

Rapid Plans www.rapidplans.com.au
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Email: gregg@rapidplans.com.au



BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA



ACCREDITED
BUILDING DESIGNER

DEVELOPMENT APLLICATION

Alterations & Additions To Existing Residence

For Matt MacLennan

9 Hyde Avenue, Killarney Heights

Lot 623 D.P.217209

Project Number: RP1022MAC



BASIX® Certificate

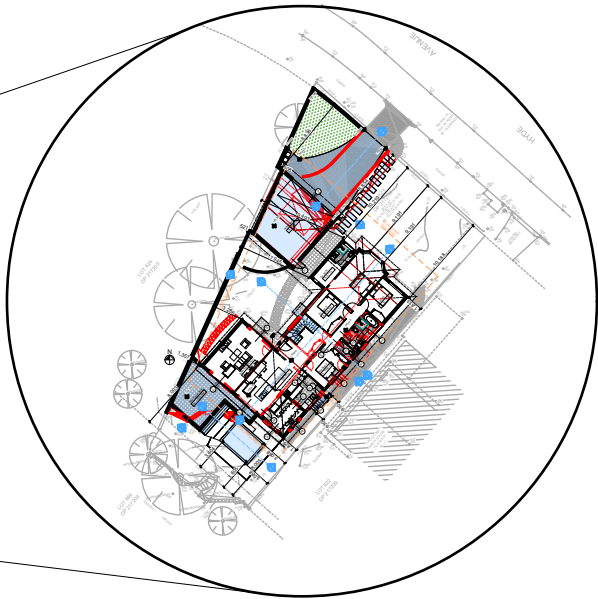
Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A483346

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Thursday, 08, December 2022
To be valid, this certificate must be lodged within 3 months of the date of issue.

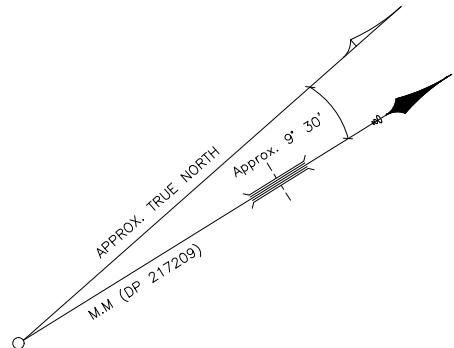


Description of project

Project address	
Project name	MacLennan
Street address	9 Hyde Avenue Killarney Heights 2087
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 217209
Lot number	623
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and includes a pool (and/or spa).

DRAWING No.	DESCRIPTION	REV	ISSUED DATE
DA1000	Cover Sheet	-	- 9/12/22
DA1001	A4 NOTIFICATION PLAN	-	- 9/12/22
DA1002	SITE SURVEY	-	- 9/12/22
DA1003	SITE PLAN	-	- 9/12/22
DA1004	Existing Ground Floor Plan	-	- 9/12/22
DA1005	Existing First Floor Plan	-	- 9/12/22
DA1006	Demolition Ground Floor Plan	-	- 9/12/22
DA1007	Demolition Roof Plan	-	- 9/12/22
DA1008	Excavation & Fill Plan	-	- 9/12/22
DA1009	Landscape Open Space Plan Existing	-	- 9/12/22
DA1010	Landscape Open Space Plan Proposed	-	- 9/12/22
DA1011	Landscape Plan	-	- 9/12/22
DA1012	Sediment & Erosion Plan	-	- 9/12/22
DA1013	Waste Management Plan	-	- 9/12/22
DA1014	Stormwater Plan	-	- 9/12/22
DA2001	GROUND FLOOR	-	- 9/12/22
DA2002	FIRST FLOOR	-	- 9/12/22
DA2003	ROOF	-	- 9/12/22
DA3000	SECTION 1	-	- 9/12/22
DA3001	SECTION DRIVE	-	- 9/12/22
DA3002	SECTION POOL	-	- 9/12/22
DA4000	ELEVATIONS 1	-	- 9/12/22
DA4001	ELEVATIONS 2	-	- 9/12/22
DA4002	ELEVATIONS 3	-	- 9/12/22
DA5000	PERSPECTIVE	-	- 9/12/22
DA5001	MATERIAL & COLOUR SAMPLE BOARD	-	- 9/12/22
DA5002	SHADOW PLAN 21st June 9am	-	- 9/12/22
DA5003	SHADOW PLAN 21st June 12pm	-	- 9/12/22
DA5004	SHADOW PLAN 21st June 3pm	-	- 9/12/22
DA5005	WALL ELEVATION SHADOWS	-	- 9/12/22

Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name:	Rapid Plans
ABN (if applicable):	43150064592



LOT 666
DP 217209

LOT 624
DP 217209

LOT 622
DP 217209

LOT 623
DP 217209

695.6 m²
(STATED BY DP 217209)
698.6 m²
(BY CALCULATION)

AVENUE

HYDE



- LEGEND:
- AHD AUSTRALIAN HEIGHT DATUM
 - AWN AWNING
 - BM BENCH MARK
 - BOW BOTTOM OF WALL
 - BRW BOTTOM OF RETAINING WALL
 - CL CENTRE LINE
 - CONC CONCRETE
 - CS CONCRETE SURFACE
 - D/H/S DIAMETER/HEIGHT/SPREAD
 - D DOOR
 - EC EDGE OF CONCRETE
 - EG EAVE & GUTTER
 - EP ELECTRICAL BOX
 - FL FLOOR LEVEL
 - GDN GARDEN
 - HYD HYDRANT
 - IC INSPECTION COVER
 - IK INVERT OF KERB
 - INV INVERT LEVEL
 - KO KERB OUTLET
 - LH LAMP HOLE
 - NS NATURAL SURFACE
 - PAV PAVERS
 - PP POWER POLE
 - RL REDUCED LEVEL
 - S STEPS
 - SL SURFACE LEVEL
 - SILL WINDOW SILL
 - SIP SEWER INSPECTION POINT
 - SMH SEWER MAN HOLE
 - SV STOP VALE
 - TEL TELSTRA PIT
 - TK TOP OF KERB
 - TOW/TW TOP OF WALL
 - TRW TOP OF RETAINING WALL
 - VC VEHICLE CROSSING
 - WM WATER METER
 - WTOP TOP OF WINDOW
 - W-B WALL T O BOUNDARY

(A) - EASEMENT FOR DRAINAGE 1.83 WIDE(VIDE DP 217209).

THE SUBJECT TITLE NOTES : AS AT 7/9/2022

- 1 RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
- 2 J63715 COVENANT
- 3 DP217209 EASEMENT FOR DRAINAGE AFFECTING THAT PART OF THE LAND ABOVE DESCRIBED SHOWN AS SITE OF PROPOSED DRAINAGE EASEMENT 6 FEET WIDE IN DP217209
- 4 K429663 COVENANT

NOTES:

- A) BOUNDARIES OF THE SITE HAVE BEEN IDENTIFIED BY SURVEY
- B) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. SERVICES MAY EXIST WHICH ARE NOT SHOWN. THE RELEVANT SERVICE AUTHORITY SHOULD BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION.
- C) DIAMETER, HEIGHT & SPREAD OF TREES ARE APPROXIMATE ONLY.
- D) LEVELS SHOWN ARE OF AUSTRALIAN HEIGHT DATUM. ORIGIN OF LEVELS : SSM 7314, RL 75.86 (AHD), CLASS D.
- E) USE STATED DIMENSIONS. DO NOT SCALE.
- F) THESE NOTES FORM PART OF THIS PLAN AND CANNOT BE REMOVED.
- G) NO COVENANTS AND/OR RESTRICTIONS HAVE BEEN INVESTIGATED BY C & A SURVEYORS PTY LTD.

REVISION No	DESCRIPTION	DATE
V1	PLAN ISSUED	13/9/22

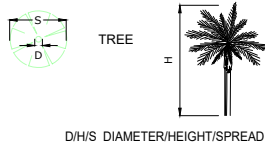
BRANDAN BOWD
(REGISTERED SURVEYOR)
SURVEYOR ID No. 9122

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C&A SURVEYORS
30 Grose Street, Parramatta, NSW 2150
Ph: 96309299 email: operations@candasurveyors.com.au
www.candasurveyors.com.au

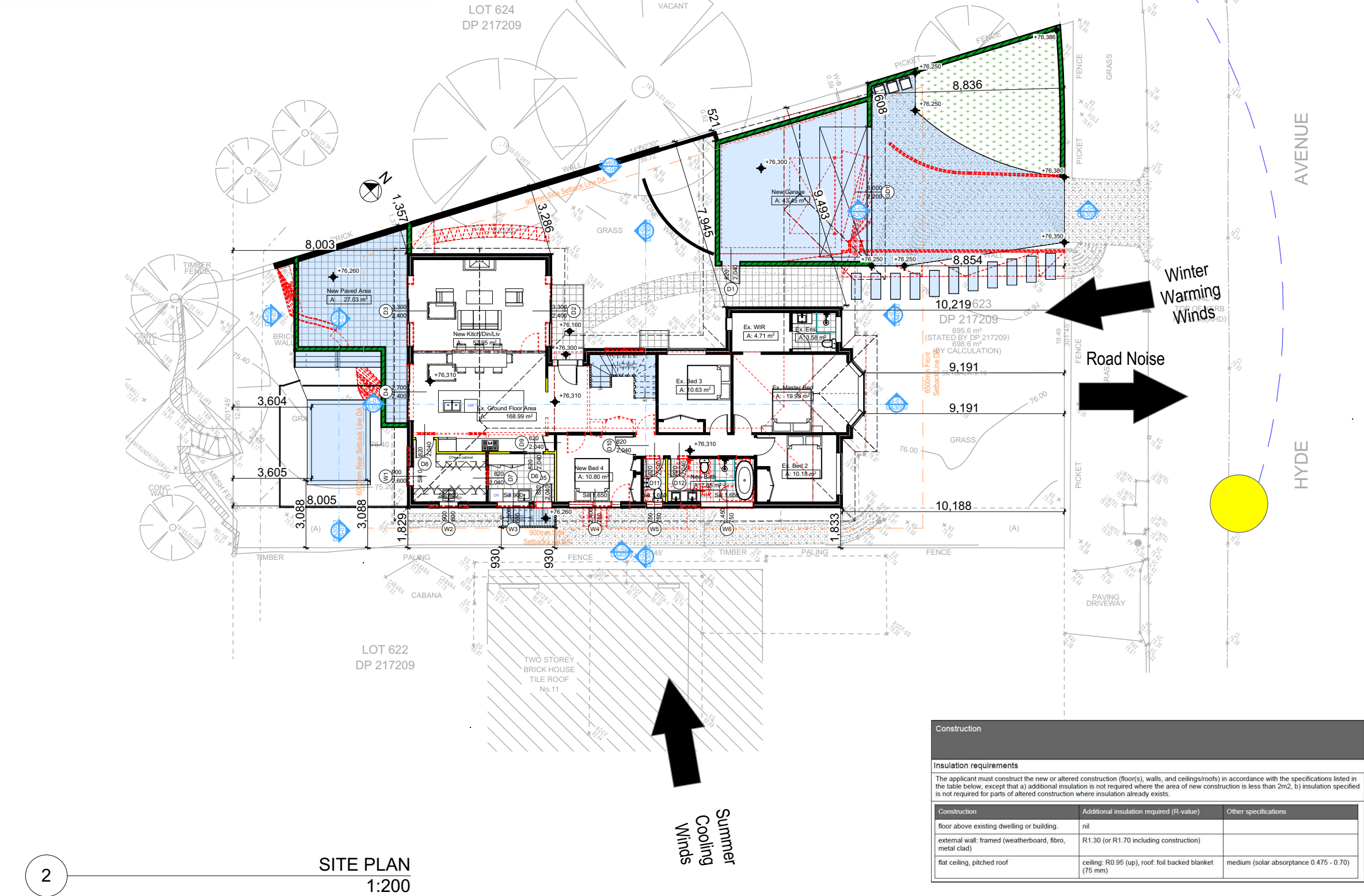
DETAIL & BOUNDARY IDENTIFICATION
SURVEY OF
LOT 623 IN DP 217209, LOCATED AT
No.9, HYDE AVENUE, KILLARNEY HEIGHTS.

- S S APPROXIMATE LOCATION OF BURIED SEWER MAIN BY SYDNEY WATER DBYD RECORDS
- W W APPROXIMATE LOCATION OF BURIED WATER MAIN (WM) BY SYDNEY WATER DBYD RECORDS
- E E ELECTRIC LINE
- TELSTRA PIT
- STOP VALVE
- POWER POLE
- WATER METER
- HYDRANT



INSTRUCTING PARTY:		CARLY TRACE		SURVEYED BY: CN		DATUM: AHD	
LGA: NORTHERN BEACHES	AREA BDY DP:	695.6 m ²		DRAWN BY: DR	CHECKED BY: JD		
SURVEY DATE: 8/9/2022	AREA BY CALC:	698.6 m ²		SCALE: 1:100@A1	REF.NO: 22838-22 DET ID		
DATE DRAWN: 12/9/2022	CONTOUR INTERVAL: 0.2 m			REV No: V1	SHEET: 1 OF 1		

Pool and Spa
Rainwater tank
The applicant must install a rainwater tank of at least 781 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.
The applicant must configure the rainwater tank to collect rainwater runoff from at least 50 square metres of roof area.
The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.
Outdoor swimming pool
The swimming pool must be outdoors.
The swimming pool must not have a capacity greater than 15 kilolitres.
The swimming pool must have a pool cover.
The applicant must install a pool pump timer for the swimming pool.
The applicant must install the following heating system for the swimming pool that is part of this development: electric heat pump.
Fixtures and systems
Lighting
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.
Fixtures
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.



Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Concrete Block Wall
- Denotes New Concrete
- Denotes Existing Wall
- Denotes Demolished Item

Denotes New Works

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Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 9/12/2022
Project NO.: RP1022MAC
Project Status DA

Client: Matt MacLennan

Site: 9 Hyde Avenue, Killamey Heights

DRAWING TITLE: SITE PLAN

PROJECT NAME: Alterations & Additions

REVISION NO. DATE

- 9/12/22

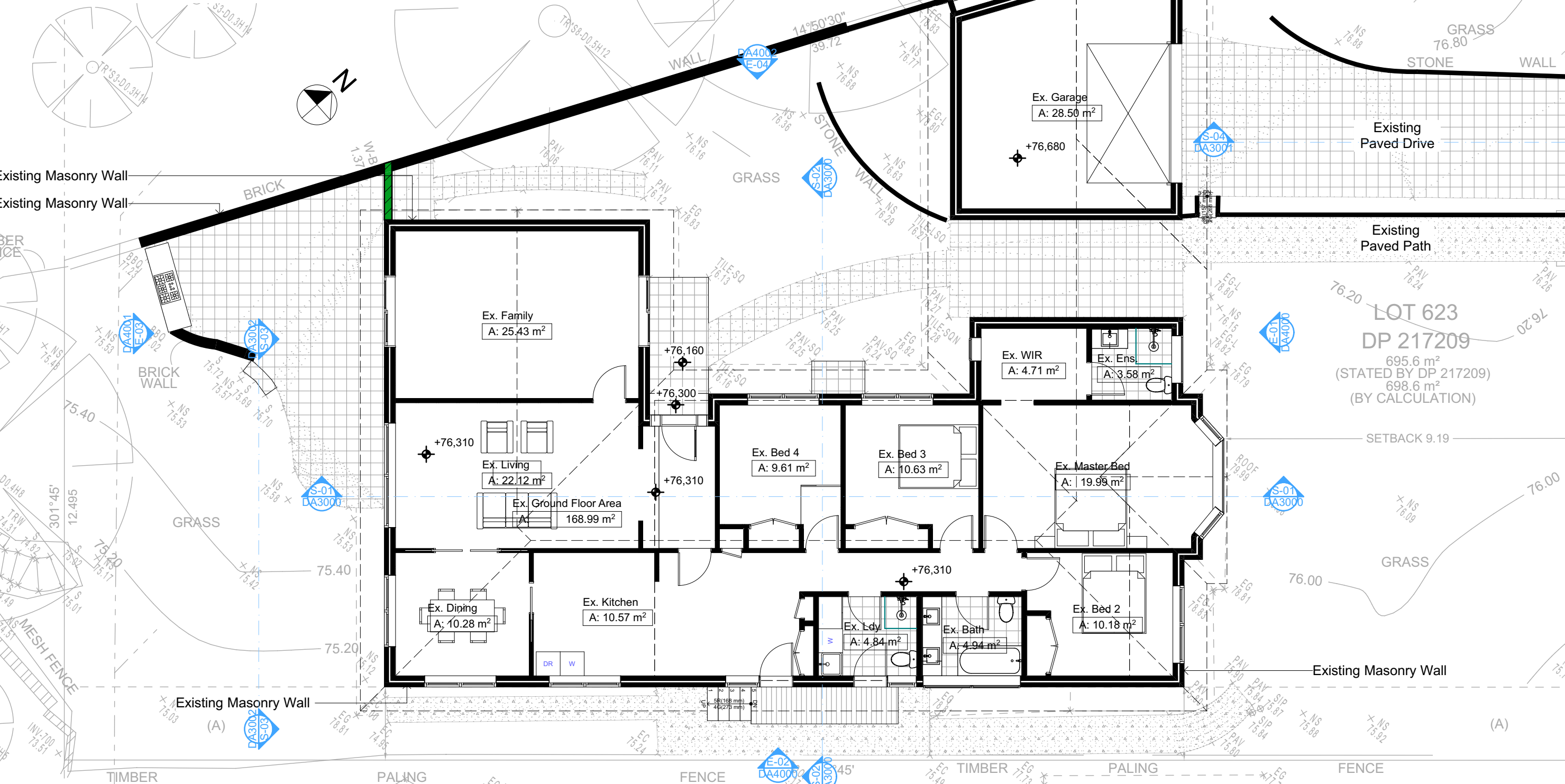
DRAWING NO. DA1003

Plot Date: 9/12/2022
Sheet Size: A3

Site Information

Site Information	Prop.	Comp.
Site Area	695.6m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	4m@45Dg	Variation
% of landscape open space (40% min)	44%	Yes
Impervious area (m ²)	56%	Yes
Maximum cut into gnd (m)	1.9m	Yes
Maximum depth of fill (m)	0.75m	Yes
No. of car spaces provided	2	Yes

Builder To Check & Confirm Existing Measurements Prior to Commencement



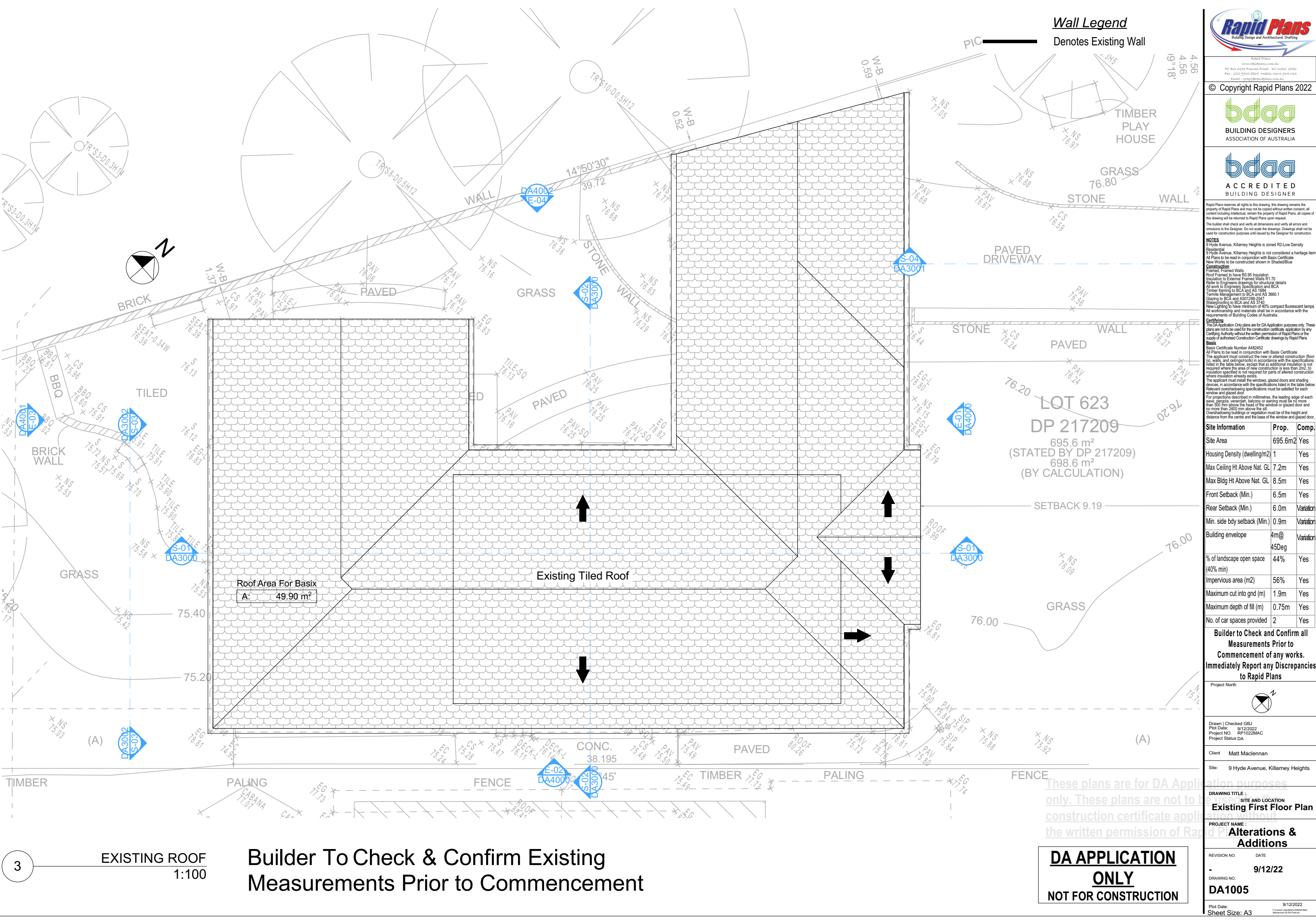
2 EXISTING GROUND FLOOR 1:100

NOTES
9 Hyde Avenue, Killarney Heights is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
9 Hyde Avenue, Killarney Heights is not considered a heritage item

Construction
Framed, Framed Walls
Roof Framed to have R0.95 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A482452
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m²
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	695.6m ²	Yes	Building envelope	4m@45Deg	Variation
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	44%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	56%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	1.9m	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	0.75m	Yes
Rear Setback (Min.)	6.0m	Variation	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			



Wall Legend
Denotes Existing Wall

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NOTES
9 Hyde Avenue, Killamey Heights is zoned R2-Low Density Residential.
9 Hyde Avenue, Killamey Heights is not considered a heritage item.
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue Construction.
Framed Framed Walls
Roof Framed to have R0.95 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1078-2007
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Setbacks
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.
Basic
Basic Certificate Number A482452
All Plans to be read in conjunction with Basic Certificate.
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	695.6m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	4m@ 45Deg	Variation
% of landscape open space (40% min)	44%	Yes
Impervious area (m2)	56%	Yes
Maximum cut into gnd (m)	1.9m	Yes
Maximum depth of fill (m)	0.75m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 9/12/2022
Project NO: RP1022MAC
Project Status DA

Client Matt MacLennan

Site: 9 Hyde Avenue, Killamey Heights

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans.

DRAWING TITLE: SITE AND LOCATION

Existing First Floor Plan

PROJECT NAME:

Alterations & Additions

REVISION NO. DATE

- 9/12/22

DRAWING NO. DA1005

Plot Date: 9/12/2022
Sheet Size: A3

3 EXISTING ROOF
1:100

Builder To Check & Confirm Existing Measurements Prior to Commencement

DA APPLICATION ONLY
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Existing Masonry Wall



Certifying
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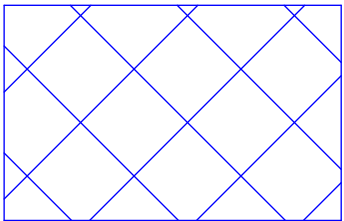


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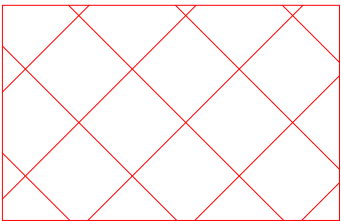
**Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans**

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	695.6m ²	Yes	Building envelope	4m@45Deg	Variation
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Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	0.75m	Yes
Rear Setback (Min.)	6.0m	Variation	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

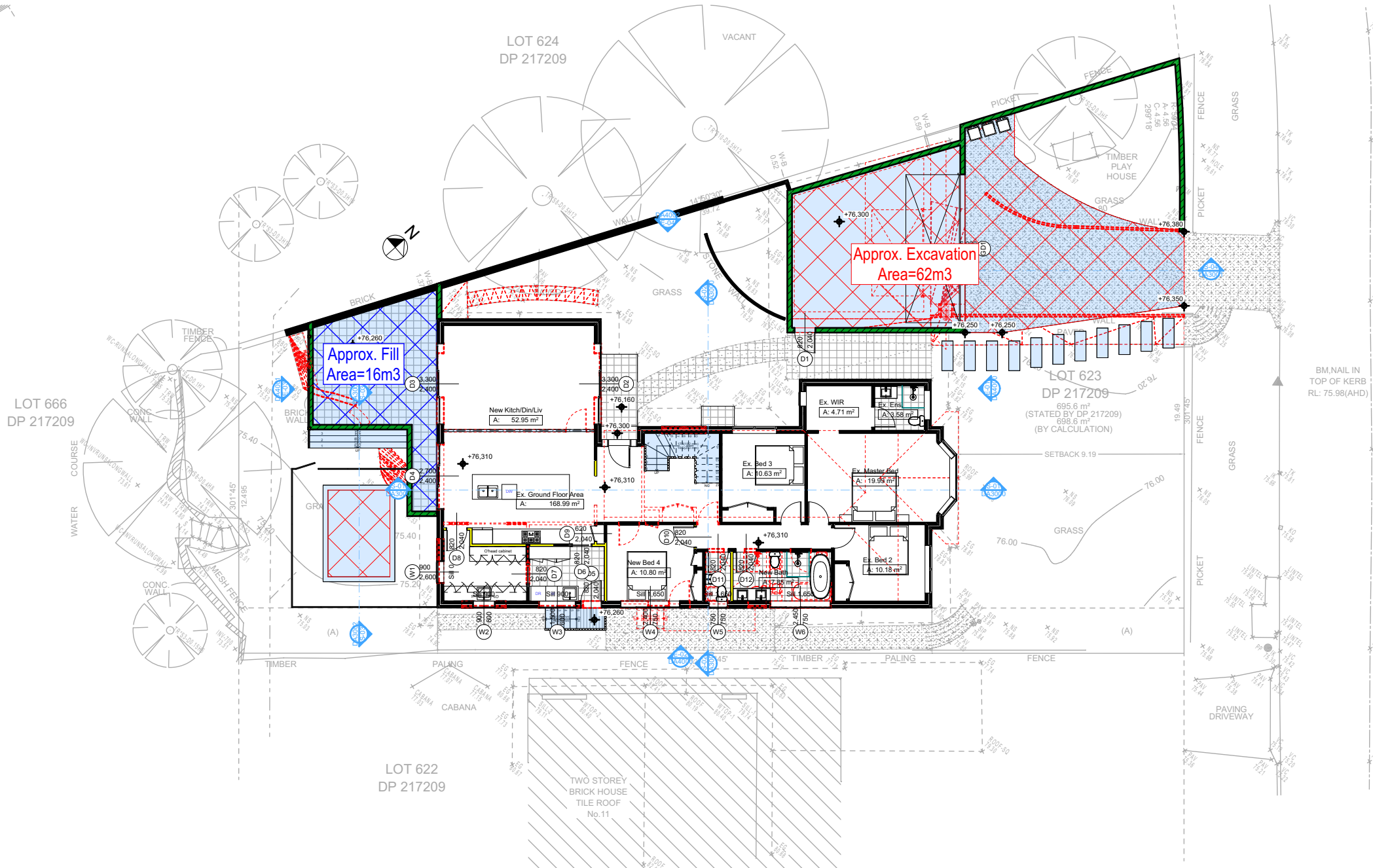
REVISION NO.
-
DATE.
9/12/22
DRAWING NO.
DA1006



Denotes Fill Area



Denotes Excavation Area



2 EXCAVATION & FILL PLAN
1:200

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Building Design and Architectural Drafting

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NOTES
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Refer to Engineers drawings for structural details.
All work to Engineers Specification and BCA.
Timber framing to BCA and AS 1684.
Termite Management to BCA and AS 3660.1.
Glazing to BCA and AS1078-2007.
Waterproofing to BCA and AS 3740.
New Lighting to have minimum of 40% compact fluorescent lamps.
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Conditioning
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Basic
Basic Certificate Number A482452.
All Plans to be read in conjunction with Basic Certificate.
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	695.6m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Variation
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Maximum depth of fill (m)	0.75m	Yes
No. of car spaces provided	2	Yes

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Project North

Drawn | Checked GBJ
Plot Date: 9/12/2022
Project NO.: RP1022MAC
Project Status DA

Client Matt MacLennan

Site: 9 Hyde Avenue, Killarney Heights

DRAWING TITLE: SITE AND LOCATION
Excavation & Fill Plan

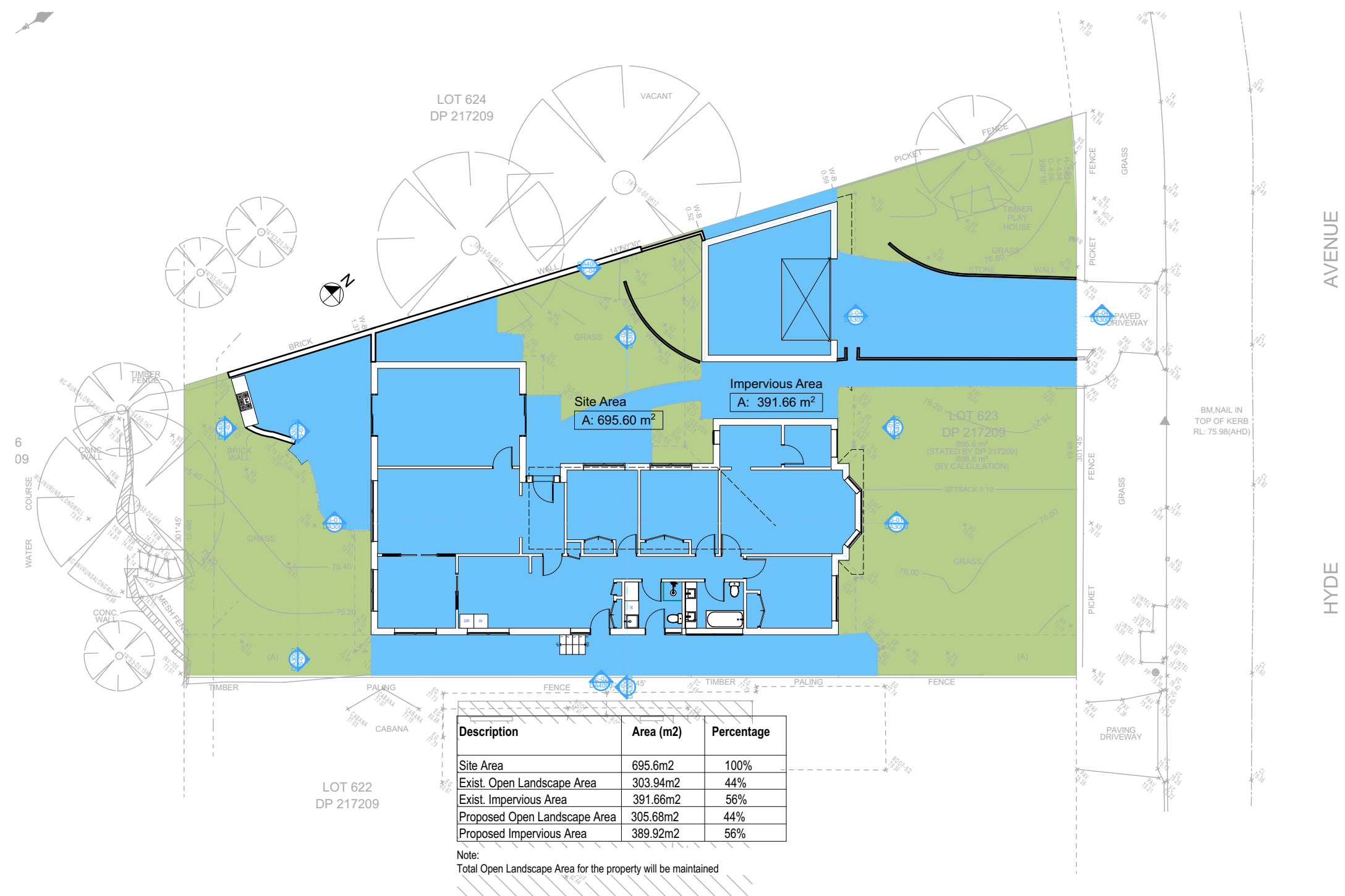
PROJECT NAME: **Alterations & Additions**

REVISION NO.	DATE
-	9/12/22

DRAWING NO. **DA1008**

Plot Date: 9/12/2022
Sheet Size: A3

**DA APPLICATION
ONLY
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Denotes Impervious Area

Denotes Pervious Area

Rapid Plans
Building Design and Architectural Drafting

Website: www.rapidplans.com.au
PO Box 6239 Fitzroy South VIC 3065
Ph: (03) 9350-8845 Mob: 0414-946-024
Email: info@rapidplans.com.au

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NOTES
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All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue.

Construction
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Roof Framed to have R0.95 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
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Site Information	Prop.	Comp.
Site Area	695.6m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	4m@45Deg	Variation
% of landscape open space (40% min)	44%	Yes
Impervious area (m2)	56%	Yes
Maximum cut into gnd (m)	1.9m	Yes
Maximum depth of fill (m)	0.75m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 9/12/2022
Project NO.: RP1022MAC
Project Status DA

Client Matt MacLennan

Site: 9 Hyde Avenue, Killamey Heights

DRAWING TITLE SITE AND LOCATION
Landscape Open Space Plan Existing

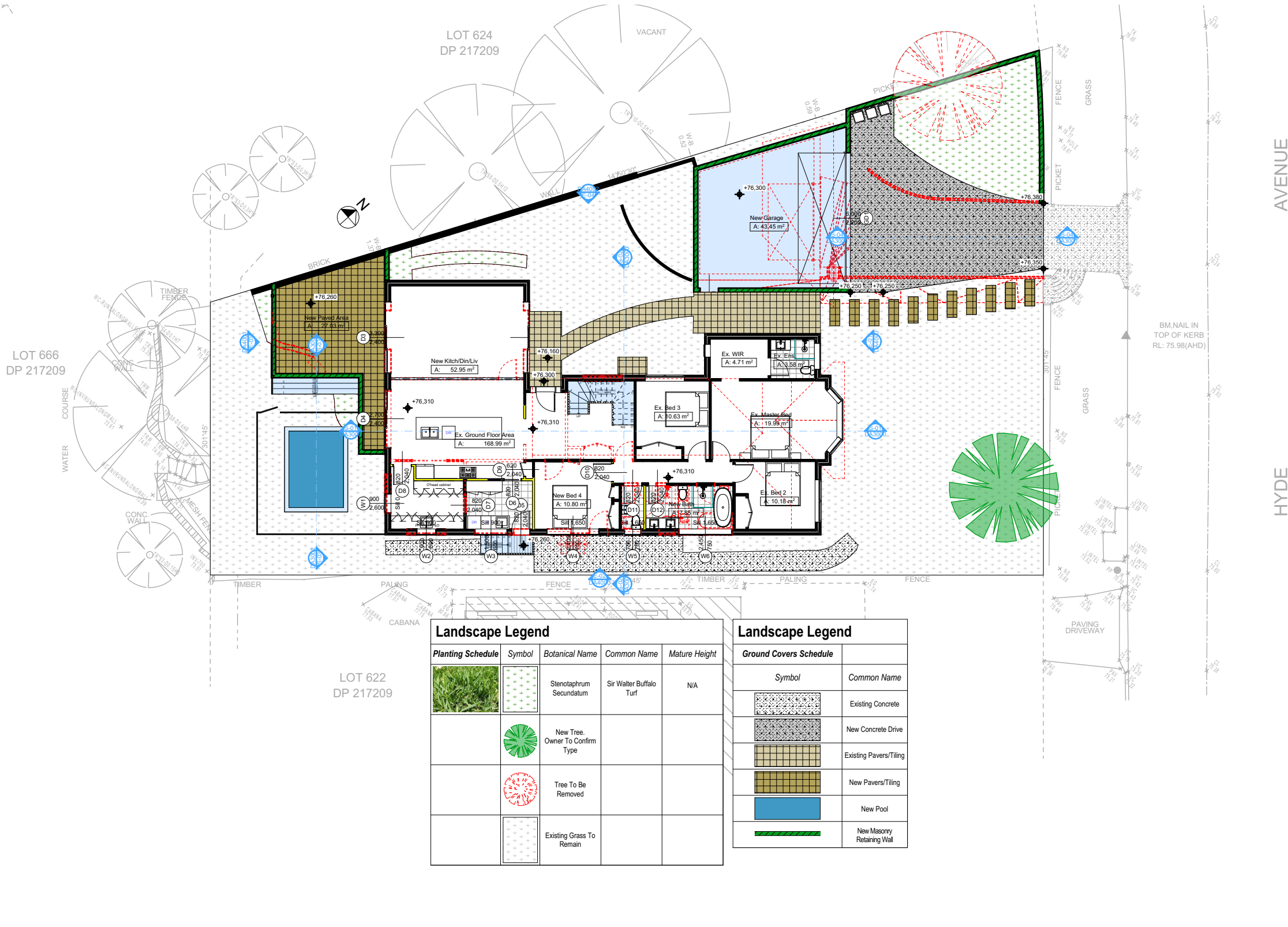
PROJECT NAME:
Alterations & Additions

REVISION NO.	DATE
-	9/12/22

DRAWING NO.
DA1009

Plot Date: 9/12/2022
Sheet Size: A3

**DA APPLICATION
ONLY
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Landscape Legend				
Planting Schedule	Symbol	Botanical Name	Common Name	Mature Height
		Stenotaphrum Secundatum	Sir Walter Buffalo Turf	N/A
		New Tree, Owner To Confirm Type		
		Tree To Be Removed		
		Existing Grass To Remain		

Landscape Legend	
Ground Covers Schedule	
Symbol	Common Name
	Existing Concrete
	New Concrete Drive
	Existing Pavers/Tiling
	New Pavers/Tiling
	New Pool
	New Masonry Retaining Wall

Rapid Plans
Building Design and Architectural Drafting

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PO Box 6239 Fitzroy South VIC 3065
Ph: (03) 9350-8845 Mob: 0414-946-024
Email: info@rapidplans.com.au

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
9 Hyde Avenue, Killamey Heights is zoned R2-Low Density Residential.
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue Construction.
Framed, Framed Walls
Roof Framed to have R0.95 Insulation
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Conditioning
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Basic
Basic Certificate Number A482452
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gopola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	695.6m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	4m@45Deg	Variation
% of landscape open space (40% min)	44%	Yes
Impervious area (m ²)	56%	Yes
Maximum cut into gnd (m)	1.9m	Yes
Maximum depth of fill (m)	0.75m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 9/12/2022
Project NO.: RP1022MAC
Project Status DA

Client Matt MacLennan

Site: 9 Hyde Avenue, Killamey Heights

DRAWING TITLE:
SITE AND LOCATION
Landscape Plan

PROJECT NAME:
Alterations & Additions

REVISION NO.	DATE
-	9/12/22

DRAWING NO.
DA1011

Plot Date: 9/12/2022
Sheet Size: A3

Denotes New Works

Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Concrete Block Wall
- Denotes New Concrete
- Denotes Existing Wall
- Denotes Demolished Item

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Building Design and Architectural Drafting
Rapid Plans
PO Box 6239 Riverside Forest NSW 2250
Tel: (02) 5555-8888 Mobile: 0414-545-024
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NOTES
9 Hyde Avenue, Killarney Heights is zoned R2-Low Density Residential.
9 Hyde Avenue, Killarney Heights is not considered a heritage item.
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue.
Construction
Framed: Framed Walls
Roof Framed to have R0.95 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1028-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Setbacks
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.
Basic
Basic Certificate Number A482452
All Plans to be read in conjunction with Basic Certificate.
The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gable, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the top of the wall.
Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	695.6m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	4m@ 45Deg	Variation
% of landscape open space (40% min)	44%	Yes
Impervious area (m ²)	56%	Yes
Maximum cut into gnd (m)	1.9m	Yes
Maximum depth of fill (m)	0.75m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

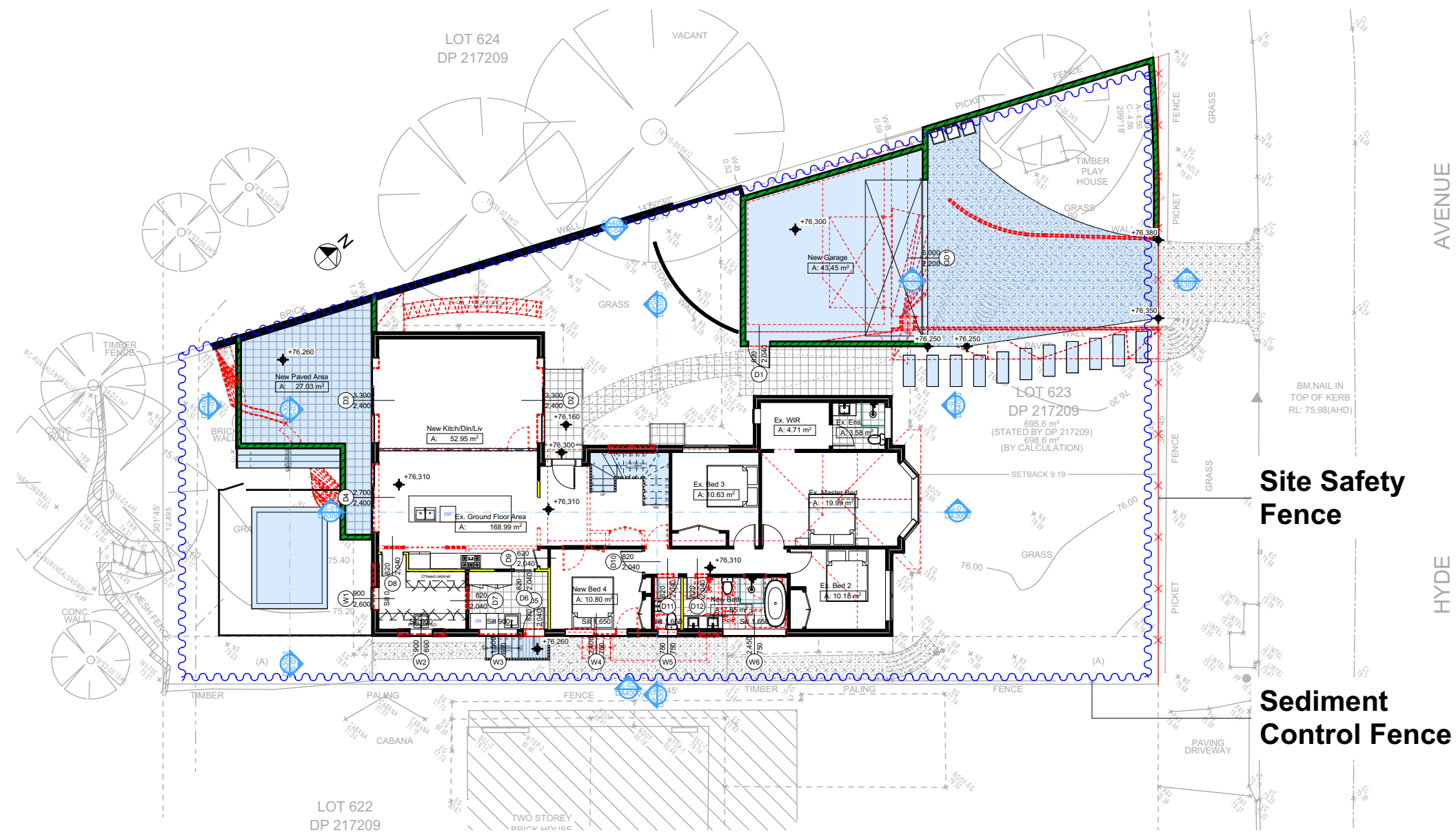
Project North
Drawn | Checked GBJ
Plot Date: 9/12/2022
Project NO.: RP1022MAC
Project Status DA
Client: Matt MacLennan
Site: 9 Hyde Avenue, Killarney Heights

DRAWING TITLE: SITE AND LOCATION
Sediment & Erosion Plan
PROJECT NAME: Alterations & Additions

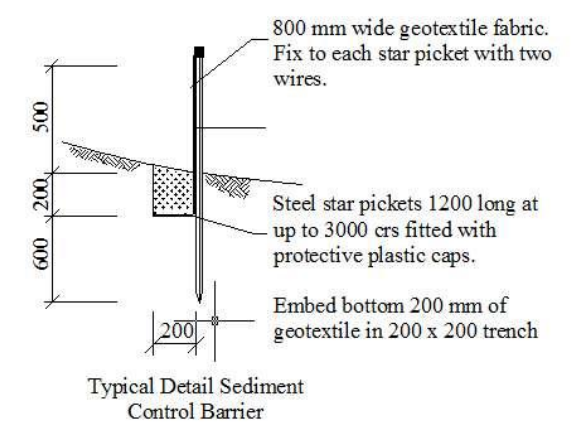
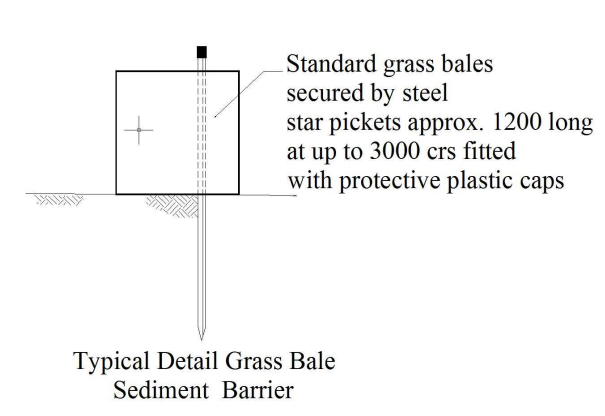
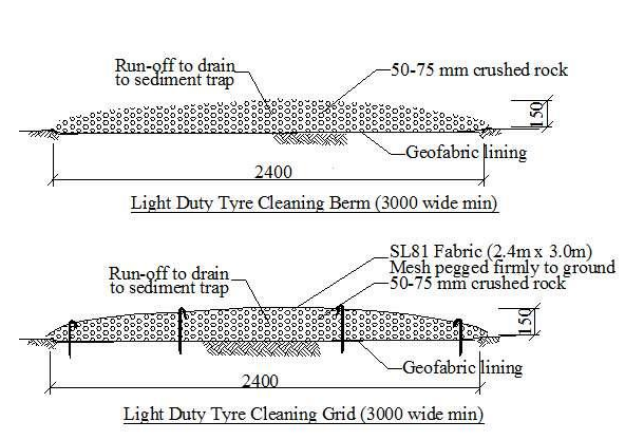
REVISION NO.	DATE
-	9/12/22
DRAWING NO.	DA1012
Plot Date:	9/12/2022
Sheet Size:	A3

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NOT FOR CONSTRUCTION



2 SEDIMENT & EROSION CONTROL PLAN 1:200



Denotes New Works

Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Concrete Block Wall
- Denotes New Concrete
- Denotes Existing Wall
- Denotes Demolished Item

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Approximate Location Of
Building Waste & Recycling Area

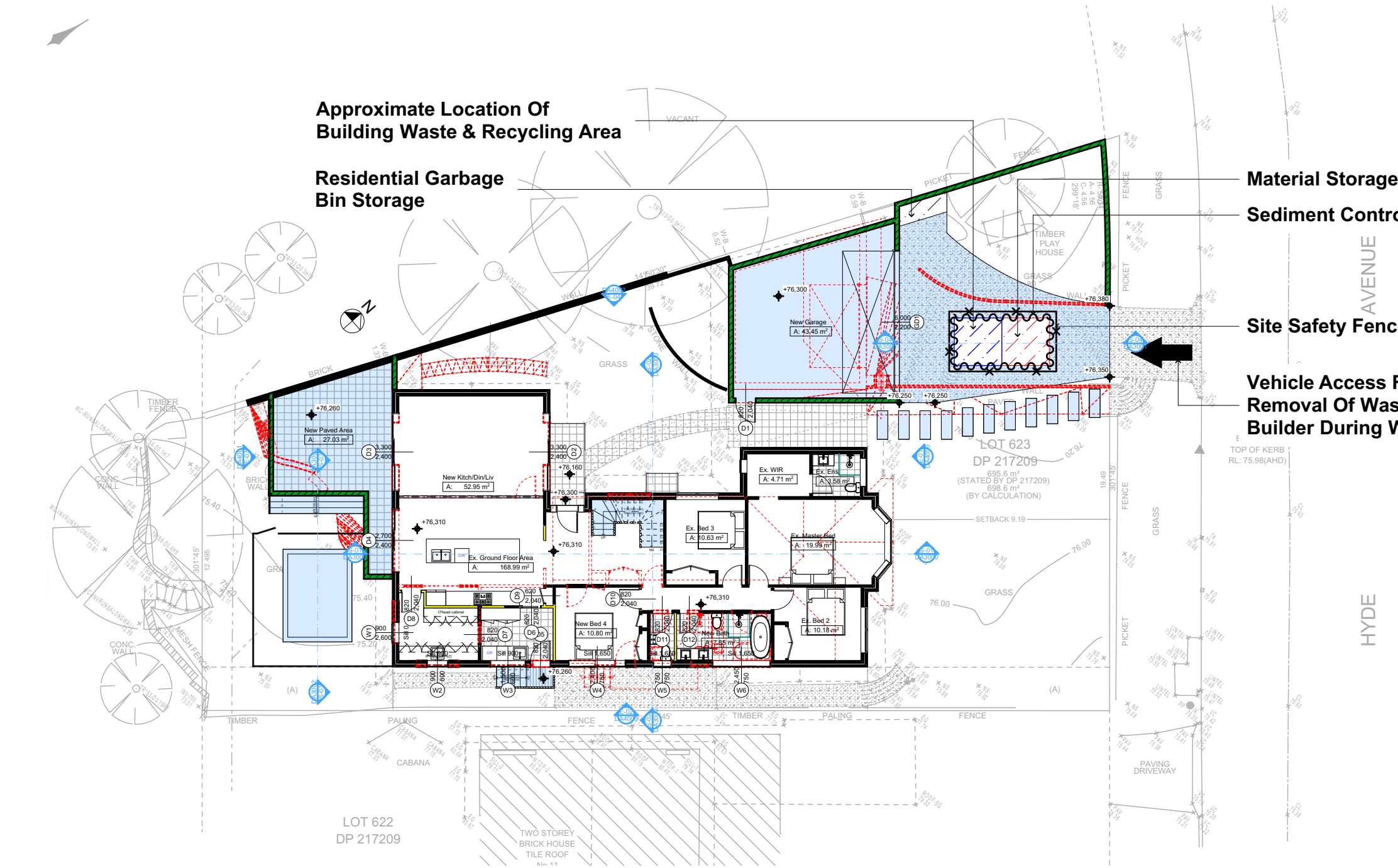
Residential Garbage
Bin Storage

Material Storage Area

Sediment Control Fence

Site Safety Fence

Vehicle Access For
Removal Of Waste By
Builder During Work Hours



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NOTES
9 Hyde Avenue, Killarney Heights is zoned R2-Low Density Residential.
The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

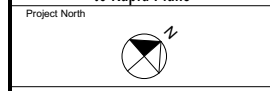
Construction
Framed Framed Walls
Roof Framed to have R0.95 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1019.2-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
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Basic
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each space, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	695.6m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	4m@45Deg	Variation
% of landscape open space (40% min)	44%	Yes
Impervious area (m ²)	56%	Yes
Maximum cut into gnd (m)	1.9m	Yes
Maximum depth of fill (m)	0.75m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 9/12/2022
Project NO.: RP1022MAC
Project Status DA

Client: Matt MacLennan

Site: 9 Hyde Avenue, Killarney Heights

DRAWING TITLE:
SITE AND LOCATION
Waste Management Plan

PROJECT NAME:
Alterations & Additions

REVISION NO.	DATE
-	9/12/22
DRAWING NO.	DA1013

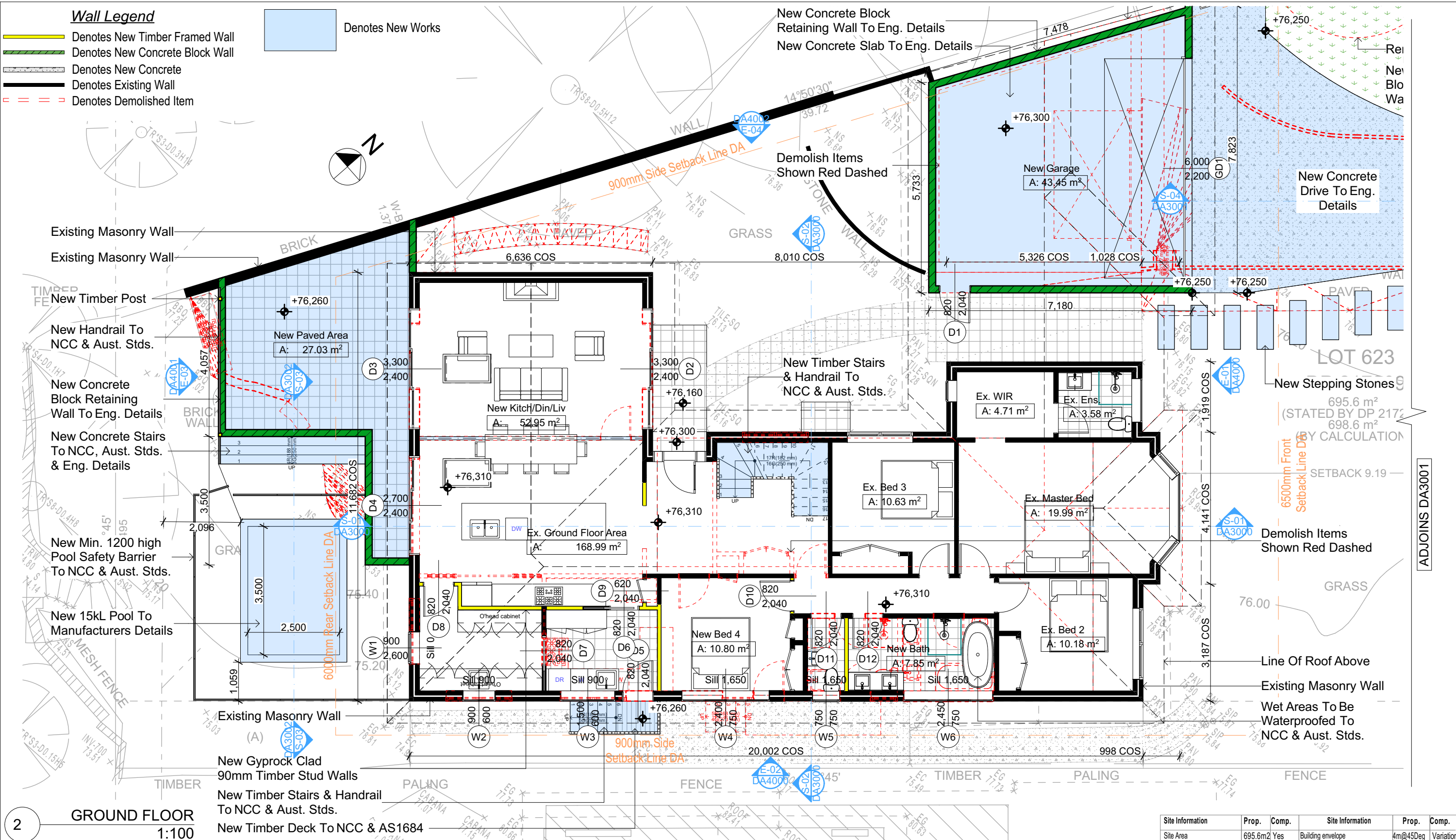
Plot Date: 9/12/2022
Sheet Size: A3

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2 WASTE MANAGEMENT PLAN
1:200





DA APPLICATION ONLY

NOT FOR CONSTRUCTION

NOTES

9 Hyde Avenue, Killarney Heights is zoned R2-Low Density Residential

All Plans to be read in conjunction with Basix Certificate

New Works to be constructed shown in Shaded/Blue

9 Hyde Avenue, Killarney Heights is not considered a heritage item

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction

Framed, Framed Walls

Roof Framed to have R0.95 Insulation

Insulation to External Framed Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS01288-2047

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A482452

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:

a) additional insulation is not required where the area of new construction is less than 2m²

b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North

Checked
Plot Date: 9/12/2022
Project No: RP1022MAC
Project Status: DA

Client
Site: Matt MacLennan
9 Hyde Avenue, Killarney Heights

Sheet Size: A3

DRAWING TITLE :

PLANS

GROUND FLOOR

PROJECT NAME :

Alterations & Additions

REVISION NO.

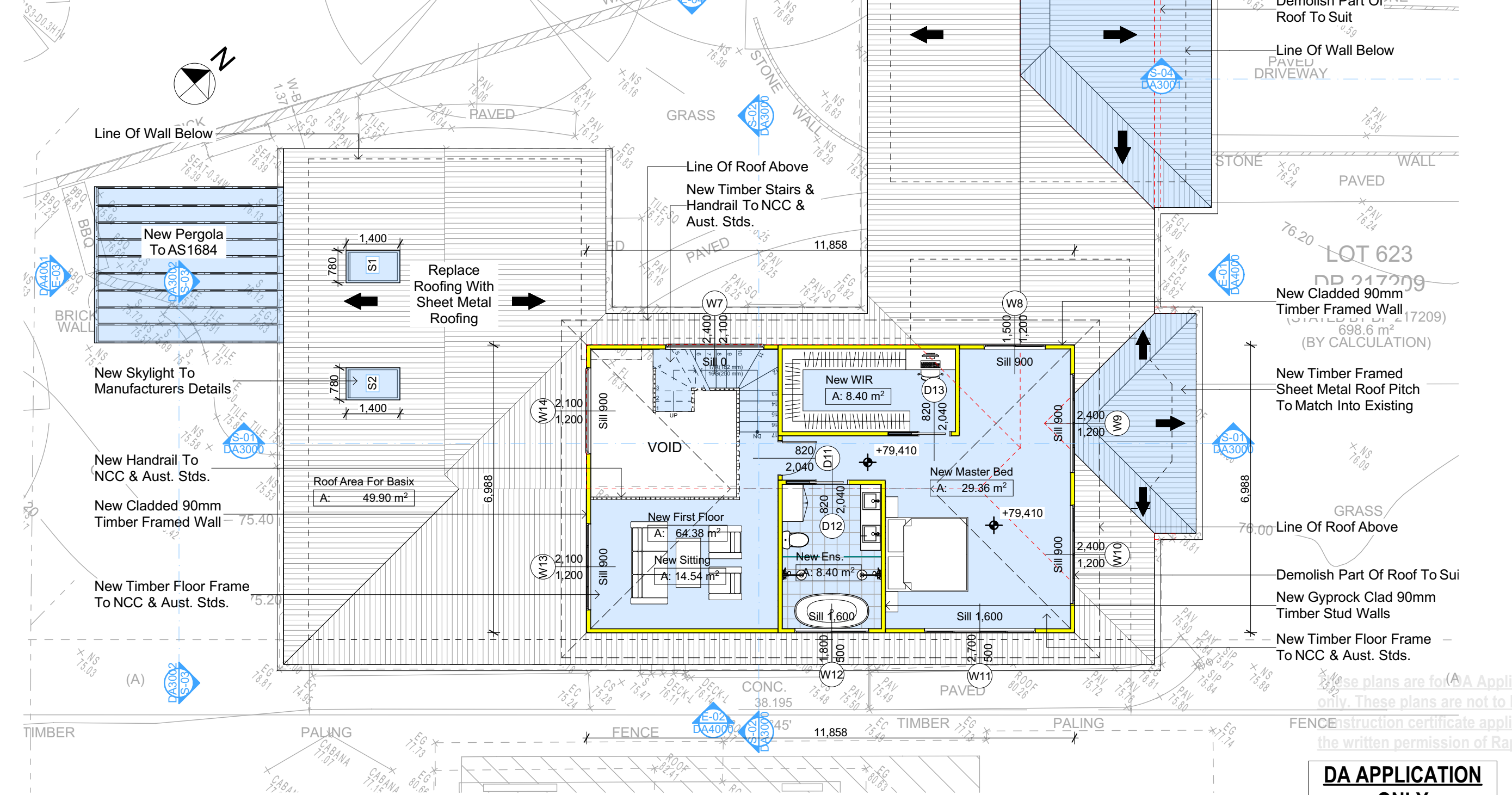
DATE: 9/12/22

DRAWING NO.

DA2001

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	695.6m2	Yes	Building envelope	4m@45Deg	Variation
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40% min)	44%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m2)	56%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	1.9m	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	0.75m	Yes
Rear Setback (Min.)	6.0m	Variation	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

Pool and Spa	Construction												
Rainwater tank The applicant must install a rainwater tank of at least 781 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities. The applicant must configure the rainwater tank to collect rainwater runoff from at least 50 square metres of roof area. The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.	Insulation requirements The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.												
Outdoor swimming pool The swimming pool must be outdoors. The swimming pool must not have a capacity greater than 15 kilolitres. The swimming pool must have a pool cover. The applicant must install a pool pump timer for the swimming pool. The applicant must install the following heating system for the swimming pool that is part of this development: electric heat pump.	<table><tr><th>Construction</th><th>Additional insulation required (R-value)</th><th>Other specifications</th></tr><tr><td>floor above existing dwelling or building.</td><td>nil</td><td></td></tr><tr><td>external wall: framed (weatherboard, fibro, metal clad)</td><td>R1.30 (or R1.70 including construction)</td><td></td></tr><tr><td>flat ceiling, pitched roof</td><td>ceiling: R0.95 (up), roof: foil backed blanket (75 mm)</td><td>medium (solar absorptance 0.475 - 0.70)</td></tr></table>	Construction	Additional insulation required (R-value)	Other specifications	floor above existing dwelling or building.	nil		external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)		flat ceiling, pitched roof	ceiling: R0.95 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)
Construction	Additional insulation required (R-value)	Other specifications											
floor above existing dwelling or building.	nil												
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)												
flat ceiling, pitched roof	ceiling: R0.95 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)											
Fixtures and systems													
Lighting The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.													
Fixtures The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating. The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating. The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.													



- Wall Legend**
- Denotes New Timber Framed Wall
 - Denotes New Concrete Block Wall
 - Denotes New Concrete
 - Denotes Existing Wall
 - Denotes Demolished Item

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NOTES
9 Hyde Avenue, Killarney Heights is zoned R2-Low Density Residential.
9 Hyde Avenue, Killarney Heights is not considered a heritage item.
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue.
Construction
Framed Timber Walls
Roof Framed to have R0.95 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1029-2007
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.
Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.
Basic
Basic Certificate Number A482452
All Plans to be read in conjunction with Basic Certificate.
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gopole, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	695.6m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	4m@45Deg	Variation
% of landscape open space (40% min)	44%	Yes
Impervious area (m2)	56%	Yes
Maximum cut into gnd (m)	1.9m	Yes
Maximum depth of fill (m)	0.75m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 9/12/2022
Project NO.: RP1022MAC
Project Status DA

Client Matt MacLennan

Site: 9 Hyde Avenue, Killarney Heights

DRAWING TITLE: PLANS
FIRST FLOOR

PROJECT NAME: Alterations & Additions

REVISION NO.	DATE
-	9/12/22

DRAWING NO. **DA2002**

Plot Date: 9/12/2022
Sheet Size: A3

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Pool and Spa

Rainwater tank

The applicant must install a rainwater tank of at least 781 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.

The applicant must configure the rainwater tank to collect rainwater runoff from at least 50 square metres of roof area.

The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.

Outdoor swimming pool

The swimming pool must be outdoors.

The swimming pool must not have a capacity greater than 15 kilolitres.

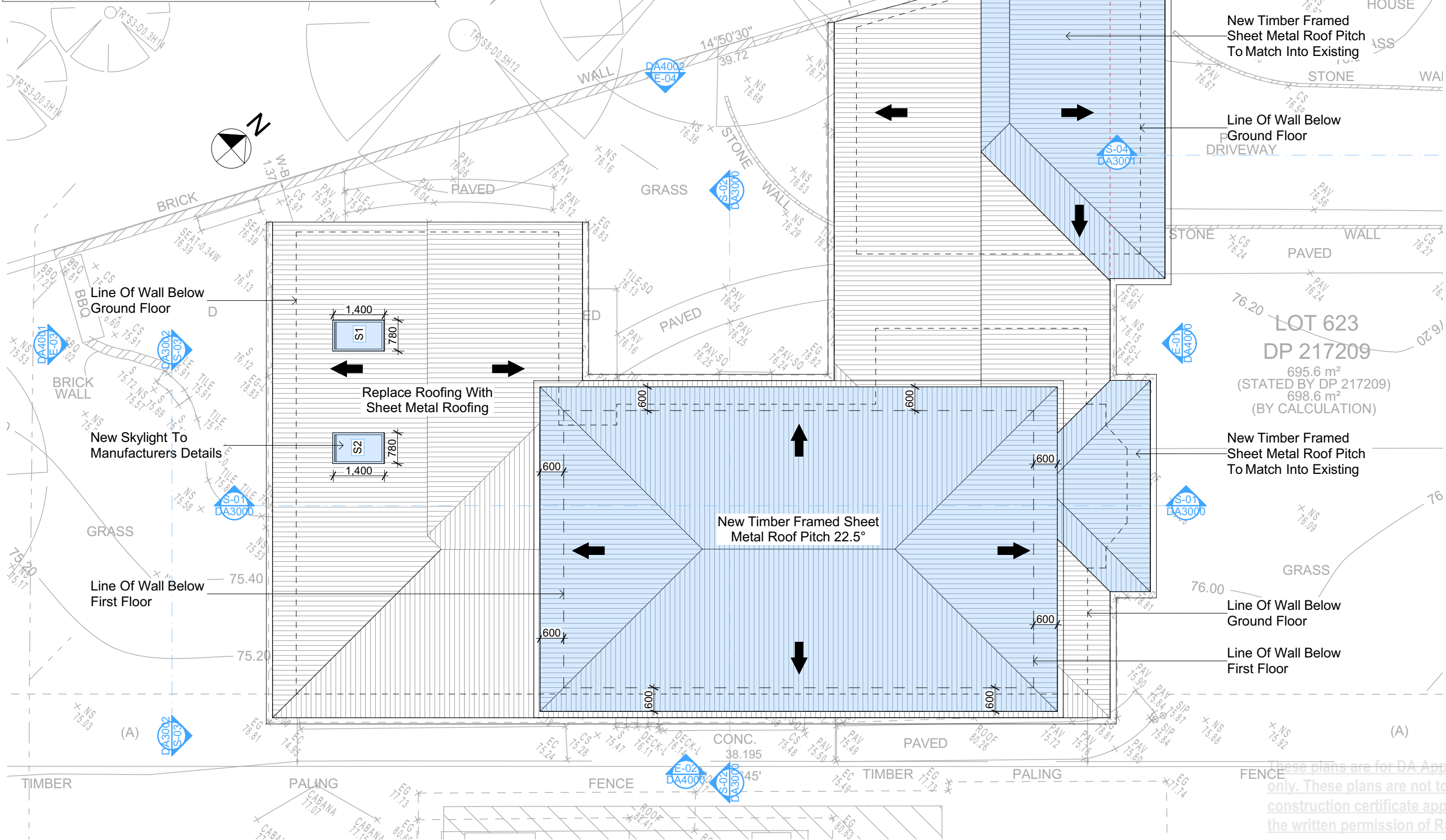
The swimming pool must have a pool cover.

The applicant must install a pool pump timer for the swimming pool.

The applicant must install the following heating system for the swimming pool that is part of this development: electric heat pump.

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R0.95 (up), roof: foil backed blanket (75 mm)	medium (solar absorbance 0.475 - 0.70)

Denotes New Works



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NOTES

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9 Hyde Avenue, Killarney Heights is not considered a heritage item. All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue.

Construction

Framed, Framed Walls

Roof Framed to have R0.95 Insulation

Insulation to External Framed Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS1028-2017

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Carrying

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Basic

Basic Certificate Number A482452

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, gopole, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	695.6m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	4m@45Deg	Variation
% of landscape open space (40% min)	44%	Yes
Impervious area (m ²)	56%	Yes
Maximum cut into gnd (m)	1.9m	Yes
Maximum depth of fill (m)	0.75m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 9/12/2022
Project NO.: RP1022MAC
Project Status DA

Client: Matt MacLennan

Site: 9 Hyde Avenue, Killarney Heights

DRAWING TITLE: PLANS ROOF

PROJECT NAME: Alterations & Additions

REVISION NO.	DATE
-	9/12/22

DRAWING NO. **DA2003**

Plot Date: 9/12/2022
Sheet Size: A3

+83,389
5 ROOF

Demolish Items
Shown Red Dashed

+81,810
4 FCL

New Cladded 90mm
Timber Framed Wall

Replace Roofing With
Sheet Metal Roofing
+79,410

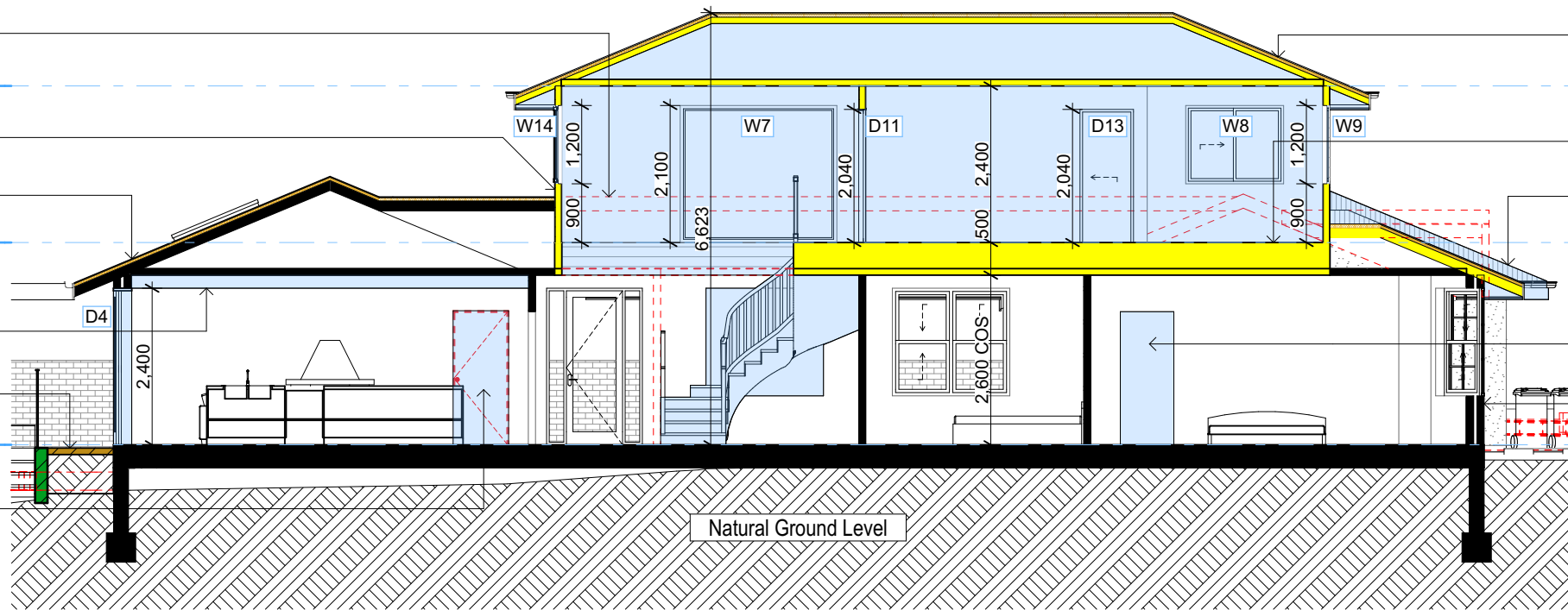
3 FIRST FLOOR

Beam Over To
Engineering Details

New Paving

+76,310
2 GROUND FLOOR

Block In Door To
Match Existing



SECTION 1
1:100

S-01

+83,389
5 ROOF

New Timber Framed Sheet
Metal Roof Pitch 22.5°

+81,810
4 FCL

New Cladded 90mm
Timber Framed Wall

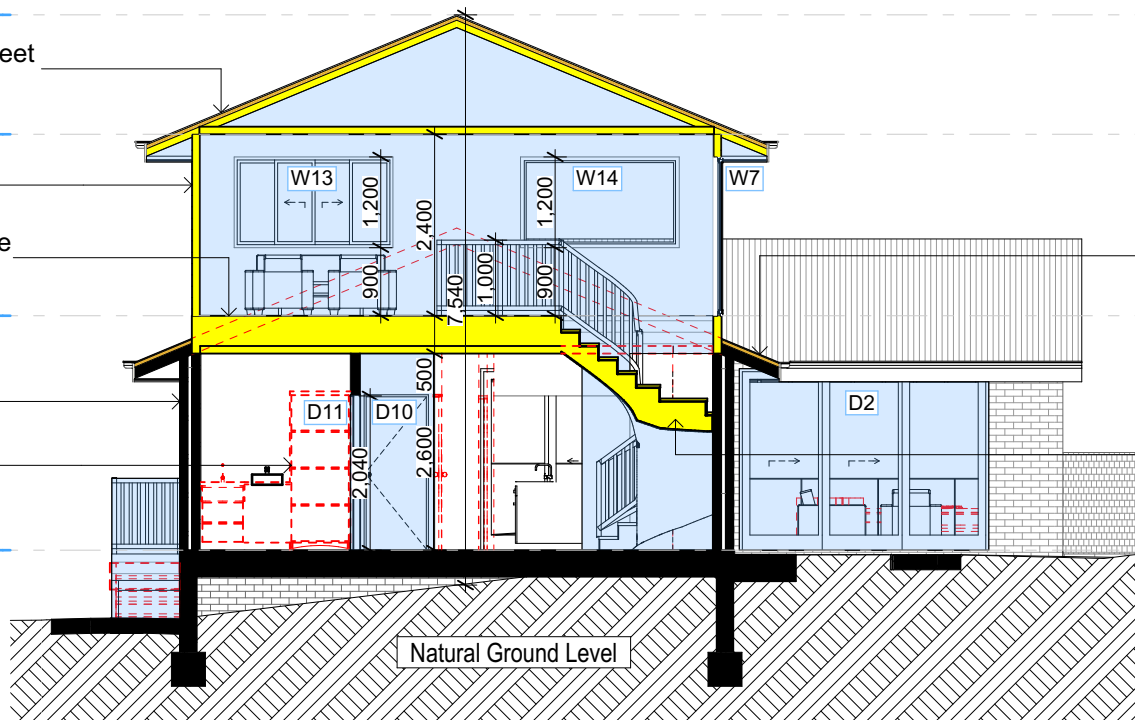
New Timber Floor Frame
To NCC & Aust. Stds.

+79,410
3 FIRST FLOOR

Existing Masonry Wall

Demolish Items
Shown Red Dashed

+76,310
2 GROUND FLOOR



SECTION 2
1:100

S-02

+83,389
5 ROOF

+81,810
4 FCL

Replace Roofing With
Sheet Metal Roofing
+79,410

3 FIRST FLOOR

New Timber Stairs
& Handrail To
NCC & Aust. Stds.

+76,310
2 GROUND FLOOR

Pool and Spa

Rainwater tank

The applicant must install a rainwater tank of at least 781 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.

The applicant must configure the rainwater tank to collect rainwater runoff from at least 50 square metres of roof area.

The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.

Outdoor swimming pool

The swimming pool must be outdoors.

The swimming pool must not have a capacity greater than 15 kilolitres.

The swimming pool must have a pool cover.

The applicant must install a pool pump timer for the swimming pool.

The applicant must install the following heating system for the swimming pool that is part of this development: electric heat pump.

Fixtures and systems

Lighting

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

Fixtures

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.

The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.

The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

Construction

Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R0.95 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Concrete Block Wall
- Denotes New Concrete
- Denotes Existing Wall
- Denotes Demolished Item

Denotes New Works

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Rapid Plans
Building Design and Architectural Drafting

Website: www.rapidplans.com.au
PO Box 6239 Fitzroy Street, DO NSW 2086
Ph: (02) 9550-8845, Mobile: 0414-545-024
Email: info@rapidplans.com.au

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ASSOCIATION OF AUSTRALIA

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BUILDING DESIGNER

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
9 Hyde Avenue, Killarney Heights is zoned R2-Low Density Residential.
9 Hyde Avenue, Killarney Heights is not considered a heritage item.
All Plans to be read in conjunction with Basic Certificate.
New Works to be constructed shown in Shaded/Blue.

Construction
Framed, Framed Walls
Roof Framed to have R0.95 insulation.
Insulation to External Framed Walls R1.70.
Refer to Engineers drawings for structural details.
All work to Engineers Specification and BCA.
Timber framing to BCA and AS 1684.
Termite Management to BCA and AS 3660.1.
Glazing to BCA and AS1029.2017.
Waterproofing to BCA and AS 3740.
New Lighting to have minimum of 40% compact fluorescent lamps.
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Basic
Basic Certificate Number A482452.
All Plans to be read in conjunction with Basic Certificate.
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gopola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	695.6m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	4m@45Deg	Variation
% of landscape open space (40% min)	44%	Yes
Impervious area (m ²)	56%	Yes
Maximum cut into gnd (m)	1.9m	Yes
Maximum depth of fill (m)	0.75m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 9/12/2022
Project NO.: RP1022MAC
Project Status DA

Client: Matt MacLennan

Site: 9 Hyde Avenue, Killarney Heights

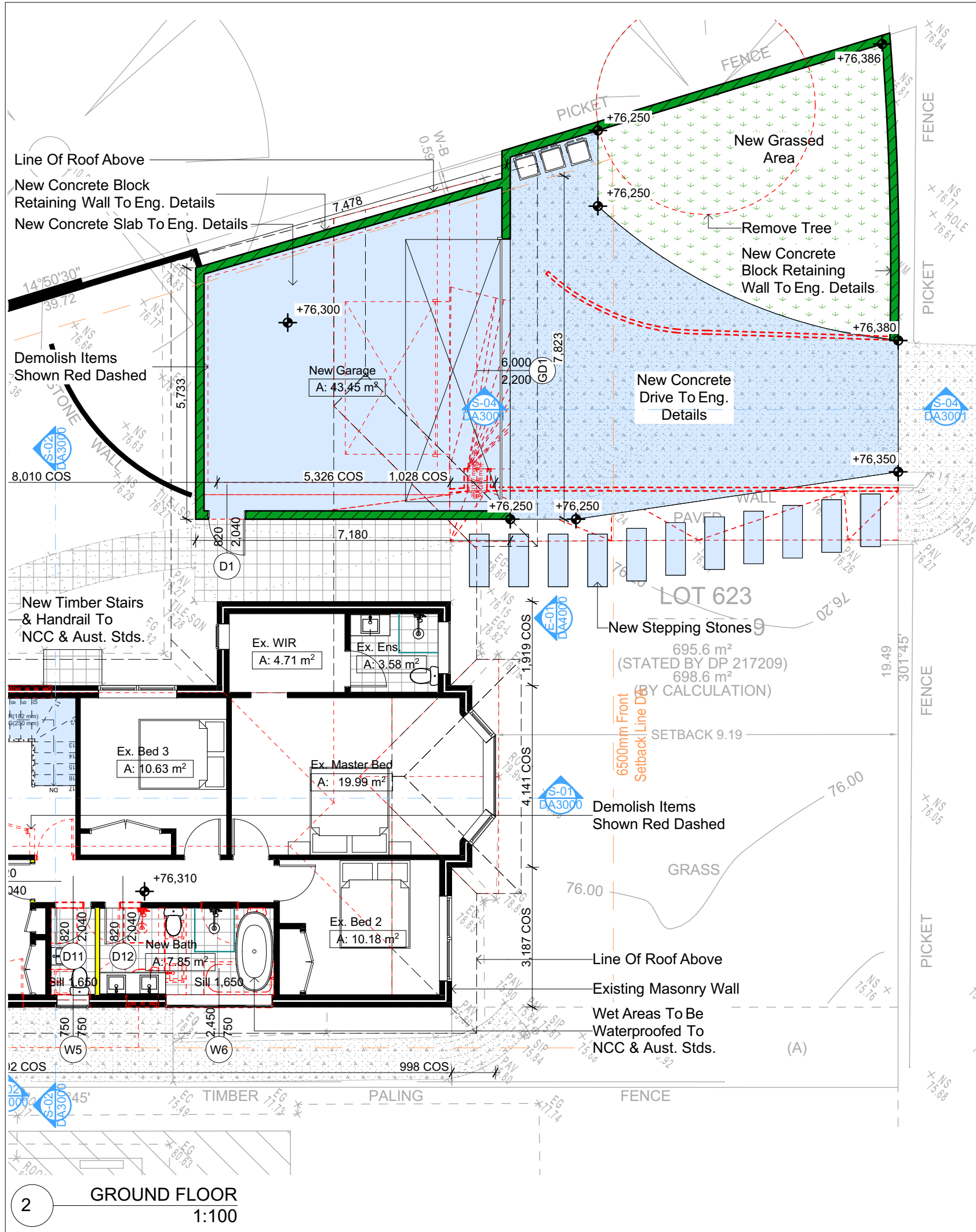
DRAWING TITLE: SECTIONS
SECTION 1

PROJECT NAME: **Alterations & Additions**

REVISION NO. DATE
- 9/12/22

DRAWING NO. **DA3000**

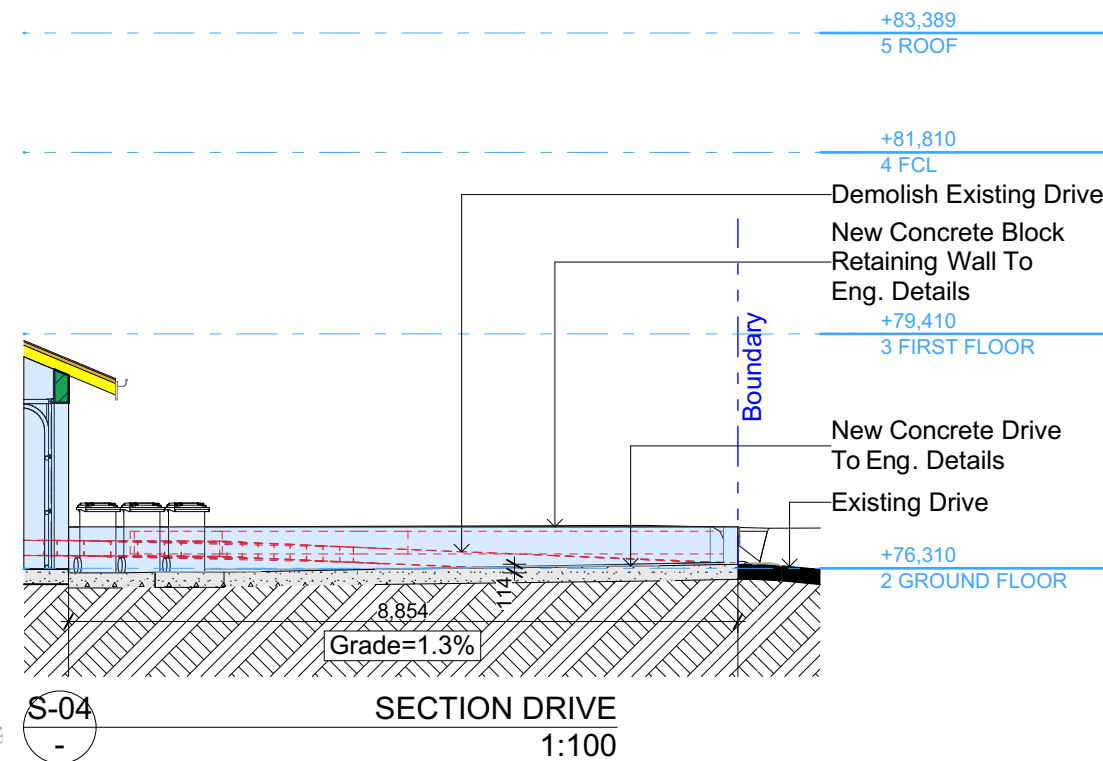
Plot Date: 9/12/2022
Sheet Size: A3



Denotes New Works

Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Concrete Block Wall
- Denotes New Concrete
- Denotes Existing Wall
- Denotes Demolished Item



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Building Design and Architectural Drafting

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bdca
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NOTES
9 Hyde Avenue, Killarney Heights is zoned R2-Low Density Residential.
9 Hyde Avenue, Killarney Heights is not considered a heritage item.
All Plans to be read in conjunction with Basic Certificate.
New Works to be constructed shown in Shaded/Blue.
Construction
Framed Framed Walls
Roof Framed to have R0.95 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1019.2-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.
Conditioning
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.
Basic
Basic Certificate Number A482452
All Plans to be read in conjunction with Basic Certificate.
The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specification is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gopole, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	695.6m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	4m@ 45Deg	Variation
% of landscape open space (40% min)	44%	Yes
Impervious area (m ²)	56%	Yes
Maximum cut into gnd (m)	1.9m	Yes
Maximum depth of fill (m)	0.75m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 9/12/2022
Project NO.: RP1022MAC
Project Status DA

Client Matt MacLennan

Site: 9 Hyde Avenue, Killarney Heights

DRAWING TITLE: SECTIONS
SECTION DRIVE

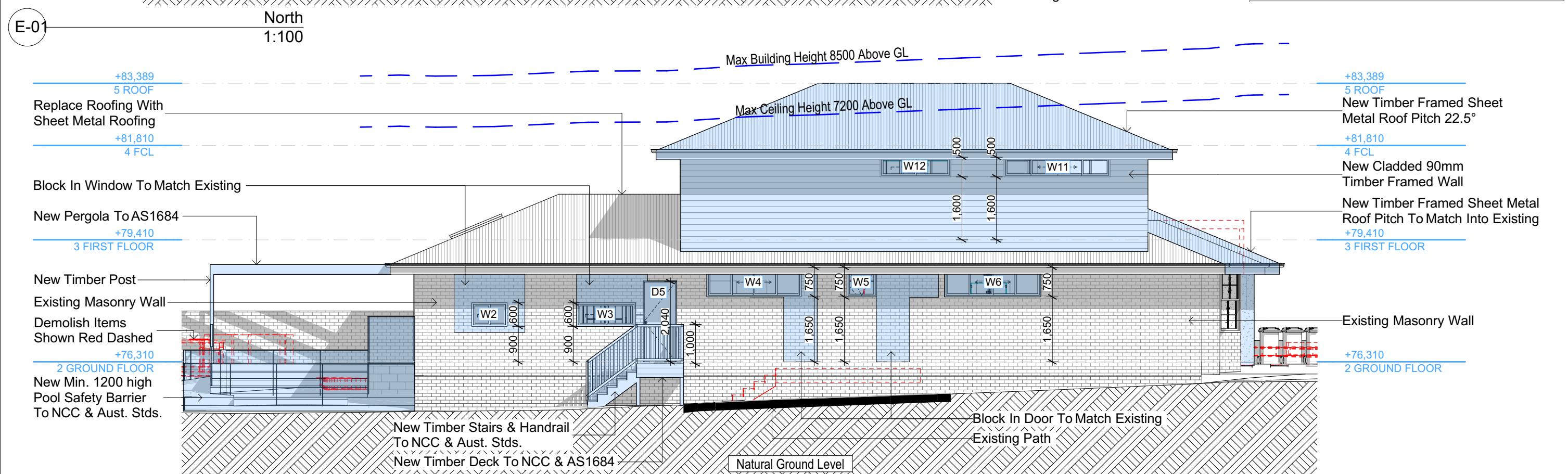
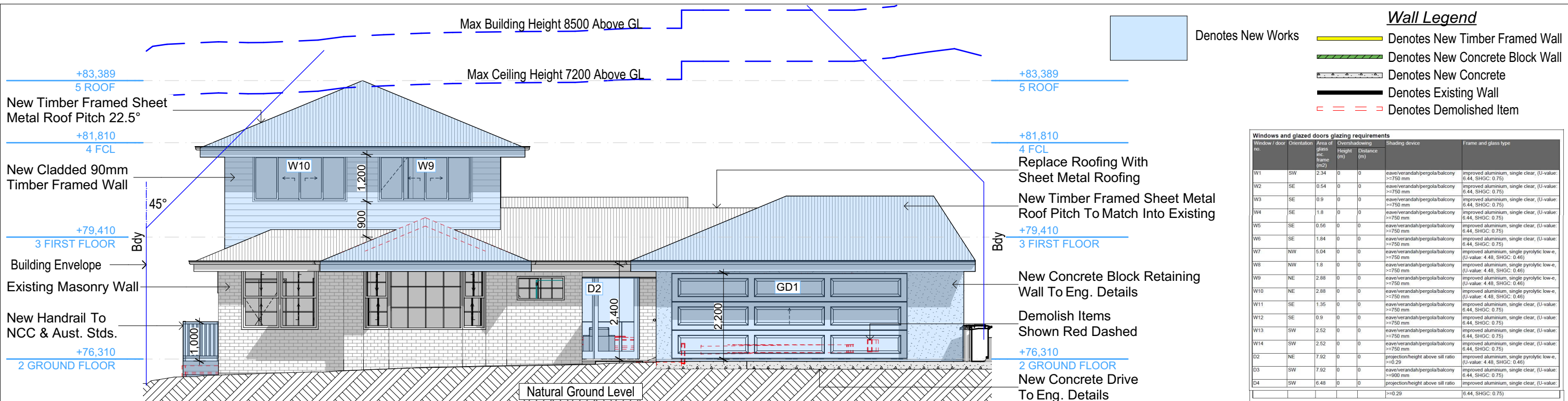
PROJECT NAME: **Alterations & Additions**

REVISION NO.	DATE
-	9/12/22

DRAWING NO. **DA3001**

Plot Date: 9/12/2022
Sheet Size: A3

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NOTES
9 Hyde Avenue, Killarney Heights is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
9 Hyde Avenue, Killarney Heights is not considered a heritage item

Certifying
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Construction
Framed, Framed Walls
Roof Framed to have R0.95 Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A482452
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
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For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	695.6m ²	Yes	Building envelope	4m@45Deg	Variation
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	44%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	56%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	1.9m	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	0.75m	Yes
Rear Setback (Min.)	6.0m	Variation	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

Site North

Checked
Plot Date:
Project NO.
Project Status

GBJ
9/12/2022
RP1022MAC
DA

Client
Site:

Matt MacLennan
9 Hyde Avenue, Killarney Heights

Sheet Size: A3

DRAWING TITLE :
ELEVATIONS
ELEVATIONS 1

PROJECT NAME :
Alterations & Additions

REVISION NO.
DATE:
9/12/22
DRAWING NO.
DA4000

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Rapid Plans
www.rapidplans.com.au
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NSW 1585
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Email: greg@rapidplans.com.au

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all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans

Windows and glazed doors glazing requirements

Window / door no.	Orientatation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W1	SW	2.34	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W2	SE	0.54	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W3	SE	0.9	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W4	SE	1.8	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W5	SE	0.56	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W6	SE	1.84	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W7	NW	5.04	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W8	NW	1.8	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W9	NE	2.88	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W10	NE	2.88	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W11	SE	1.35	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W12	SE	0.9	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W13	SW	2.52	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W14	SW	2.52	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D2	NE	7.92	0	0	projection/height above sill ratio >=0.29	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
D3	SW	7.92	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D4	SW	6.48	0	0	projection/height above sill ratio >=0.29	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

Pool and Spa

Rainwater tank

The applicant must install a rainwater tank of at least 781 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.

The applicant must configure the rainwater tank to collect rainwater runoff from at least 50 square metres of roof area.

The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.

Outdoor swimming pool

The swimming pool must be outdoors.

The swimming pool must not have a capacity greater than 15 kilolitres.

The swimming pool must have a pool cover.

The applicant must install a pool pump timer for the swimming pool.

The applicant must install the following heating system for the swimming pool that is part of this development: electric heat pump.

Fixtures and systems

Lighting

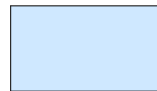
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

Fixtures

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.

The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.

The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.



Denotes New Works

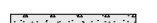
Wall Legend



Denotes New Timber Framed Wall



Denotes New Concrete Block Wall



Denotes New Concrete



Denotes Existing Wall



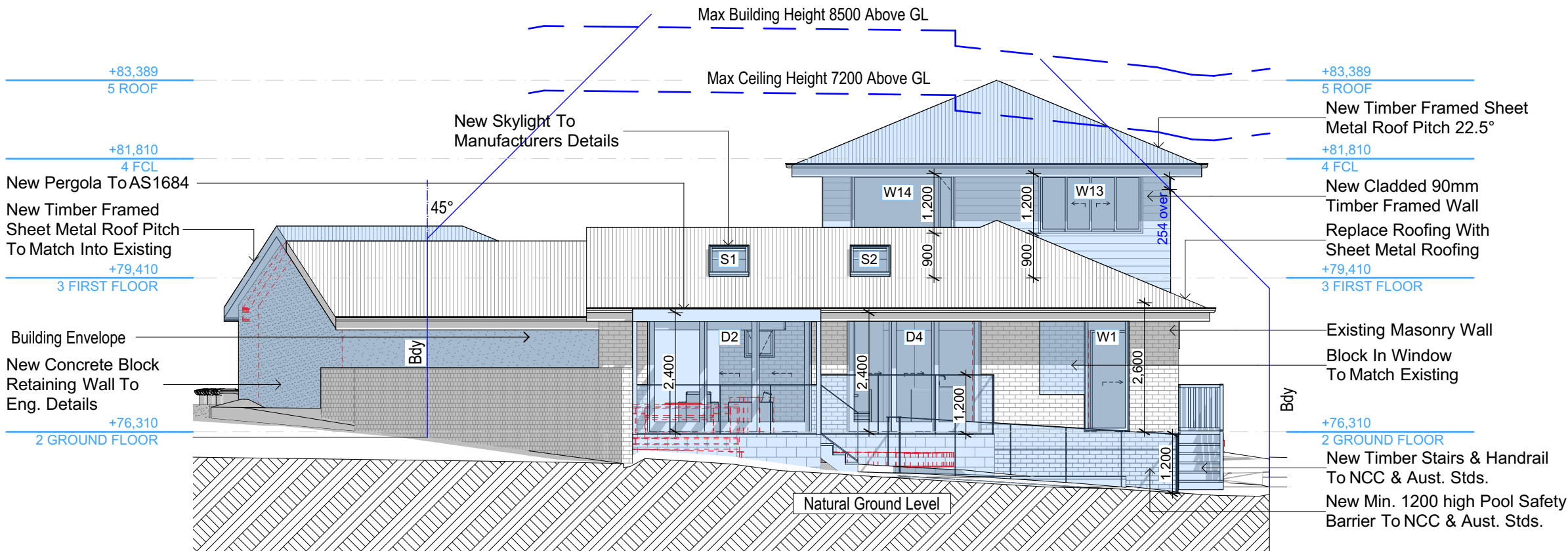
Denotes Demolished Item

Construction

Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R0.95 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)



E-03

South
1:100

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NOTES

9 Hyde Avenue, Killarney Heights is zoned R2-Low Density Residential

9 Hyde Avenue, Killarney Heights is not considered a heritage item

All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue

Construction

Framed Framed Walls

Roof Framed to have R0.95 insulation

Insulation to External Framed Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber Framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS1029:2017

Waterproofing to BCA and AS 3740

Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Carrying

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Basic

Basic Certificate Number A482452

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	695.6m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	4m@ 45Deg	Variation
% of landscape open space (40% min)	44%	Yes
Impervious area (m2)	56%	Yes
Maximum cut into gnd (m)	1.9m	Yes
Maximum depth of fill (m)	0.75m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 9/12/2022
Project NO.: RP1022MAC
Project Status DA

Client Matt MacLennan

Site: 9 Hyde Avenue, Killarney Heights

DRAWING TITLE :
ELEVATIONS 2

PROJECT NAME :
Alterations & Additions

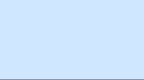





REVISION NO.	DATE
-	9/12/22

DRAWING NO.
DA4001

Plot Date: 9/12/2022
Sheet Size: A3

Windows and glazed doors glazing requirements					
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Distance (m)	Shading device
W1	SW	2.34	0	0	eave/verandah/ pergola/ balcony >=750 mm
W2	SE	0.54	0	0	eave/verandah/ pergola/ balcony >=750 mm
W3	SE	0.9	0	0	eave/verandah/ pergola/ balcony >=750 mm
W4	SE	1.8	0	0	eave/verandah/ pergola/ balcony >=750 mm
W5	SE	0.56	0	0	eave/verandah/ pergola/ balcony >=750 mm
W6	SE	1.84	0	0	eave/verandah/ pergola/ balcony >=750 mm
W7	NW	5.04	0	0	eave/verandah/ pergola/ balcony >=750 mm
W8	NW	1.8	0	0	eave/verandah/ pergola/ balcony >=750 mm
W9	NE	2.88	0	0	eave/verandah/ pergola/ balcony >=750 mm
W10	NE	2.88	0	0	eave/verandah/ pergola/ balcony >=750 mm
W11	SE	1.35	0	0	eave/verandah/ pergola/ balcony >=750 mm
W12	SE	0.9	0	0	eave/verandah/ pergola/ balcony >=750 mm
W13	SW	2.52	0	0	eave/verandah/ pergola/ balcony >=750 mm
W14	SW	2.52	0	0	eave/verandah/ pergola/ balcony >=750 mm
D2	NE	7.92	0	0	projection/height above sill ratio >=0.29
D3	SW	7.92	0	0	eave/verandah/ pergola/ balcony >=900 mm
D4	SW	6.48	0	0	projection/height above sill ratio >=0.29

Pool and Spa
Rainwater tank The applicant must install a rainwater tank of at least 781 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities. The applicant must configure the rainwater tank to collect rainwater runoff from at least 50 square metres of roof area. The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.
Outdoor swimming pool The swimming pool must be outdoors. The swimming pool must not have a capacity greater than 15 kilolitres. The swimming pool must have a pool cover. The applicant must install a pool pump timer for the swimming pool. The applicant must install the following heating system for the swimming pool that is part of this development: electric heat pump.
Fixtures and systems
Lighting The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.
Fixtures The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating. The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating. The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

	Denotes New Works
	Denotes New Timber Framed Wall
	Denotes New Concrete Block Wall
	Denotes New Concrete
	Denotes Existing Wall
	Denotes Demolished Item

Construction		
Insulation requirements The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R0.95 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

Max Building Height 8500 Above GL

Max Ceiling Height 7200 Above GL

+83,389
5 ROOF
New Timber Framed Sheet Metal Roof Pitch 22.5°

+81,810
4 FCL
Demolish Items Shown Red Dashed

+79,410
3 FIRST FLOOR
New Timber Framed Sheet Metal Roof Pitch To Match Into Existing

New Concrete Block Retaining Wall To Eng. Details
Demolish Items Shown Red Dashed

+76,310
2 GROUND FLOOR
New Concrete Drive To Eng. Details
New Concrete Block Retaining Wall To Eng. Details

+83,389
5 ROOF

+81,810
4 FCL

Replace Roofing With Sheet Metal Roofing
New Pergola To AS1684
+79,410
3 FIRST FLOOR

New Timber Post
Existing Masonry Wall
+76,310
2 GROUND FLOOR
Block In Window To Match Existing

Natural Ground Level

E-04

West
1:100

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES
9 Hyde Avenue, Killarney Heights is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
9 Hyde Avenue, Killarney Heights is not considered a heritage item
Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Framed, Framed Walls
Roof Framed to have R0.95 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A482452
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m2
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	695.6m2	Yes	Building envelope	4m@45Deg	Variation
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40% min)	44%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m2)	56%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	1.9m	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	0.75m	Yes
Rear Setback (Min.)	6.0m	Variation	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			



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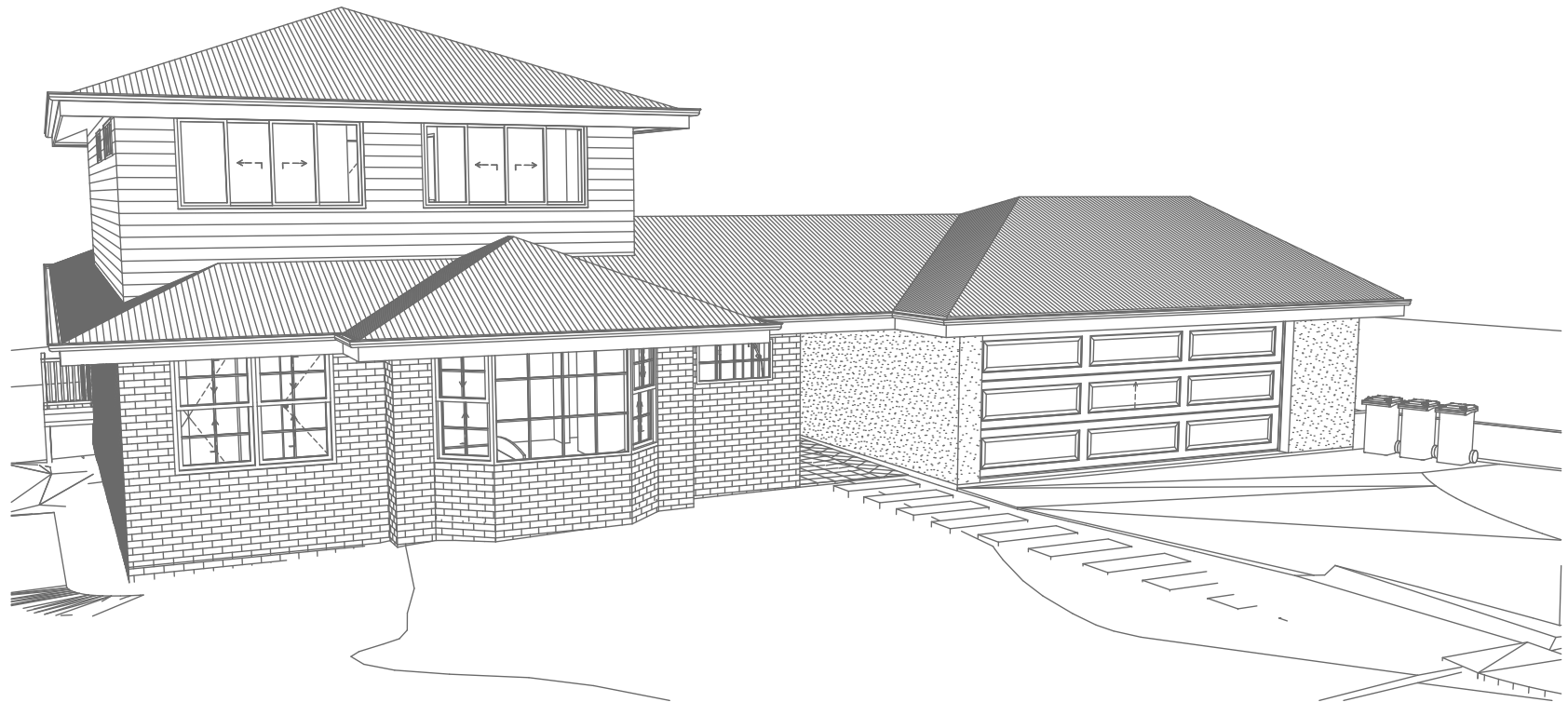
Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



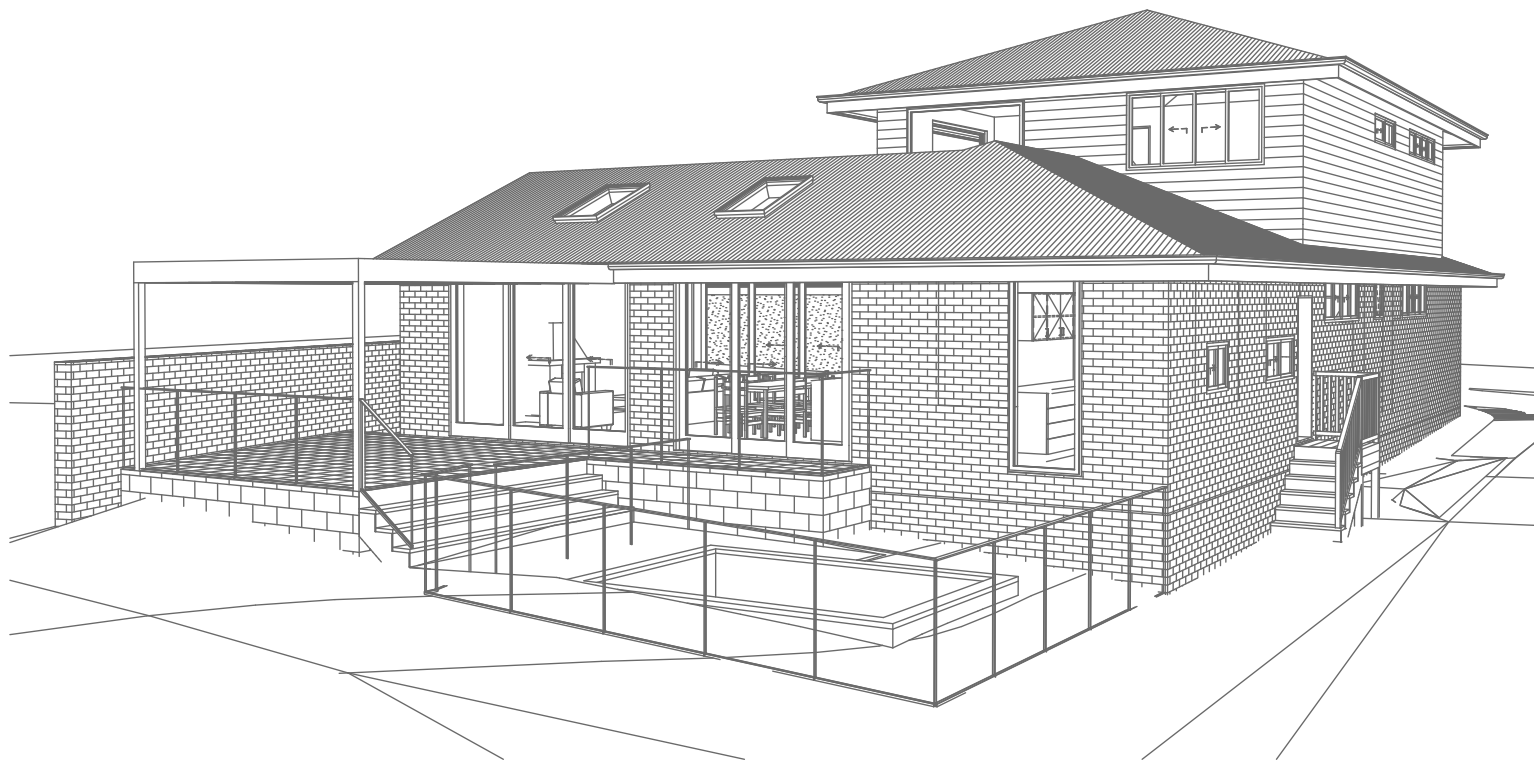
Checked
Plot Date: 9/12/2022
Project NO: RP1022MAC
Project Status: DA
Client: Matt MacLennan
Site: 9 Hyde Avenue, Killarney Heights
Sheet Size: A3

DRAWING TITLE :
ELEVATIONS
ELEVATIONS 3
PROJECT NAME :
Alterations & Additions

REVISION NO.
-
DATE: 9/12/22
DRAWING NO.
DA4002



1
-
Perspective 1
1:200



2
-
Perspective 2
1:200

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NOTES
9 Hyde Avenue, Killamey Heights is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue

Construction
Framed: Framed Walls
Roof Framed to have R0.95 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1078-2007
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
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Basic
Basic Certificate Number A482452
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gopole, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	695.6m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	4m@ 45Deg	Variation
% of landscape open space (40% min)	44%	Yes
Impervious area (m ²)	56%	Yes
Maximum cut into gnd (m)	1.9m	Yes
Maximum depth of fill (m)	0.75m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North



Drawn | Checked GBJ
Plot Date: 9/12/2022
Project NO.: RP1022MAC
Project Status DA

Client Matt MacLennan

Site: 9 Hyde Avenue, Killamey Heights

DRAWING TITLE :
SHADOW PLANS
PERSPECTIVE

PROJECT NAME :
Alterations & Additions

REVISION NO.	DATE
-	9/12/22

DRAWING NO.
DA5000

Plot Date: 9/12/2022
Sheet Size: A3



Denotes Sheet Metal Roof (Typical).
Owner To Confirm Type & Colour



Denotes Skylight (Typical).
Owner To Confirm Type & Colour



Denotes Cladding (Typical).
Owner To Confirm Type & Colour



Denotes Concrete Drive (Typical).
Owner To Confirm Type & Colour



Denotes Rendered Wall (Typical).
Owner To Confirm Type & Colour



Denotes Paving (Typical).
Owner To Confirm Type & Colour



Denotes Stepping Stone (Typical).
Owner To Confirm Type & Colour



Denotes Glass Pool Barrier (Typical).
Owner To Confirm Type & Colour

Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type
			Height (m)	Distance (m)		
W1	SW	2.34	0	0	eave/verandah/ pergola/ balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W2	SE	0.54	0	0	eave/verandah/ pergola/ balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W3	SE	0.9	0	0	eave/verandah/ pergola/ balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W4	SE	1.8	0	0	eave/verandah/ pergola/ balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W5	SE	0.56	0	0	eave/verandah/ pergola/ balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W6	SE	1.84	0	0	eave/verandah/ pergola/ balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W7	NW	5.04	0	0	eave/verandah/ pergola/ balcony >=750 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W8	NW	1.8	0	0	eave/verandah/ pergola/ balcony >=750 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W9	NE	2.88	0	0	eave/verandah/ pergola/ balcony >=750 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W10	NE	2.88	0	0	eave/verandah/ pergola/ balcony >=750 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W11	SE	1.35	0	0	eave/verandah/ pergola/ balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W12	SE	0.9	0	0	eave/verandah/ pergola/ balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W13	SW	2.52	0	0	eave/verandah/ pergola/ balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W14	SW	2.52	0	0	eave/verandah/ pergola/ balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D2	NE	7.92	0	0	projection/height above sill ratio >=0.29	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
D3	SW	7.92	0	0	eave/verandah/ pergola/ balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D4	SW	6.48	0	0	projection/height above sill ratio	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
					>=0.29	6.44, SHGC: 0.75)

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NOTES
9 Hyde Avenue, Killarney Heights is zoned R2-Low Density Residential
Refer to Engineers drawings for structural details
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue

Construction
Framed: Framed Walls
Roof Framed to have R0.95 insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1028-2007
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
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Basic
Basic Certificate Number A482452
All Plans to be read in conjunction with Basic Certificate
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	695.6m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	4m@ 45Deg	Variation
% of landscape open space (40% min)	44%	Yes
Impervious area (m2)	56%	Yes
Maximum cut into gnd (m)	1.9m	Yes
Maximum depth of fill (m)	0.75m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 9/12/2022
Project NO.: RP1022MAC
Project Status DA

Client Matt MacLennan

Site: 9 Hyde Avenue, Killarney Heights

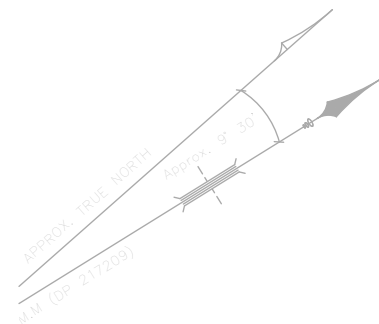
DRAWING TITLE SHADOW PLANS
MATERIAL & COLOUR SAMPLE BOARD

PROJECT NAME:
Alterations & Additions

REVISION NO.	DATE
-	9/12/22

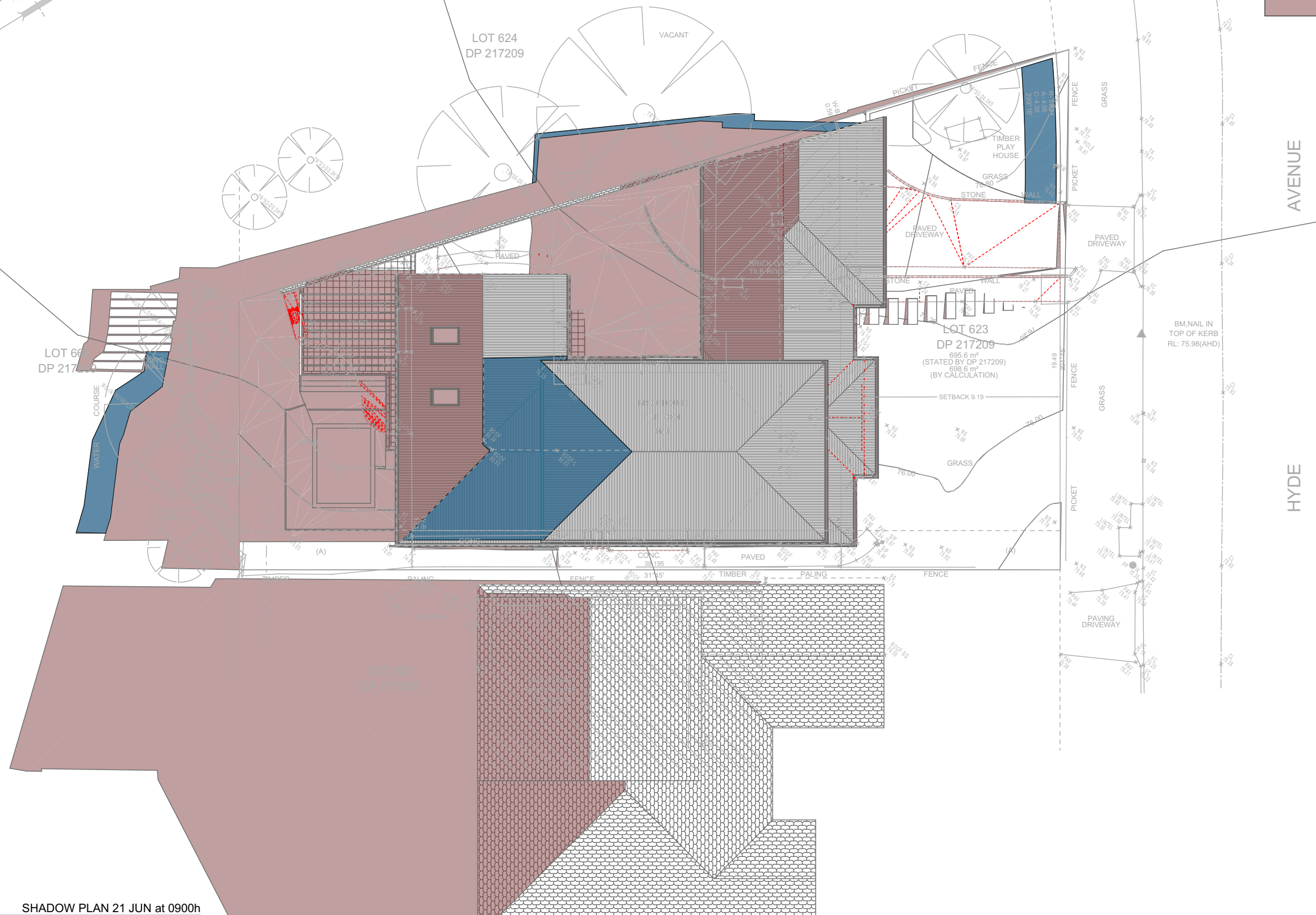
DRAWING NO.
DA5001

Plot Date: 9/12/2022
Sheet Size: A3



Denotes Proposed Shadow

Denotes Existing Shadow



01

SHADOW PLAN 21 JUN at 0900h
1:200

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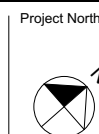
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PO Box 6193 Frenchs Forest
NSW 2086
Fax: (02) 9905-8865
Mobile: 0414-945-024
Email: greg@rapidplans.com.au

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all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans**



Checked
Plot Date:
Project NO.
Project Status

GBJ
9/12/2022
RP1022MAC
DA

Client
Site:

Matt MacLennan
9 Hyde Avenue, Killarney Heights

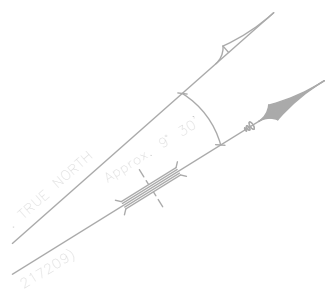
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DRAWING TITLE : SHADOW PLANS
**SHADOW PLAN 21st June
9am**

PROJECT NAME :
Alterations & Additions

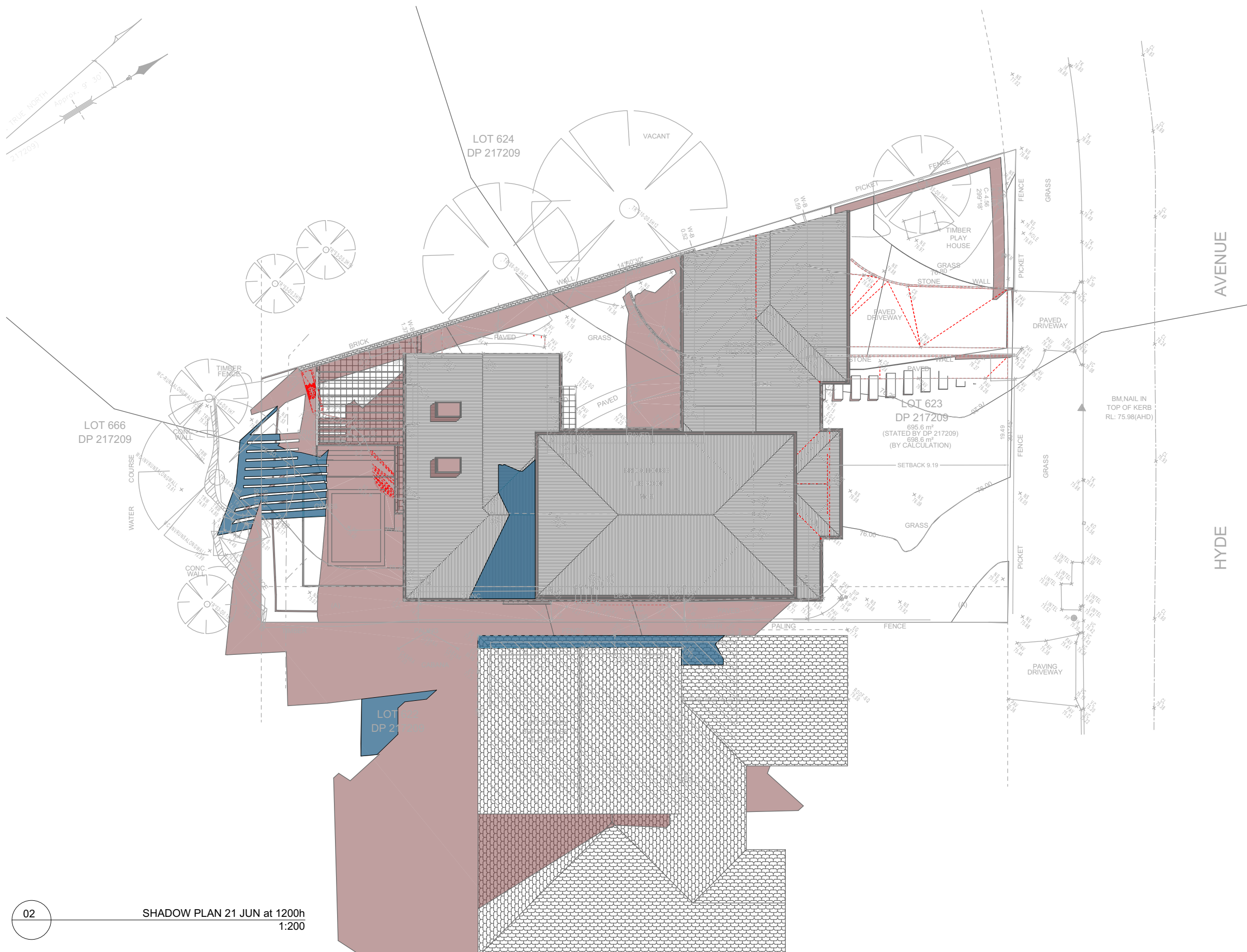
REVISION NO.

DATE:
9/12/22
DRAWING NO.
DA5002



Denotes Proposed Shadow

Denotes Existing Shadow



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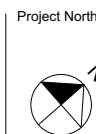


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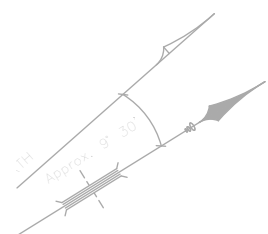
**Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans**



Checked
Plot Date: 9/12/2022
Project NO. RP1022MAC
Project Status DA
Client
Site: Matt MacLennan
9 Hyde Avenue, Killarney Heights
Sheet Size: A3

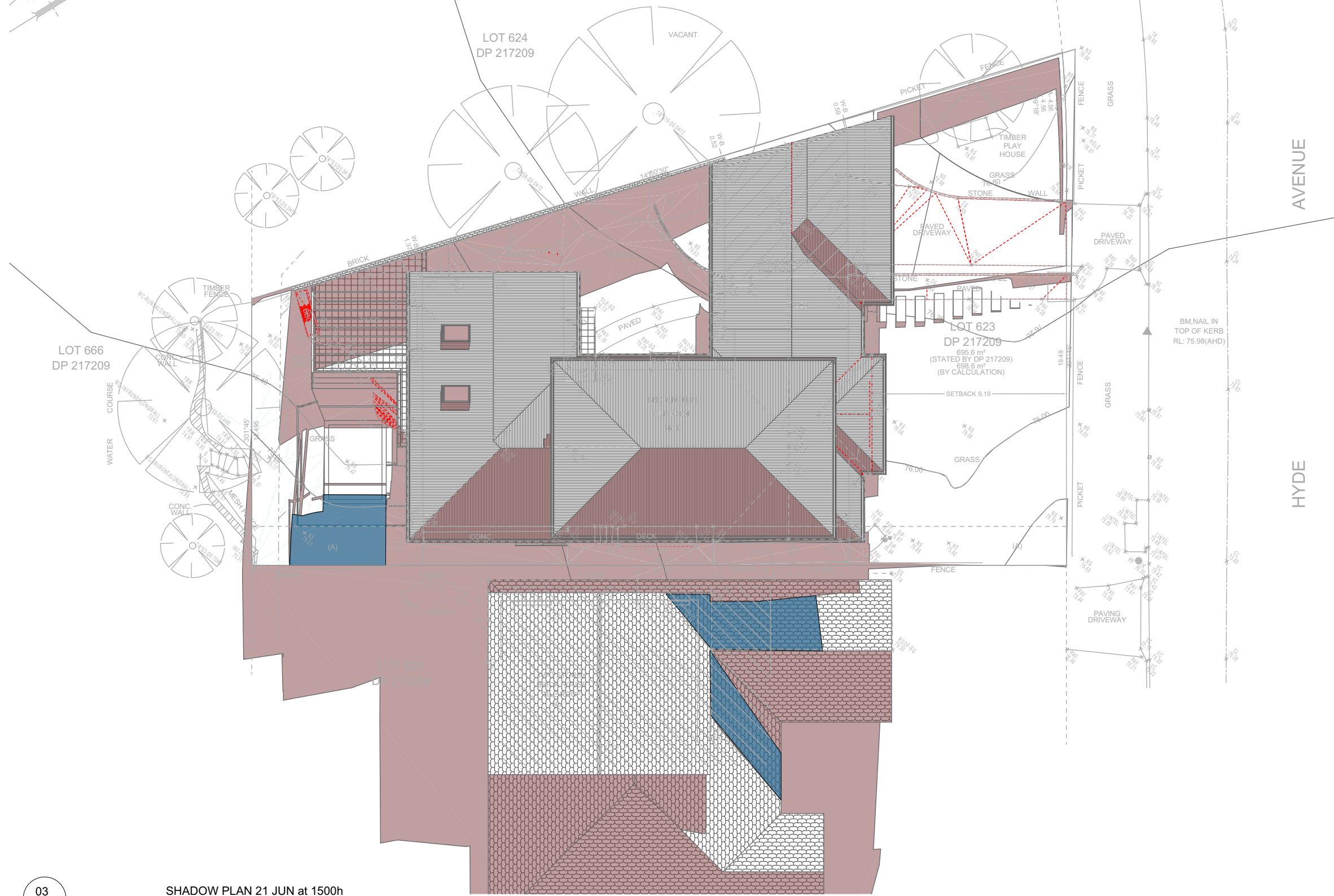
DRAWING TITLE : SHADOW PLANS
**SHADOW PLAN 21st June
12pm**
PROJECT NAME :
Alterations & Additions

REVISION NO.
-
DATE:
9/12/22
DRAWING NO.
DA5003



Denotes Proposed Shadow

Denotes Existing Shadow



03 SHADOW PLAN 21 JUN at 1500h
1:200

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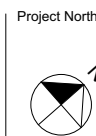


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www.rapidplans.com.au
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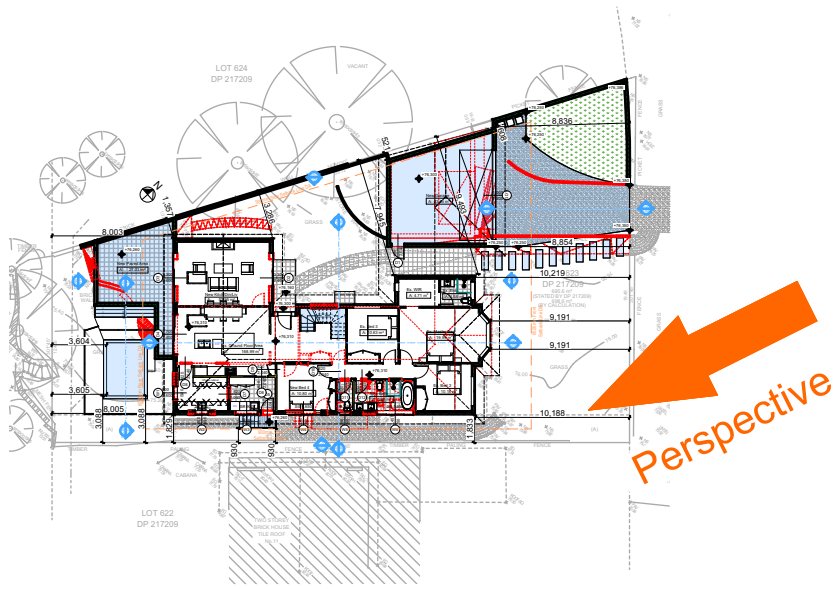
**Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans**



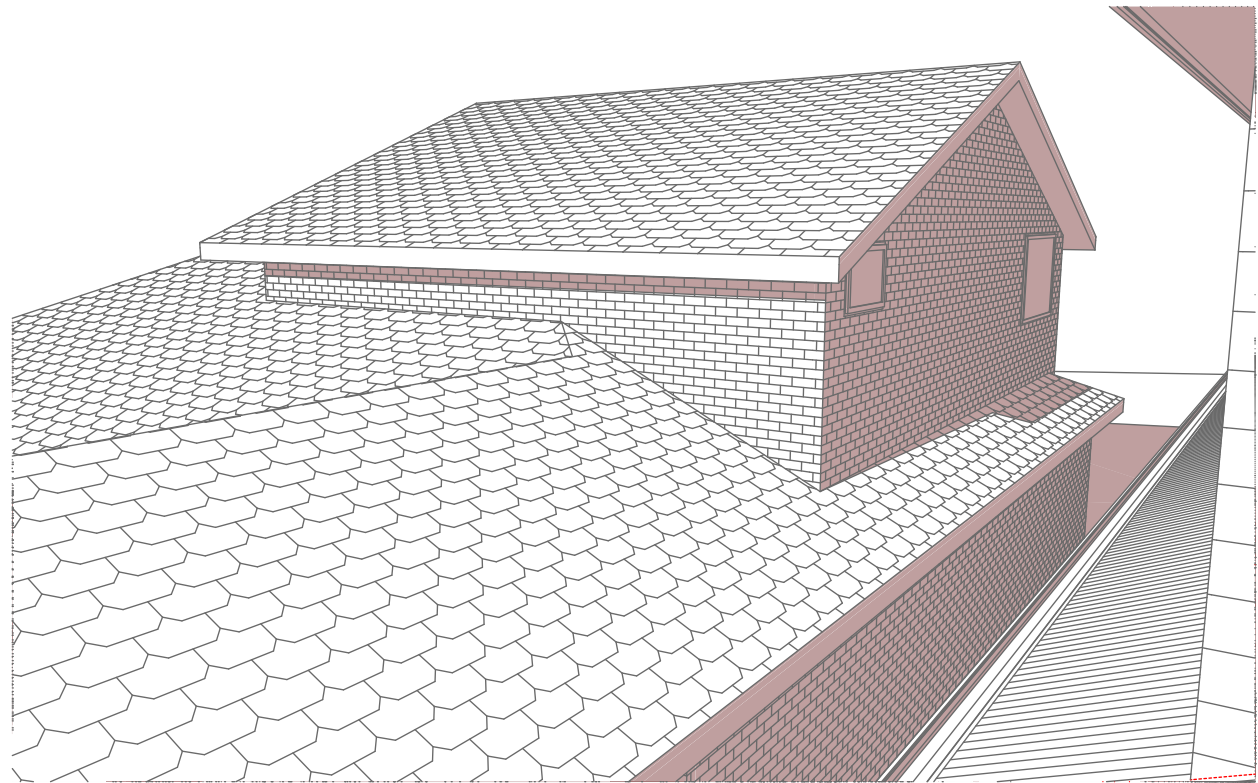
Checked: GBJ
Plot Date: 9/12/2022
Project No: RP1022MAC
Project Status: DA
Client: Matt MacLennan
Site: 9 Hyde Avenue, Killarney Heights
Sheet Size: A3

DRAWING TITLE : SHADOW PLANS
**SHADOW PLAN 21st June
3pm**
PROJECT NAME : **Alterations & Additions**

REVISION NO.
-
DATE: **9/12/22**
DRAWING NO.
DA5004



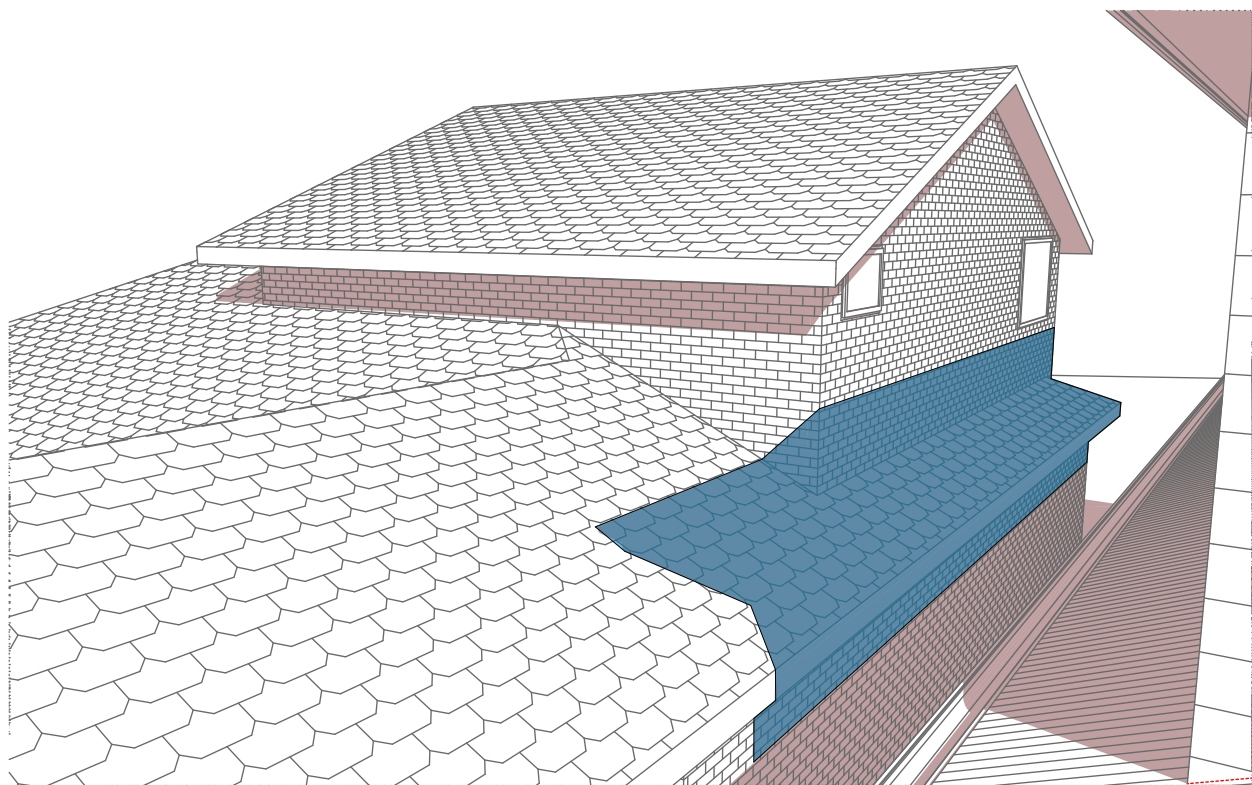
2 SITE PLAN
1:500



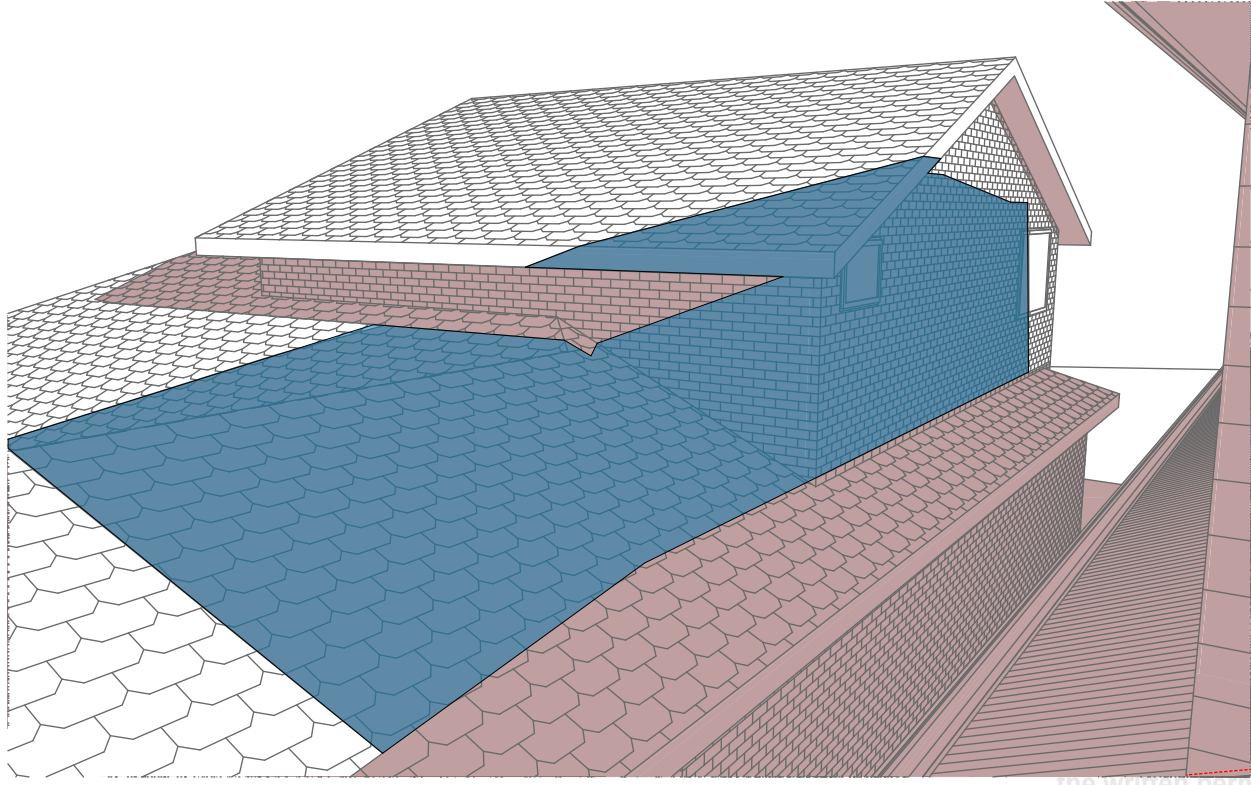
1 SHADOW ELEVATION 21 JUN at 0900h

Denotes Proposed Shadow

Denotes Existing Shadow



2 SHADOW ELEVATION 21 JUN at 1200h



3 SHADOW ELEVATION 21 JUN at 1500h

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**

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BUILDING DESIGNERS
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ACCREDITED
BUILDING DESIGNER

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
9 Hyde Avenue, Killarney Heights is zoned R2-Low Density Residential.
9 Hyde Avenue, Killarney Heights is not considered a heritage item.
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue.

Construction
Framed: Framed Walls
Roof Framed to have R0.95 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1288-2007
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Basic
Basic Certificate Number A482452
All Plans to be read in conjunction with Basic Certificate.
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each space, gopple, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	695.6m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	4m@45Deg	Variation
% of landscape open space (40% min)	44%	Yes
Impervious area (m ²)	56%	Yes
Maximum cut into gnd (m)	1.9m	Yes
Maximum depth of fill (m)	0.75m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 9/12/2022
Project NO.: RP1022MAC
Project Status DA

Client Matt MacLennan

Site: 9 Hyde Avenue, Killarney Heights

DRAWING TITLE SHADOW PLANS
WALL ELEVATION SHADOWS

PROJECT NAME: **Alterations & Additions**

REVISION NO.	DATE
-	9/12/22

DRAWING NO. **DA5005**

Plot Date: 9/12/2022
Sheet Size: A3