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# DA2022/2270 As Amended for Review

|  |                              |                     |                        |
|--|------------------------------|---------------------|------------------------|
| address:<br>166 Pittwater Rd, Manly, NSW 2095.<br>LOT 107 IN DP1176623 | title:<br>Site Analysis Plan | date:<br>23/06/2023 | Rev. no.:<br>D         |
| client:<br>B. & C. Laws  | drawn by:<br>JOB             | dwg. no.:<br>DA//04 | issue:<br>(DA)(DIV8.2) |
| project:<br>Alterations & additions                                    | scale:<br>1 : 100 @ a3       |                     |                        |

northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

REV2023/0016

RIAI

Architectural Technologist

2022

J'm O'Brien  
Principal Designer // Director

(RIAI Arch.Tech.)  
(Affiliate RIAI)

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VIEWTHRU PTY. LTD. T/A VIEWTHRU ACN 620 084 531

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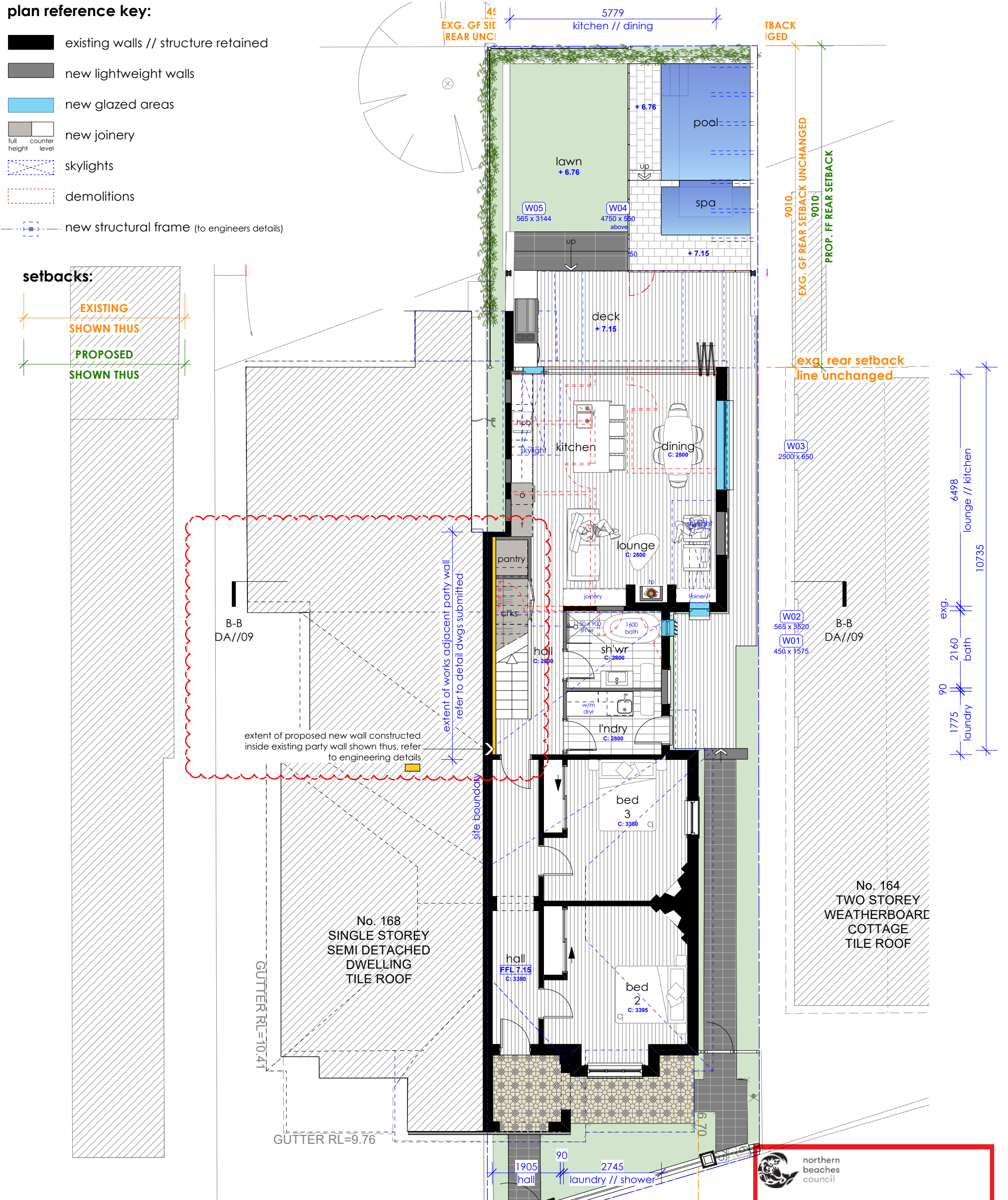


plan reference key:

- existing walls // structure retained
- new lightweight walls
- new glazed areas
- new joinery
- skylights
- demolitions
- new structural frame (to engineers details)

setbacks:

- EXISTING SHOWN THUS
- PROPOSED SHOWN THUS



site // entry level plan // proposed

scale: 1:100

notes:

- all windows as numbered to read in conjunction with BASIX Certificate

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|  |   |                     |                        |
|--|---|---------------------|------------------------|
| address:<br>166 Pittwater Rd, Manly, NSW 2095.<br>LOT 107 IN DP1176623 | title:<br>Site // Entry Level Plan // Prop. | date:<br>23/06/2023 | Rev. no.:<br>D         |
| client:<br>B. & C. Laws  | drawn by:<br>JOB                            | dwg. no.:<br>DA//06 | issue:<br>(DA)(DIV8.2) |
| project:<br>Alterations & additions                                    | scale:<br>1 : 100 @ a3                      |                     |                        |

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north

Architectural Technologist  
2022

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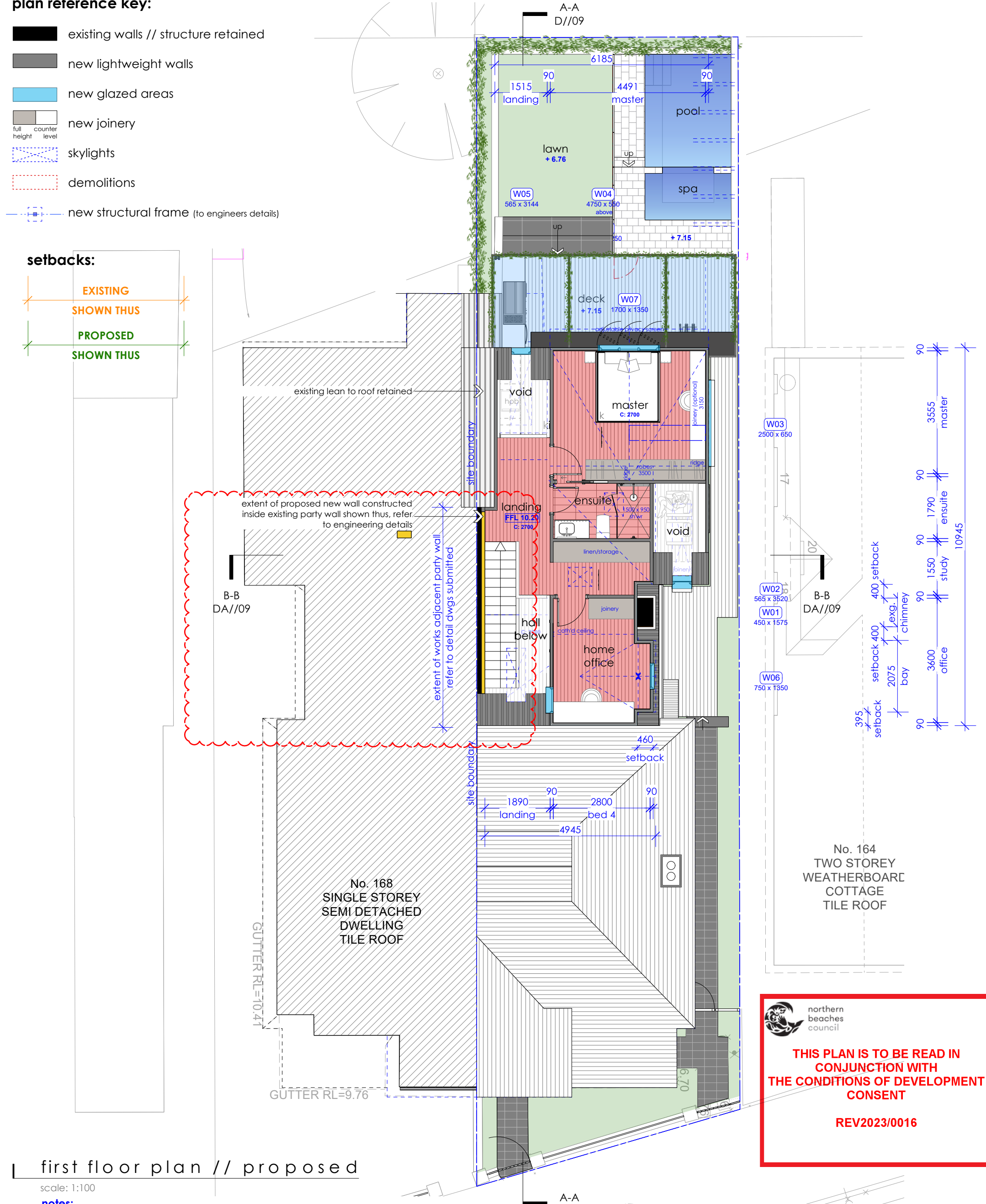
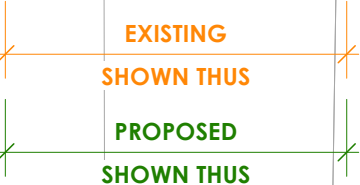
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plan reference key:

- existing walls // structure retained
- new lightweight walls
- new glazed areas
- new joinery
- skylights
- demolitions
- new structural frame (to engineers details)

setbacks:





northern  
beaches  
council

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REV2023/0016

first floor plan // proposed


scale: 1:100

notes:

- all windows as numbered to read in conjunction with BASIX Certificate

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|--|--|---------------------|------------------------|---|
| address:<br>166 Pittwater Rd, Manly, NSW 2095.<br>LOT 107 IN DP1176623 | title:<br>First Floor Plan // Proposed | date:<br>23/06/2023 | Rev. no.:<br>D         | <div><p>Architectural<br/>Technologist<br/>2022</p></div> <div><p>J'Im O'Brien<br/>Principal Designer // Director</p><p>(RIAI Arch.Tech.)<br/>(Affiliate RAlA)</p></div> <div><p>t: 043 7222 389 info@viewthru.com.au</p><p>BALGOWLAH, NSW 2093.<br/>VIEWTHRU PTY. LTD. T/A VIEWTHRU ACN 620 084 531</p></div> |
| client:<br>B. & C. Laws  | drawn by:<br>JOB                       | dwg. no.:<br>DA//07 | issue:<br>(DA)(DIV8.2) |   |
| project:<br>Alterations & additions                                    | scale:<br>1 : 100 @ a3                 |                     |                        |   |

plan reference key:

- demolitions
- extent of additions



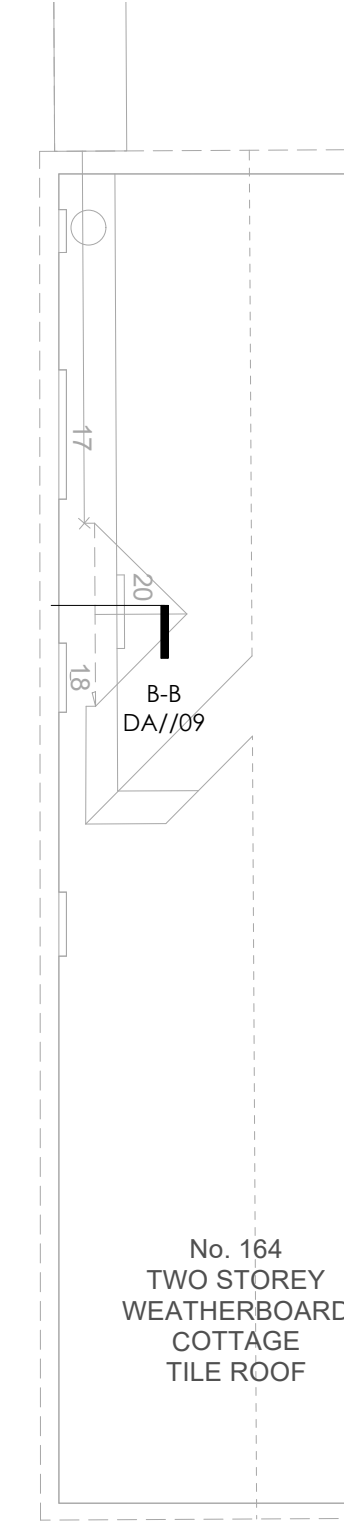
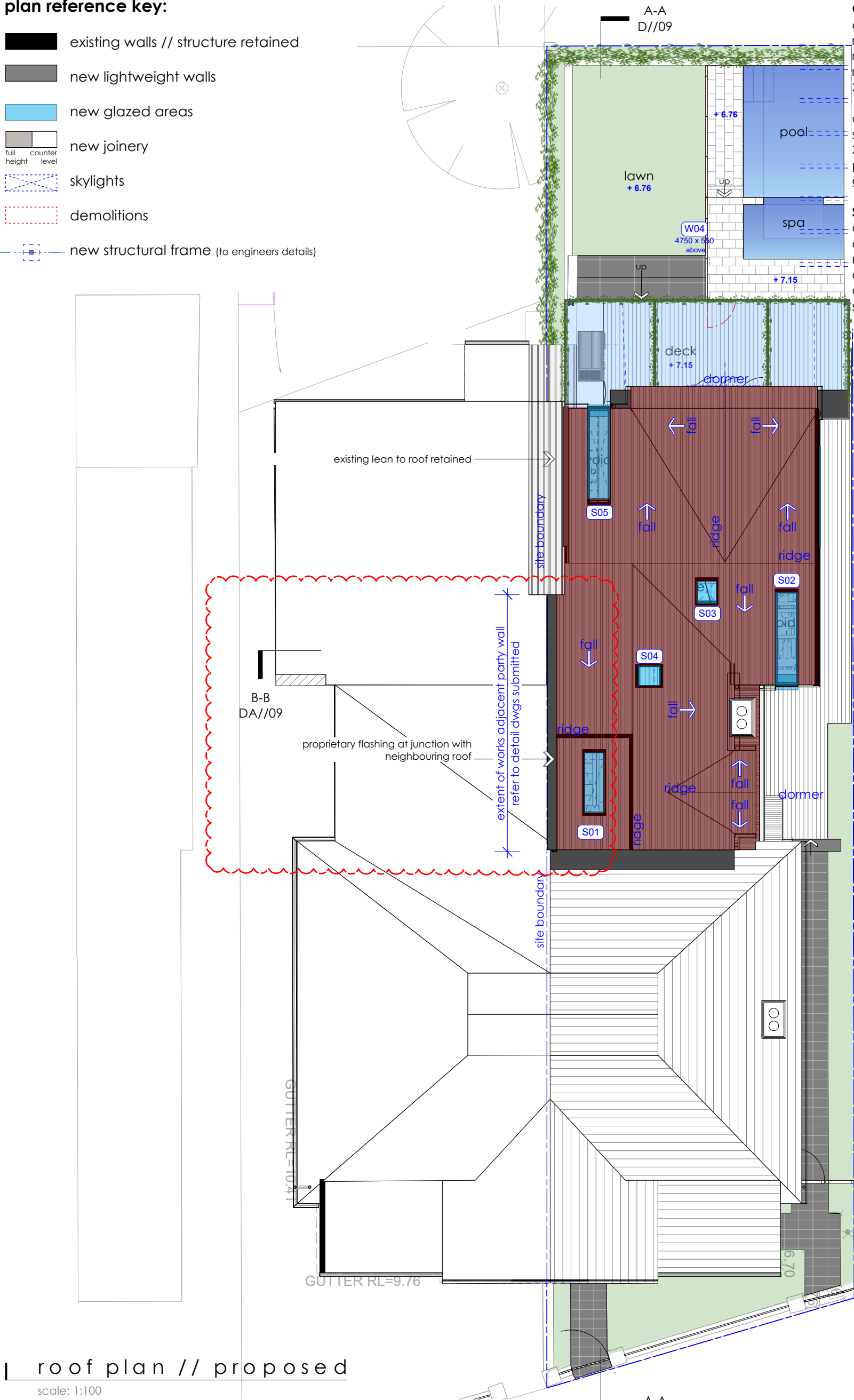
plan reference key:

- existing walls // structure retained
- new lightweight walls
- new glazed areas
- new joinery
- skylights
- demolitions
- new structural frame (to engineers details)

**GENERAL ROOF PLAN NOTES:**  
all guttering, flashing and waterproofing relating to all roofing systems to comply with requirements of the current b.c.a. and relevant australian standards including as/nzs 3500: 2018 "plumbing and drainage".

all downpipe and overflow spigots to be sized and located to comply with as/nzs 3500: 20018"plumbing and drainage". provide proprietary leaf guard as selected to all gutters.

**STORMWATER MAGEMENT NOTES:**  
all pipes to be 100mm ø sewer grade upvc  
all pipes to be laid at 1% min grade unless noted otherwise  
all works to be in accordance with local council standards and specification all levels shown to AHD





northern  
beaches  
council

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roof plan // proposed

scale: 1:100

notes:

- all windows as numbered to read in conjunction with BASIX Certificate

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|--|--|---------------------------------|--|---------------------|--|--|--|
| address:<br>166 Pittwater Rd, Manly, NSW 2095.<br>LOT 107 IN DP1176623 |  | title:<br>Roof Plan // Proposed |  | date:<br>23/06/2023 |  | Rev. no.:<br>D   |  |
| client:<br>B. & C. Laws  |  | drawn by:<br>JOB                |  | dwg. no.:<br>DA//08 |  | issue:<br>(DA)(DIV8.2)   |  |
| project:<br>Alterations & additions                                    |  | scale:<br>1 : 100 @ a3          |  | © VIEW//THRU        |  | R<br>IAI<br>Architectural<br>Technologist<br>2022  |  |
|  |  |                                 |  |                     |  | J<br>O'Brien<br>Principal Designer // Director<br>(RIAI Arch.Tech.)<br>(Affiliate RAlA)    |  |
|  |  |                                 |  |                     |  | t: 043 7222 389<br>BALGOWLAH, NSW 2093.<br>VIEWTHRU PTY. LTD. T/A VIEWTHRU ACN 620 084 531 |  |
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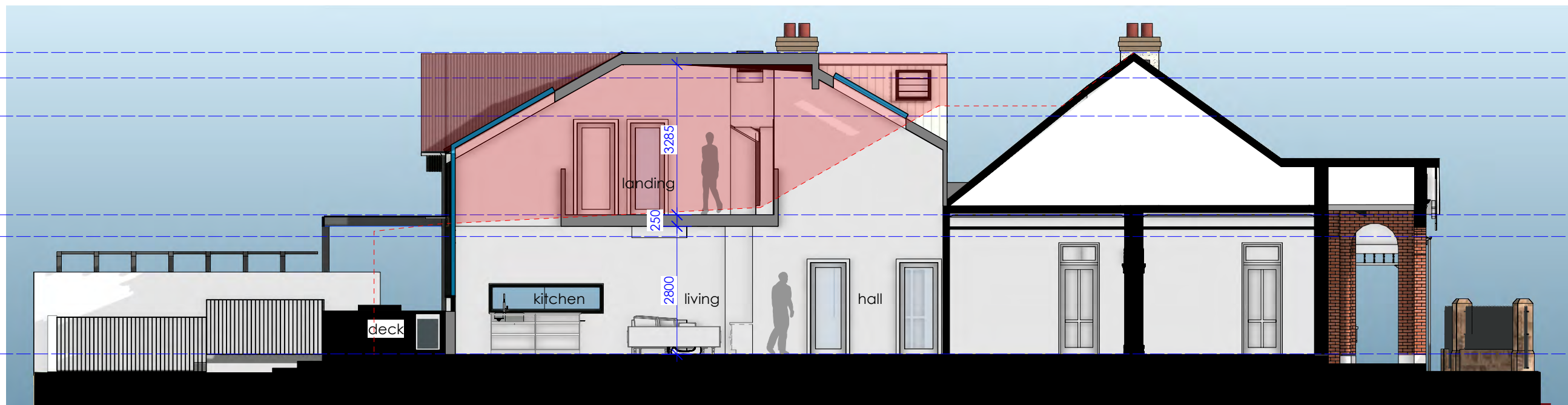
ex. ridge RL 13.74 (unchanged)  
prop. ridge RL 13.74  
prop. capping RL 13.18

ex. ridge RL 12.35 (unchanged)

prop. first FFL 10.20

ex. gutter RL 9.72

ex. ground FFL 7.15



section a - a // proposed

scale: 1:100



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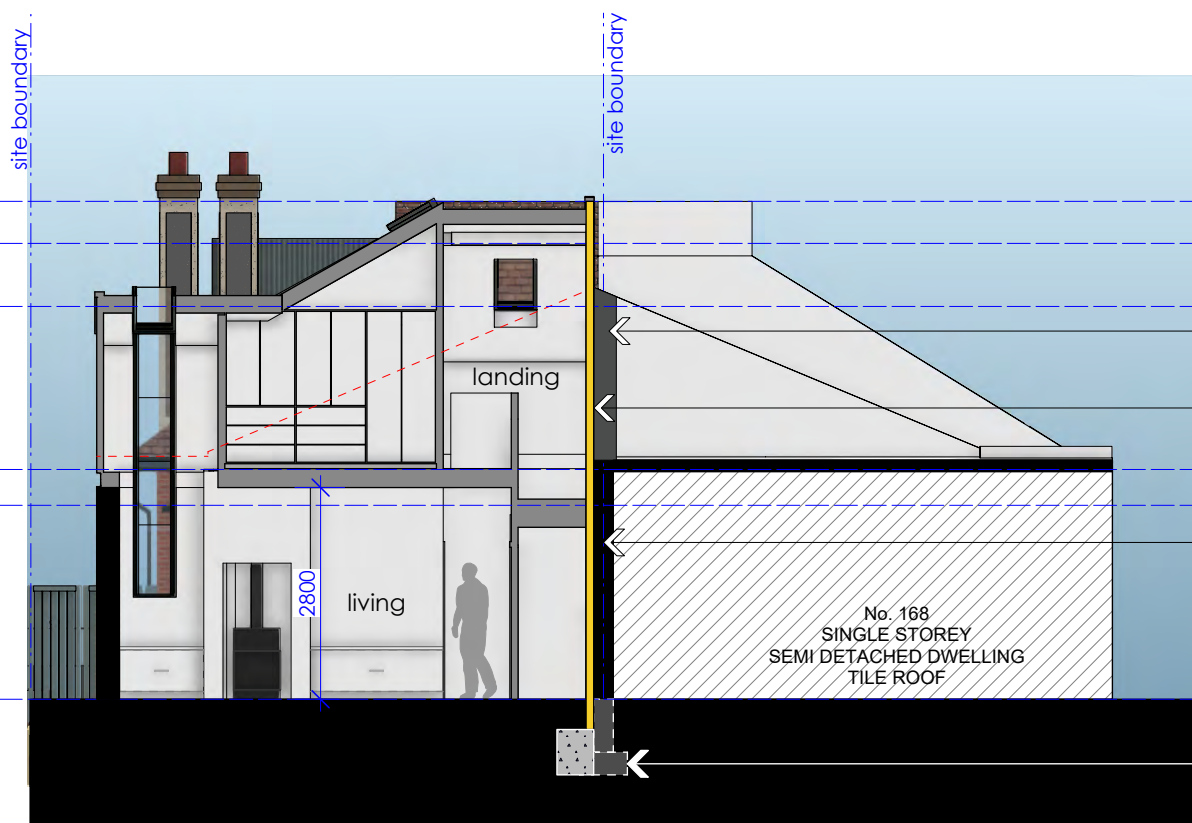
ex. ridge RL 13.74 (unchanged)  
prop. ridge RL 13.74  
prop. capping RL 13.18

ex. ridge RL 12.35 (unchanged)

prop. first FFL 10.20

ex. gutter RL 9.72

ex. ground FFL 7.15



section b - b // proposed

scale: 1:100

proprietary metal flashing at junction with  
existing neighbouring roof  
new wall constructed inside existing party  
wall, refer to engineering details

additional cross section included in  
'Amended for Review Set' to document  
approach to party wall

existing party wall retained

existing foundation shown indicatively,  
refer to engineering details for proposed  
offset foundation

#### plan reference key:

demolitions

extent of additions

DA2022/2270 As Amended for Review

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address:  
166 Pittwater Rd, Manly, NSW 2095.  
LOT 107 IN DP1176623

client: B. & C. Laws  
project: Alterations & additions

title:  
Sections // Proposed

drawn by: JOB  
scale: 1 : 100 @ a3

date:  
23/06/2023

dwg. no.:  
DA // 09

Rev. no.:  
D  
issue:  
(DA)(DIV8.2)

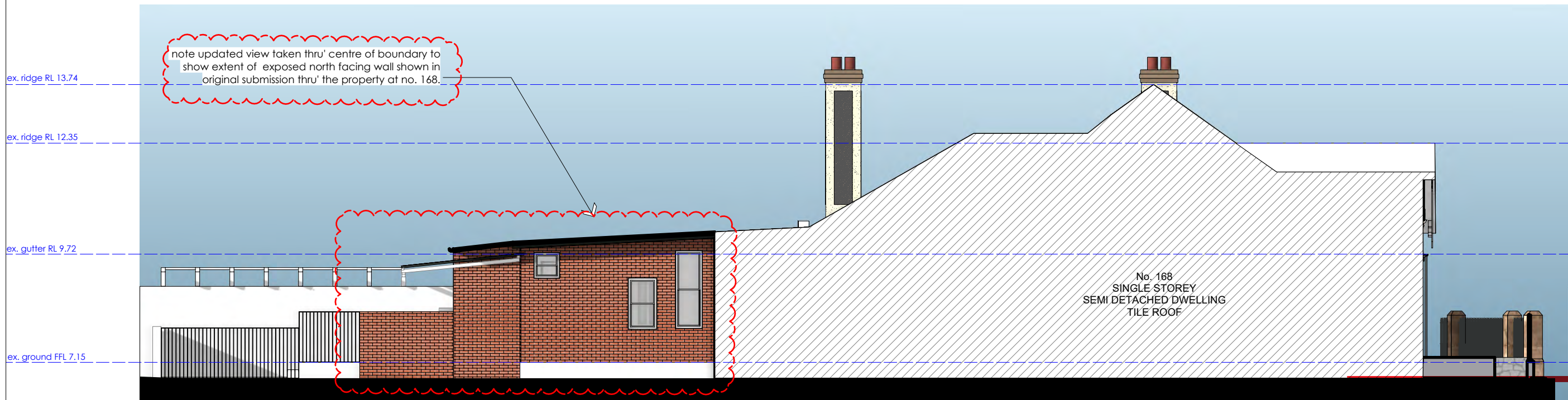
RIAI Architectural Technologist 2022  
t: 043 7222 389  
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(Affiliate RIAI)

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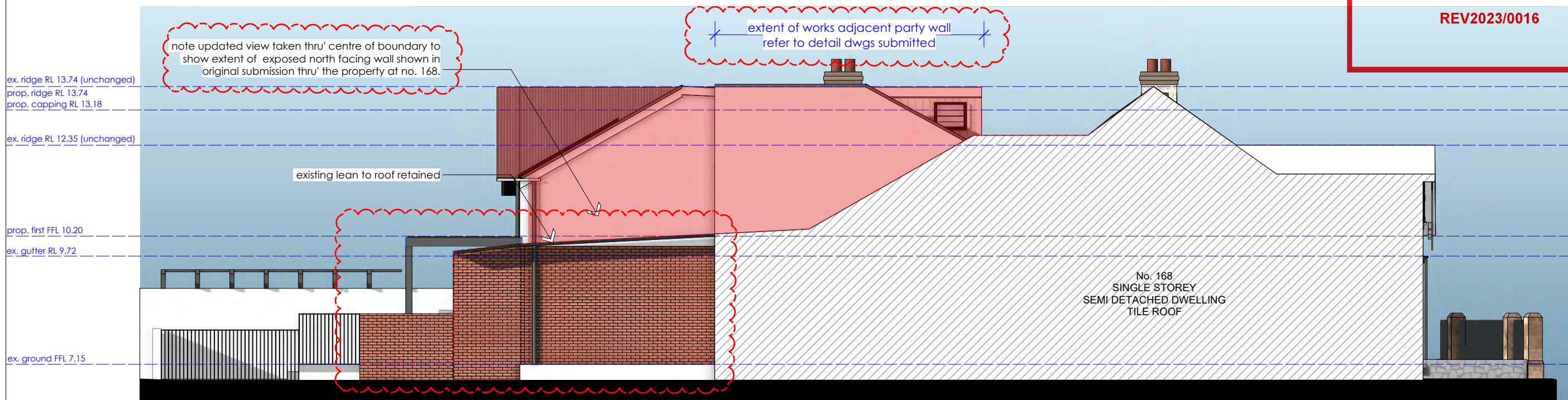
north elevation // existing

scale: 1:100



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north elevation // proposed

scale: 1:100

plan reference key:

demolitions

extent of additions

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address:  
166 Pittwater Rd, Manly, NSW 2095.  
LOT 107 IN DP1176623

client: B. & C. Laws

project: Alterations & additions

title:  
Elevations N // Exg. & Prop.

drawn by:  
JOB

scale:  
1 : 100 @ a3

date:  
23/06/2023

dwg. no.:  
D A // 1 0

Rev. no.:  
D

issue:  
(DA)(DIV8.2)

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Technologist  
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ex. ridge RL 13.74

ex. ridge RL 12.35

ex. gutter RL 9.72

ex. ground FFL 7.15



south elevation // existing

scale: 1:100



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REV2023/0016

ex. ridge RL 13.74 (unchanged)

prop. ridge RL 13.74

prop. capping RL 13.18

ex. ridge RL 12.35 (unchanged)

prop. first FFL 10.20

ex. gutter RL 9.72

ex. ground FFL 7.15



south elevation // proposed

scale: 1:100

plan reference key:

demolitions

extent of additions

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LOT 107 IN DP1176623

client: B. & C. Laws  
project: Alterations & additions

title:  
Elevations S // Exg & Prop.

drawn by: JOB  
scale: 1 : 100 @ a3

date:  
23/06/2023

dwg. no.:  
D A // 1 1

Rev. no.:  
D  
issue:  
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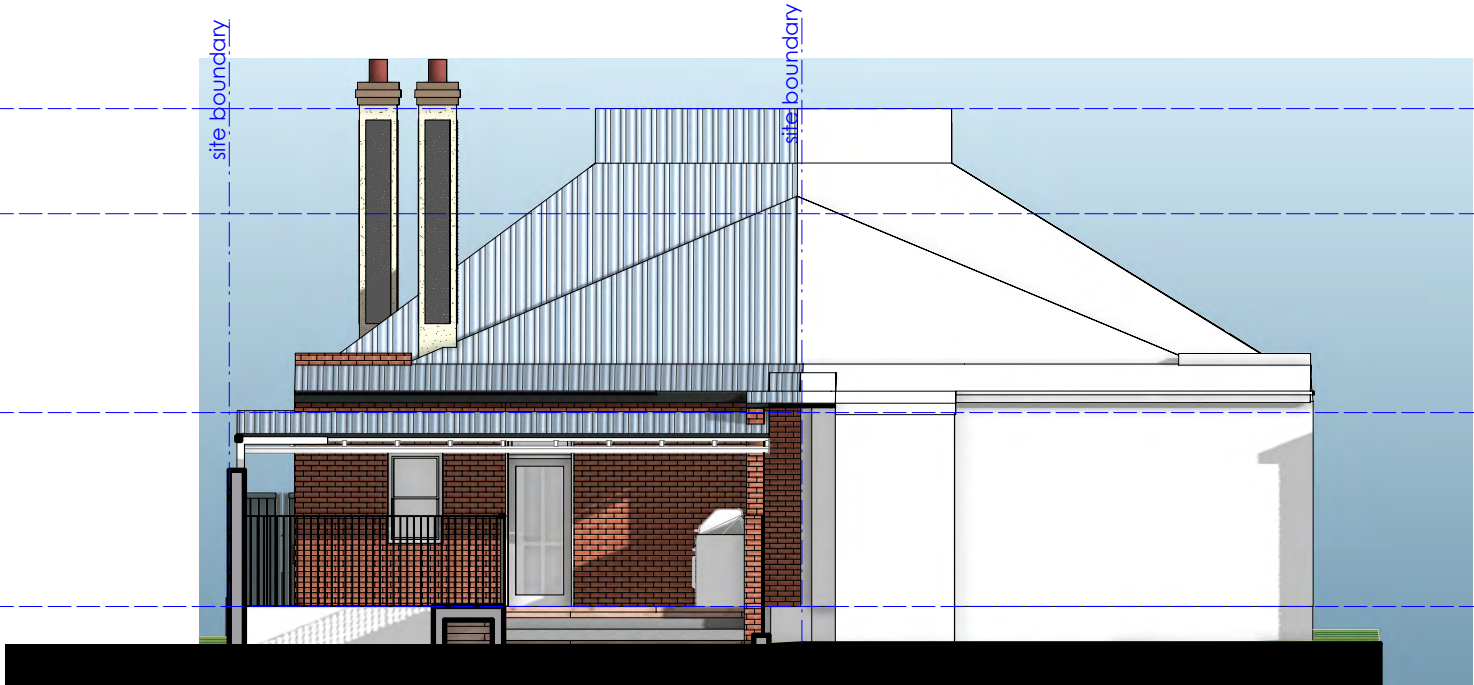


ex. ridge RL 13.74

ex. ridge RL 12.35

ex. gutter RL 9.72

ex. ground FFL 7.15



east elevation // existing

scale: 1:100



northern  
beaches  
council

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**REV2023/0016**

ex. ridge RL 13.74 (unchanged)

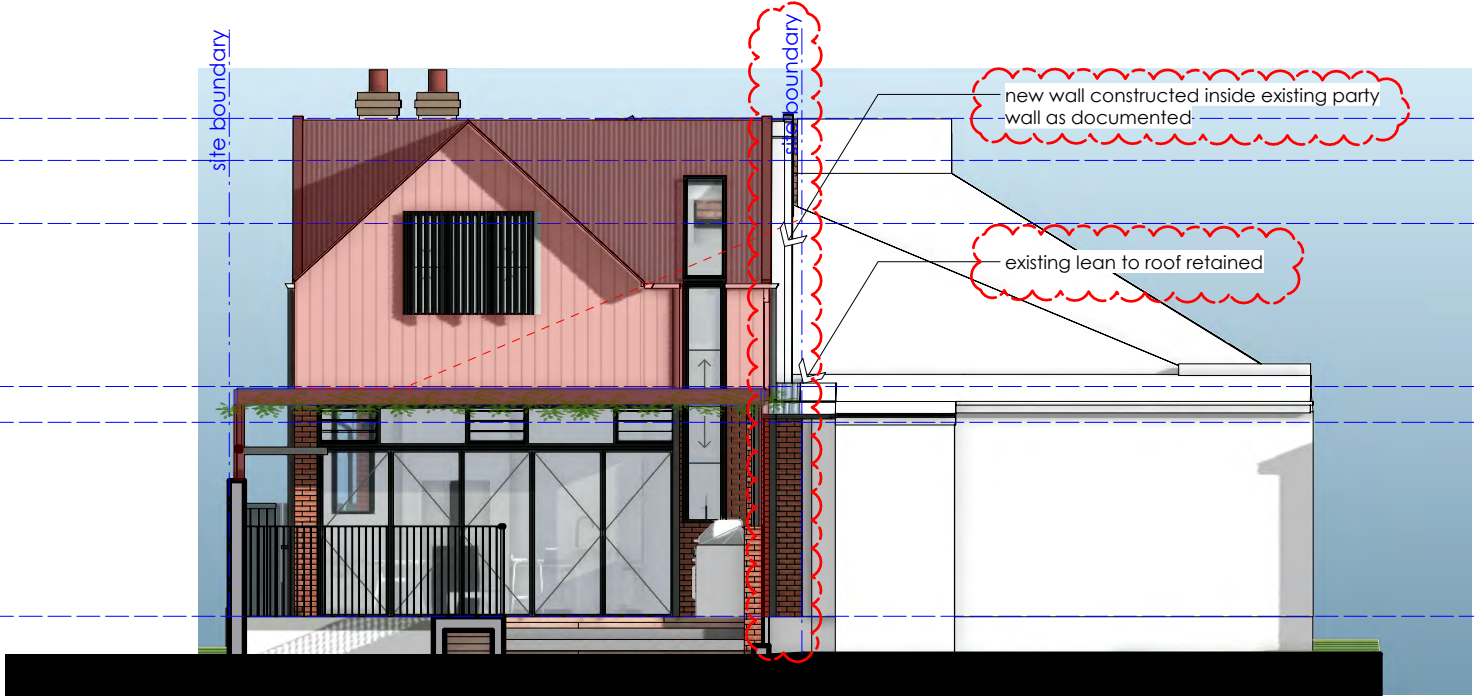
prop. ridge RL 13.74  
prop. capping RL 13.18

ex. ridge RL 12.35 (unchanged)

prop. first FFL 10.20

ex. gutter RL 9.72

ex. ground FFL 7.15



east elevation // proposed

scale: 1:100

plan reference key:

demolitions 

extent of additions 

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address:  
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LOT 107 IN DP1176623

client: B. & C. Laws  
project: Alterations & additions

title:  
Elevations E // Exg. & Prop.

drawn by: JOB  
scale: 1 : 100 @ a3

date:  
23/06/2023

dwg. no.:  
D A // 1 2

Rev. no.:  
D

issue:  
(DA)(DIV8.2)



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Technologist

2022

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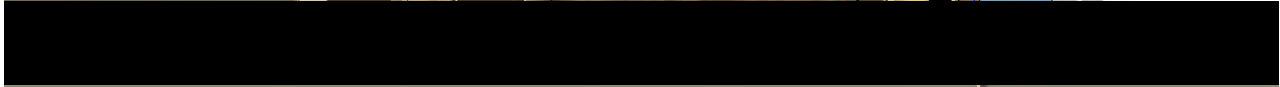
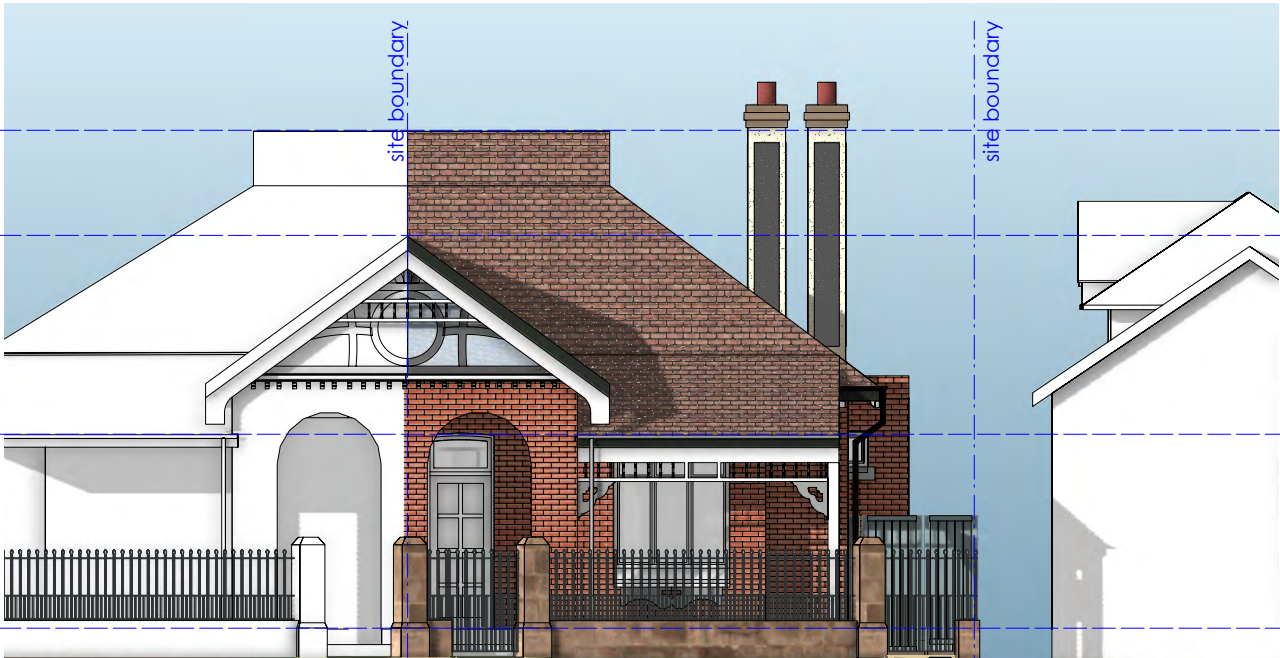


ex. ridge RL 13.74

ex. ridge RL 12.35

ex. gutter RL 9.72

ex. ground FFL 7.15



west elevation // existing  
scale: 1:100



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REV2023/0016

ex. ridge RL 13.74 (unchanged)

prop. ridge RL 13.74

prop. capping RL 13.18

ex. ridge RL 12.35 (unchanged)

prop. first FFL 10.20

ex. gutter RL 9.72

ex. ground FFL 7.15



west elevation // proposed  
scale: 1:100

plan reference key:

demolitions

extent of additions

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address:  
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LOT 107 IN DP1176623

client: B. & C. Laws  
project: Alterations & additions

title:  
Elevations W // Exg. & Prop.

drawn by: JOB  
scale: 1 : 100 @ a3

date:  
23/06/2023

dwg. no.:  
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Rev. no.:  
D

issue:  
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Technologist  
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**ROOF TILES & RIDGE TILES**  
existing retained



**BRICKWORK**  
existing retained



**WINDOWS**  
painted timber existing retained



**NEW ROOFING**  
'Custom Orb' - Colour: 'Windspray'



**EXTERNAL CLADDING**  
painted - Colour: 'Windspray'



**ALUMINIUM WINDOW AND EXTERNAL DOOR FRAMES**  
Color - eg. Domino  
or similar to new works as denoted

external finishes schedule



northern  
beaches  
council

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**REV2023/0016**

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address:  
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LOT 107 IN DP1176623

client: B. & C. Laws  
project: Alterations & additions

title:  
Finishes Schedule

drawn by:  
JOB

scale:

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date:  
23/06/2023

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DA / / 16

Rev. no.:  
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issue:  
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2022

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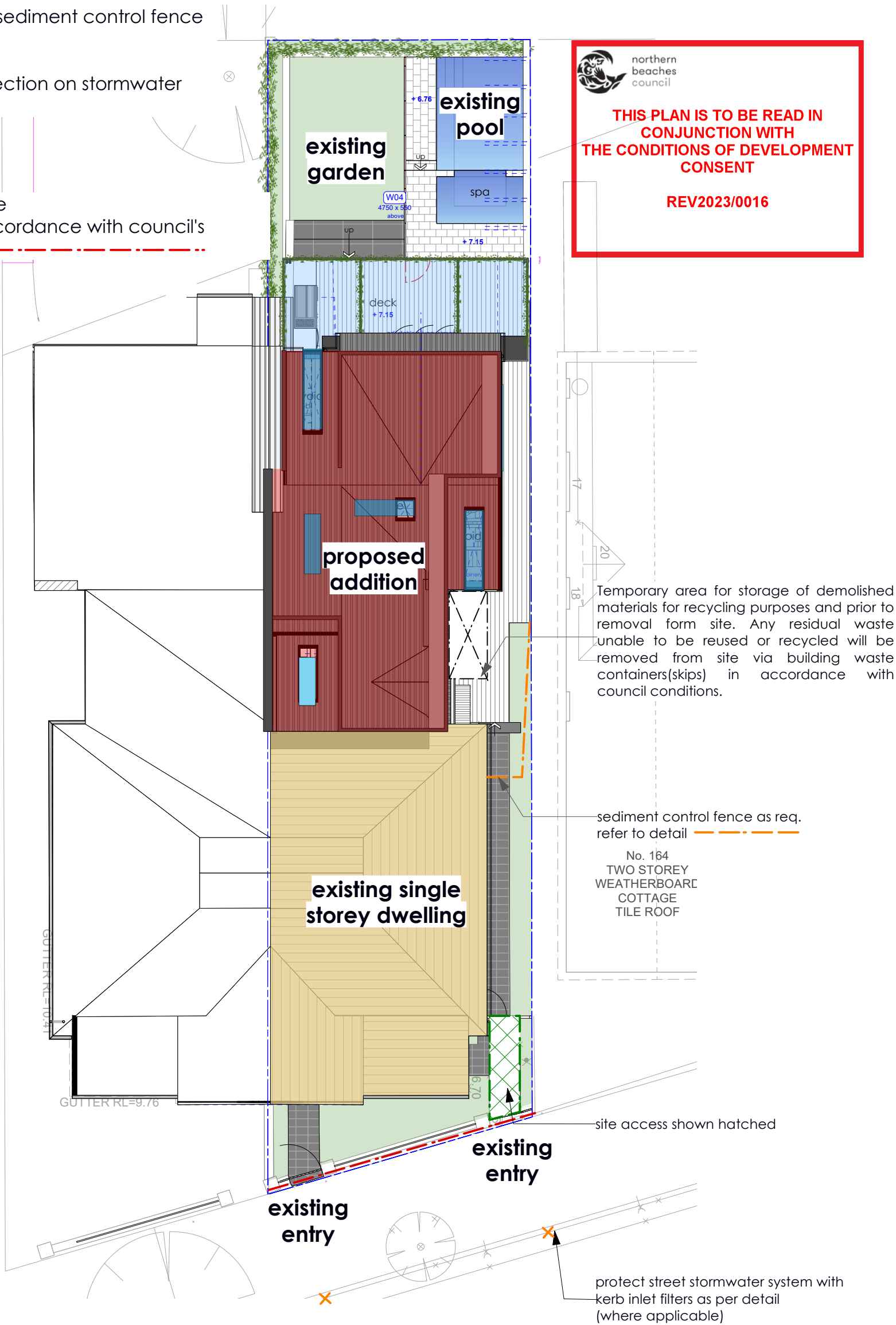
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NOTES:

- Install temporary sediment control fence as shown
- Provide temporary haybales where sediment control fence requires dismantling for site access
- Install mesh and drainage inlet protection on stormwater inlets down slope of site

Site Security Fencing and access gate to be installed and maintained in accordance with council's conditions, denoted thus: -----



erosion&sediment control plan//site setup plan

scale: 1 : 200

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|  |   |                     |                        |   |
|--|---|---------------------|------------------------|---|
| address:<br>166 Pittwater Rd, Manly, NSW 2095.<br>LOT 107 IN DP1176623 | title:<br>Sed. & Erosion // Site Setup Plan | date:<br>23/06/2023 | Rev. no.:<br>D         | <div>RIAI<br/>Architectural Technologist<br/>2022</div> <div>J'im O'Brien<br/>Principal Designer // Director<br/>(RIAI Arch.Tech.)<br/>(Affiliate RAlA)</div> <div>t: 043 7222 389<br/>BALGOWLAH, NSW 2093.<br/>VIEWTHRU PTY. LTD. T/A VIEWTHRU ACN 620 084 531</div> |
| client: B. & C. Laws   | drawn by:<br>JOB                            | dwg. no.:<br>DA//21 | issue:<br>(DA)(DIV8.2) |   |
| project: Alterations & additions                                       | scale:<br>1 : 100 @ a3                      |                     |                        |   |

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