

CONSTRUCTION LEGEND
1. All construction to NCC & BASIX requirement

EXTERIOR FLOORS
EF1 - Concrete slab
EF2 - Concrete slab with tiles

EXTERIOR WALLS
EW1 - Timber frame with weatherboard cladding
EW2 - Timber frame with acrylic render finish
EW3 - Timber frame with metal cladding
EW4 - Masonry with acrylic render finish
EW5 - Masonry with stone cladding

EXTERIOR CEILING
EC1 - Timber frame with FC sheets and insulation

ROOF
R1 - Metal roof
R2 - Operable Louvre Roof

INTERIOR FLOORS
IF1 - Concrete slab
IF2 - Concrete slab with timber floorboards
IF3 - Concrete slab with tiles

INTERIOR WALLS
IW1 - Timber frame with plasterboard
IW2 - Timber frame with waterproofed FC sheets & tiles
IW3 - Masonry wall with plasterboard
IW4 - Masonry wall with waterproofing and tiles
IW5 - Masonry wall with stone cladding
IW6 - Masonry wall

INTERIOR CEILINGS
IC1 - Timber frame with plasterboard and insulation

DOOR & WINDOWS
AD - Aluminium door with clear glass
AW - Aluminium window with clear glass
AWO - Aluminium window with obscured glass
TD - Timber door
SL - Skylight

OTHERS
EB1 - Glass balustrade
EB2 - Timber balustrade
EB3 - Driveway safety barrier
ES1 - Concrete stairs
PS1 - Privacy screen
PS2 - Angled privacy screen
SC1 - Steel Post

BUILDING NOTES - THERMAL COMFORT

Floors
Concrete slab on ground no insulation required
Suspended concrete with R2.0 insulation (insulation only value) to open areas
Concrete between levels, no insulation required where habitable rooms are above and below

External Walls
Cavity brick with AIR-CELL Permican insulation. Minimum Total system R-value of RT1.79 as per plans
Reverse brick veneer with R2.5 insulation (insulation only value) as per plans
Brick veneer with R2.5 insulation (insulation only value) as per plans
Lightweight cladding on framed walls with R2.5 insulation (insulation only value) as per plans
External Colour:
Default colour modelled

Walls within dwellings
Masonry walls with R2.0 insulation between garage and entry stairs
Plasterboard on studs and masonry with R2.0 insulation between shed/ store and internal house rooms
Plasterboard on studs and masonry walls, no insulation required to the remainder areas of the house

Floor coverings
Tiles to wet areas, timber elsewhere

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Glazing Doors/Windows
Louvered windows
U-value: 5.40(equal to or lower than) SHGC: 0.49 (±5%)
Hinged windows/ doors
U-value: 4.60(equal to or lower than) SHGC: 0.36 (±5%)
Fixed windows
U-value: 4.50 (equal to or lower than) SHGC: 0.61 (±5%)
Sliding windows/ doors
U-value: 4.30(equal to or lower than) SHGC: 0.42 (±5%)
Given values are AFRC total window system values (glass and frame)

Skylights
Double glazing

Roof and Ceilings
Metal roof with foil
Plasterboard ceiling with R5.0insulation (insulation only value) where roof above
Plasterboard ceiling with R2.0 insulation to habitable rooms ceiling where garage above
External Colour
Dark (SA > 0.7)
Ceiling Penetrations
Sealed LED downlights, one every 5.0m².

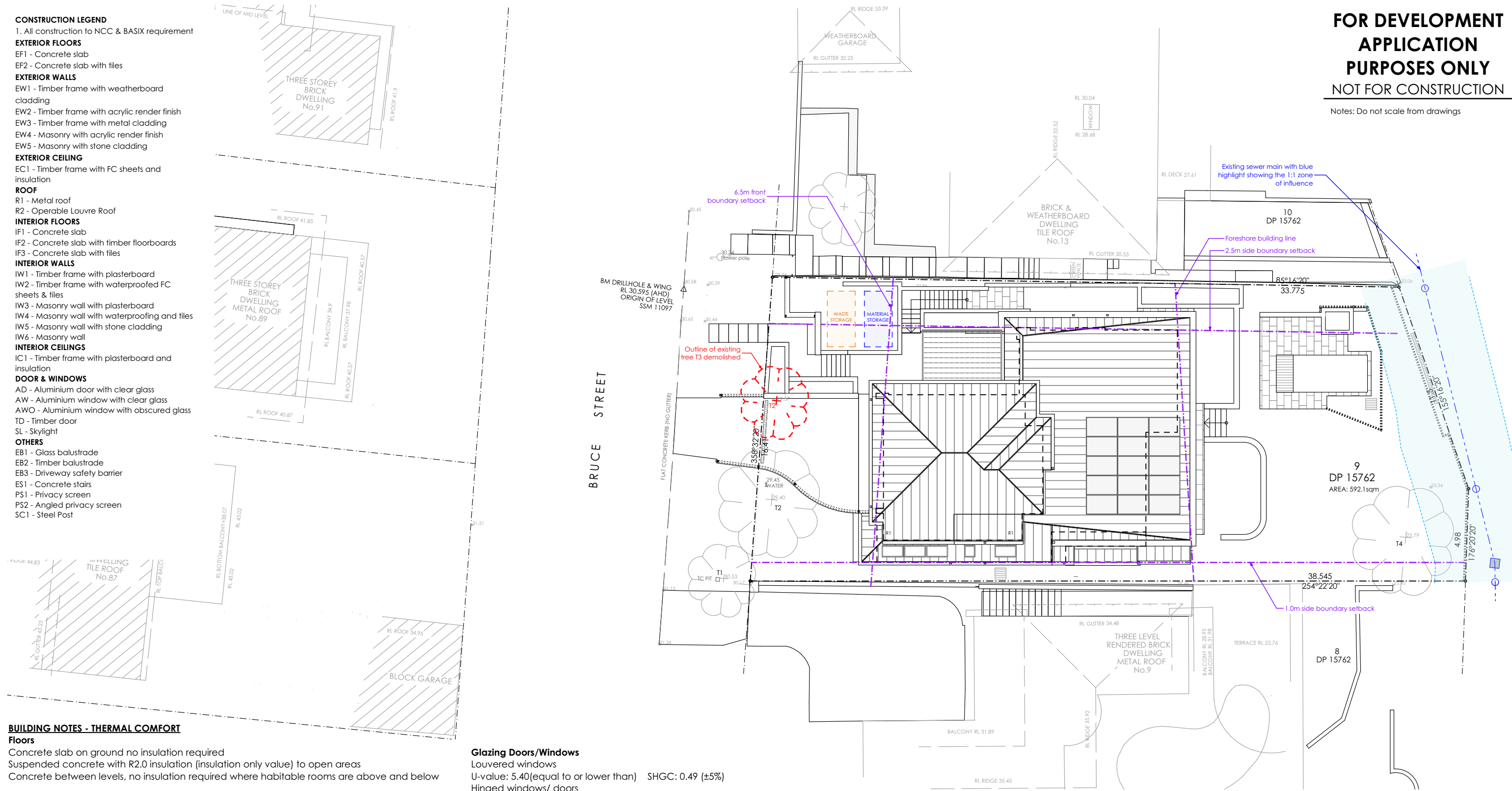
New Dwelling and Pool
at 11 Bruce Street, Mona Vale, NSW 2103
title Lot 9 in DP 15762



DEVELOPMENT APPLICATION
Site Plan

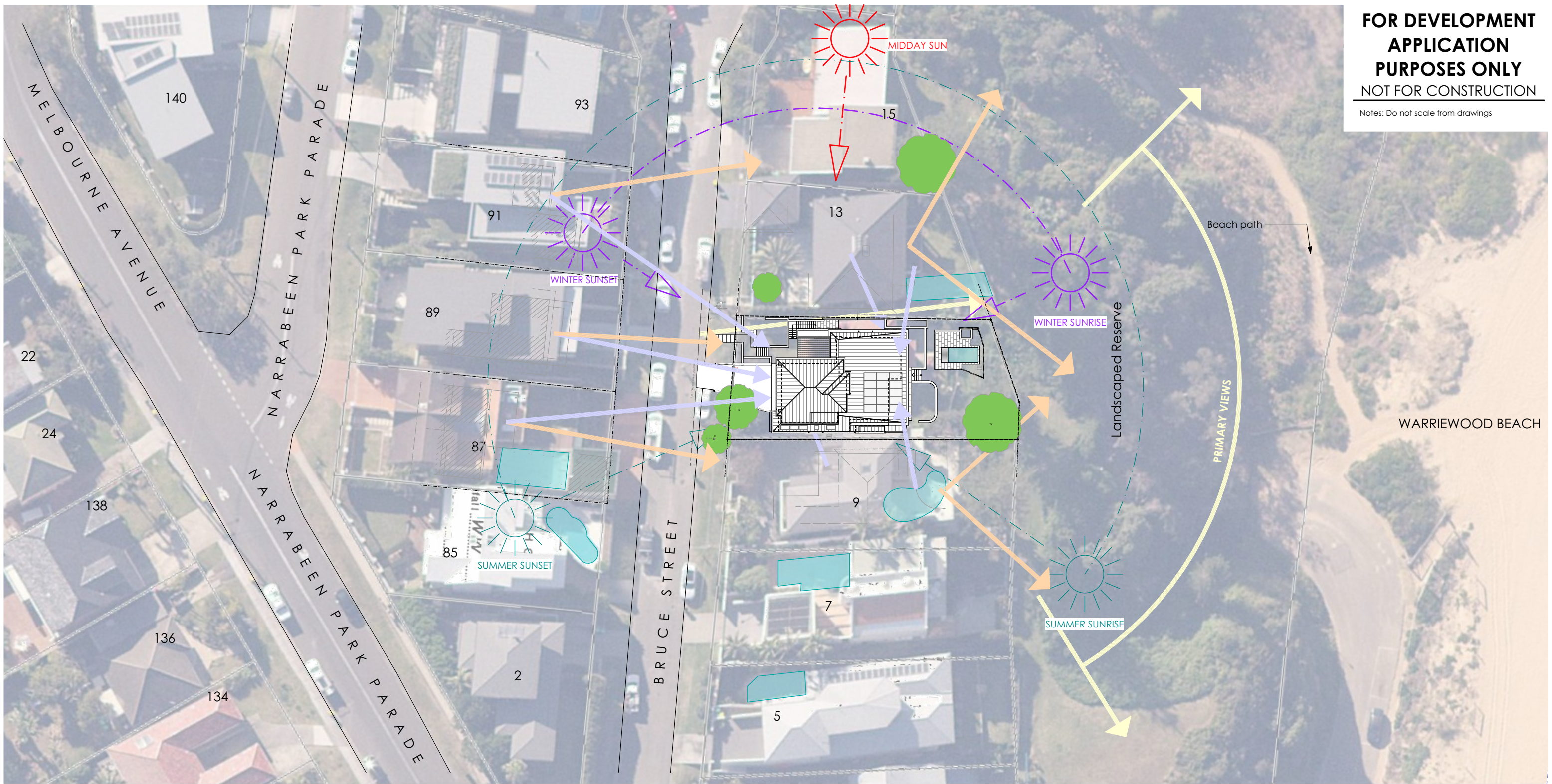
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Notes: Do not scale from drawings



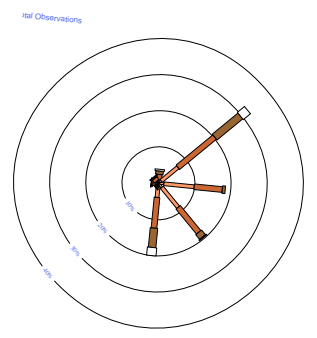
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Date of printing: 28/09/2020
Project No: 1912
Drawing No: DA-01
Rev:

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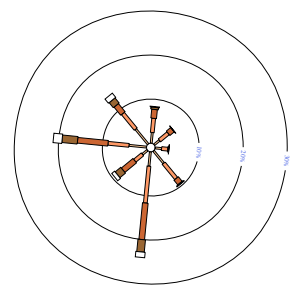


LEGEND

- Primary Views to Beach/Ocean
- Neighbour Views to Beach/Ocean
- Neighbour Overlooking of 11 Bruce Street
- Pool



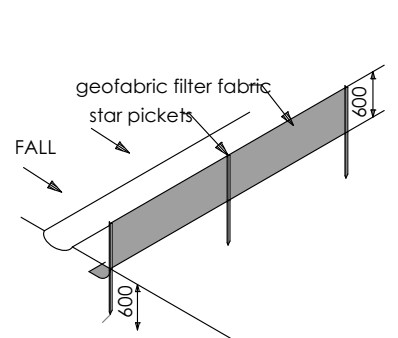
Wind Rose for January



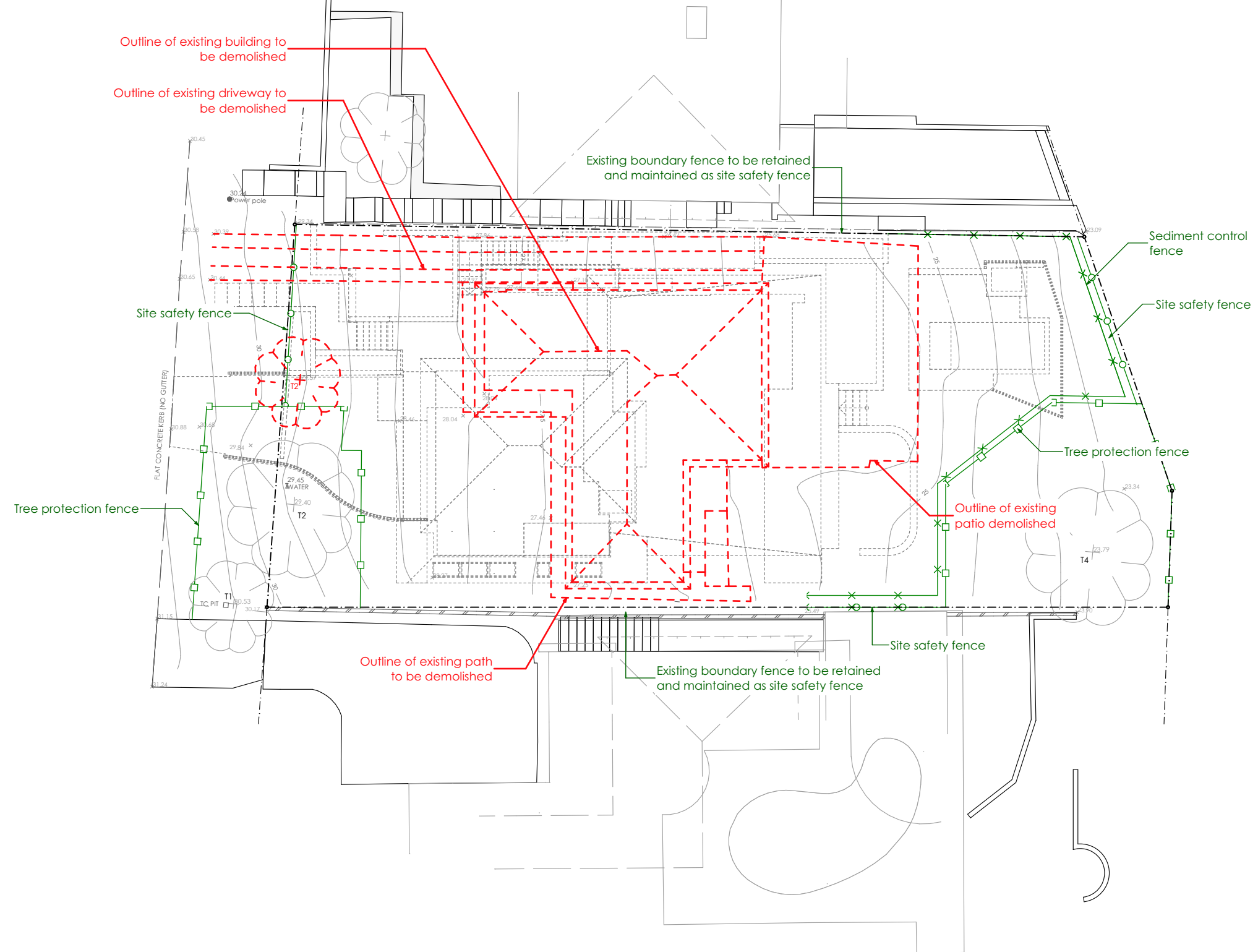
Wind Rose for July



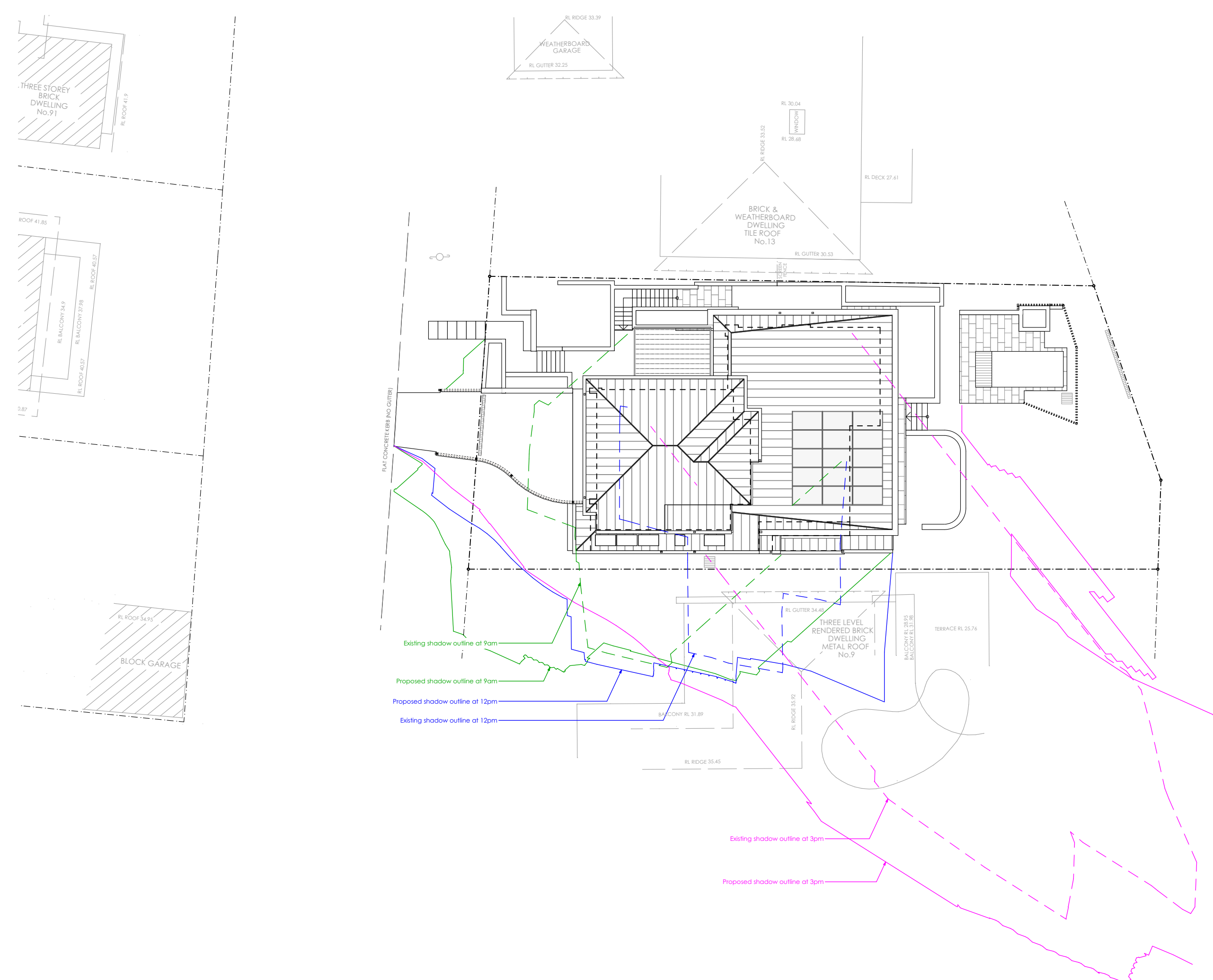
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SEDIMENT CONTROL FENCE - TYPE 1
1.2m star pickets to be driven in a minimum of 600mm at a maximum of 1800mm centres.
Self-supporting geotextile fabric to be securely fastened to the upslope side of each picket with tie wires and turned upslope in a trench at least 200mm deep.
void joints in the filter fabric if possible but if necessary, joints are to be made at a support post with a minimum of 150mm overlap of fabric, securely stitched together with both ends fixed to the post.
Backfill the trench over the toe of the fabric.
Inspect for any sagging, undercutting or overtopping after rain and repair as necessary.



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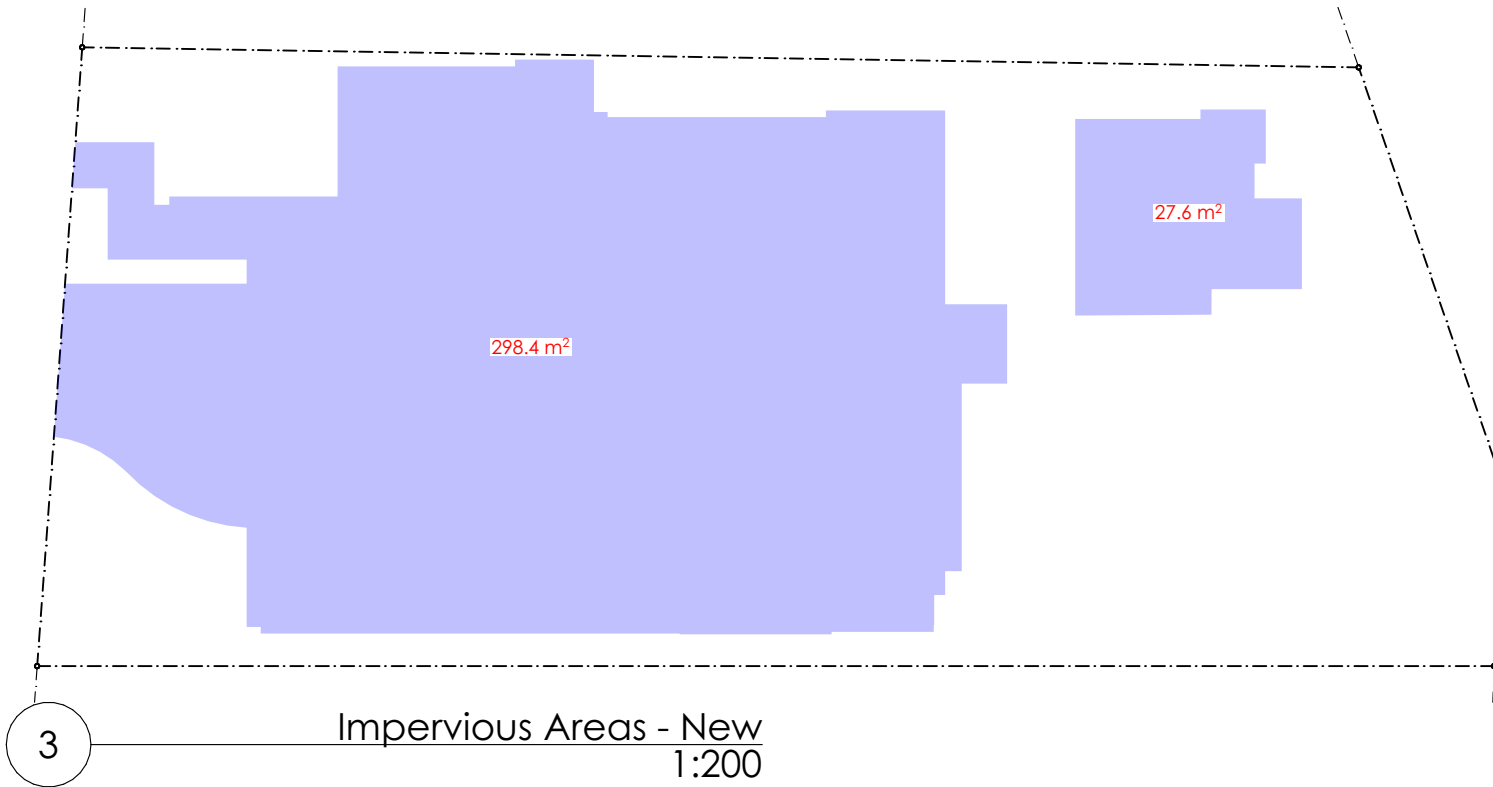
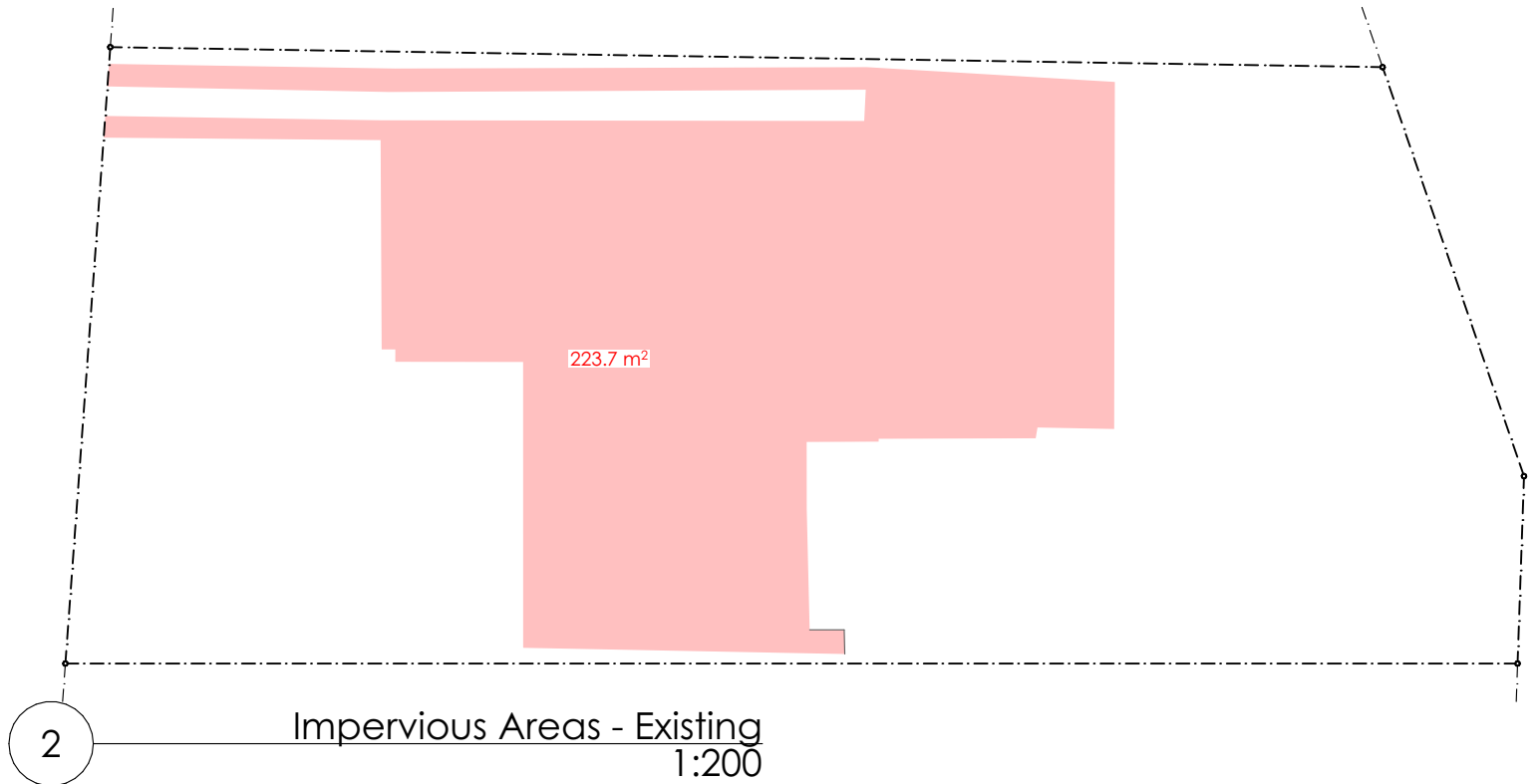
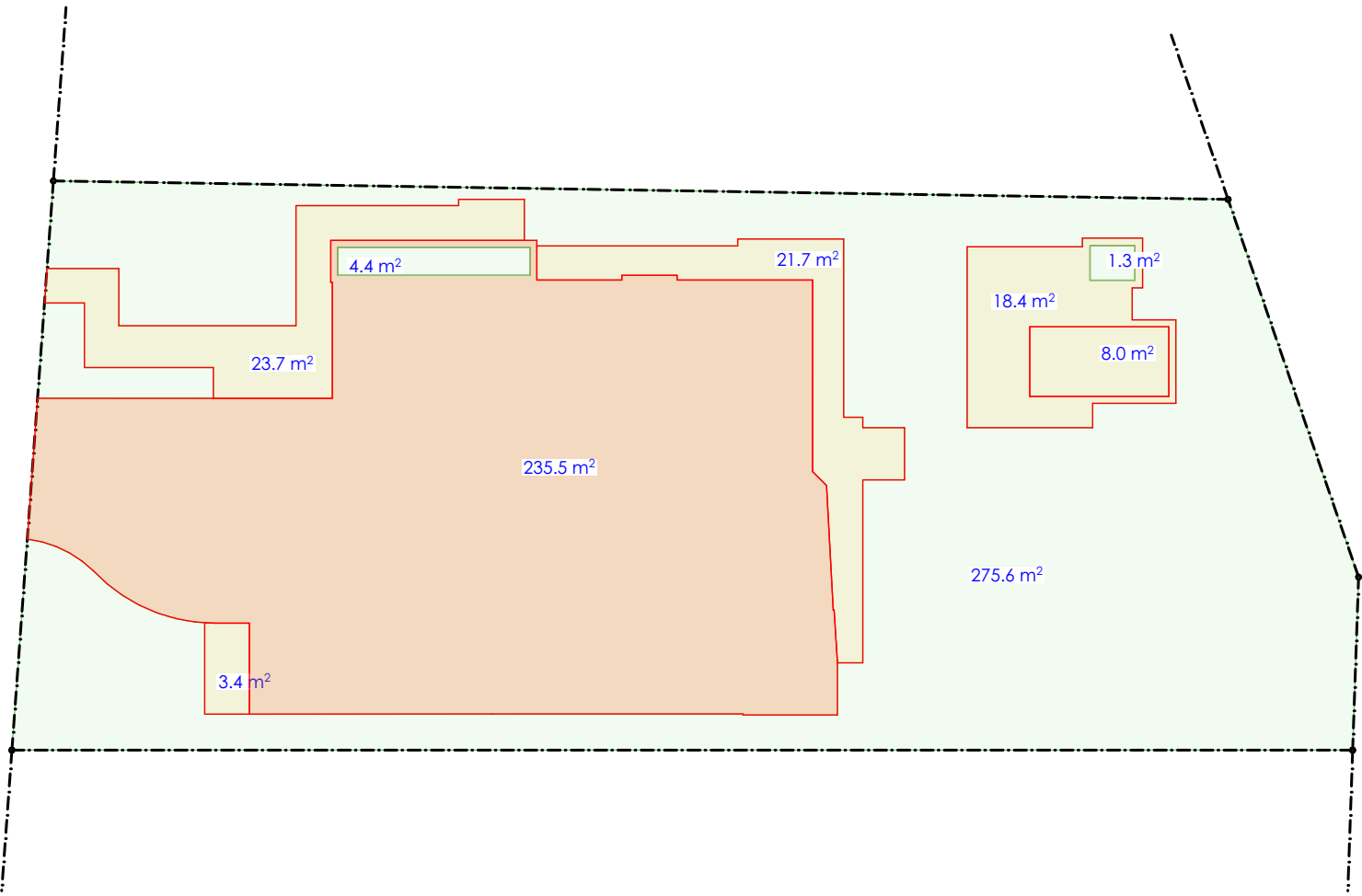
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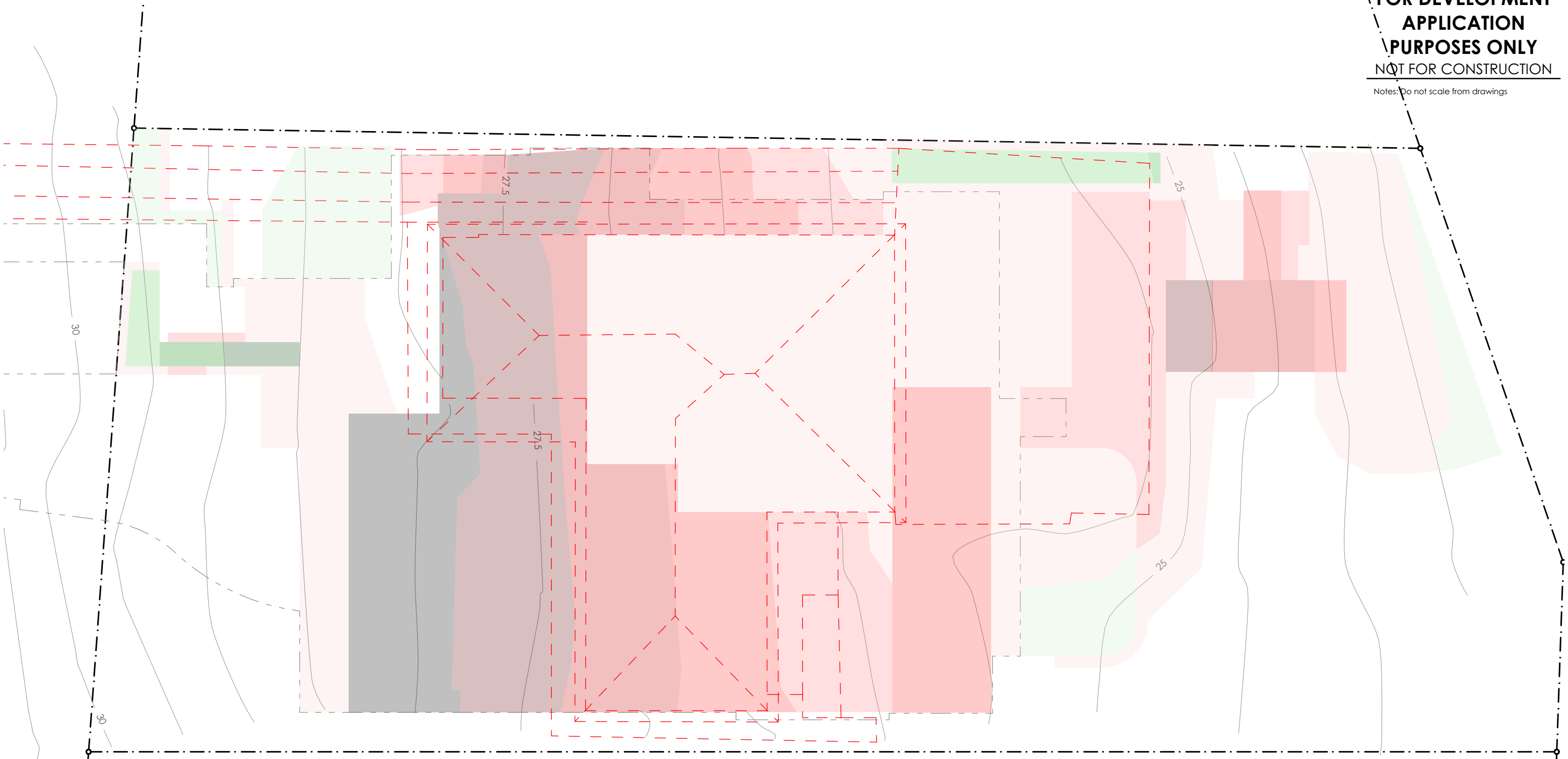
PLANNED

Site Area = 592.1m2
Soft Landscaped Area = 281.3m2
= 47.5%
External Impervious Areas = 48.8m2
= 8.2%
House and Driveway = 235.5m2
= 39.8%
Pool and Pool Terrace = 26.4m2
= 4.4%
Landscaped and Amenity Areas = 356.5m2
= 60.2%

Site Area 592.1m2
60% landscaped area = 355.26m2
6% amenity area = 35.53m2
40% Built upon area = 236.84m2



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Approximate Cut Fill Area

	2000-2500mm
	1500-2000mm
	1000-1500mm
	500-1000mm
	1-500mm

Approximate Fill Area: 17.3m³

	1-500mm
	500-1000mm
	1000-1500mm
	1500-2000mm
	2000-2500mm
	2500-3000mm

Approximate Cut Area: 362.9m³



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1 Proposed View from NE



2 Proposed Street View



ROOF
Prefa Aluminium
'Standard Quartz Grey'



WALL CLADDING
Charred timber



WALL RENDER
Resene
'Half Pravda'

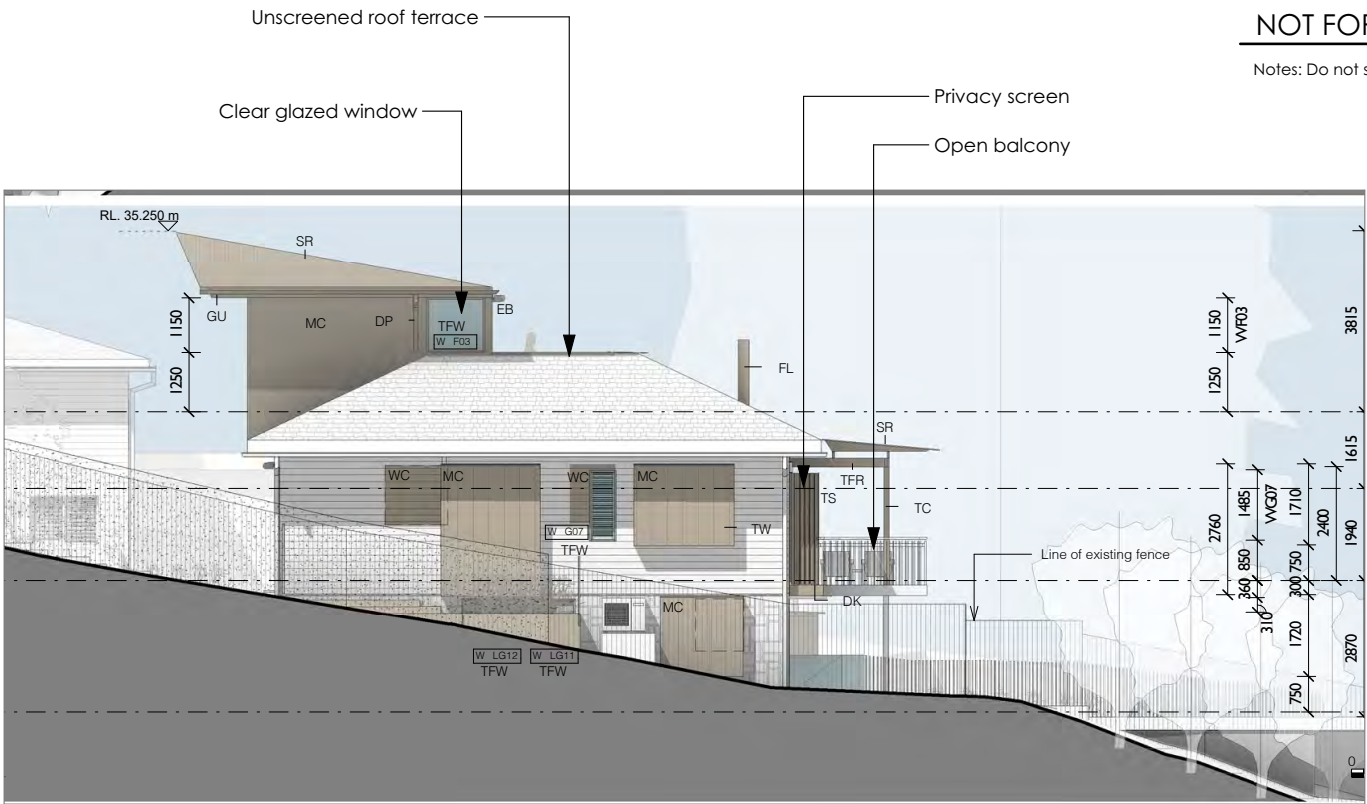


STONE CLADDING
Natural Stone

Notes: Do not scale from drawings



9 Bruce Street from rear yard



Approved additions to 13 Bruce Street



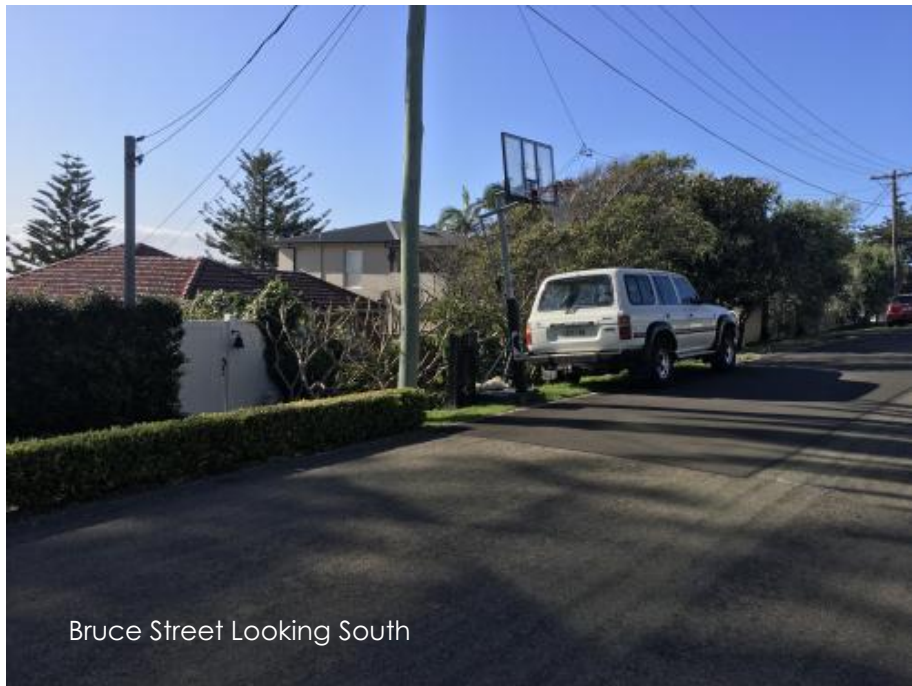
9 Bruce Street from front yard



13 Bruce Street from rear yard



Houses on the Western Side of Bruce Street



Bruce Street Looking South

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Bruce Street Looking North



Existing View from Front Yard



View from Warriewood Beach

11 Bruce Street



Front of 11 Bruce Street



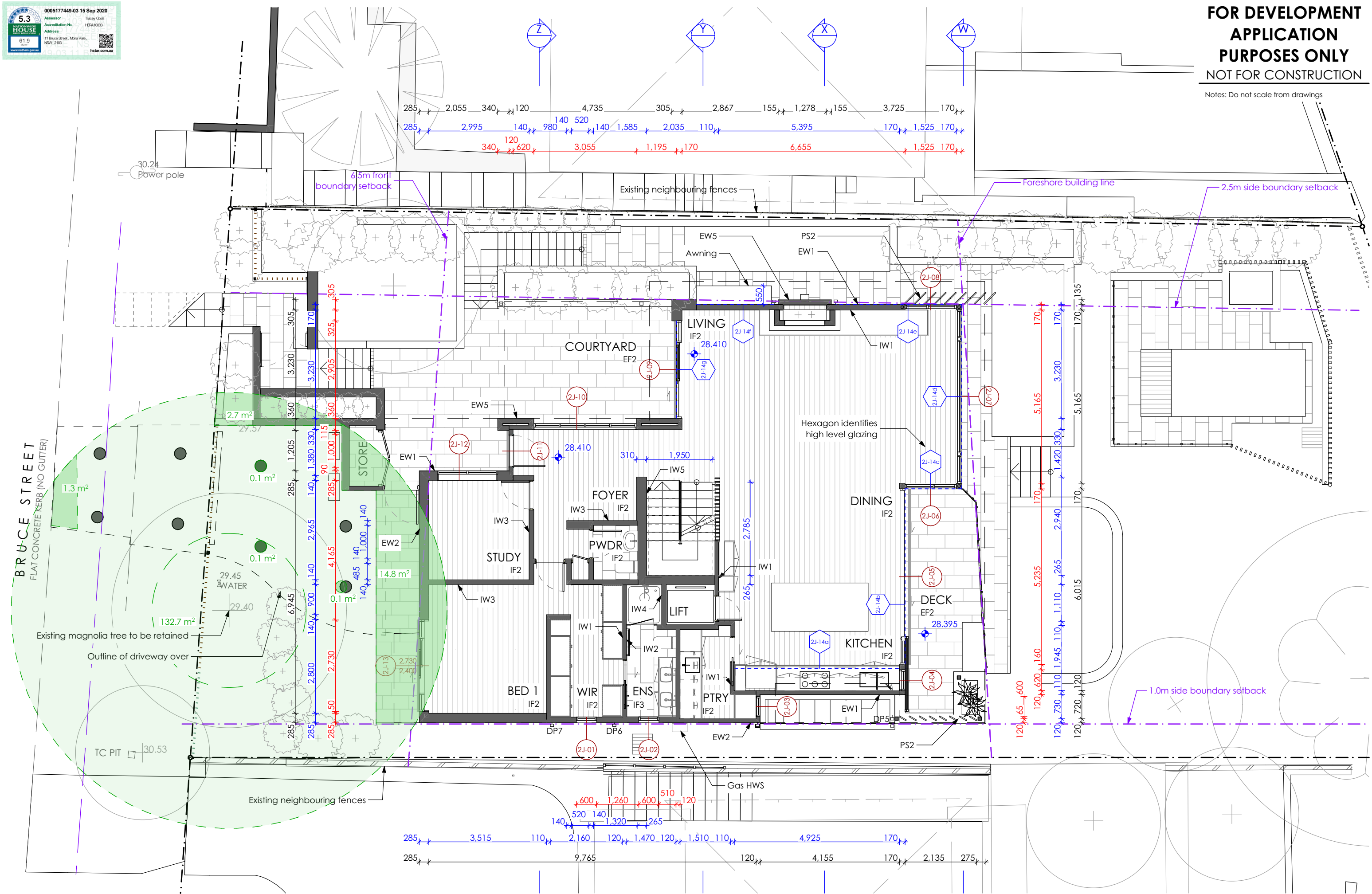
Rear Elevation of 11 Bruce Street



9 Bruce Street from Front Yard



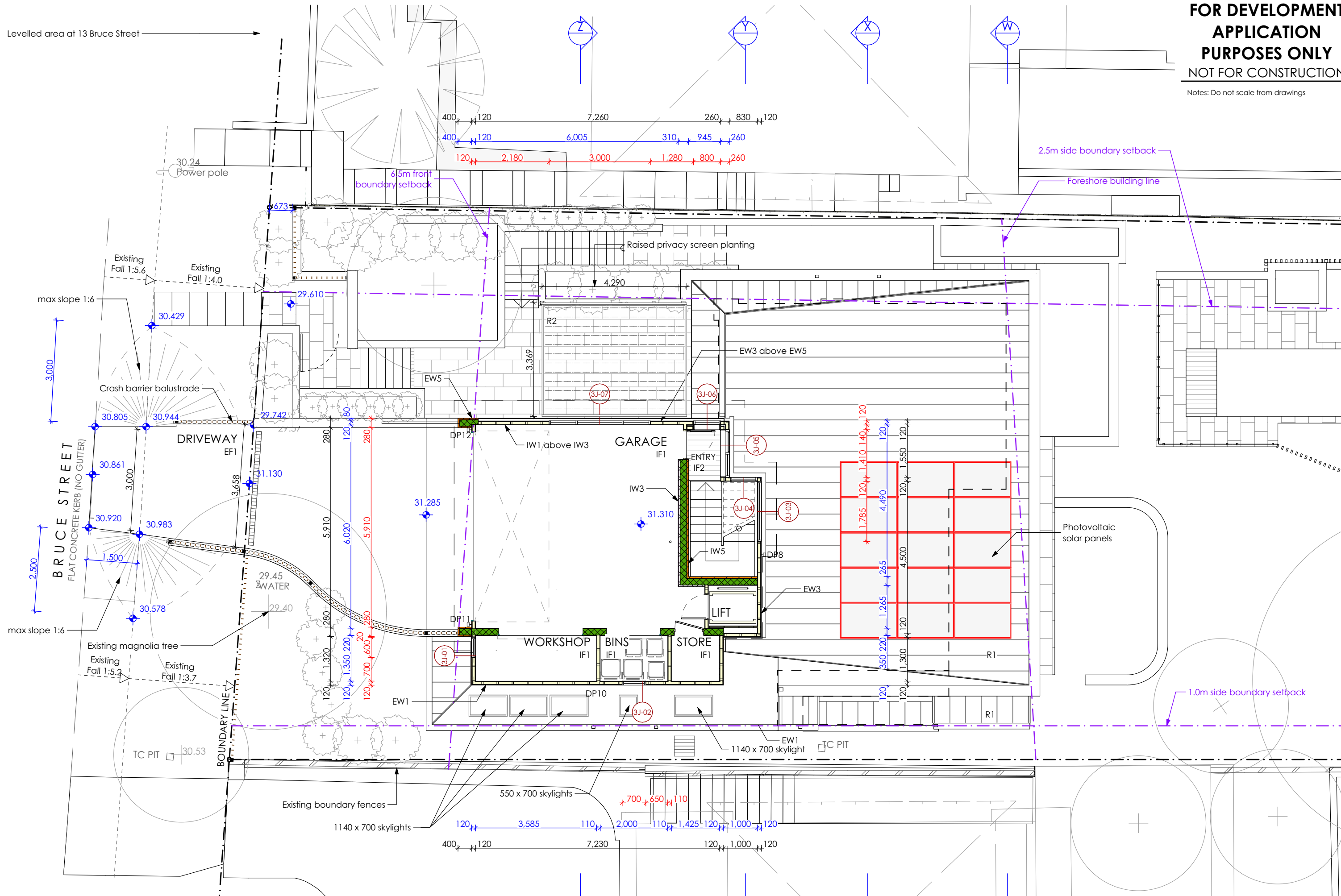




Levelled area at 13 Bruce Street

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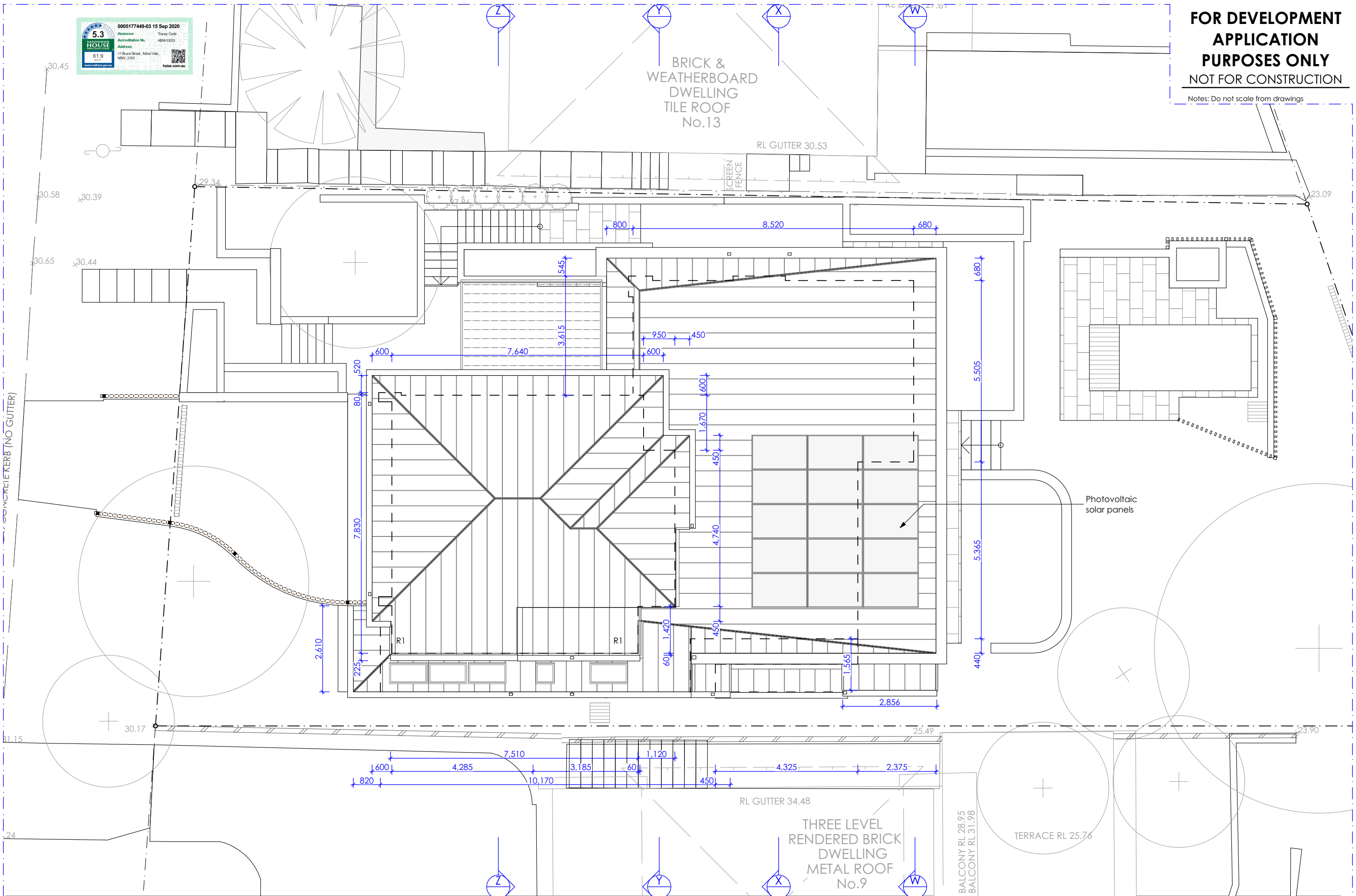
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DEVELOPMENT APPLICATION
Roof Plan

Scale: Date of printing: 28/09/2020
Project No: Drawing No: Rev:

1912 DA-13

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INTERIOR CEILINGS

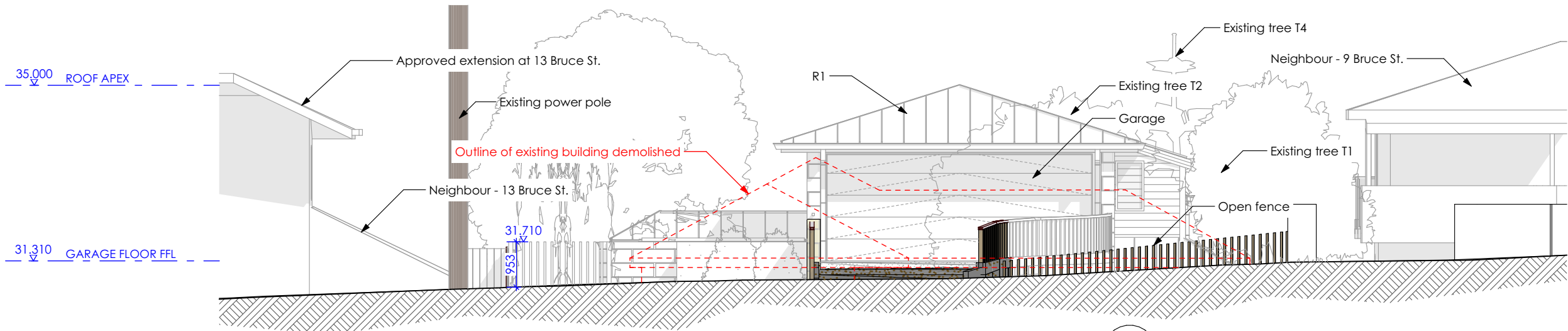
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SL - Skylight

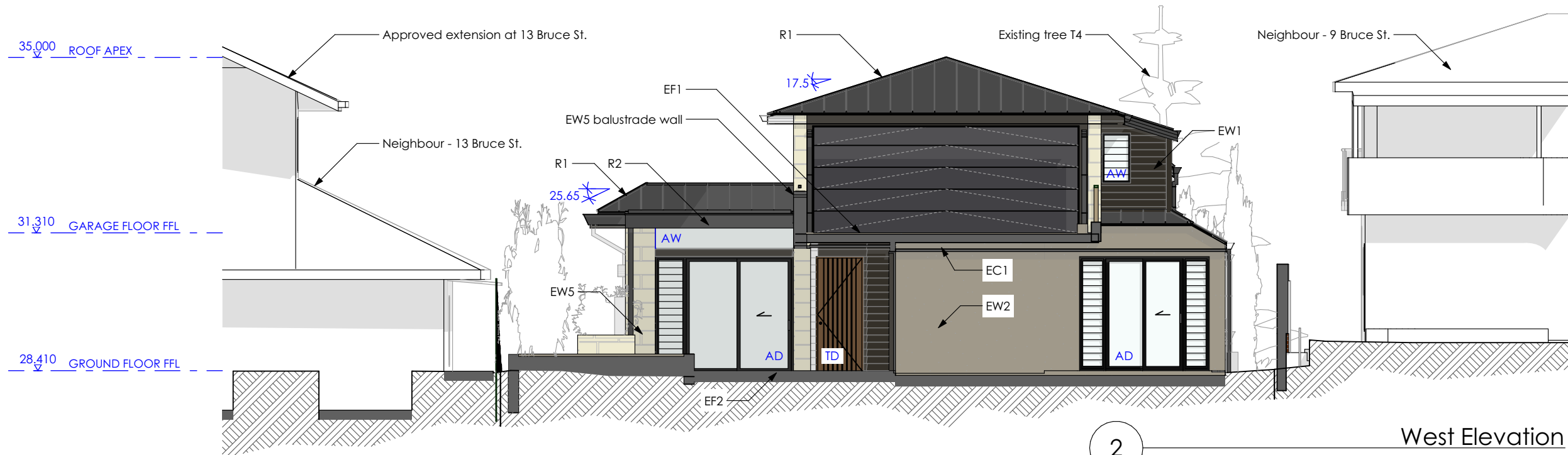
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ES1 - Concrete stairs
PS1 - Privacy screen
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SC1 - Steel Post



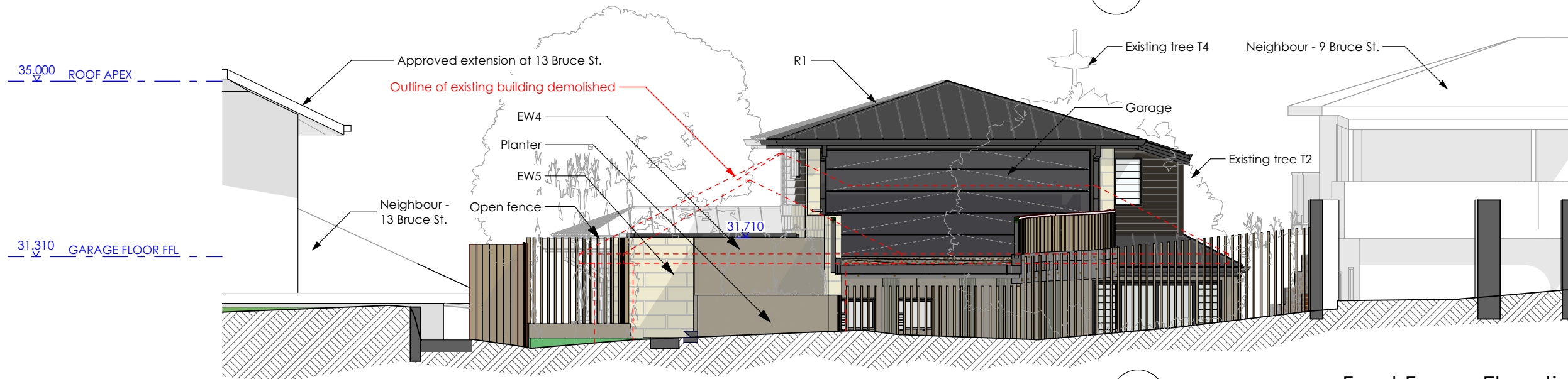
Street Elevation

1



West Elevation

2

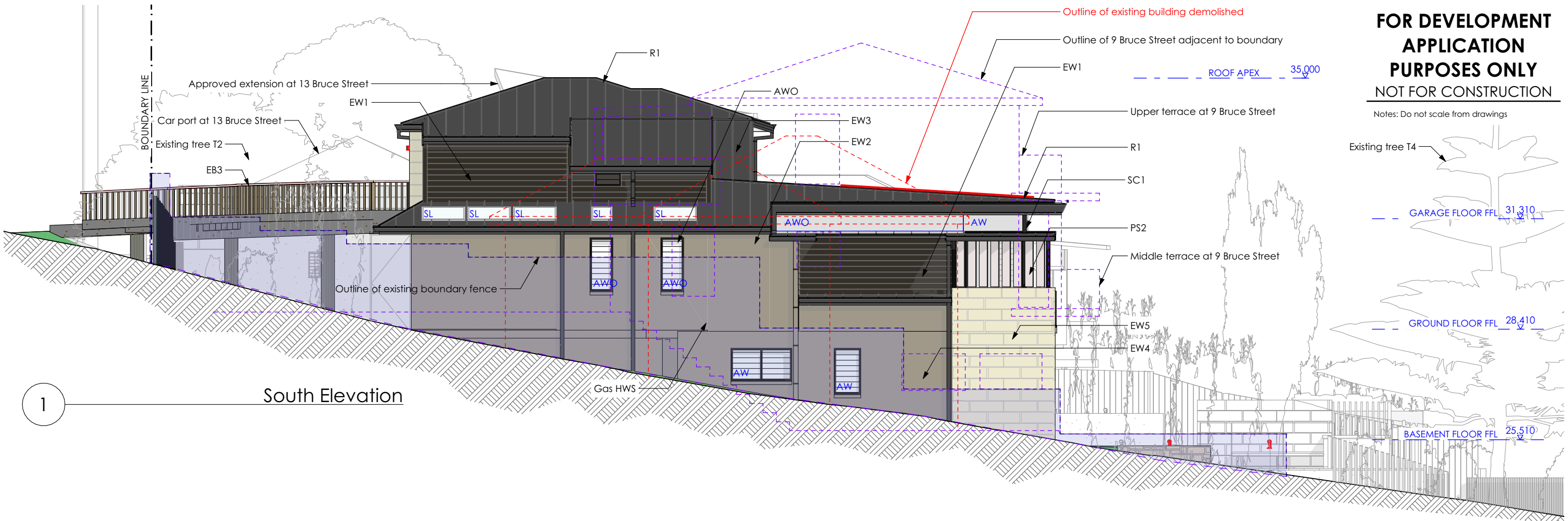


Front Fence Elevation

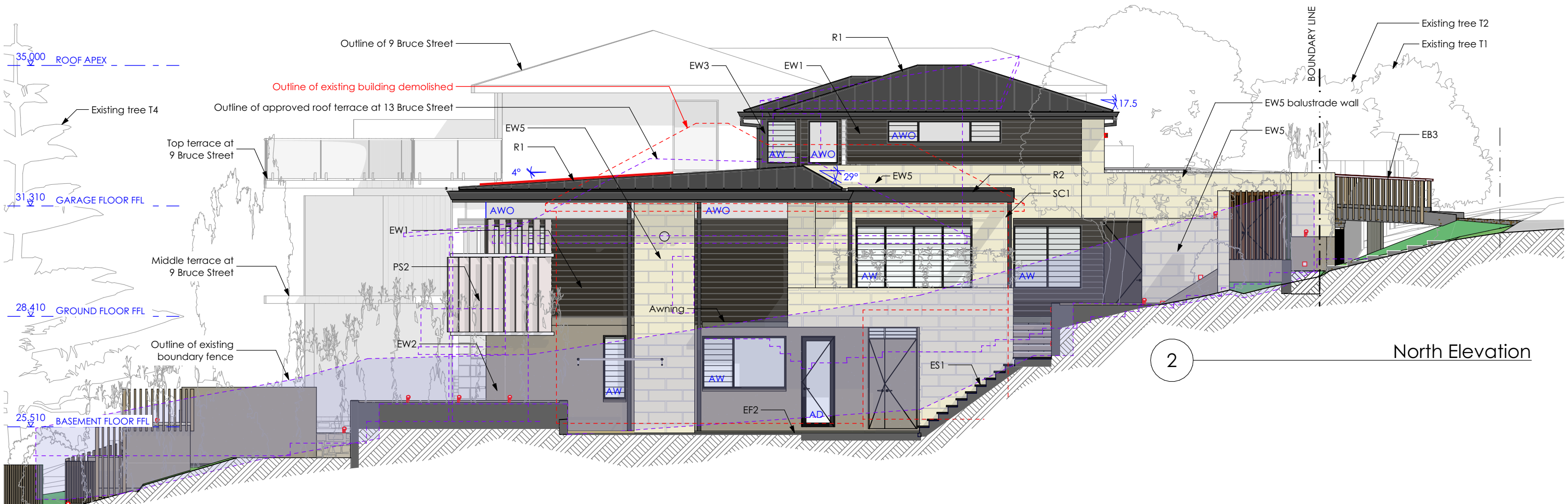
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South Elevation



North Elevation

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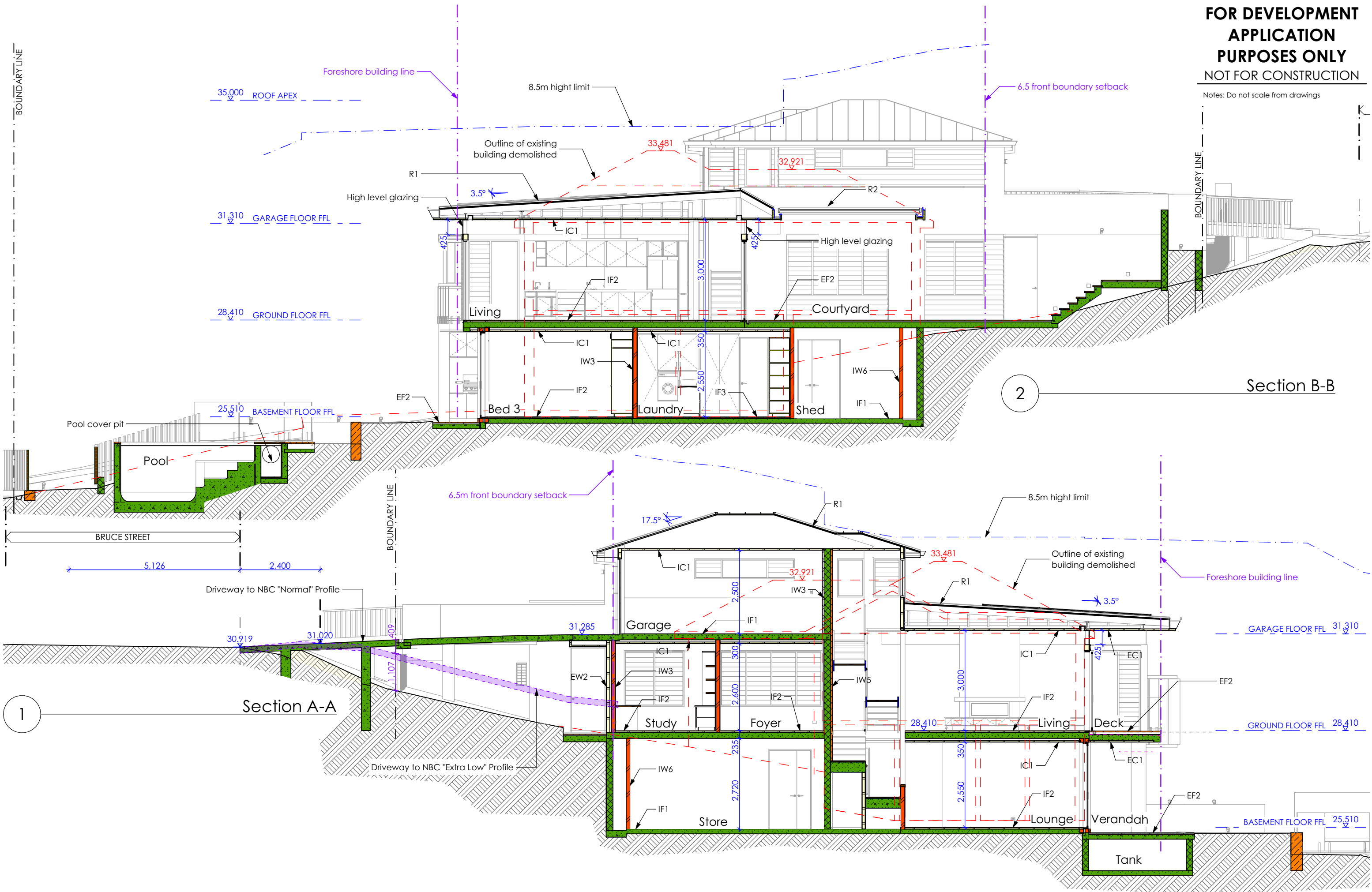
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DEVELOPMENT APPLICATION
East Elevation

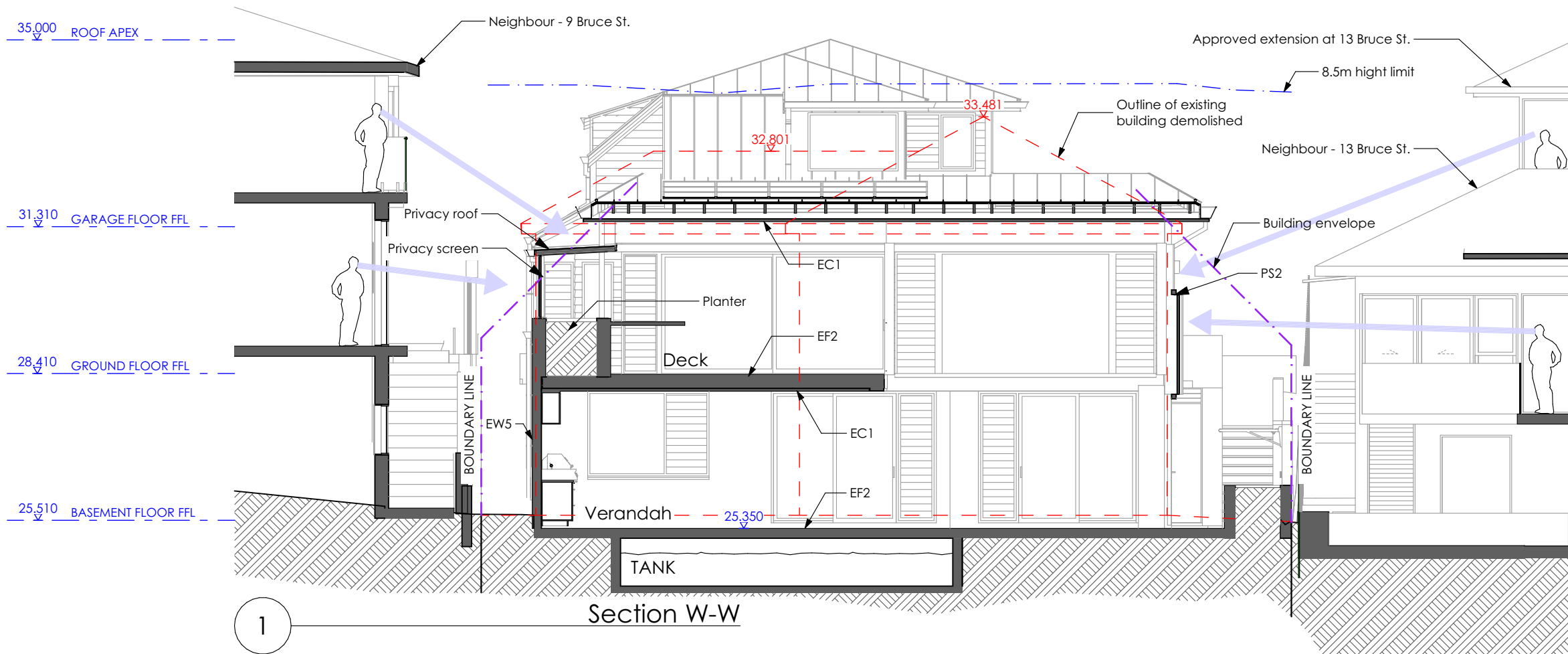


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Project No: Drawing No: Rev: 1912 DA-22

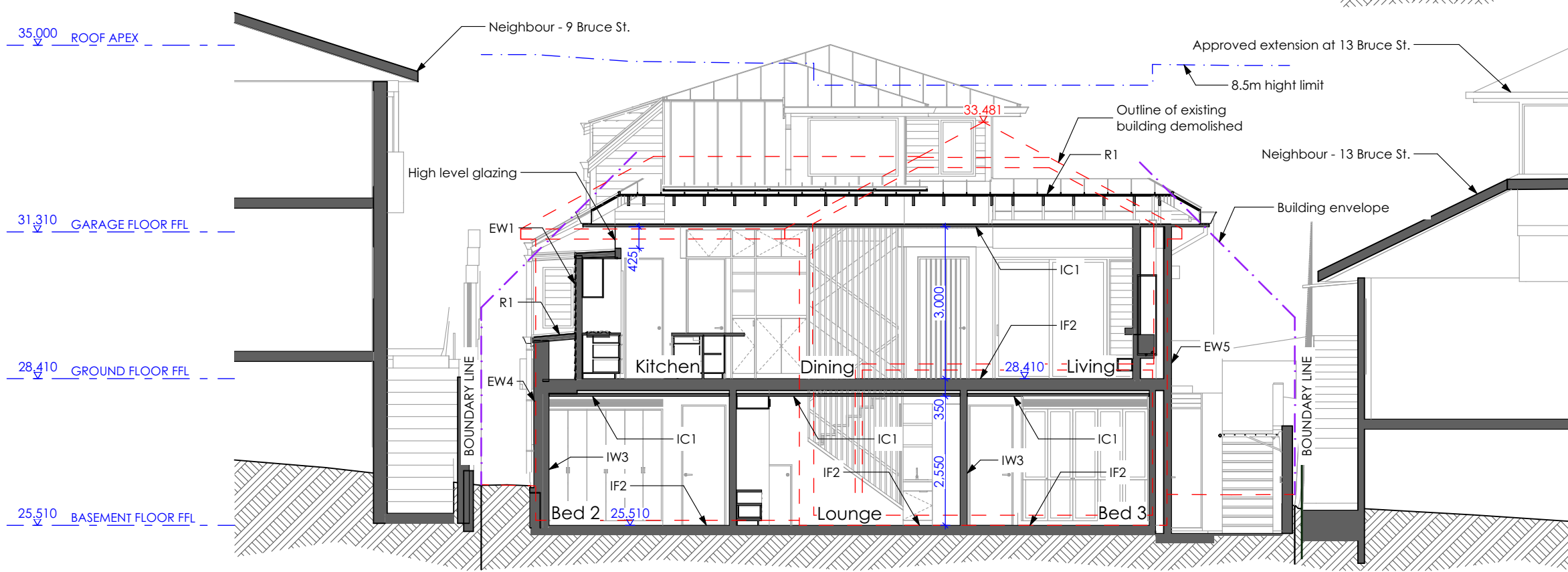
Notes: Do not scale from drawings



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Section W-W



Section X-X

Notes: Do not scale from drawings



1 View from 9 Bruce St. - Top Balcony



2 View from 9 Bruce St. - Middle Balcony



3 View from 9 Bruce St. - Pool Level



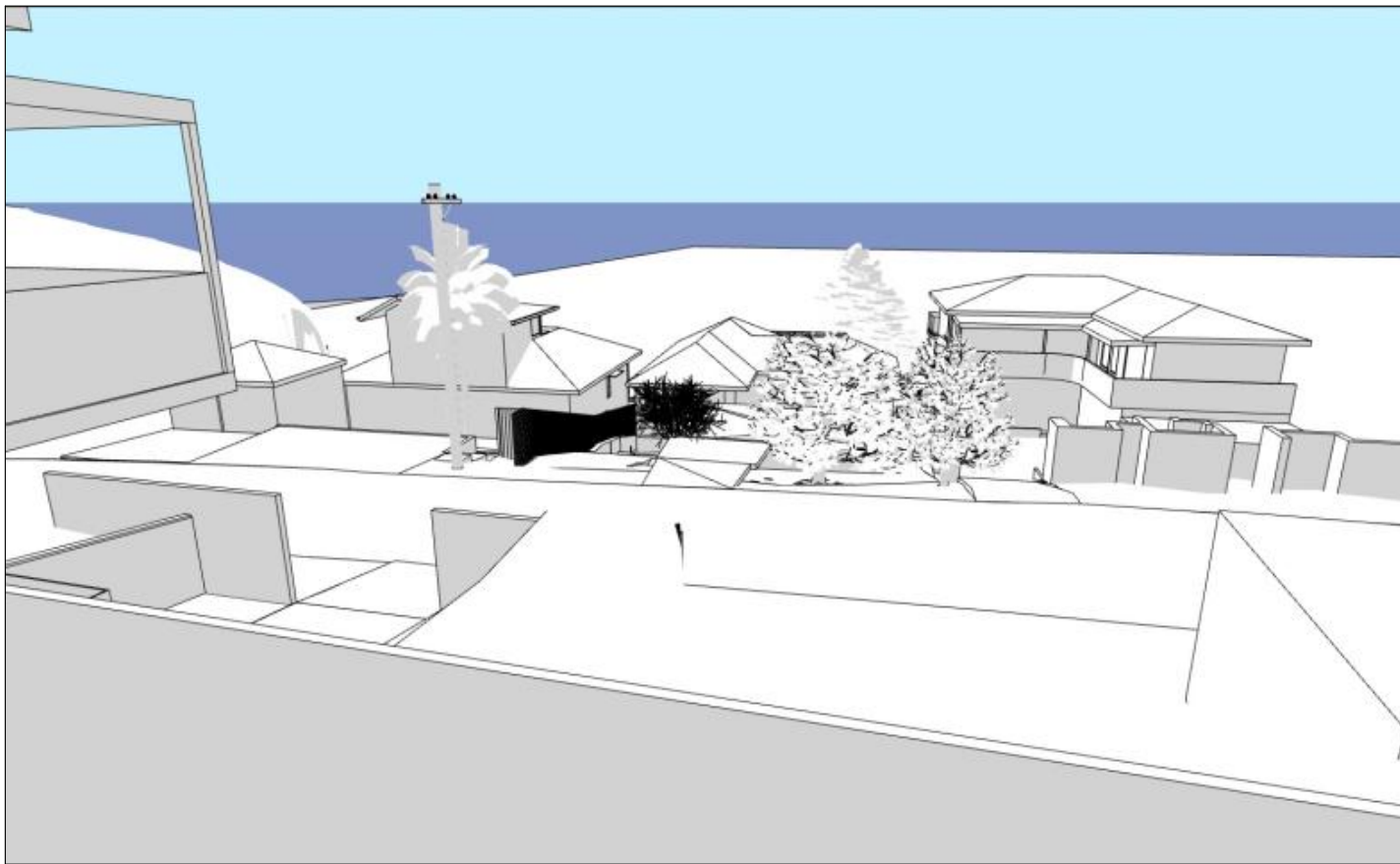
1 View from 13 Bruce St. - Balcony



2 View from 13 Bruce St. - Pool Level



3 View from 13 Bruce St. - Approved Roof Terrace



1 Existing View from Neighbour 87 NPP



2 Existing View from Neighbour 87 NPP



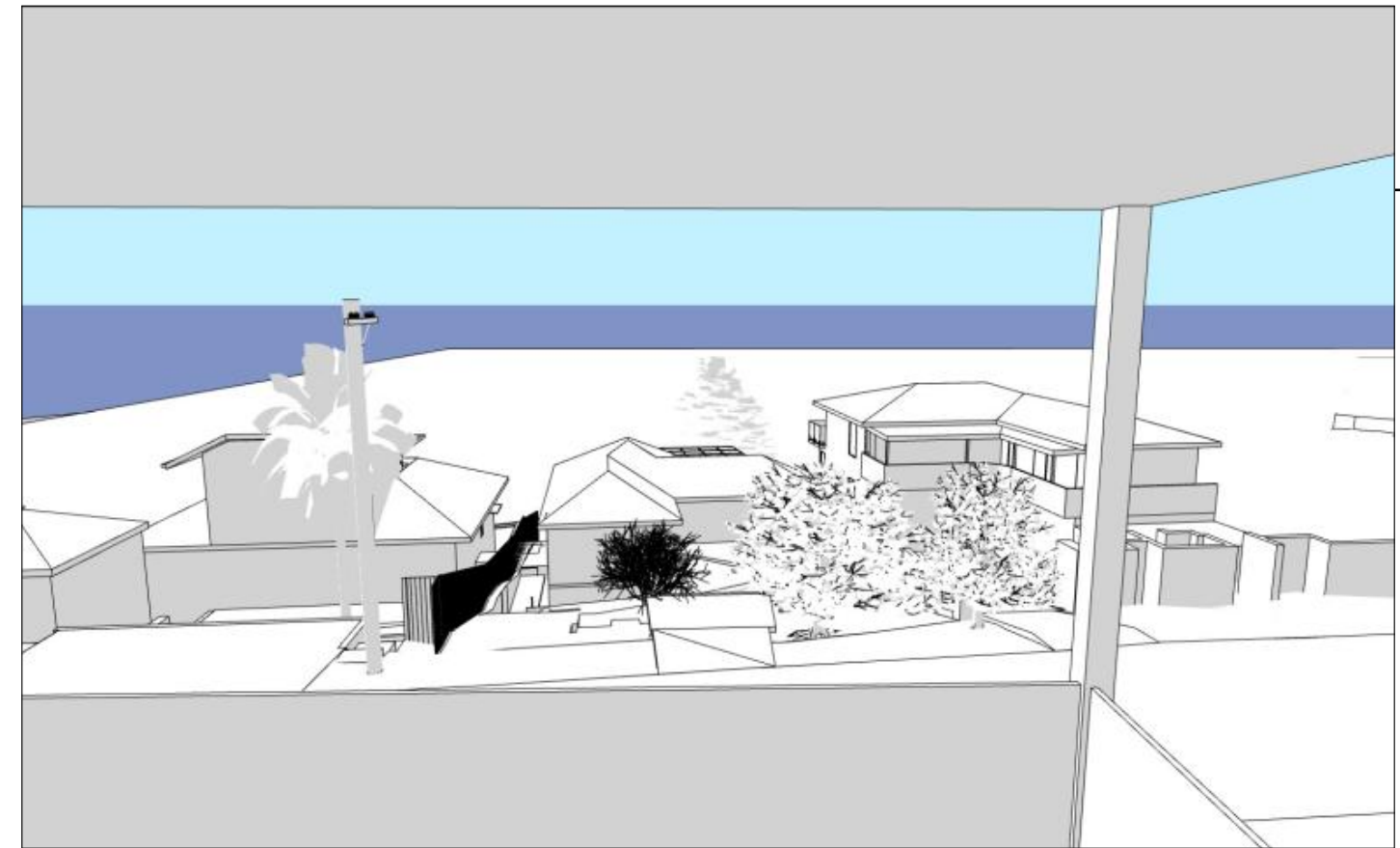
3 Proposed View from Neighbour 87 NPP



4 Proposed View from Neighbour 87 NPP



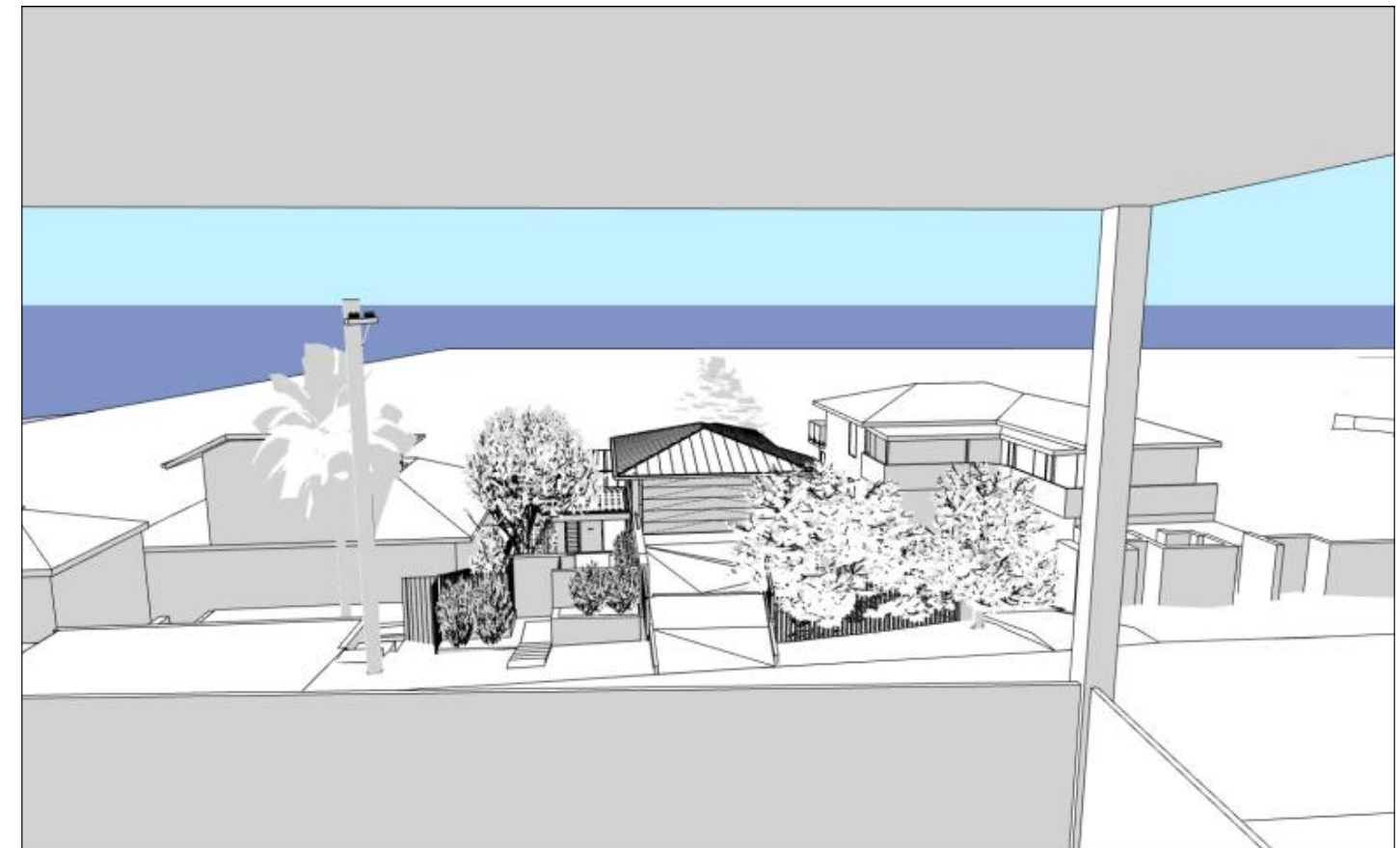
1 Existing View Neighbour 89 NPP - Lower Balcony



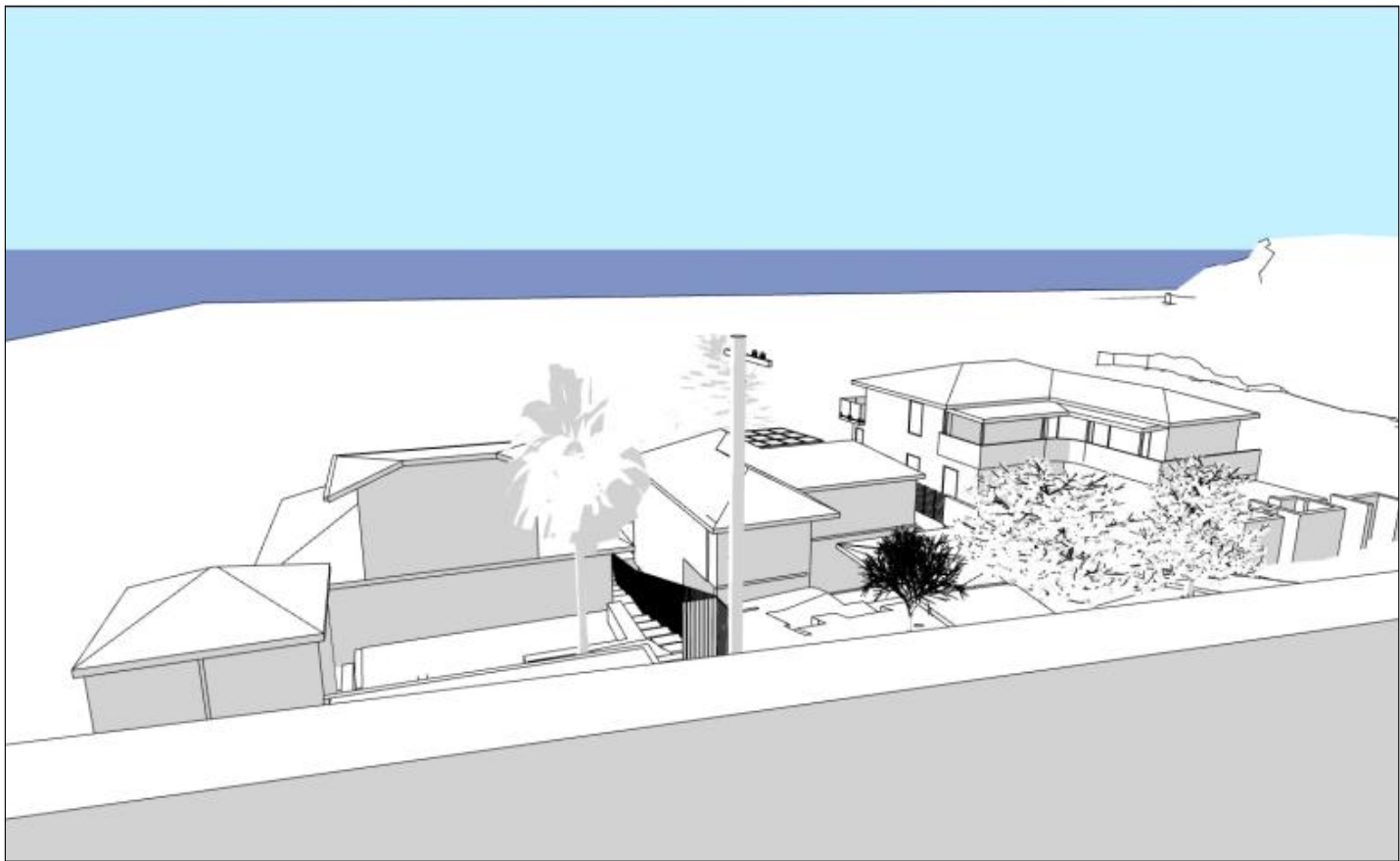
2 Existing View Neighbour 89 NPP - Main Terrace



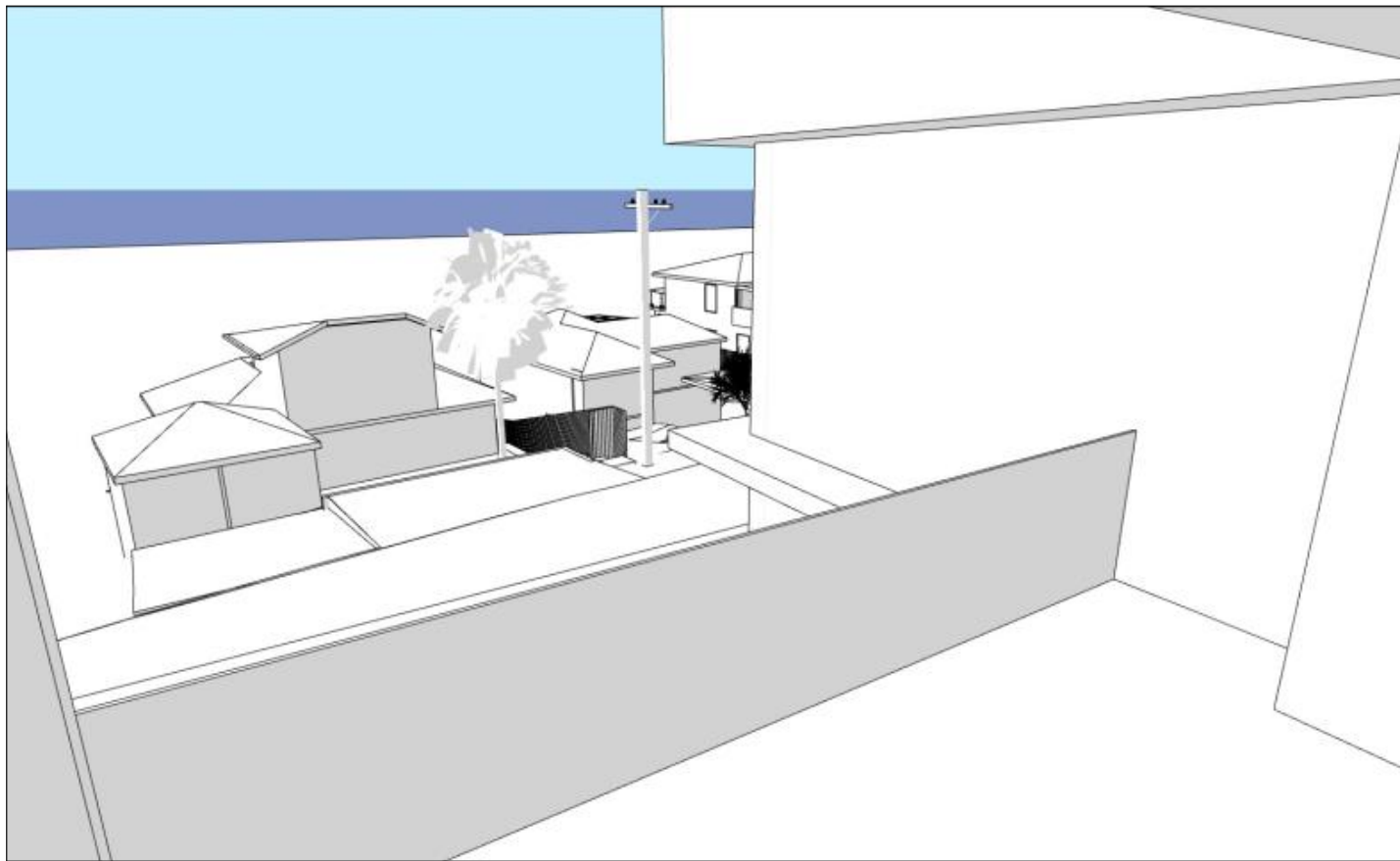
3 Proposed View Neighbour 89 NPP - Lower Balcony



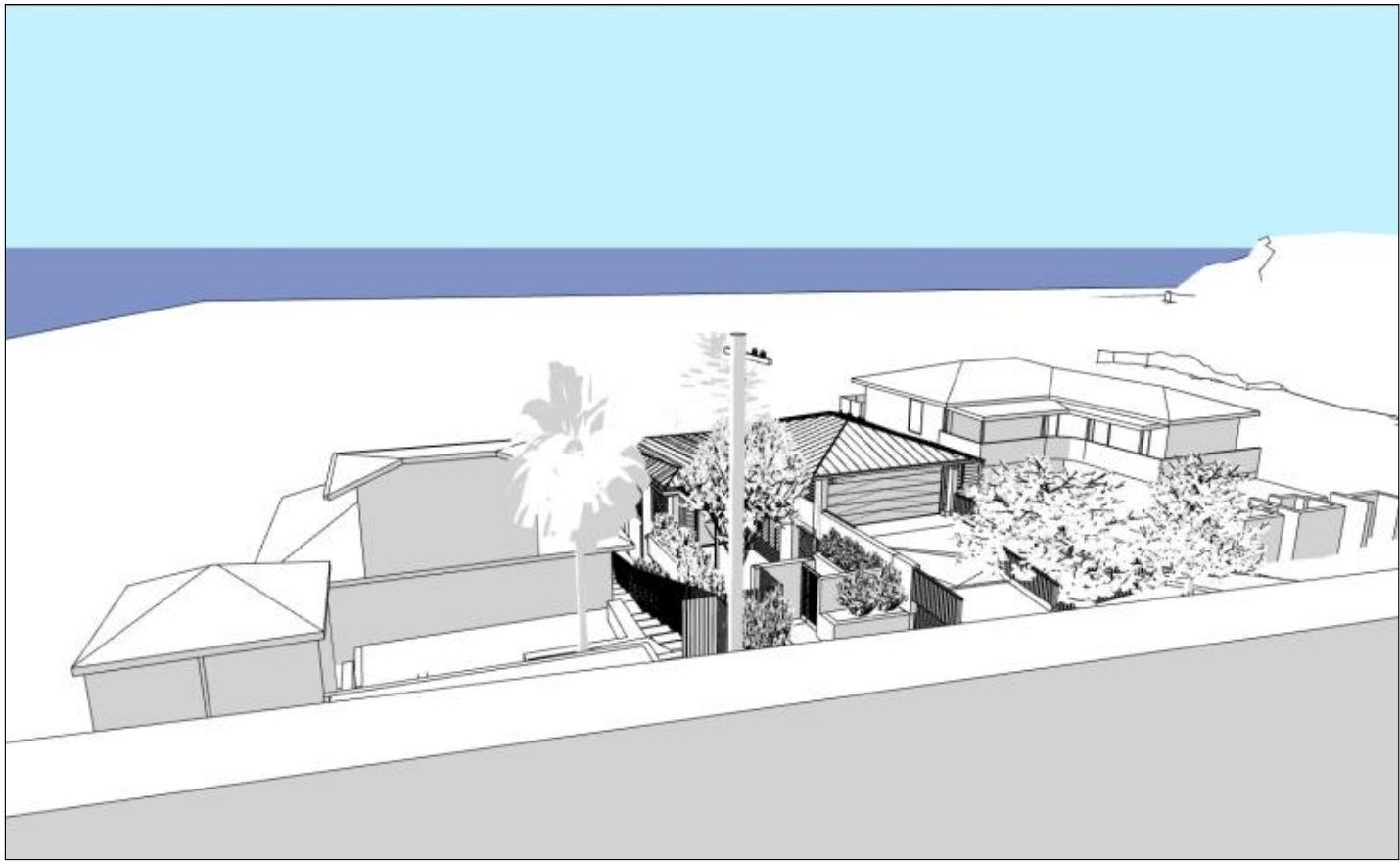
4 Proposed View Neighbour 89 NPP - Main Terrace



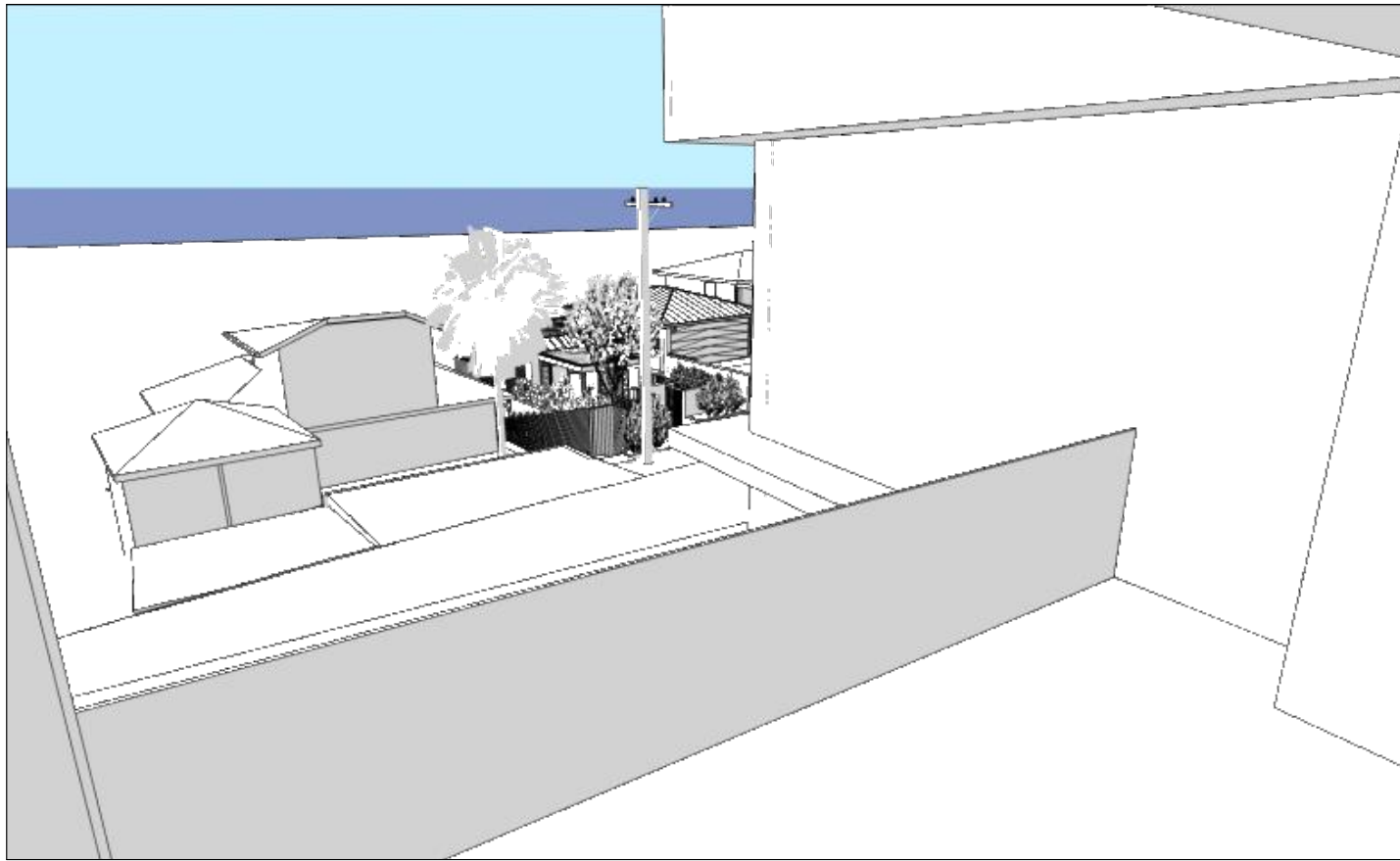
1 Existing View from Neighbour 91 NPP



2 Existing View from Neighbour 91 NPP



3 Proposed View from Neighbour 91 NPP



4 Proposed View from Neighbour 91 NPP

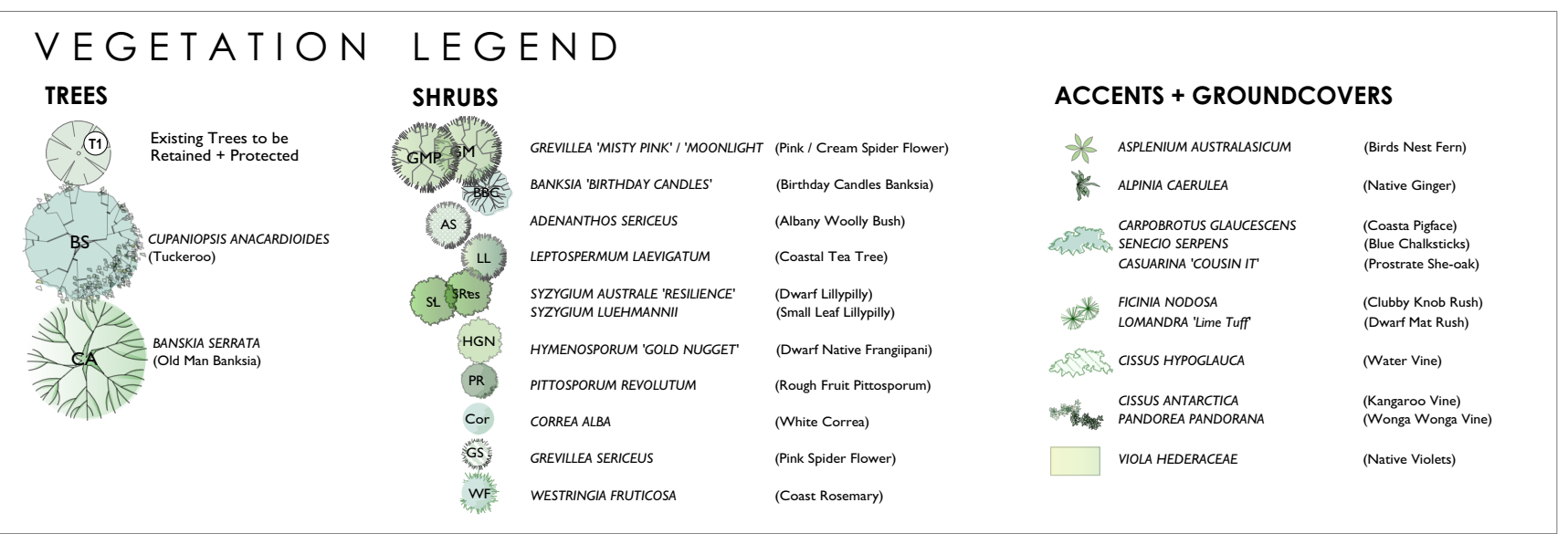
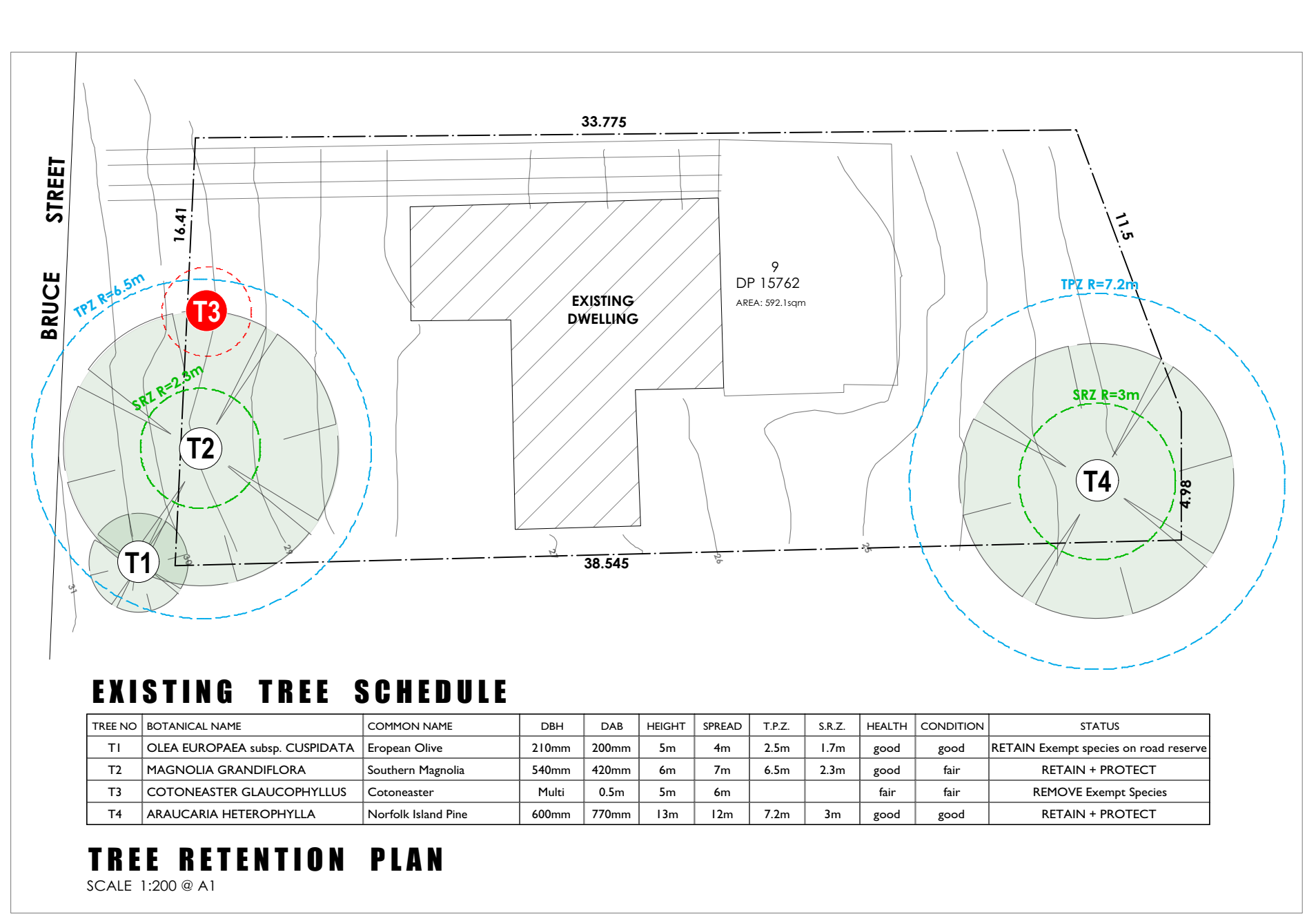
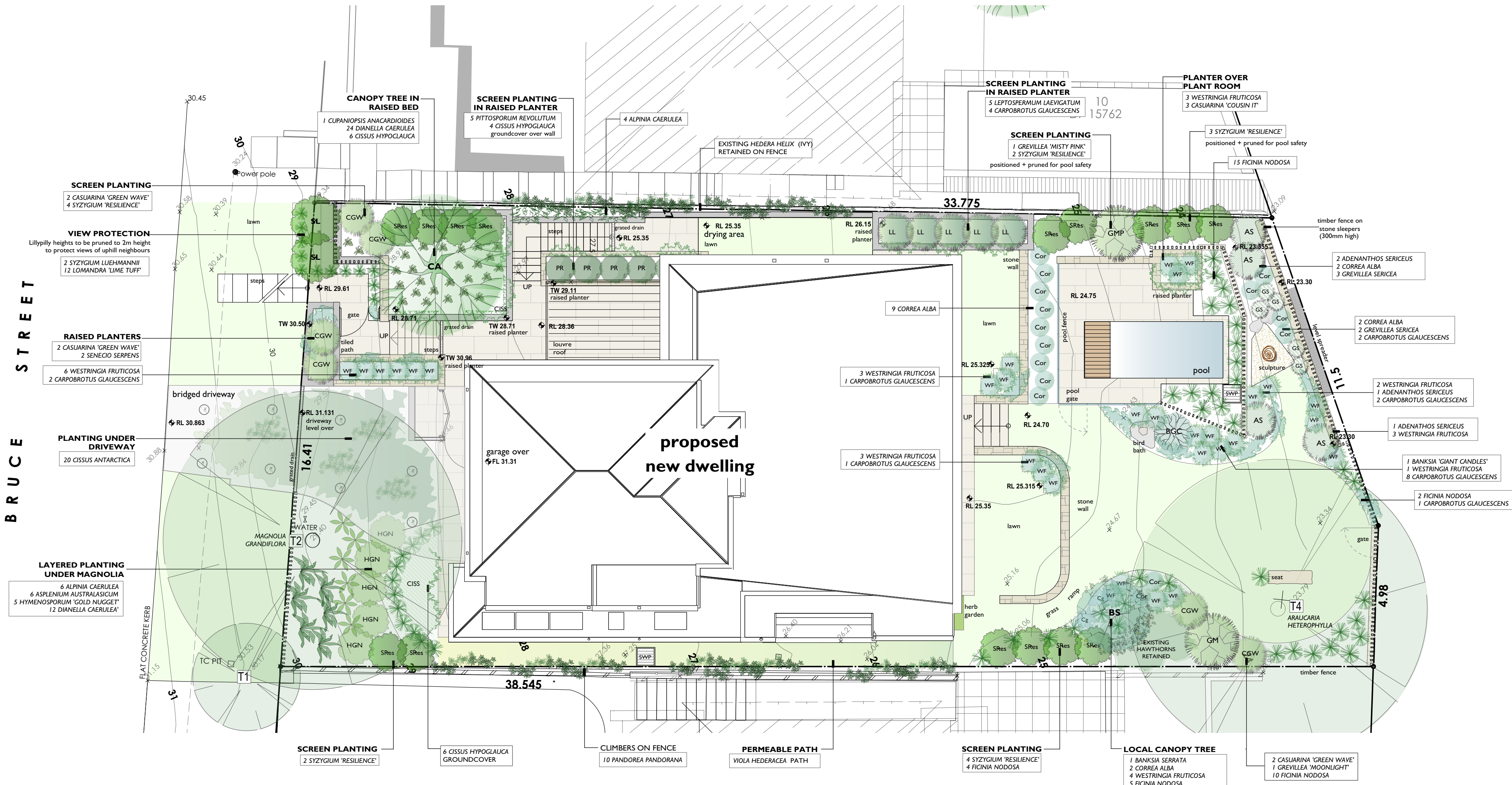
Notes: Do not scale from drawings



1 View from Proposed Living Room towards 13 Bruce St.



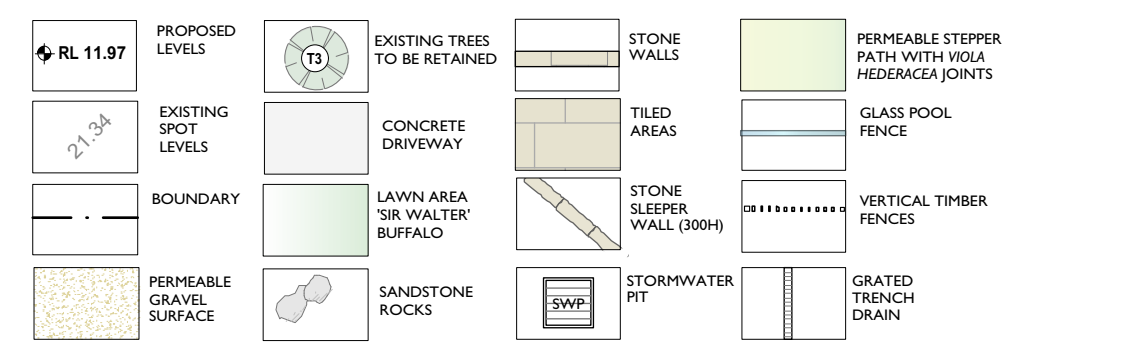
2 View from Proposed Deck towards 9 Bruce St



LANDSCAPE PLAN

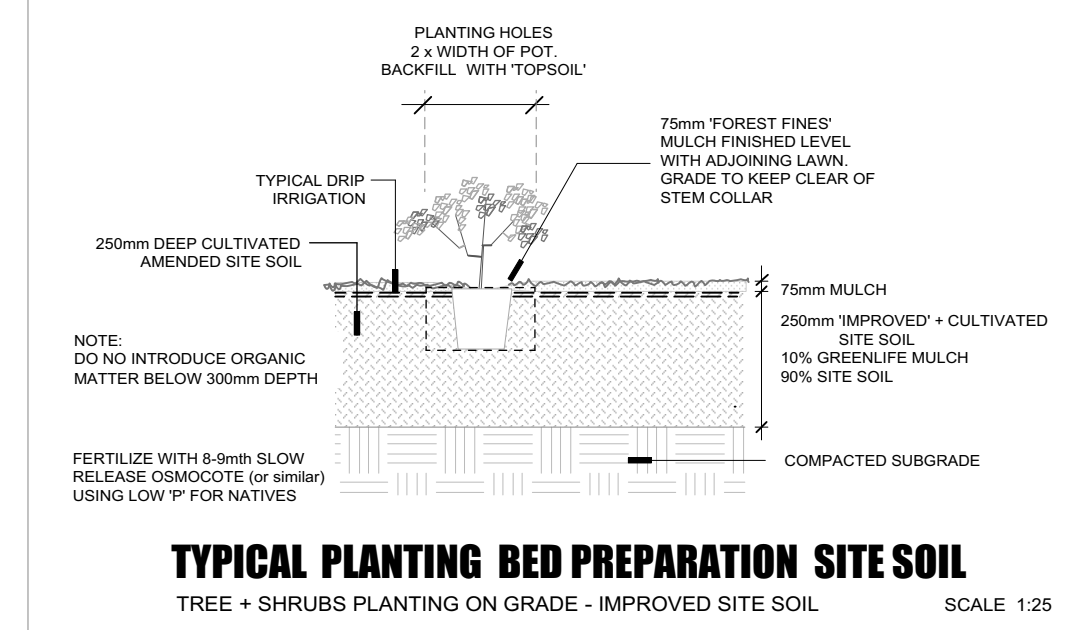
SCALE 1:100 @ A1

LEGEND



LANDSCAPE DESIGN PRINCIPLES

- TO INTEGRATE DEVELOPMENT WITH STREETScape**
SELECTION OF EVERGREEN NATIVE (LOCAL + NON-LOCAL) SPECIES PROPOSED WITH THE AIM TO INTEGRATE THE DEVELOPMENT WITH EXISTING STREETScape IN A STYLE THAT HARMONISES WITH ADJOINING PROPERTIES AND MAINTAINS THE COASTAL CHARACTER OF THE LOCALITY.
- TO INTEGRATE SITE WITH ADJOINING WARRIEWOOD BEACH RESERVE**
A MAJORITY (80%) LOCALLY INDIGENOUS SPECIES HAVE BEEN PROPOSED TO INTEGRATE THE SITE WITH THE ADJOINING RESERVE.
- TO REDUCE THE IMPACT OF THE BUILT FORM**
PROVISION OF TREES AND SCREEN SHRUBS WITHIN FRONT BUILDING SETBACK DESIGNED TO REDUCE THE IMPACT AND SOFTEN THE BUILT FORM, PRESENTING THE DEVELOPMENT WITHIN A VEGETATED SETTING. A MINIMUM OF 50% OF THE BUILT FORM SHALL BE SCREENED FROM BRUCE STREET.
- TO PROTECT NEIGHBOUR AMENITY + MAINTAIN VIEWS**
BOUNDARY SCREEN PLANTING HAS BEEN PROVIDED TO PROTECT NEIGHBOUR PRIVACY. TREE PLACEMENT IS MINDFUL OF THE DESIRE TO MAINTAIN VIEW LINES FROM SITE AND ADJOINING PROPERTIES.
- TO CONSERVE, PROTECT AND ENHANCE THE LOCAL ECOLOGY**
NO LOCAL TREE OR SHRUB SPECIES ARE PROPOSED TO BE REMOVED FROM THE SITE. NO LITTORAL RAINFOREST SPECIES ARE CURRENTLY LOCATED ON THE SITE. THE MAJORITY (80%) OF NEW SITE PLANTING SHALL BE SOURCED FROM LOCAL SPECIES TO COMPENSATE FOR VEGETATION, PROPOSED TO BE REMOVED AND ENHANCE FORAGING AND HABITAT OPPORTUNITIES FOR LOCAL FAUNA AND BIRDS.
- TO REPLACE NEIGHBOURHOOD TREE CANOPY**
IN ADDITION TO TWO (2) EXISTING TREES PROPOSED TO BE RETAINED WITHIN THE DEVELOPMENT, TWO (2) LOCAL TREES ARE PROPOSED TO BE PLANTED TO COMPLY WITH DCP REQUIREMENTS
1 X BANKSIA SERRATA (Old Man Banksia)
1 X CUPANOPSIS ANACARDIOIDES (Tuckeroo)
- TO CONTROL SPREAD OF WEEDS**
ALL NOXIOUS AND ENVIRONMENTAL WEEDS SHALL BE REMOVED FROM SITE AND NO WEED SPECIES PLANTED.
- TO FACILITATE RESPONSIBLE STORMWATER MANAGEMENT**
RECOMMENDATIONS OF STORMWATER ENGINEER OBSERVED IN LANDSCAPE PLAN. SOFT SURFACES HAVE BEEN MAINTAINED TO PROVIDE FOR INSTRUCTION STORMWATER.
- TO COMPLY WITH BASIX COMMITMENTS**
268m² OF LOW WATER OR INDIGENOUS SPECIES (90% OF LANDSCAPE AREA) HAVE BEEN INCLUDED TO MEET BASIX SUSTAINABILITY COMMITMENTS.



PLANTING SCHEDULE

SPECIES HAVE BEEN SELECTED ON THE BASIS OF SUITABILITY TO SITE CONDITIONS AND LOCAL LANDSCAPE CHARACTER, WITH A MINIMUM OF 80% LOCAL SPECIES BEING SPECIFIED. WHERE AVAILABLE, SUPPLY LOCALLY INDIGENOUS SPECIES GROWN FROM LOCAL PROVENANCE STOCK. SYDNEY WATER PLANT SELECTOR GENERALLY USED TO DETERMINE 'LOW' WATER REQUIREMENTS.

KEY	BOTANICAL NAME	COMMON NAME	HEIGHT	NO	POT SIZE	VEGETATION COMMUNITY	LOCAL	WATER	COMMENTS
TREES									
BS	BANKSIA SERRATA	OLD MAN BANKSIA	6m	1	75 litre	LOCAL SPECIES	1	LOW	LOCALLY INDIGENOUS SPECIES
CA	CUPANOPSIS ANACARDIOIDES	TUCKEROO	6m	1	75 litre	LITTORAL RAINFOREST SPECIES	1	LOW	LOCAL CANOPY TREE - MIN 8M ³ SOIL VOLUME
SHRUBS									
AC	ALPINA CAERULEA	NATIVE GINGER	2m	10	200mm	LITTORAL RAINFOREST SPECIES		MOD	NATIVE SPECIES
AS	ADENANTHOS SERICEUS	ALBANY WOOLLY BUSH	2m	4	200mm			LOW	NATIVE SPECIES
BBC	BANKSIA 'BIRTHDAY CANDLES'	DWARF BANKSIA	2m	1	200mm			LOW	NATIVE SPECIES
CA	CORREA ALBA	WHITE CORREA	1m	15	200mm	LOCAL SPECIES	15	LOW	LOCALLY INDIGENOUS SPECIES
CGW	CASUARINA 'GREEN WAVE'	DWARF SHE-OAK	1.5m	6	200mm			LOW	NATIVE SPECIES
GM	GREVILLEA 'MOONLIGHT'	CREAM GREVILLEA	2m	1	200mm			LOW	NATIVE SPECIES
GHP	GREVILLEA 'MISTY PINK'	PINK GREVILLEA	2m	1	200mm			LOW	NATIVE SPECIES
GS	GREVILLEA SERICEA	PINK GREVILLEA	1m	5	200mm	LOCAL SPECIES	5	LOW	LOCALLY INDIGENOUS SPECIES
HGN	HYMENOSPORUM 'GOLD NUGGET'	DWARF NATIVE FRANGIPANI	1.2m	5	200mm			LOW	NATIVE SPECIES
LL	LEPTOSPERMUM LAEVIGATUM	HEATH TEA TREE	3m	5	200mm	LOCAL SPECIES	5	LOW	LOCALLY INDIGENOUS SPECIES
PR	PITTOSPORIUM REVOLUTUM	ROUGH FRUIT PITTOSPORIUM	1m	5	200mm	LOCAL SPECIES	5	LOW	LOCALLY INDIGENOUS SPECIES
SL	SYZYGIUM LUEHMANNII	SHALL LEAF LILLYPILLY	4m	2	75 litre	LITTORAL RAINFOREST SPECIES		LOW	NATIVE SPECIES - PRUNE TO 2m HIGH
SR	SYZYGIUM AUSTRALE 'RESILIENCE'	DWARF LILLYPILLY	3m	15	300mm			LOW	NATIVE SPECIES
WF	WESTRINGIA FRUTICOSA	COASTAL ROSEMARY	1m	31	200mm	LOCAL SPECIES	31	LOW	LOCALLY INDIGENOUS SPECIES
GROUNDCOVERS, ACCENTS, CLIMBERS + GRASSES									
	ASPLENIDIUM AUSTRALASCUM	BIRDS NEST FERN	0.6m	6	200mm	LITTORAL RAINFOREST SPECIES	6	LOW	LOCALLY INDIGENOUS SPECIES
	CARPOBROTUS GLAUCESCENS	COASTAL PIGEAF	g'cover	24	150mm	LOCAL SPECIES	24	LOW	LOCALLY INDIGENOUS SPECIES
	CASUARINA 'COUSIN IT'	DWARF SHE-OAK	g'cover	3	150mm			LOW	NATIVE SPECIES
	CISSUS ANTARCTICA	KANGAROO VINE	g'cover	20	150mm	LOCAL SPECIES	20	LOW	LOCALLY INDIGENOUS SPECIES
	CISSUS HYPOGLAUCA	WATER VINE	g'cover	16	150mm	LOCAL SPECIES	16	MED	LOCALLY INDIGENOUS SPECIES
	DANIELLA CAERULEA	BLUE FLAG LILY	0.6m	36	150mm	LOCAL SPECIES	36	LOW	LOCALLY INDIGENOUS SPECIES
	FICINIA NODOSA	KNOBBY CLUB RUSH	0.6m	36	150mm	LOCAL SPECIES	36	LOW	LOCALLY INDIGENOUS SPECIES
	LOMANDORA LIME TURF	DWARF HAT RUSH	0.4m	12	150mm			LOW	NATIVE SPECIES
	PANDORA PANDORANA	WONGA WONGA VINE	climber	10	150mm	LOCAL SPECIES	10	LOW	LOCALLY INDIGENOUS SPECIES
	SENECIO SERPENS	BLUE CHALKSTICKS	g'cover	2	150mm			LOW	LOCALLY INDIGENOUS SPECIES
	VIOLA HEDERACEA	NATIVE VIOLETS	g'cover	24	150mm	LOCAL SPECIES	24	LOW	LOCALLY INDIGENOUS SPECIES
NUMBER OF LOCAL SPECIES							235		80%
TOTAL NUMBER OF PLANTS PROPOSED					294				

SPECIFICATIONS

- ALL WORKS SHALL BE EXECUTED IN ACCORDANCE WITH FUTURE DETAILED SPECIFICATIONS**
- TREE PROTECTION**
CARE SHALL BE TAKEN DURING ALL WORKS INCLUDING DEMOLITION TO PROTECT EXISTING TREES (INCLUDING ROOTS AND CANOPY AREA) ON SITE AND ROAD RESERVE. REFER TO ARBORIST REPORT FOR DETAILS.
AREA OF ROAD RESERVE SHALL BE PROTECTED FOR THE ENTIRE PERIOD OF THE WORKS AS SPECIFIED IN ARBORIST REPORT. PROJECT ARBORIST SHALL ATTEND SITE FOR TREE PRUNING AND DRIVEWAY PER EXCAVATION WORKS.
- SOIL PREPARATION**
AT GRADE
PLANTING BEDS SHALL BE PREPARED BY REMOVING ALL BUILDER'S RUBBLE, WASTE MATERIAL AND WEED MATERIAL. SPREAD 100mm GREEN LIFE COMPOST OVER PLANTING BEDS PRIOR TO PLANTING AND CULTIVATE INTO TOP 30mm LAYER OF SITE SOIL. DO NOT INTRODUCE ORGANIC MATTER AT DEPTHS GREATER THAN 200mm. CONTRACTOR SHALL UNDERTAKE pH TESTS AND ADJUST WHERE NECESSARY TO ACHIEVE A RANGE OF 5.5-7.5. IMPORTED SOIL WHERE REQUIRED SHALL BE NATIVE SOIL MIX. PLANTER BOXES
INSTALL PLANTER BOX MIX FOR NATIVES IN ALL PLANTERS. WATERPROOFING + DRAINAGE TO ENGINEER'S SPECIFICATIONS.
- PLANTING**
ALL PLANTS SHALL BE WELL GROWN AND DISEASE FREE. TREES SHALL BE GROWN TO NATSPEC / A2203. PLANTING SHALL BE IN ACCORDANCE WITH PLANTING SCHEDULE. LOCALLY INDIGENOUS SPECIES SHALL BE SOURCED FROM LOCAL PROVENANCE WHEREVER POSSIBLE.
CARE SHALL BE TAKEN WHEN PLANTING WITHIN THE TREE PROTECTION ZONES OF TREES TO BE RETAINED. PLANTING HOLES SHALL BE RELOCATED SHOULD TREE ROOTS BE ENCOUNTERED.
- LAWN**
LAWN AREAS SHALL BE GRADED TO PROVIDE SUB-BASE AND SURFACE FALLS TO DRAIN.
SIR WALTER BUFFALO SHALL BE LAID ON A MINIMUM BASE OF 100mm QUALITY TURF UNDERLAY.
STEEL WALKER BUFFALO SHALL BE INSTALLED WHERE REQUIRED AT ALL JUNCTIONS OF LAWN AND PLANTING BEDS.
- MULCH**
COVER PLANTING AREAS OF SITE WITH 75mm FOREST FINES MULCH OR ALTERNATIVE APPROVED MULCH MATERIAL. KEEP MULCH CLEAR OF TREE + SHRUB TRUNKS. ENSURE ALL MULCH MATERIAL IS FREE OF WEED SEED AND VEGETATIVE MATERIAL.
- FENCING**
REFER TO ARCHITECT'S PLAN. NEW FENCES SHALL BE WILDLIFE PASSABLE.
- WEED MANAGEMENT**
ALL PROPERTY AND ENVIRONMENTAL WEEDS SHALL BE REMOVED FROM SITE. NO WEED SPECIES SHALL BE PLANTED ON SITE.
- STORMWATER**
REFER TO STORMWATER PLAN BY MICHAEL KORECKY 2007/1 SW/1 + SW/2 (24.9.20)

