

Contractors to check and verify all dimensions and all levels on site prior to any works.

 Any discrepancies should be immediately referred to Harrison's Landscaping.
 All work to comply with B.C.A. Statutory Authorities and relevant Australian Standards Dimensions recognised over scaling. All measurements are in millimetres

- Copyright Harrison's Landscaping 2022

- 4	

PO Bo Studio Frenc www. P· 945

PO Box 682, Manly, NSW, 1655	Sai
Studio 7, 19 Rodborough Road,	-
Frenchs Forest NSW 2086	Site Address: 20 Sp
www.harrisonslandscaping.com.au P: 9451 2366	20 Sp
E: info@harrisonslandscaping.com.au	

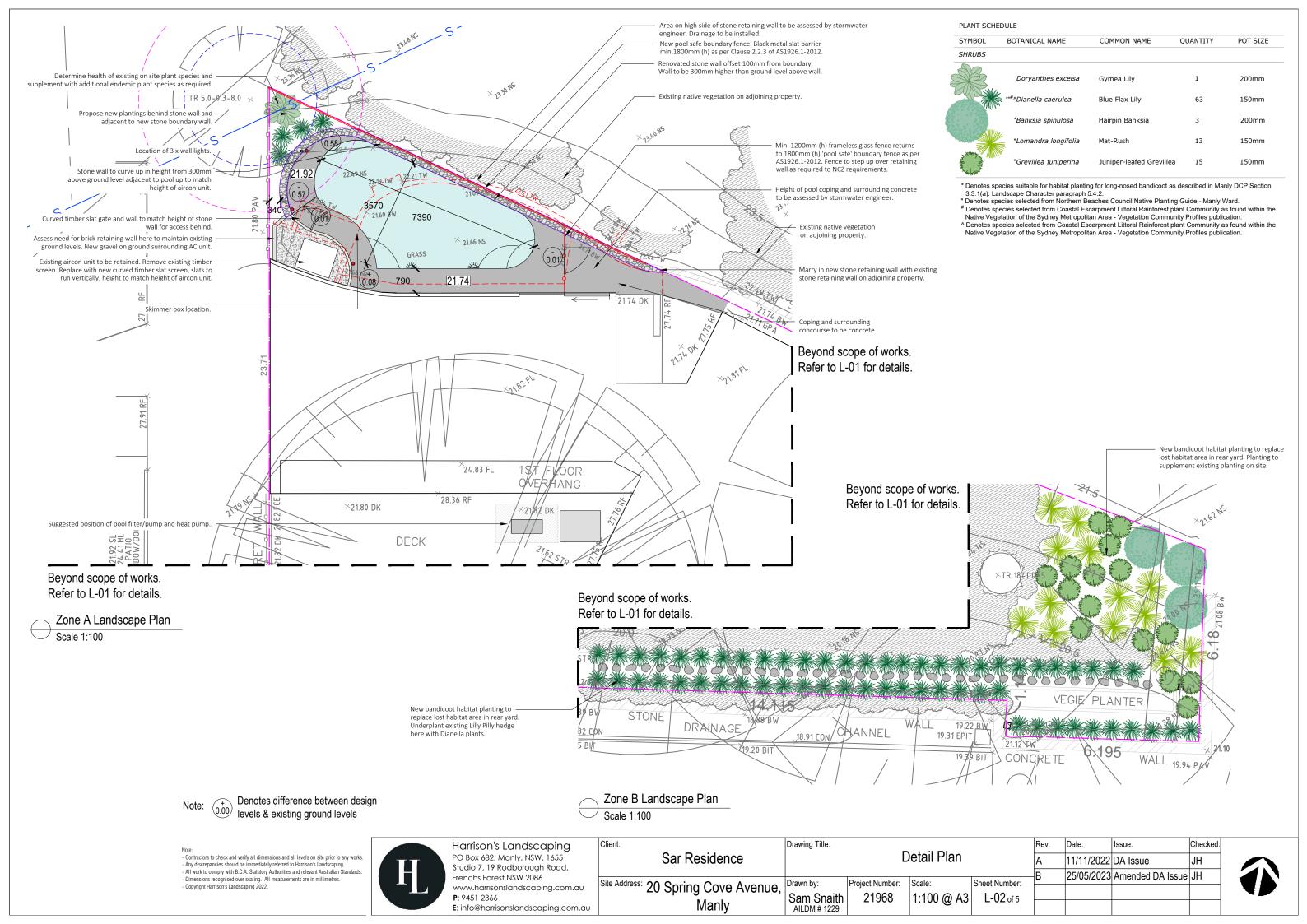
Sar Residence	, v	(
Site Address: 20 Spring Cove Avenue.	Drawn by:	Pro

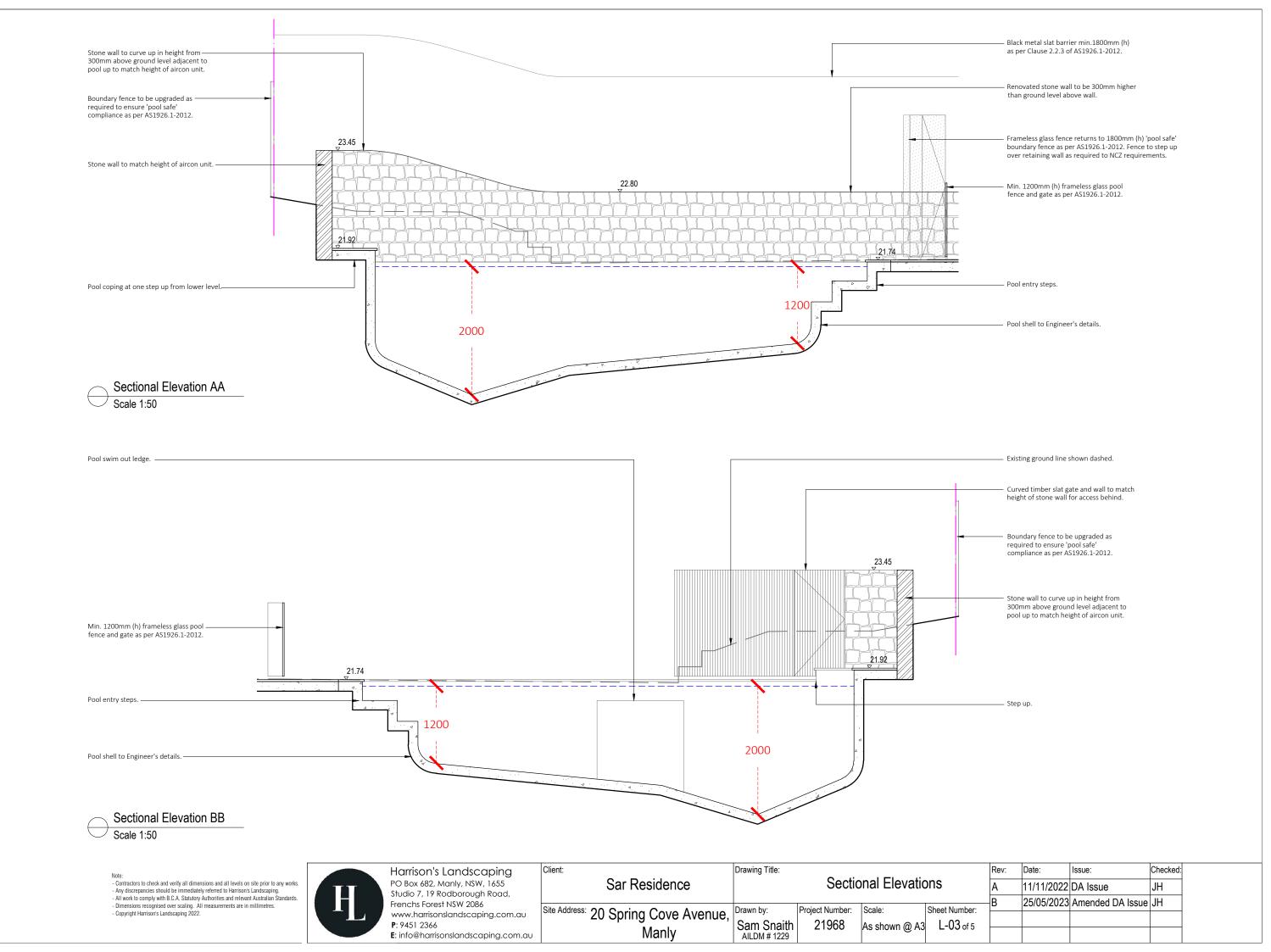
Manly

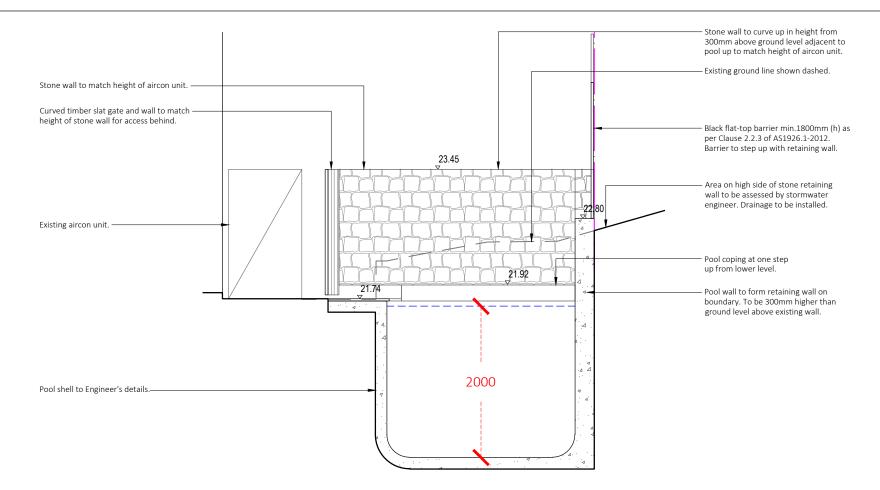
Sedimentation Control Plan oject Number: Sheet Number: 21968 As shown @ A3 L-01 of 5 Sam Snaith

Α	11/11/2022	DA Issue	JH
В	25/05/2023	Amended DA Issue	JH

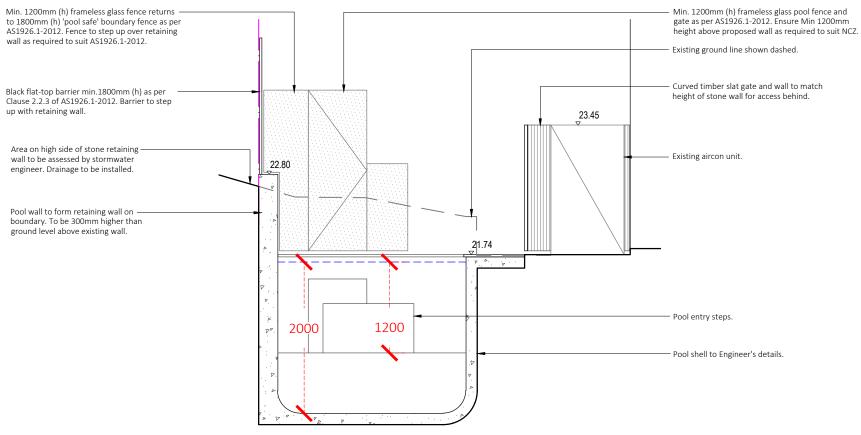








Sectional Elevation CC Scale 1:50



Sectional Elevation DD Scale 1:50

- Note:

 Contractors to check and verify all dimensions and all levels on site prior to any works.

 Any discrepancies should be immediately referred to Harrison's Landscaping.

 All work to comply with B.C.A. Statutory Authorities and relevant Australian Standards.

- Dimensions recognised over scaling. All measurements are in millimetres, Copyright Harrison's Landscaping 2022.

Н
PC
PC St
Fr
W
P: E:
E.

Harrison's Landscaping O Box 682, Manly, NSW, Studio 7, 19 Rodborough renchs Forest NSW 2086 www.harrisonslandscapir e: 9451 2366

PO Box 682, Manly, NSW, 1655 Studio 7, 19 Rodborough Road,	Sar Residence
Frenchs Forest NSW 2086 www.harrisonslandscaping.com.au	Site Address: 20 Spring Cove A
P: 9451 2366 E: info@harrisonslandscaping.com.au	Manly

	Client:	Drawing Title: Sectional Elevations			Rev:	Date:	Issue:	Checked:	
	Sar Residence				Α	11/11/2022	DA Issue	JH	
						В	25/05/2023	Amended DA Issue	JH
	Site Address: 20 Spring Cove Avenue,	Drawn by:	Project Number:	Scale:	Sheet Number:	<u> </u>	20,00,2020	7 tilloridod D7 t loodo	011
		Sam Snaith	21968	As shown @ A3	L-03 of 5				
J	Manly	AILDM # 1229	21000	AS SHOWIT W AS	2 00 01 0				

LANDSCAPE SPECIFICATION NOTES

SITE PREPARATION

Locate any underground and overground services & ensure no damage occurs. Levels on plan are nominal only & all dimensions to be checked on site prior to commencement. Final structural integrity of all items shall be the sole responsibility of landscape contractor.

PROTECTION OF EXISTING TREES:

All tree protection is to be undertaken in accordance with the quidelines provided in AS4970-2009 Protection of trees on development sites.

Prior to construction, the builder shall erect tree protection fencing for each protected tree. Tree protection fencing setbacks are to be determined by multiplying the diameter at breast height by twelve (12). Fencing is to consist of Chain wire mesh panels at least 1.8m in height, anchored with concrete feet. Signage stating "Tree Protection Zone – No Access" is to be displayed on the fencing.

According to AS 4970-2009, activities excluded from the TPZ include but are not limited to;

- machine excavation including trenching
- excavation for silt fencing
- cultivation
- storage
- preparation of chemicals, including preparation of cement products
- parking of vehicles and plant and/or refuelling
- dumping of waste and/or wash down and cleaning of equipment
- soil level changes and/or placement of fill
- lighting of fires
- temporary or permanent installation of utilities and signs
- physical damage to the tree.

REMOVAL OF EXISTING TREES

All trees to be removed shall be carried out by a qualified arborist and work shall conform to the provisions of AS4373-2007 Australian Standards for The Pruning of Amenity Trees.

ELIMINATE WEEDS

Remove all existing weeds by hand, wiping or spraying with a glyphosate based herbicide. Weed control shall never be performed by mechanical cultivation or by scraping. Herbicide spraying is to be used to eliminate all existing weeds 30 days prior to planting.

EXCAVATION & SUB SOIL PREPARATION

Excavate garden beds to the depth required and rip or scarify base & sides of pit to a minimum depth of 150mm.

SUB SOIL DRAINAGE

Install drainage layer where there is surface water runoff draining into garden bed areas & where the existing sub-soil has more than 50% clay composition & there is a risk of subsurface water ponding. Install perforated corrugated ag. line 75-100mm Dia. with geotextile filter sock & backfill to a minimum 200mm using free draining material, reclaimed/recycled where available. Direct flows at a minimum 0.5% fall to sw system. In areas isolated from stormwater system excavate & backfill an appropriate water dispersion pit.

REUSE EXISTING TOPSOIL

Existing site topsoil should be salvaged & appropriately stockpiled where possible.

IMPORTED TOPSOIL

Quality System: AS 4419 or as specified below.

Turf Areas: 'Turf Underlay' as supplied by, ANL p: 02 9450 1444 or approved alternative.

Tree Pit and Shrub Planting: 'Premium Garden Mix' as supplied by, ANL p: 02 9450 1444 or approved alternative.

PLANTING

Health & Vigour: Supply plants with foliage size, texture & colour consistent with that shown in healthy specimens of the species. Crowns must contain no epicormic shoots or dieback.

Balance of Crown: Supply plants with max. variation in crown bulk on opposite sides of stem axis, +/- 20% All plants supplied should be consistent with the guidelines provided in AS2303-2015 Tree stock for landscape use.

STAKING

Install 2 x 1800mm 40x40 hardwood timber stakes with hessian ties to all trees. Provide appropriate support considering exposure to prevailing winds. Stakes and hessian ties to be removed as soon as the tree is self supporting.

IRRIGATION SYSTEM

New dripline irrigation system to be installed with backflow preventer and with timers. Irrigation system to be designed and installed to local codes.

The entire irrigation system shall be fully automated and provide drip irrigation to all tree, shrub and ground cover zones. It is the Contractor's responsibility to verify water pressure available and determine all design-built parameters prior to any installation and sizing of irrigation components. Irrigation system to be connected to water tank to supplement water from mains.

MULCHING

Quality system: AS 4454

All planting area impacted by building works to receive 50-75mm of garden Mulch, Hort-Bark, ANL p. 02 9450 1444 or approved alternative. Keep mulch 100mm away from plant stem & form a well to stop excessive water runoff. Finish flush with adjacent surfaces.

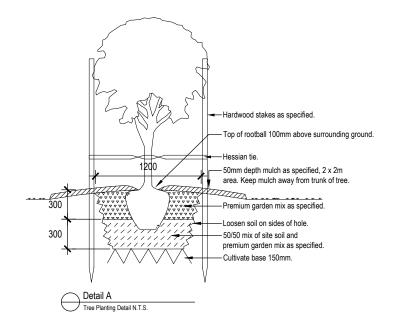
Water in immediately after plant installation & allow for soil settlement. For the first 2 to 4 weeks after planting, the root zone & immediate surrounds must be kept moist. Continue watering until plants have established.

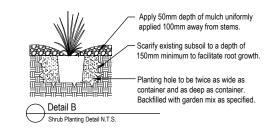
STEPPING STONES

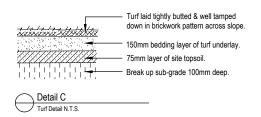
Install each stepping stone on a 75mm thick mortar bed and space according to plan. Stones to finish flush with adjoining levels. Fill gaps with groundcover plants as specified.

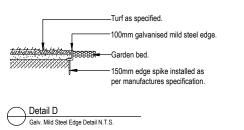
RETAINING WALLS & PLANTER BOXES

All retaining walls & planter boxes to be constructed to Engineer's details. Ensure all internal surfaces are waterproofed. Geotextile wrapped ag. drainage line backfilled with aggregate is to be installed behind all retaining walls & connected to stormwater in accordance with Sydney Water regulations. All planter boxes are to have Atlantis drainage cell (or approved alternative) installed & connected to stormwater in accordance with Sydney Water regulations.









Note	

- Contractors to check and verify all dimensions and all levels on site prior to any works
- nediately referred to Harrison's Landso All work to comply with B.C.A. Statutory Authorities and relevant Australian Standard
- Dimensions recognised over scaling. All measurements are in millimetres - Copyright Harrison's Landscaping 2022
- Harrison's Landscaping PO Box 682, Manly, NSW, 1655 Studio 7, 19 Rodborough Road, Frenchs Forest NSW 2086 www.harrisonslandscaping.com.au P: 9451 2366 E: info@harrisonslandscaping.com.au
- Clier Site

ient:		Drawing Title:				Rev:	Date:	Issue:	Checked:	
	Sar Residence	Landscape Specification & Details			Α	11/11/2022	DA Issue	JH		
						В	25/05/2023	Amended DA Issue	JH	
te Address:	20 Spring Cove Avenue,	Drawn by:	Project Number:	Scale:	Sheet Number:		20/00/2020	7 111011404 57 (10040	-	
	20 opining dove Avenue,	Sam Snaith	21968	As shown @ A3	L-03 of 5				i	
	Manly	AILDM # 1229	21900	AS SHOWIT @ AS	L-03 015					