTING SITE COVERAGE.  
ALL DOWNPIPES TO BE DIRECTED INTO THE EXISTING STORMWATER DISPOSAL SYSTEM.  
ALL DIMENSIONS ARE TO BE CONFIRMED WITH A SITE MEASURE PRIOR TO MANUFACTURE.

**ALL MEASUREMENTS TO  
BE VERIFIED AT C/M**

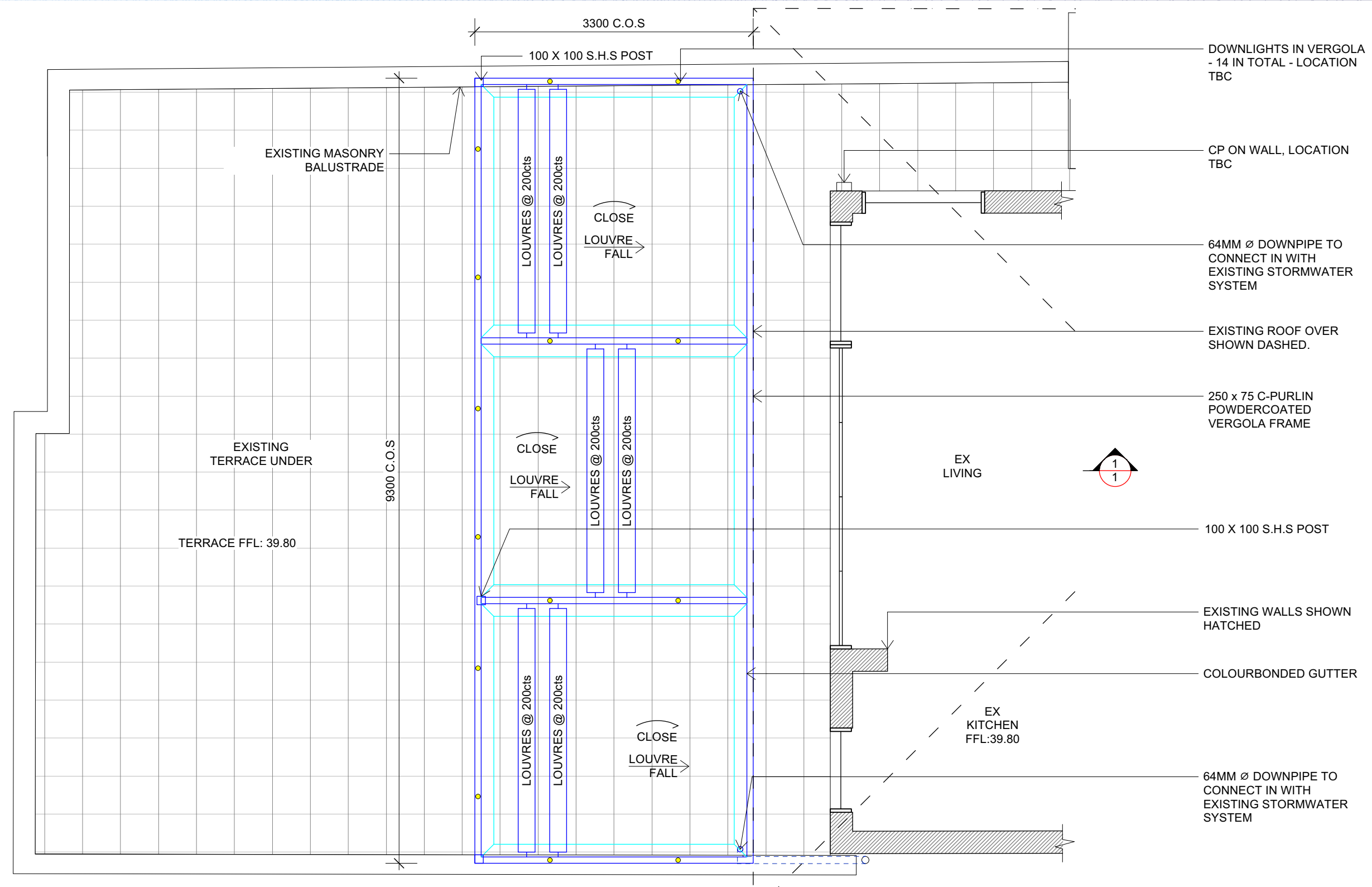
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7 TEPKO ROAD TERREY HILLS NSW 2084  
TEL: (02) 9450 3300  
FAX: (02) 9450 3333

Project:  
**PROPOSED VERGOLA  
LOUVERED ROOF SYSTEM  
AT EXISTING RESIDENCE**  
Client:  
**MAX EVENS**  
Address:  
**6/21 CAVILL STREET  
QUEENSCLIFF - NSW - 2096**

DATE DRAFTED	AMENDED DATE
15-09-23	A - 07-09-23
SALES REP.	B - 15-09-23
D.R.	
DRAWN	SHEET No.
JGW/GR	1 OF 9
DRAWING No.	DATE SIGNED
18128	
SCALE.	AS NOTED @ A3
CLIENT'S SIGNATURE	



**PLAN**  
SCALE 1:50

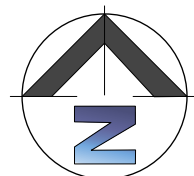
**NOTES:-**

VERGOLA FRAME:  
VERGOLA POSTS:  
FLASHING & GUTTER:  
VERGOLA LOUVRES:  
S/WATER:

POWDERCOAT FRAME "HAMPTONS WHITE" COLOUR FINISH  
POWDERCOAT "HAMPTONS WHITE" COLOUR FINISH  
MADE IN COLORBOND COLOUR "DUNE"  
MADE IN COLORBOND COLOUR "DUNE"  
64mm PVC DOWNPIPE TO EXISTING DOWNPIPE &  
STORMWATER SYSTEM WITH PAINT COLOUR TO MATCH EXISTING

**LEGEND:**

- METAL-STEEL FRAME/  
"VERGOLA" - PAINTED -
- METAL DOWNPIPE/ GUTTERS -  
PAINTED



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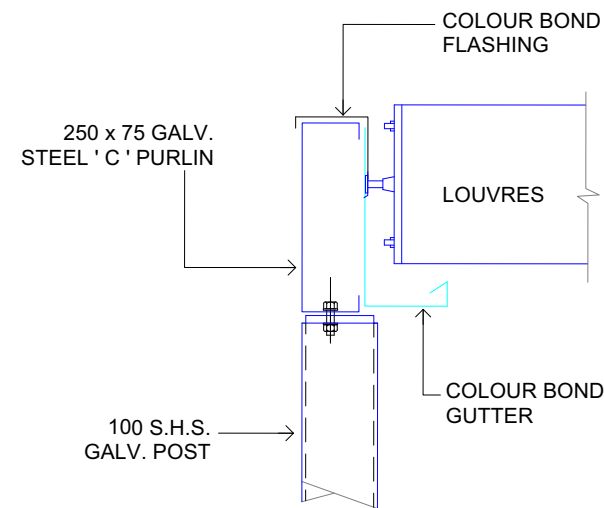
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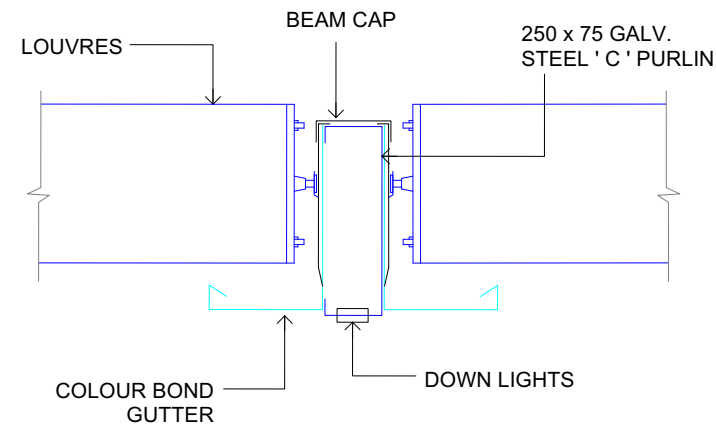
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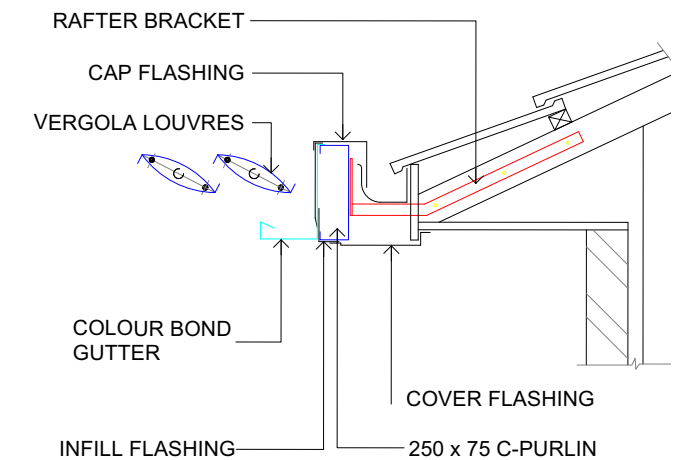
**POST DETAIL**

SCALE 1:10



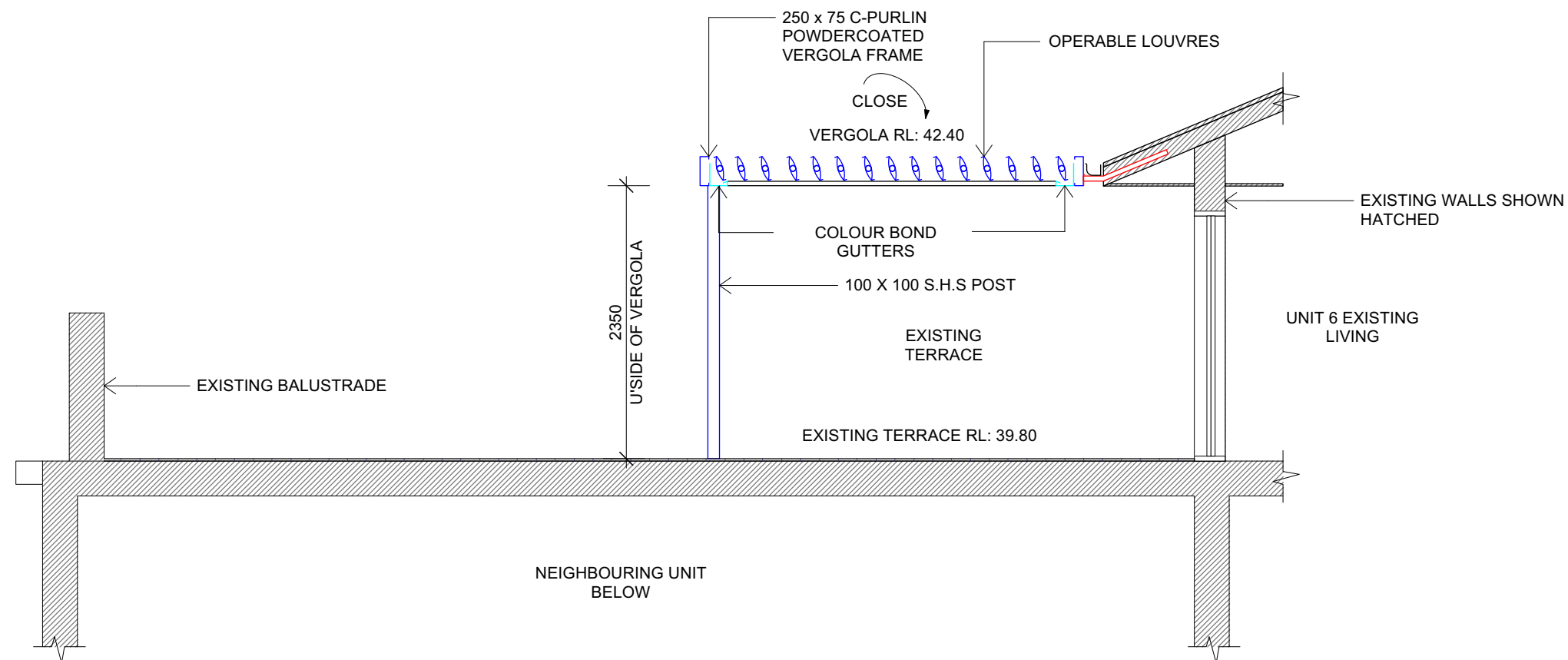
**CENTRE BEAM DETAIL**

SCALE 1:10



**RAFTER BRACKET DETAIL**

SCALE 1:20



**SECTION**

SCALE 1:50

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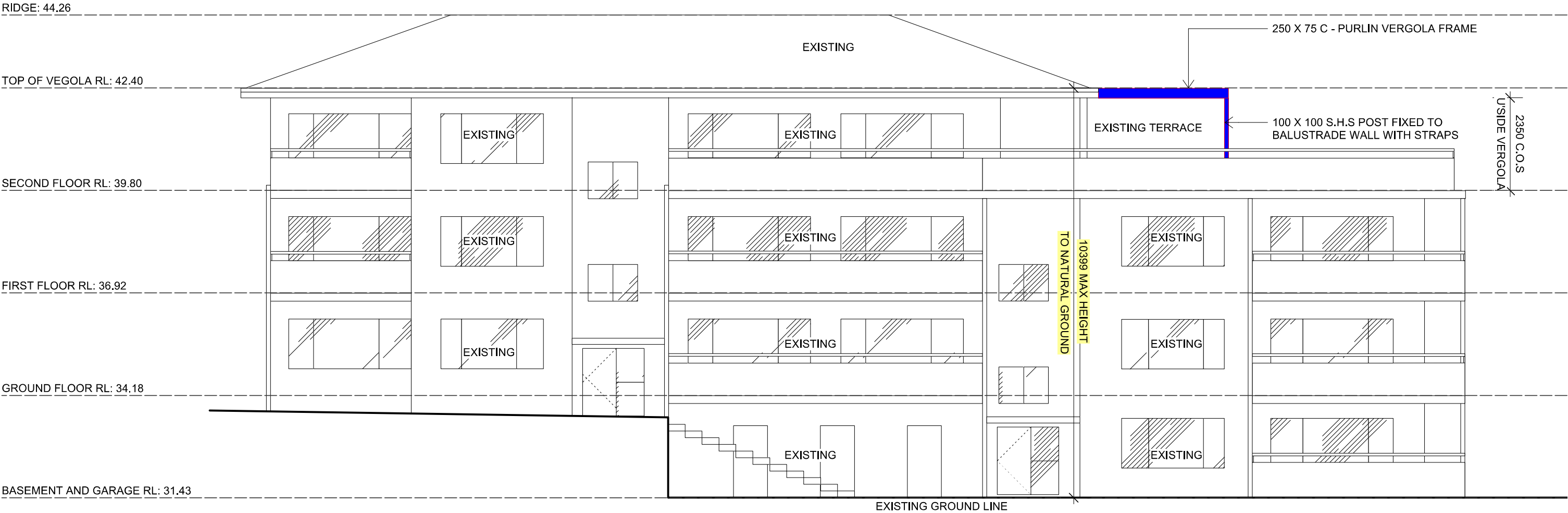
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NORTHERN ELEVATION

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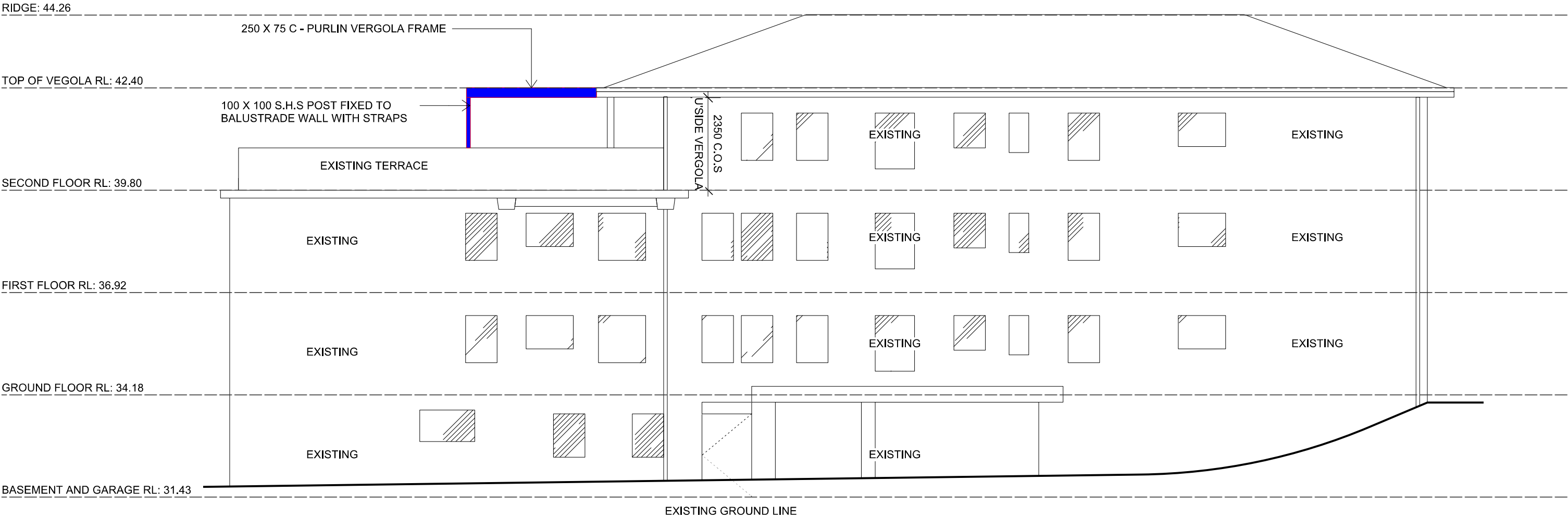
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SOUTHERN ELEVATION

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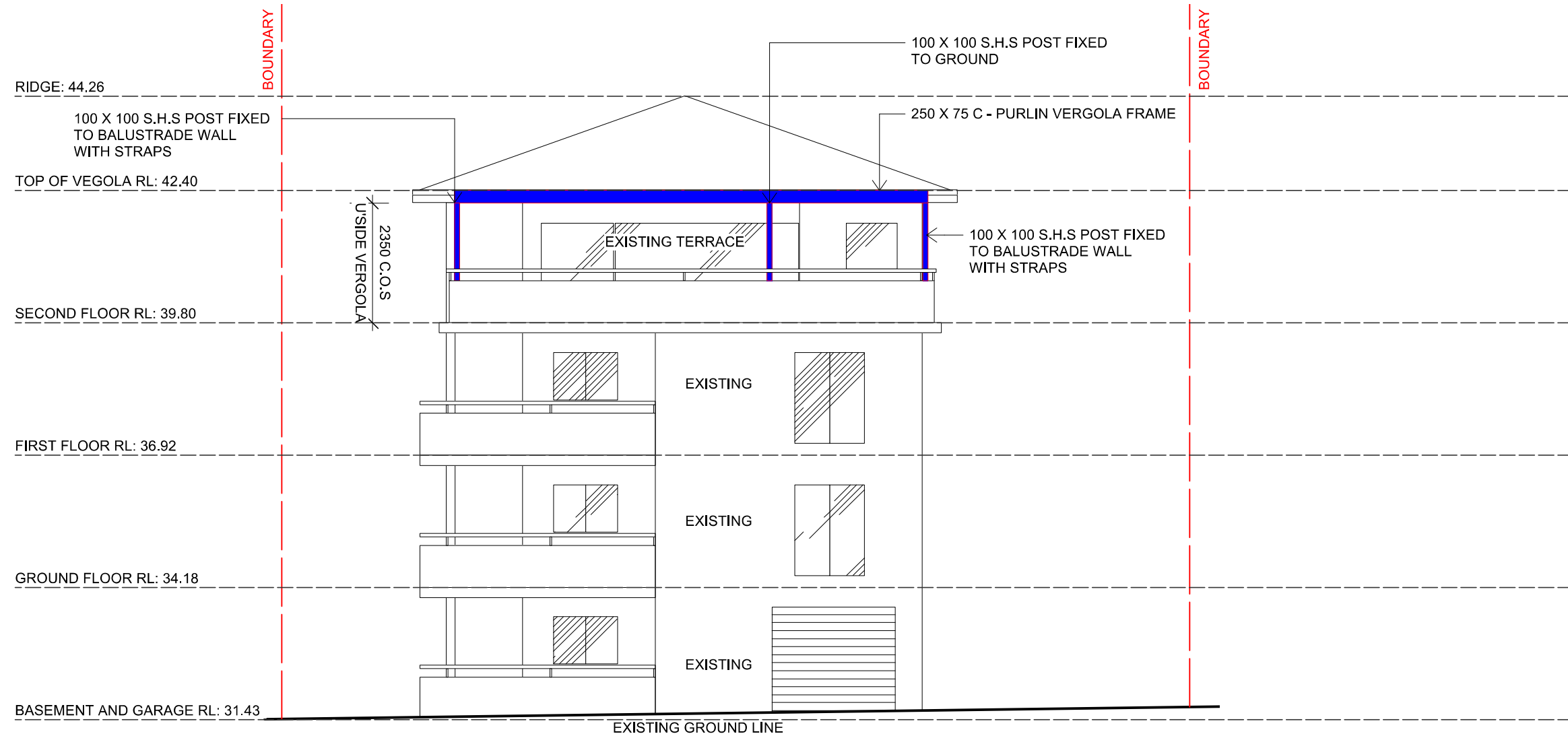


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## WESTERN ELEVATION

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(NSW) PTY. LTD.

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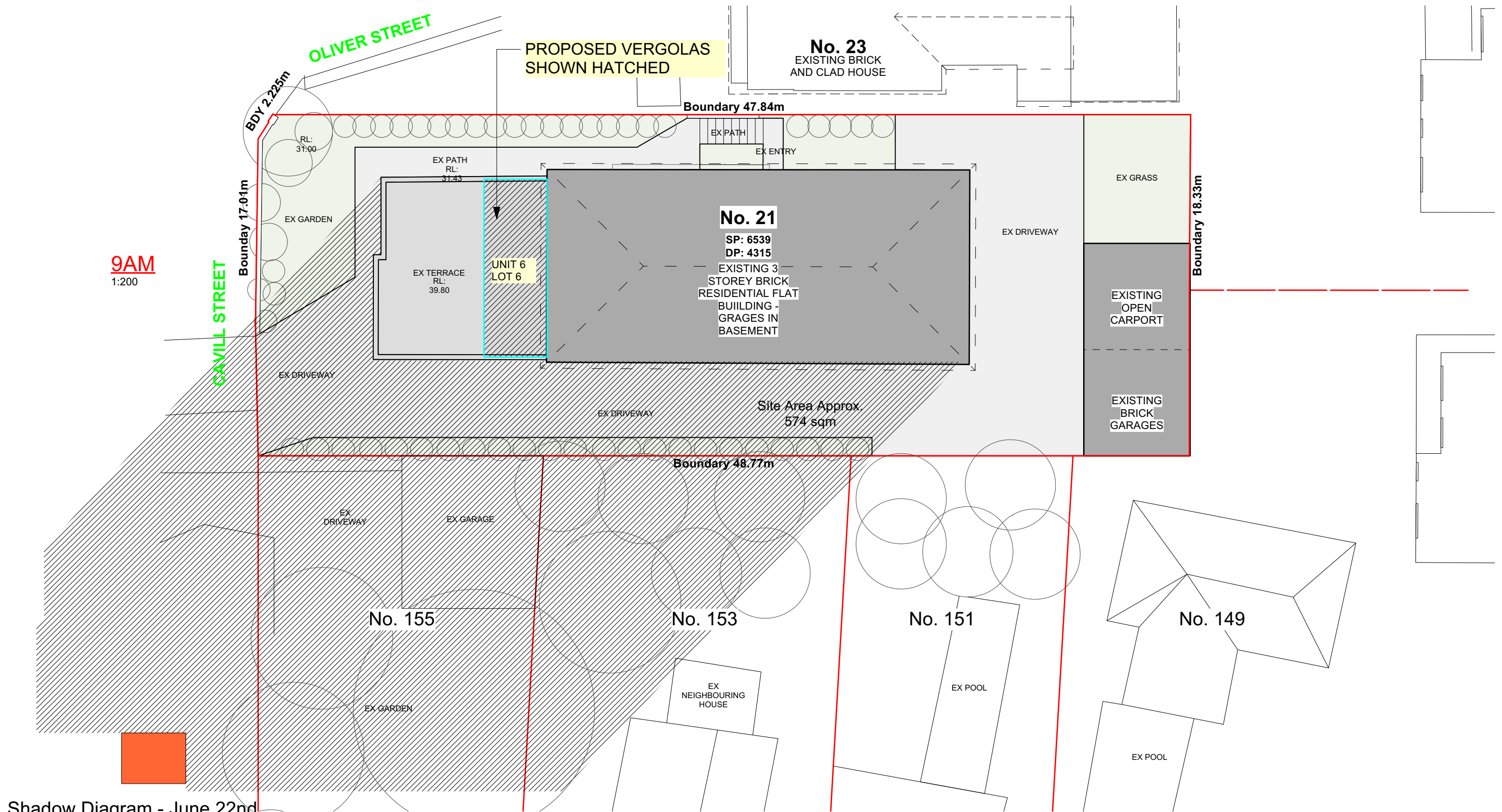
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Shadow Diagram - June 22nd

LEGEND:

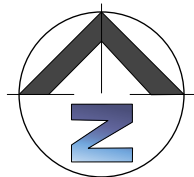
SCALE 1:400

Existing Shadow Cast by Existing Residence

9am Additional Shadow cast by proposed Vergola

12pm Additional Shadow cast by proposed Vergola

3pm Additional Shadow cast by proposed Vergola



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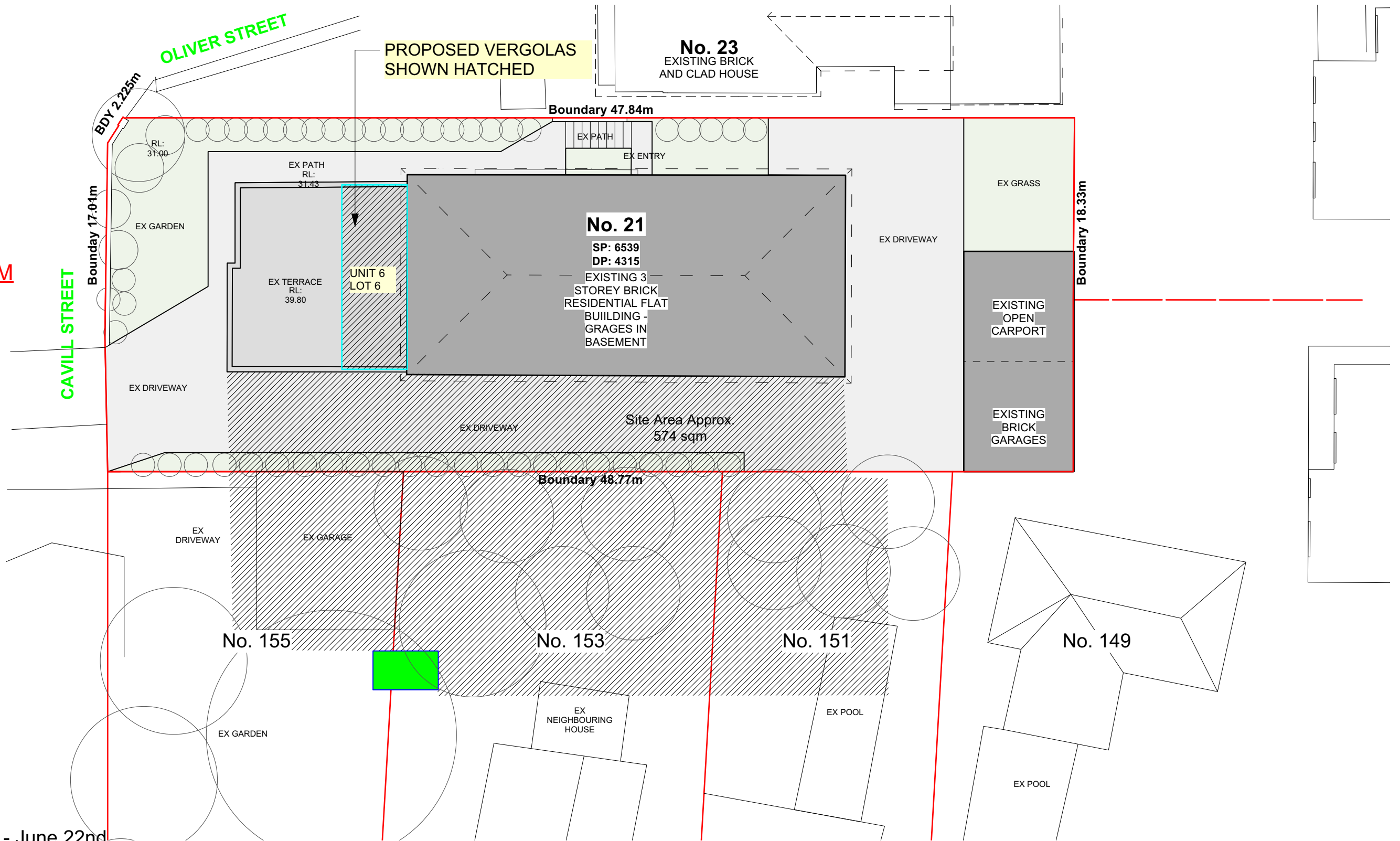
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12PM  
1:200



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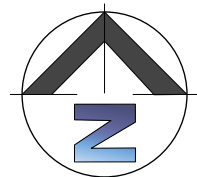
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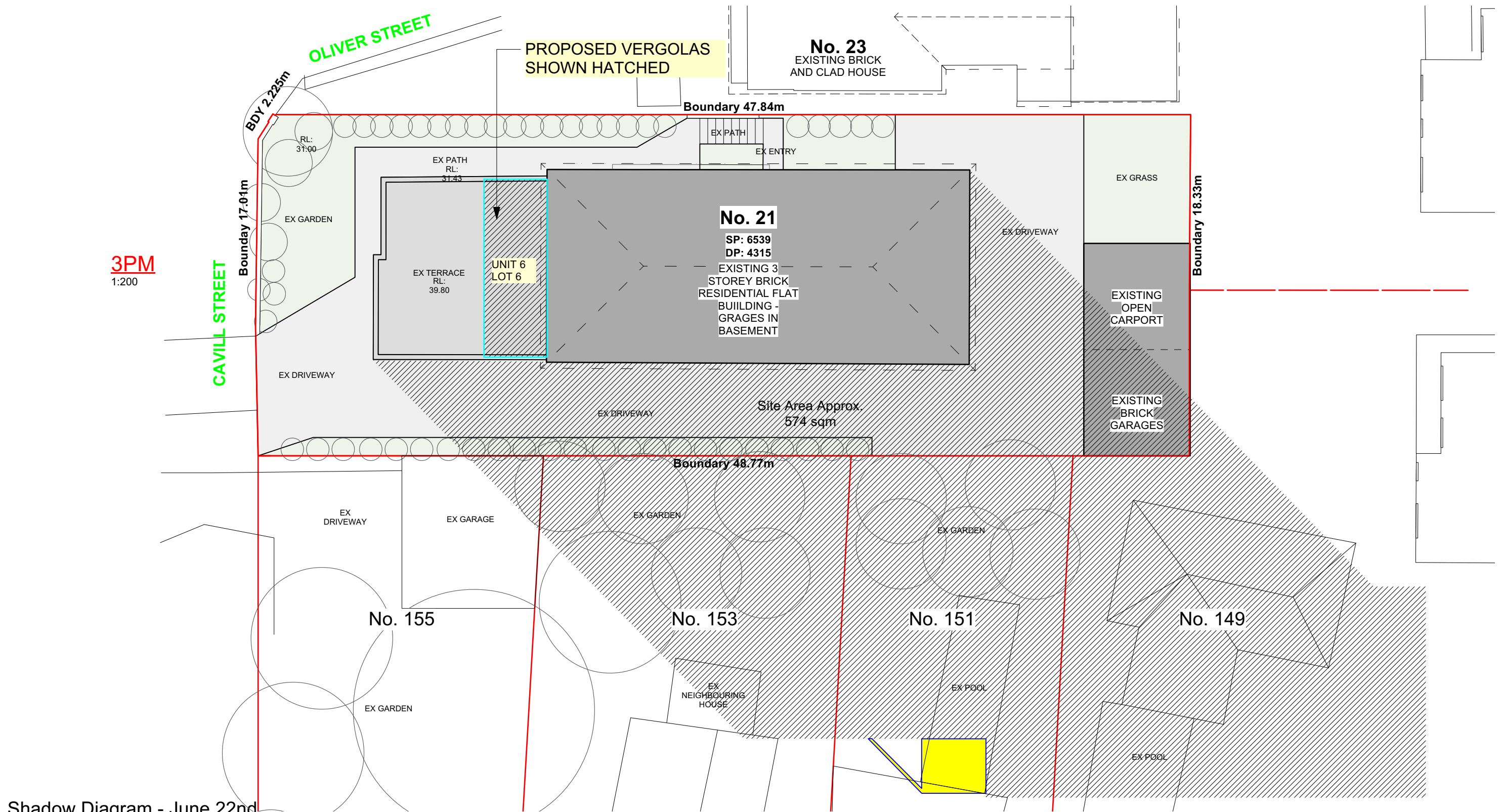
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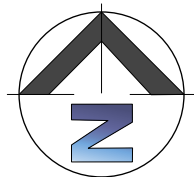
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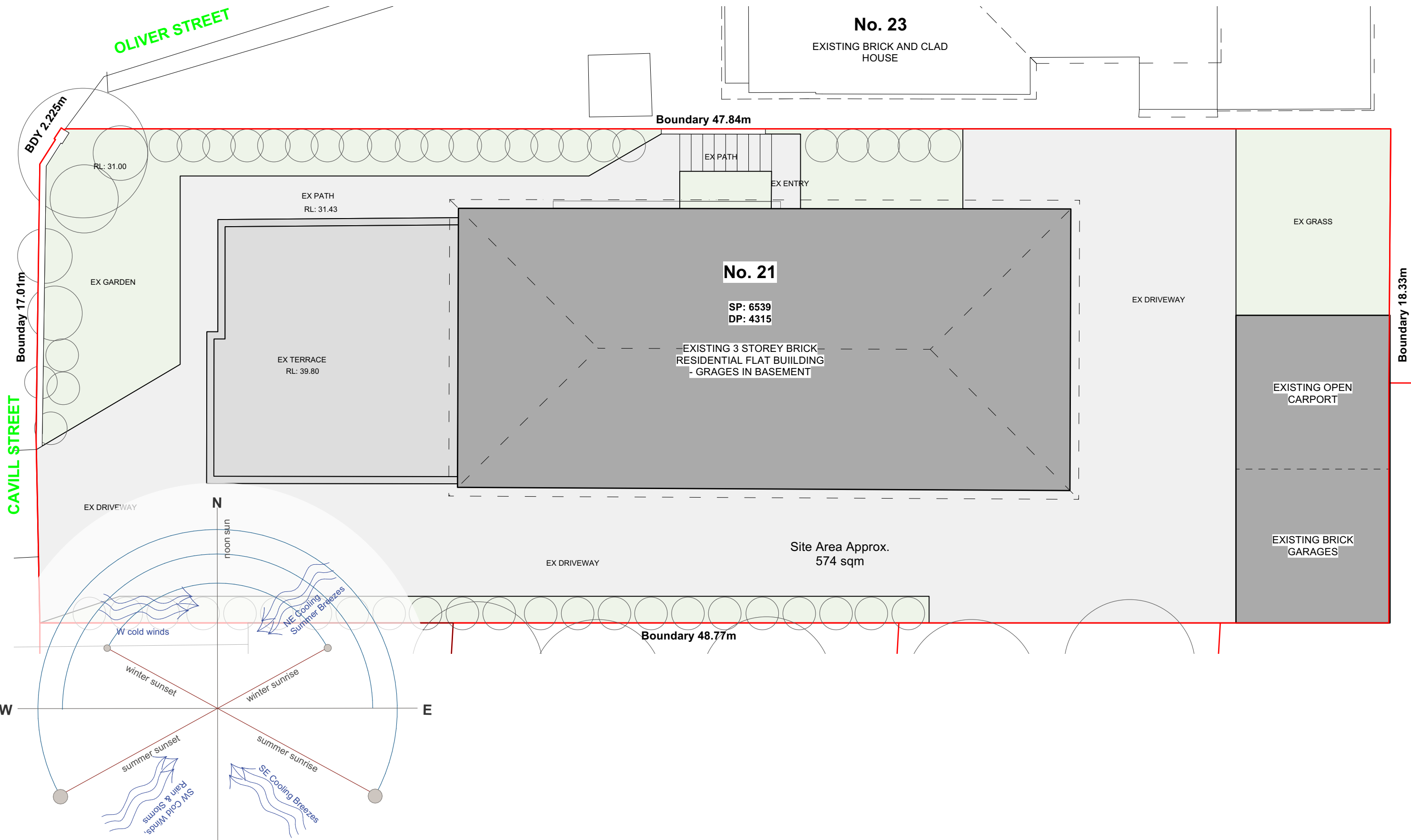
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CAVILL STREET

OLIVER STREET

No. 23

EXISTING BRICK AND CLAD  
HOUSE

Boundary 47.84m

EX PATH

EX ENTRY

No. 21

SP: 6539  
DP: 4315

EXISTING 3 STOREY BRICK  
RESIDENTIAL FLAT BUILDING  
- GRAGES IN BASEMENT

EX GRASS

EX DRIVEWAY

EXISTING OPEN  
CARPORT

EXISTING BRICK  
GARAGES

Site Area Approx.  
574 sqm

Boundary 48.77m

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