

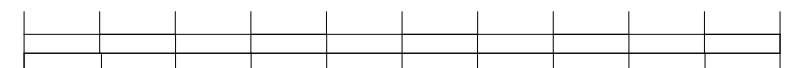
SITE AREA  
AREA = 787.7m<sup>2</sup>  
AREA B = 88.1m<sup>2</sup>  
TOTAL SITE = 875.8m<sup>2</sup>

60% LANDSCAPED AREA = 525.5m<sup>2</sup>  
EXISTING LANDSCAPED AREA = 329m<sup>2</sup> (37.5%)  
(LANDSCAPED AREA UNCHANGED)

**SITE NOTES:**

1. ALL WORK TO BE CARRIED OUT WITHIN THE BOUNDARIES OF THE SITE.
2. ALL WORK IS TO BE IN ACCORDANCE WITH THE NCC, NORTHERN BEACHES COUNCIL AND SYDNEY WATER.
3. ANY STORAGE/SKIP BINS ARE TO BE STORED ON SITE AND NOT ON COUNCIL RESERVE/FOOTPATH.
4. ALL WORK TO BE CARRIED OUT AS PER PLANS, ANY CHANGES ARE TO BE DISCUSSED WITH THE DESIGNER AND APPROVED BY THE DESIGNER.
5. ALL STORMWATER AS PER EXISTING.
6. ALL WORK TO BE COMPLIANT WITH THE FOLLOWING AUSTRALIAN STANDARDS AND NOT LIMITED TO:  
AS 1562.1 Design and installation of sheet roof and wall cladding-metal, AS/NZS 3500.3 Stormwater drainage, AS1684 Residential timber-framed construction.
7. CHECK ALL DIMENSIONS ON SITE.

0 2 4 6 8 10 12 14 16 18 20



**SITE PLAN & SITE ANALYSIS PLAN**

 **northern beaches council**

**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**

**DA2020/0159**

- KEY:**
- CONTOUR LINES
  - EXISTING RETAINING WALLS
  - EXISTING TREES
  - EXISTING SPOT RL'S
  - EASEMENT LINE
  - FENCE
  - GRASS AREAS
  - POWER LINE
  - PROPOSED AWNING ROOF
  - PP POWER POLE
  - SIP SEWER INSPECTION PIT
  - WM WATER METRE
  - STREET NOISE DIRECTION
  - VIEWS
  - WIND DIRECTION



**Nvisage**

**NVISAGE PTY LTD.**  
PO BOX 1668  
WARRIEWOOD SQUARE  
NSW 2102

ACN: 107 496 935  
MOBILE: 0413 489 984

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**CLIENT DETAILS:**

DENNIS & CAROL KING

179 HUDSON PARADE  
CLAREVILLE NSW  
2107 AUSTRALIA

**PROPERTY:**

LOT129 SEC DP 13760

**DRAWING TITLE:**

DA PLANS

**DESIGN BY:**

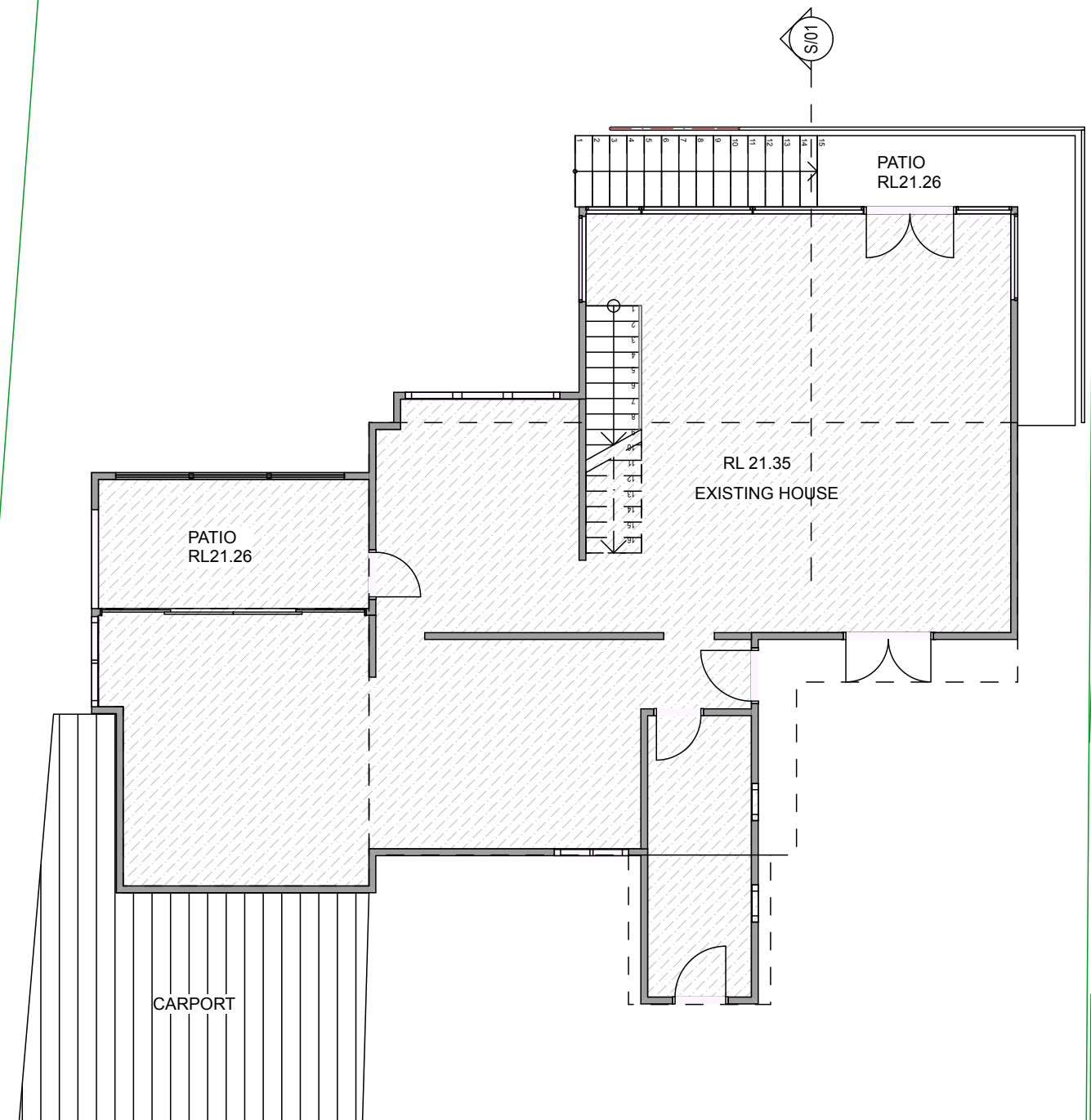
TRINA ROWSTON

<b>DATE:</b>	<b>REVISED:</b>
20-02-2020	A
<b>JOB No.</b>	<b>DWG. No.</b>
RES122	DA-01

ALL MEASUREMENTS ARE IN MM UNLESS NOTED OTHERWISE.

**PLOT DATE:** 20/02/2020

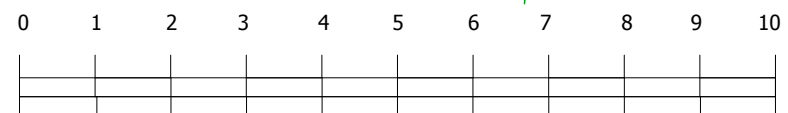
1:200



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beaches  
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GROUND FLOOR

1:100



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KING

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2107 AUSTRALIA

PROPERTY:

LOT129 SEC DP 13760

DRAWING TITLE:

DA PLANS

DESIGN BY:

TRINA ROWSTON

DATE:

20-02-2020

REVISED:

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JOB No.

RES122

DWG. No.

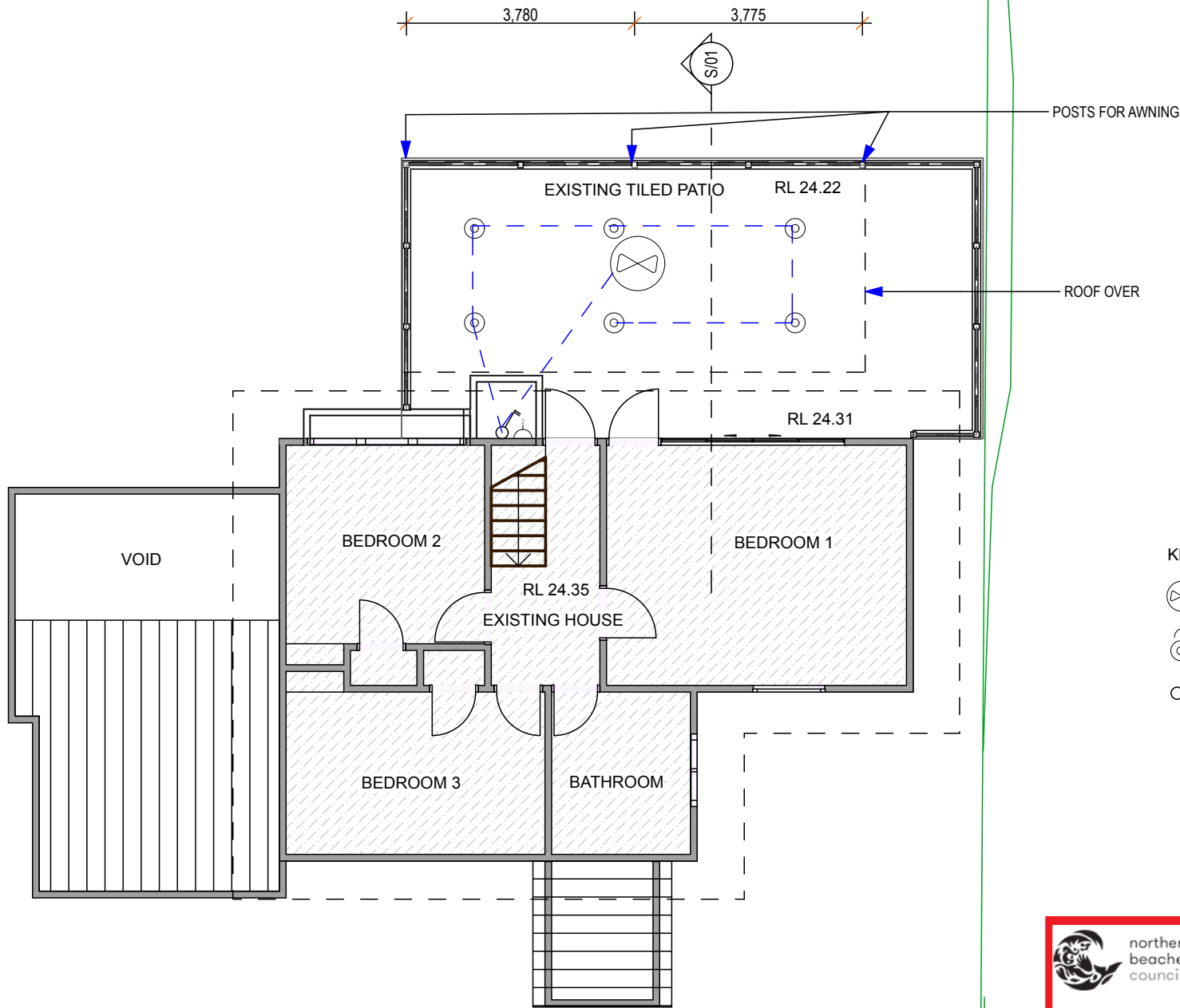
DA-02

ALL MEASUREMENTS ARE IN MM  
UNLESS NOTED OTHERWISE.

PLOT DATE: 20/02/2020

SPECIFICATION:

1. SPLICE NEW 90x90 TIMBER POSTS INTO THE EXISTING BALUSTRADE POSTS FOR THE AWNING ROOF.
2. RETAIN EXISTING PATIO AND BALUSTRADES.
3. ALL WORK TO COMPLY WITH THE NCC AND AUSTRALIAN STANDARDS.
4. ELECTRICAL PLAN AS PER CEILING LAYOUT.
5. EXTERIOR POWER OUT TO BE ADDED AND SWITCH FOR CEILING FAN AND LIGHTS.
6. RECESS LED DOWN LIGHTS TO BE INCLUDED IN COMPOSITE ROOF PANELS.
7. CHECK ALL DIMENSIONS ON SITE.

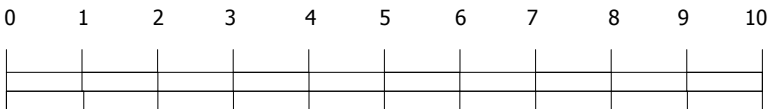


- KEY:
- CEILING FAN
  - POWER OUTLET
  - RECESS DOWN LIGHTS
  - SWITCH

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FIRST FLOOR

1:100



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179 HUDSON PARADE  
CLAREVILLE NSW  
2107 AUSTRALIA

PROPERTY:

LOT129 SEC DP 13760

DRAWING TITLE:

DA PLANS

DESIGN BY:

TRINA ROWSTON

DATE:

20-02-2020

REVISED:

A

JOB No.

RES122

DWG. No.

DA-03

ALL MEASUREMENTS ARE IN MM  
UNLESS NOTED OTHERWISE.

PLOT DATE: 20/02/2020

SPECIFICATION:

1. SPLICE NEW 90x90 TIMBER POSTS INTO THE EXISTING BALUSTRADE FOR THE AWNING ROOF.
2. RETAIN EXISTING ROOF AND PARAPET
3. ADD NEW RAFTERS AS PER SECTION DETAIL. 3(140x35) F17.
4. RAFTERS TO CONNECT WITH NAILING PLATE AGAINST EXISTING HOUSE WALL.
5. ADD ANOTHER NAILING PLATE AGAINST PARAPET FOR BOX GUTTER.
6. ROOF SHEET- VERSICLAD SPACEMAKER 75mm COMPOSITE PANEL.
7. TOP SHEET OF PANEL IN COLORBOND- WINDSPRAY.
8. CEILING IN 'SMOOTH' PEARL WHITE.
9. PARAPET TO MATCH EXISTING HOUSE PARAPET IN STYLE.
10. PAINT RAFTERS IN CEILING WHITE.
11. PAINT POSTS TO MATCH BALUSTRADE.
12. BOX GUTTER 200 WIDE, 150h ON PARAPET SIDE AND 100h ON ROOF SIDE.
13. ADD METAL GUTTER GUARD TO BOX GUTTER.
14. NEW DOWN PIPE TO MATCH EXISTING AND TO BE CONNECTED TO EXISTING DRAIN.
15. ALL WORK TO COMPLY WITH THE NCC AND AUSTRALIAN STANDARDS.
16. CHECK ALL DIMENSIONS ON SITE.
17. REFER TO VERSICAL INSTALLTION DRAWINGS FOR DETAILS ON FIXINGS AND FLASHINGS.

AREA OF ROOF =28m²

PARAPET RL27.55

EXISTING EAVE

PARAPET RL27.265

PARAPET RL27.48

EXISTING ROOF

BOX GUTTER

FALL

FALL

RAFTERS

NAILING PLATE

DP

PARAPET TO MATCH EXISTING

VERSICLAD SPACEMAKER 75mm  
COMPOSITE ROOF SHEETS

7.680

3.796

S101



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council

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**DA2020/0159**

KEY:



PROPOSED ADDITION

0 1 2 3 4 5 6 7 8 9 10

ROOF PLAN

1:50



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PROPERTY:

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DRAWING TITLE:

DA PLANS

DESIGN BY:

TRINA ROWSTON

DATE:

20-02-2020

REVISED:

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JOB No.

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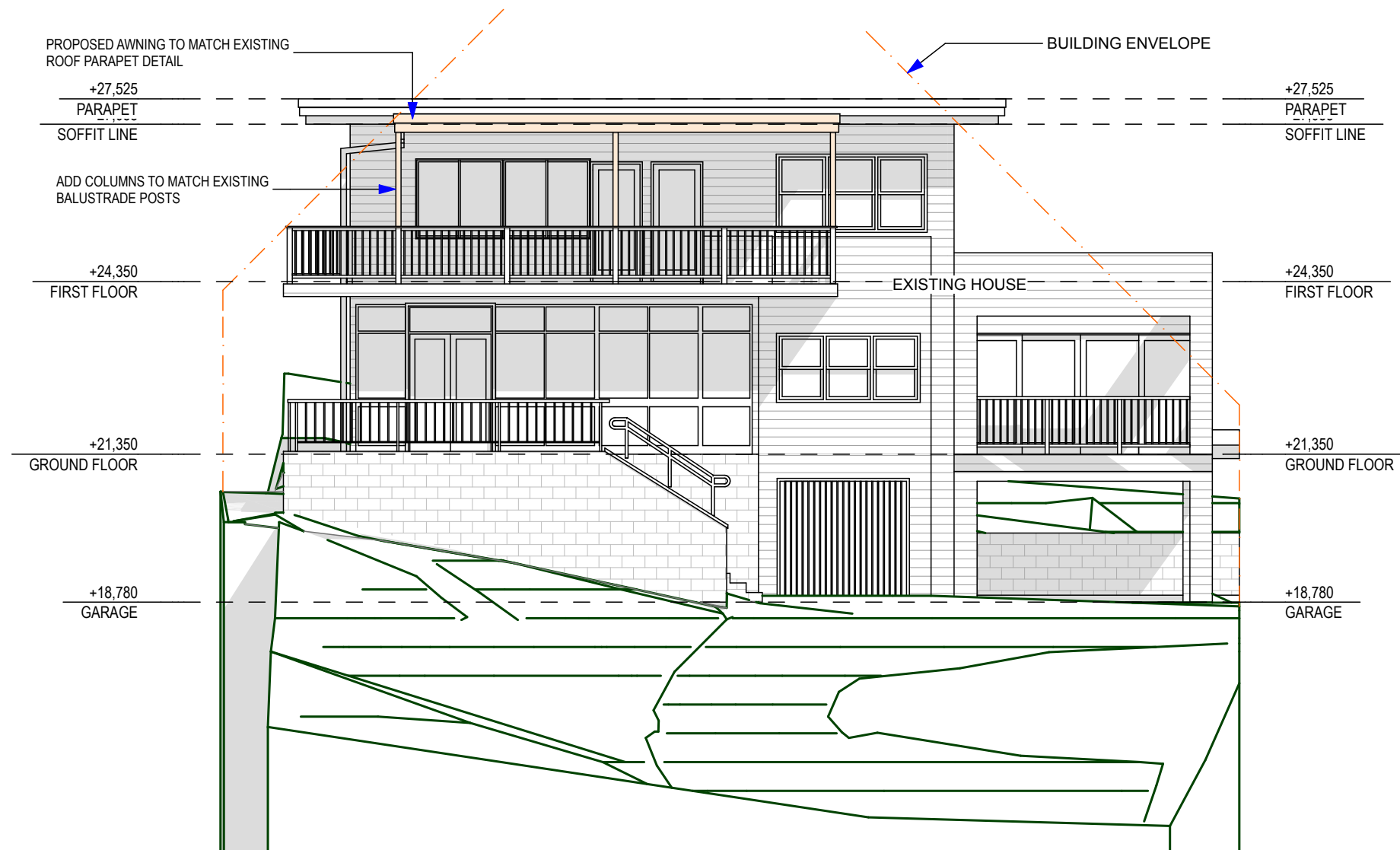
DWG. No.

DA-04

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PLOT DATE:

20/02/2020



NORTH ELEVATION

1:100

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**THIS PLAN IS TO BE READ IN  
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**DA2020/0159**

KEY:  
 PROPOSED ADDITION



SOUTH ELEVATION

1:100



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CLAREVILLE NSW  
2107 AUSTRALIA

**PROPERTY:**

LOT129 SEC DP 13760

**DRAWING TITLE:**

DA PLANS

**DESIGN BY:**

TRINA ROWSTON

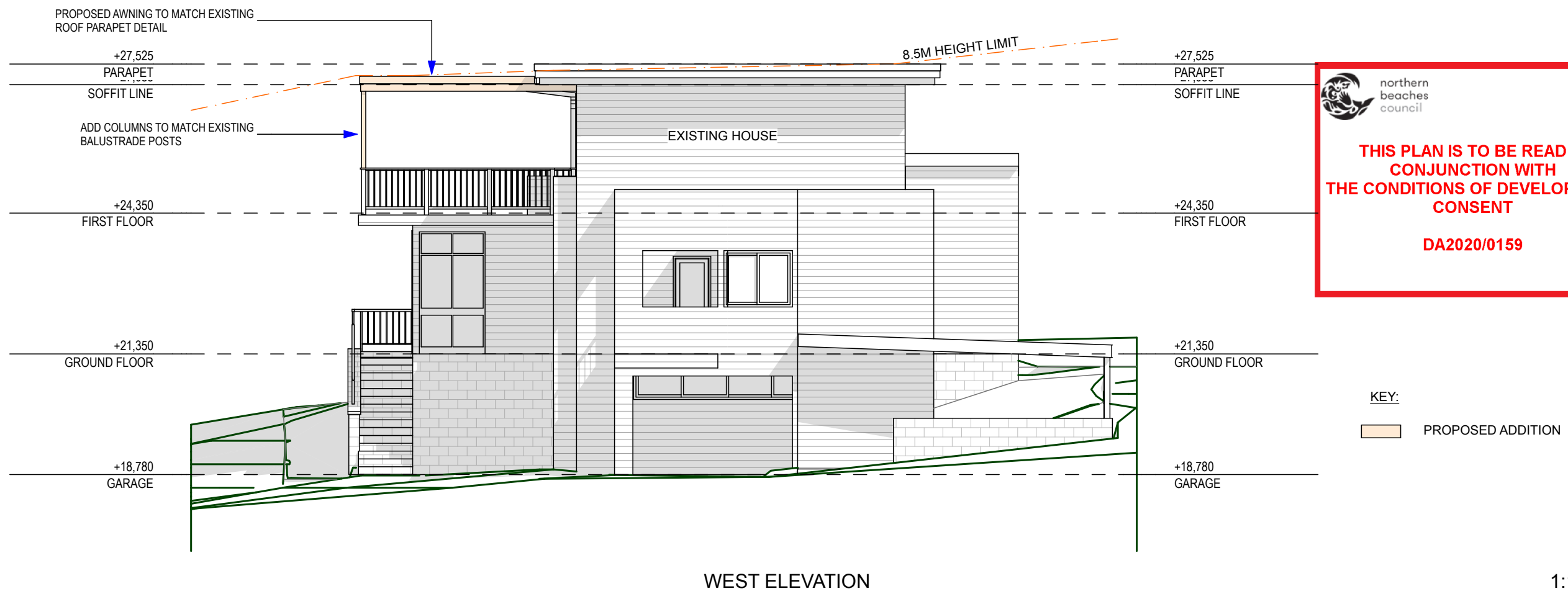
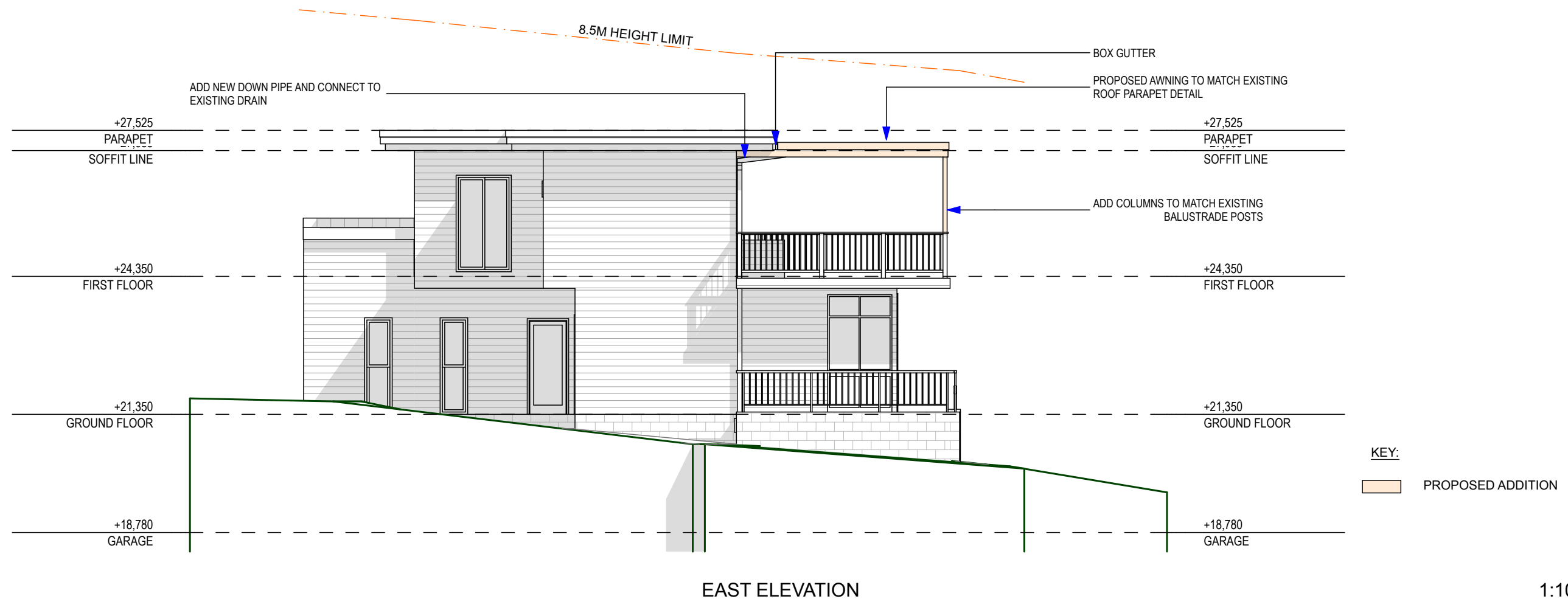
<b>DATE:</b>	<b>REVISED:</b>
20-02-2020	A

<b>JOB No.</b>	<b>DWG. No.</b>
RES122	DA-05

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PLOT DATE: 20/02/2020





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DA PLANS

**DESIGN BY:**

TRINA ROWSTON

**DATE:**

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**REVISED:**

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**JOB No.**

RES122

**DWG. No.**

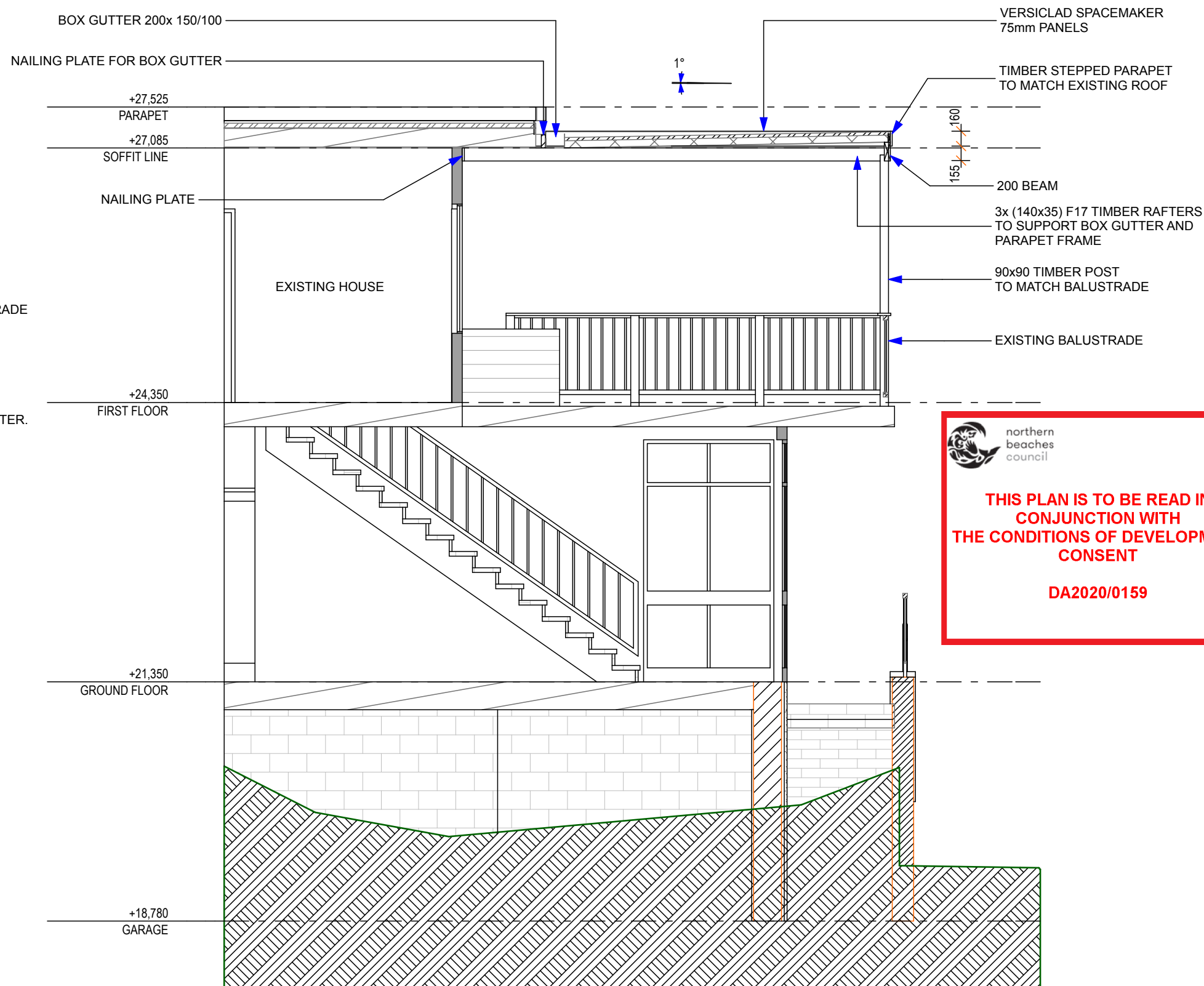
DA-06

ALL MEASUREMENTS ARE IN MM  
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PLOT DATE: 20/02/2020

SPECIFICATION:

1. SPLICE NEW 90x90 TIMBER POSTS INTO THE EXISTING BALUSTRADE FOR THE AWNING ROOF.
2. RETAIN EXISTING ROOF AND PARAPET
3. ADD NEW RAFTERS AS PER SECTION DETAIL. 3(140x35) F17.
4. RAFTERS TO CONNECT WITH NAILING PLATE AGAINST EXISTING HOUSE WALL.
5. ADD ANOTHER NAILING PLATE AGAINST PARAPET FOR BOX GUTTER.
6. ROOF SHEET- VERSICLAD SPACEMAKER 75mm COMPOSITE PANEL.
7. TOP SHEET OF PANEL IN COLORBOND- WINDSPRAY.
8. CEILING IN 'SMOOTH' PEARL WHITE.
9. PARAPET TO MATCH EXISTING HOUSE PARAPET IN STYLE.
10. PAINT RAFTERS IN CEILING WHITE.
11. PAINT POSTS TO MATCH BALUSTRADE.
12. BOX GUTTER 200 WIDE, 150h ON PARAPET SIDE AND 100h ON ROOF SIDE.
13. NEW DOWN PIPE TO MATCH EXISTING AND TO BE CONNECTED TO EXISTING DRAIN.
14. ALL WORK TO COMPLY WITH THE NCC AND AUSTRALIAN STANDARDS.
15. CHECK ALL DIMENSIONS ON SITE.
16. REFER TO VERSICAL INSTALLTION DRAWINGS FOR DETAILS ON FIXINGS AND FLASHINGS.



S/01

Section 1

1:50



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JOB No.

RES122

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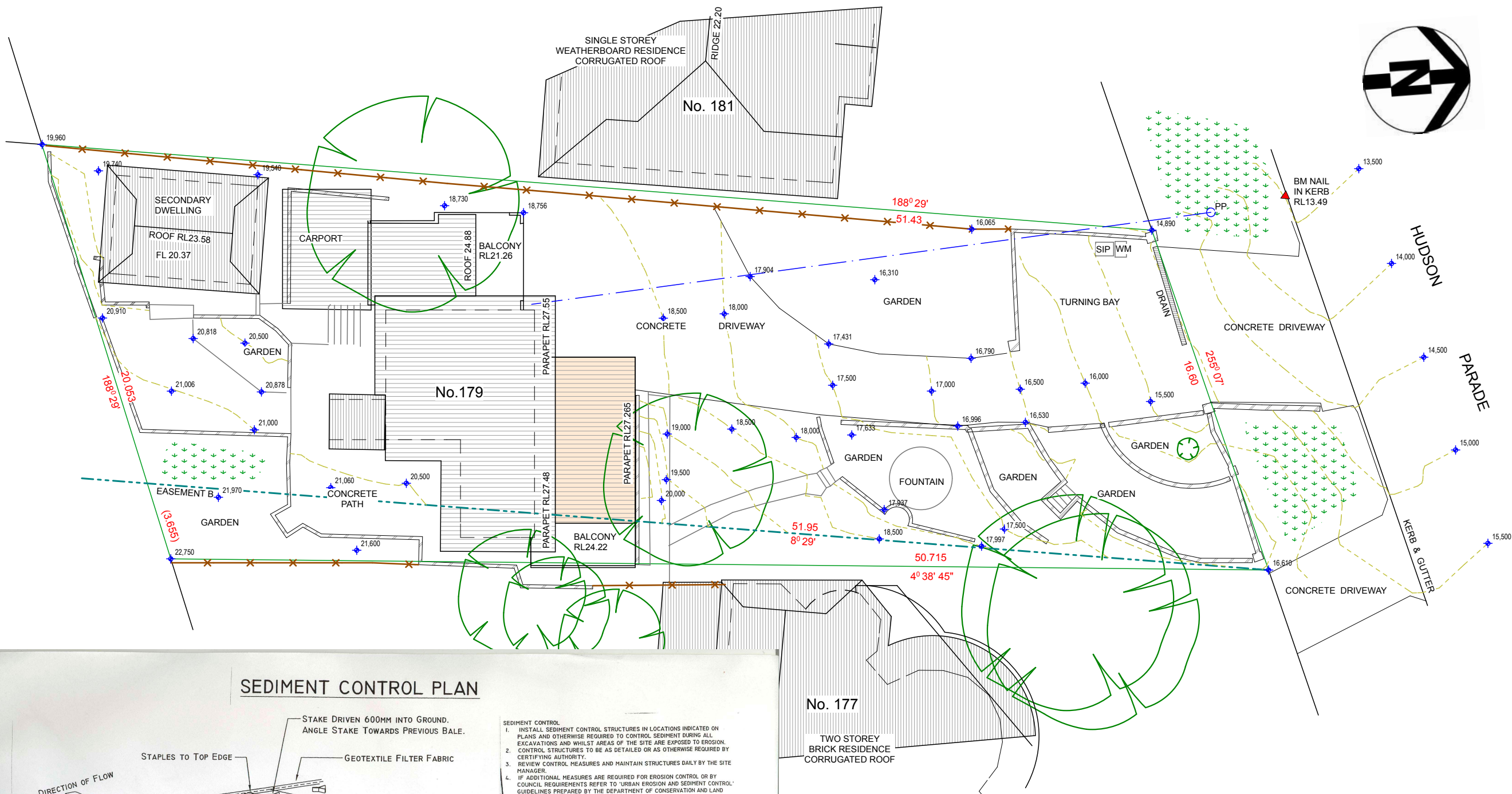
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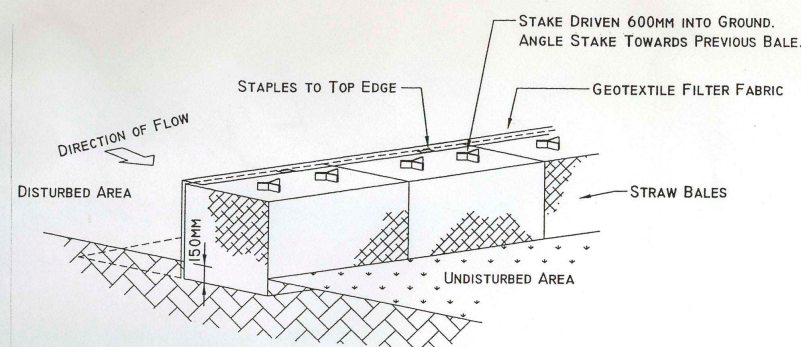
DA-07

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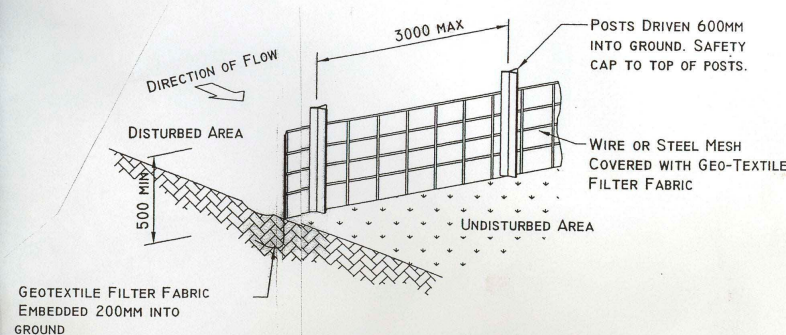
PLOT DATE: 20/02/2020



## SEDIMENT CONTROL PLAN

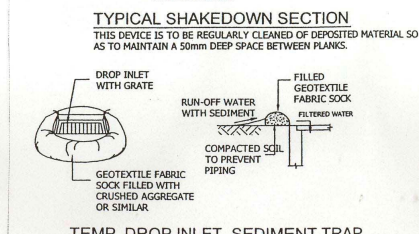
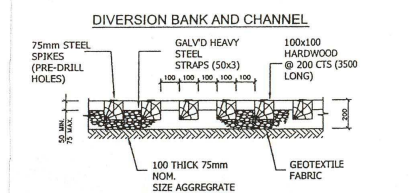
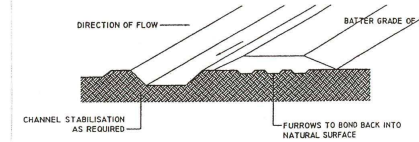


## STRAW BALE SEDIMENT FILTER



## SEDIMENT FENCE DETAIL

- SEDIMENT CONTROL**
1. INSTALL SEDIMENT CONTROL STRUCTURES IN LOCATIONS INDICATED ON PLANS AND OTHERWISE REQUIRED TO CONTROL SEDIMENT DURING ALL EXCAVATIONS AND WHILST AREAS OF THE SITE ARE EXPOSED TO EROSION.
  2. CONTROL STRUCTURES TO BE AS DETAILED OR AS OTHERWISE REQUIRED BY CERTIFYING AUTHORITY.
  3. REVIEW CONTROL MEASURES AND MAINTAIN STRUCTURES DAILY BY THE SITE MANAGER.
  4. IF ADDITIONAL MEASURES ARE REQUIRED FOR EROSION CONTROL OR BY COUNCIL REQUIREMENTS REFER TO 'URBAN EROSION AND SEDIMENT CONTROL' GUIDELINES PREPARED BY THE DEPARTMENT OF CONSERVATION AND LAND MANAGEMENT.
  5. NO VEHICLE CROSSING OR STOCKPILING OF MATERIALS ON VEGETATION BUFFER.
  6. ALL SEDIMENT STRUCTURES TO BE CLEANED ON REACHING 50 % STORAGE CAPACITY.
  7. ALL EXISTING VEGETATION WILL BE RETAINED OUTSIDE THE CONSTRUCTION SITE.
  8. CLEAN SEDIMENTS FROM FOOTPATHS, DRIVEWAYS AND ROADS DAILY.
  9. COVER OR WET DOWN TO PREVENT DUST SPREAD.



No. 177  
TWO STOREY  
BRICK RESIDENCE  
CORRUGATED ROOF

## SEDIMENT & EROSION CONTROL PLAN

1:200

## NOTES:

1. EROSION AND SEDIMENT CONTROL IN ACCORDANCE WITH NORTHERN BEACHES COUNCIL GUIDELINES.
2. AREAS OF EXCAVATION AND FILL TO BE PROTECTED FOR RUN OFF.
3. STRAW BALE FENCES TO BE ERECTED IF REQUIRED.
4. ALL VEHICLES TO BE CLEANED PRIOR TO LEAVING THE SITE.
5. MAINTAIN ALL SEDIMENT CONTROL DEVICES DURING THE CONSTRUCTION PHASE.
6. NO SEDIMENT OR BUILDING MATERIALS ARE TO LEAVE THE SITE.
7. IF STOCK PILING OF EXCAVATION IS REQUIRED THEN A SEDIMENT FENCE TO BE PROVIDED AROUND THE AREA TO PREVENT ANY RUN OFF.
8. ALL TREES ARE TO BE PROTECTED.



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DA2020/0159



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## PROPERTY:

LOT129 SEC DP 13760

## DRAWING TITLE:

DA PLANS

## DESIGN BY:

TRINA ROWSTON

## DATE:

17-02-2020

## REVISED:

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## JOB No.

RES122

## DWG. No.

DA-08

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PLOT DATE: 17/02/2020