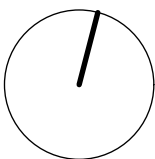


1 Site Plan
1:500 @ A1

ISSUE FOR AUTHORITY APPROVAL

Rev	Description	Date
A	Draft Issue for Consultant Review	8/11/19
B	Issue for approval review	11/11/19
C	Issue for approval review	13/11/19
D	Issue for approval review	20/11/19



Hotel Steyne

19049

75 The Corso
Manly NSW
2095

Iris Capital

Site Plan

Date
5/11/19

Scale
1:500

Drawn:
LK

Scale 1:500@A1

metres

DRAWING NO.
DA.010

REVISION
D

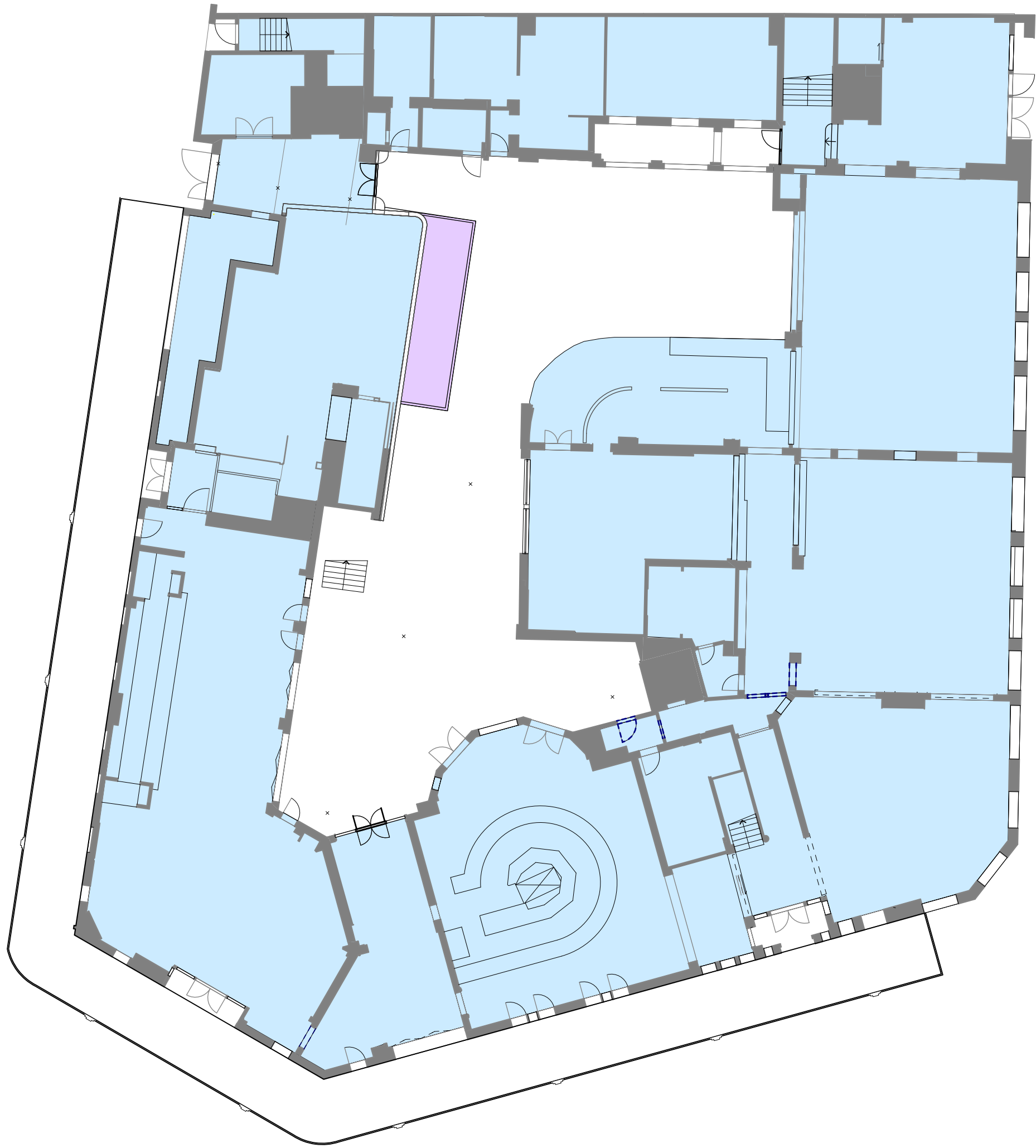
	All floors	SQM
<div></div>	Existing	3971
<div></div>	Previously approved DA	4004
<div></div>	Proposed DA	3998



northern
beaches
council

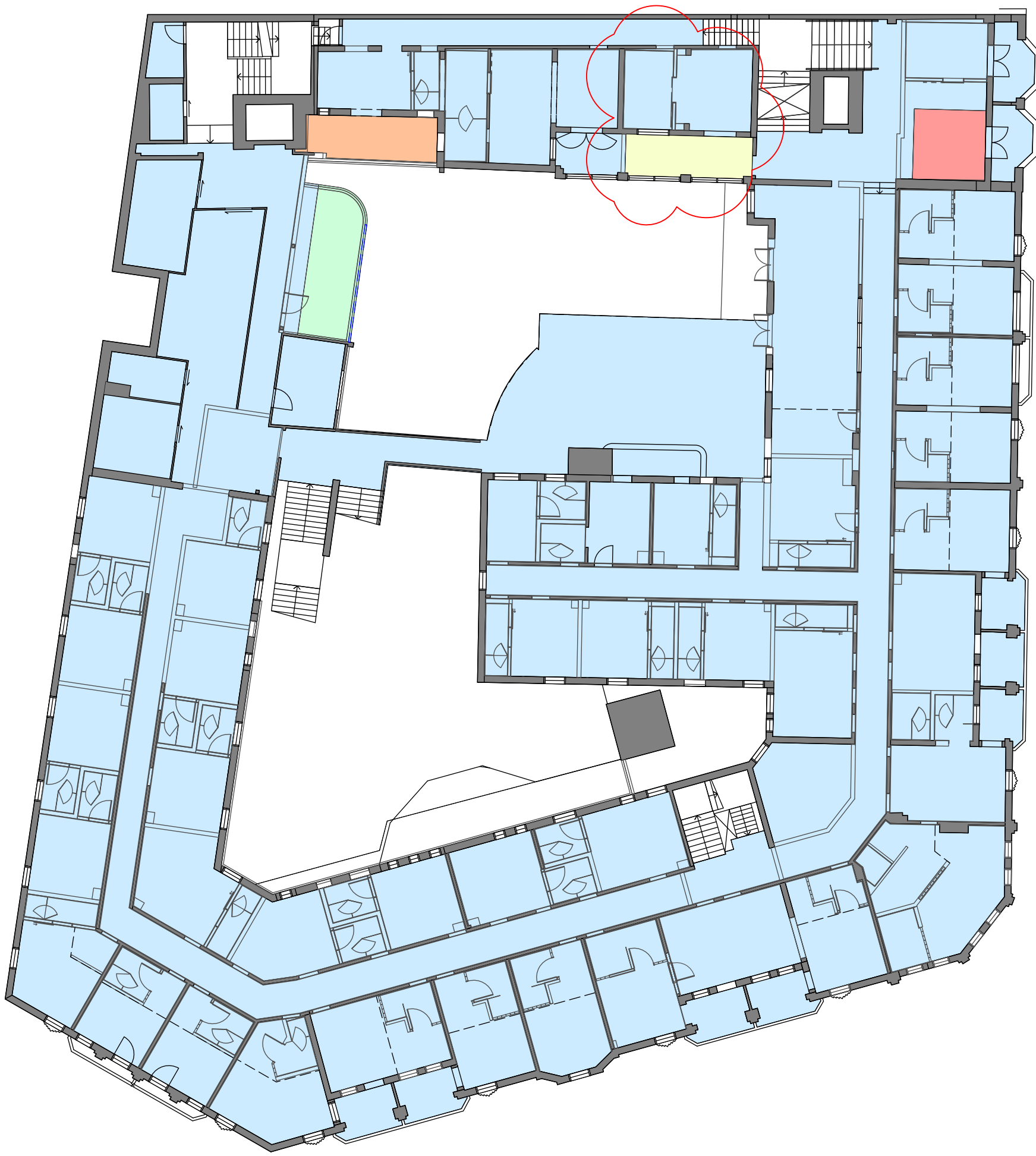
THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DADA2019/1403



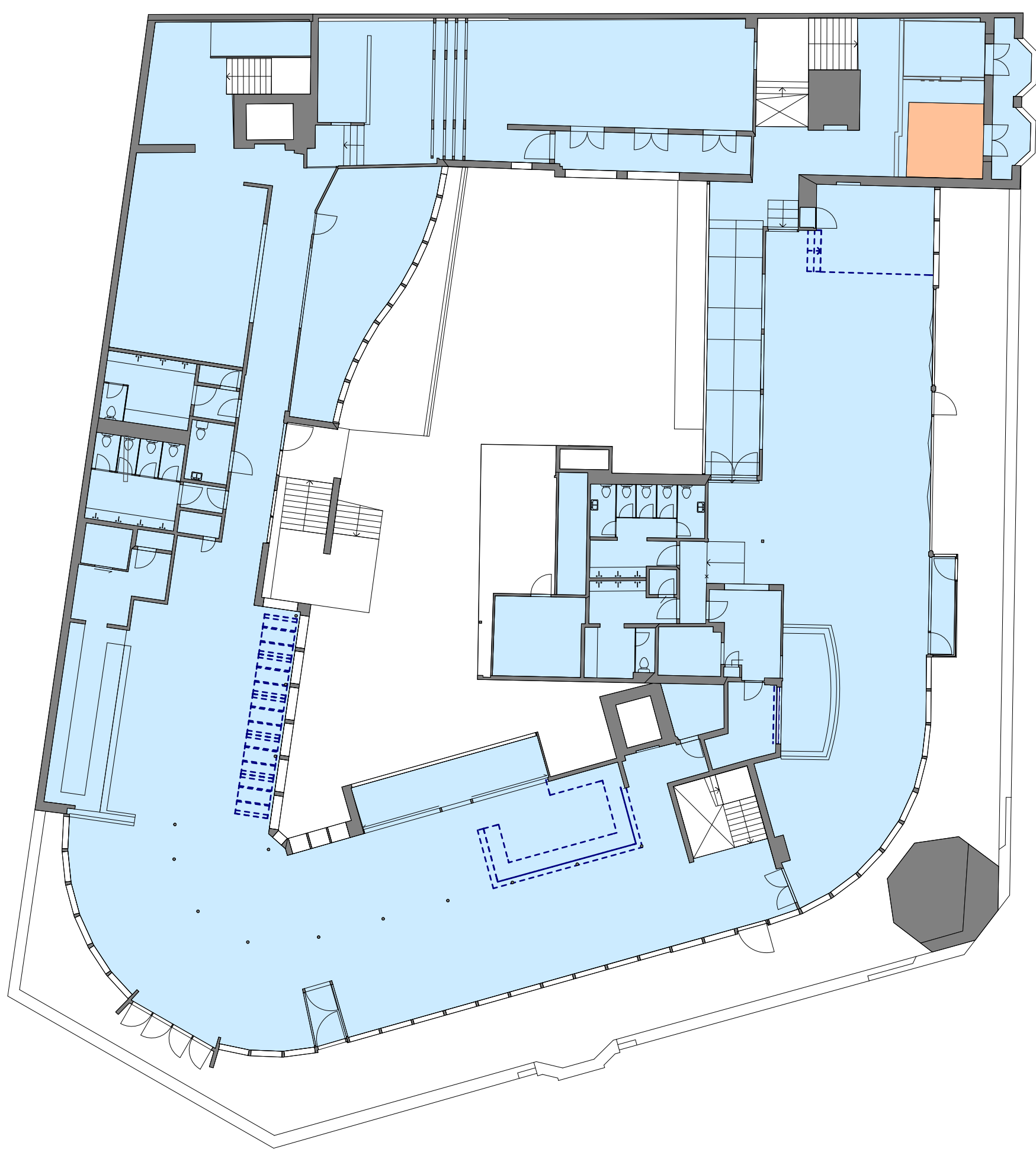
1 GFA Calcs - Ground Floor
1:200 @ A1

	Ground floor	SQM	Total SQM
<div></div>	Existing	1459	1459
<div></div>	Proposed DA	-21	1437



2 GFA Calcs - First Floor
1:200 @ A1

	First Floor	SQM	Total SQM
<div></div>	Existing	1333	1333
<div></div>	Previously approved DA	10	1365
<div></div>	Previously approved DA	11	1365
<div></div>	Proposed DA	15	1381
<div></div>	Amendment to proposed DA	11	1381



3 GFA Calcs - Second Floor
1:200 @ A1

	Second Floor	SQM	Total SQM
<div></div>	Existing	1168	1168
<div></div>	Previously approved DA	11	1180

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+61 2 9659 3425
studio@luchettikrelle.com
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051020metres

Scale 1:200@A1

Rev	Description
A	Issue for approval
B	Issue for approval review
C	Issue for approval review

Date
13/11/19
20/11/19
17/3/20

The Steyne Hotel Manly

19049
75 The Corso
Manly NSW 2095
Iris Capital

GFA Calcs



Date	Scale	Drawn:
Nov 19	1:200 @ A1	LK

DRAWING NO.

DA.020

REVISION

C

PARTITION TYPE LEGEND	
	EXISTING WALLS TO BE RETAINED
	DEMO EXISTING WALLS/INFILLS/SERVICES

 northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DADA2019/1403

demolish non original wall and door

demolish non original non load bearing wall to open up courtyard and reduce size of gaming room

demolition of non original non load bearing walls to open up gaming area

demolish steps and flooring to allow for new ramped access

remove non original bbq

remove non original windows for new doors

remove non original windows for new doors

remove existing non original interior doors to open up corridors and increase access to ammentities

1 GF - Demolition Plan
1:100 @ A1

Note: Works previously approved under NBC Heritage Exemption (Ref: 2019/565789) dated 8 October 2019. Shown in blue for clarity.

ISSUE FOR AUTHORITY APPROVAL

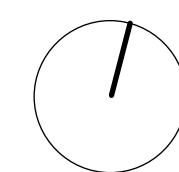
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Rev	Description	Date
A	Issue for approval review	20/11/19



**Hotel Steyne
Ground Floor**
19049
75 The Corso
Manly NSW
2095
Iris Capital

GF - Demolition Plan

Date
19/11/2019

Scale
1:100

Drawn:
LK



0 2 5
Scale 1:100@A1 metres

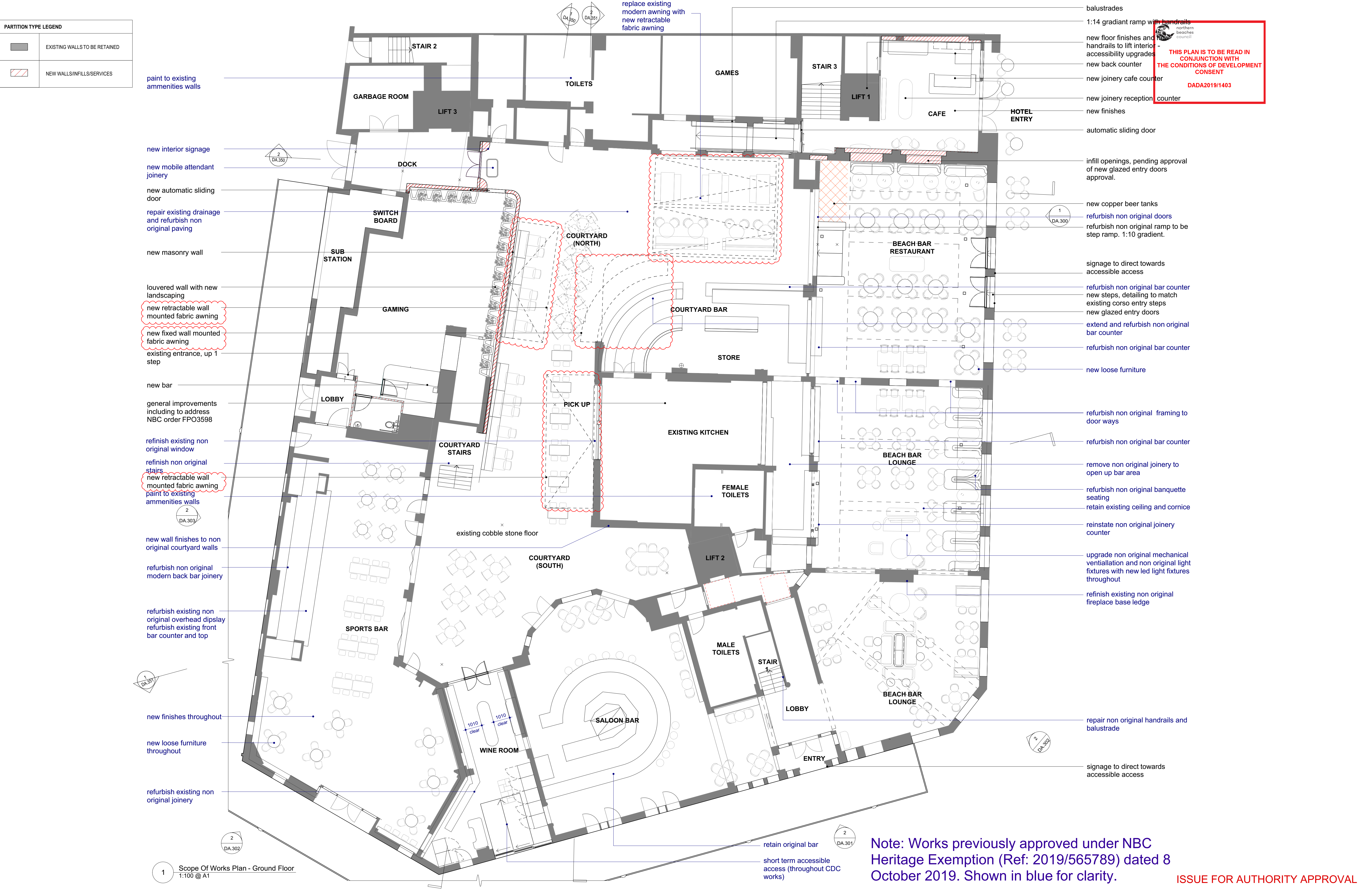
DRAWING NO.

DA.030

REVISION

A

PARTITION TYPE LEGEND	
	EXISTING WALLS TO BE RETAINED
	NEW WALLS/INFILLS/SERVICES



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D	Issue for approval review	20/11/19
E	Issue for approval	28/11/19
F	Amendment for approval	05/02/20

Hotel Steyne
Ground Floor

19049

75 The Corso
Manly NSW
2095

Iris Capital

GF - Scope of Works Plan

Date

8/11/2019

Scale

1:100

Drawn:

LK

0205metres

Scale 1:100@A1

DRAWING NO.

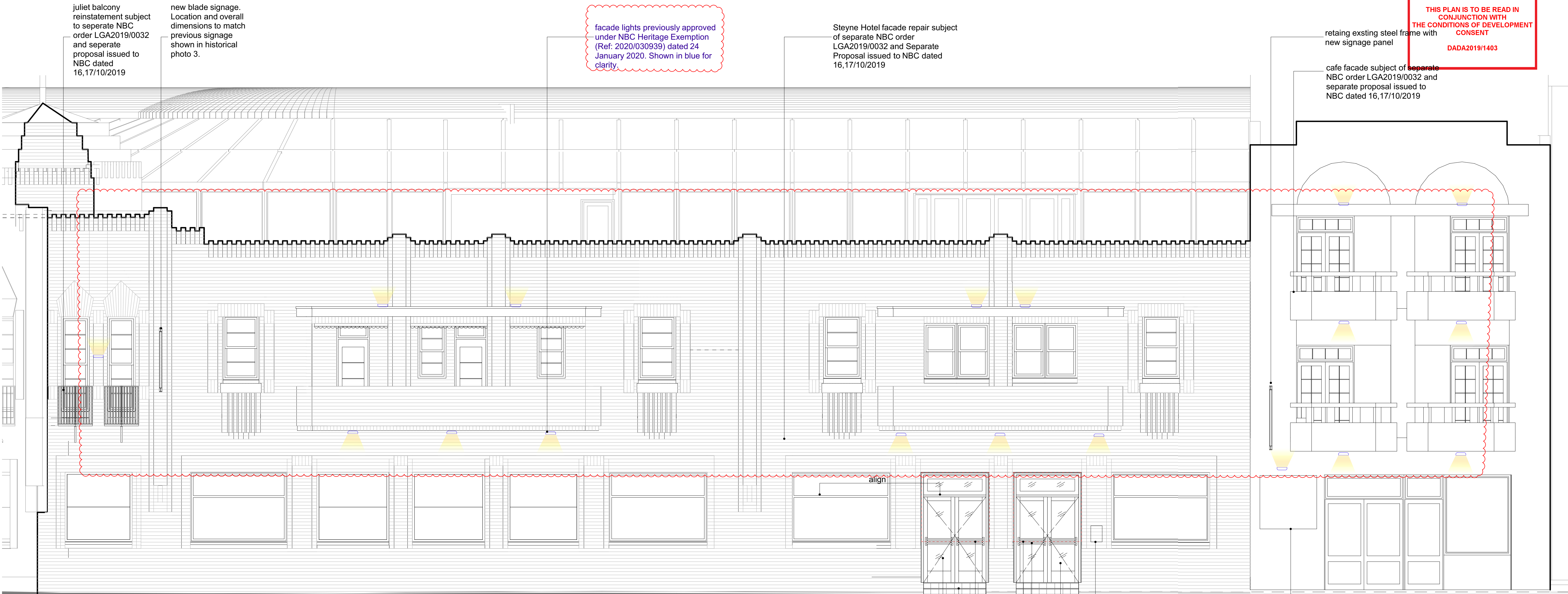
DA.040

REVISION

F

Note: Works previously approved under NBC Heritage Exemption (Ref: 2019/565789) dated 8 October 2019. Shown in blue for clarity.

ISSUE FOR AUTHORITY APPROVAL



1 Exterior Elevation - New Entry Doors
1:50 @ A1



3 Historical Photo - South East - The Corso
N.T.S

bricks to be salvaged for facade repair "NBC order LGA 2019/0032 and separate proposal issued to NBC dates 16, 17/10/2019"

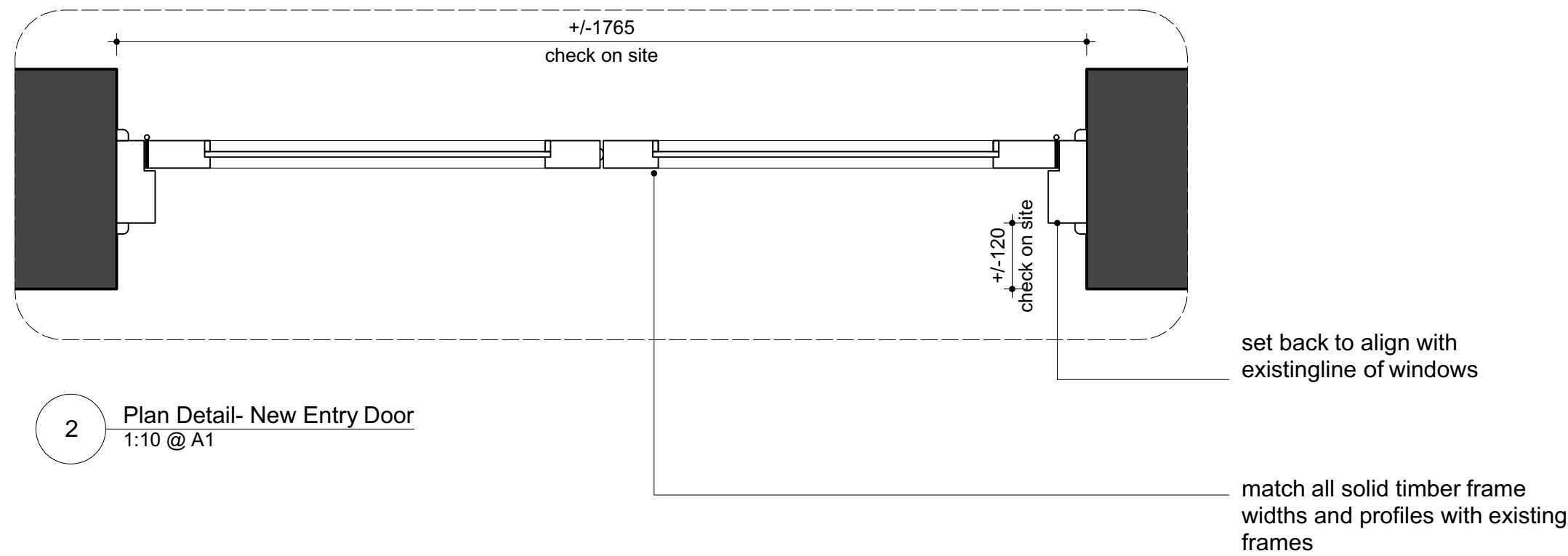
new entry steps to match corso entry door steps

remove non original windows (shown dashed) for new doors

signage to direct towards accessible access

new solid timber and glazed entry doors

match door handles to corso entry doors



2 Plan Detail- New Entry Door
1:10 @ A1

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D	Issue for approval review	20/11/19
E	Amendment for approval	05/02/20

**Hotel Steyne
Ground Floor**
19049
75 The Corso
Manly NSW
2095
Iris Capital

Exterior Elevations - New Entry
Doors

Date
8/11/19

Scale
1:50

Drawn:
LK

Scale 1:50@A1

metres

DRAWING NO.
DA.300

REVISION
E

facade lights previously approved under NBC
Heritage Exemption (Ref. 2020/030939) dated 24
January 2020. Shown in blue for clarity.

juliet balcony reinstatement subject to separate NBC
order LGA2019/0032 and separate proposal issued
to NBC dated 16,17/10/2019

new blade signage. Location and overall dimensions
to match previous signage shown in historical photo
3.

Steyne Hotel facade repair subject of separate NBC
order LGA2019/0032 and Separate Proposal issued
to NBC dated 16,17/10/2019

new hand painted signage to face

fixings

painted decorative applied moulding to replicate
historical awning

painted decorative applied moulding to replicate
historical awning

new pressed tin ceiling to underside with painted
finish. See Image 5 on DA.303 for pattern

all existing doors and windows to remain



3 Historical Photo - South East - The Corso
N.T.S



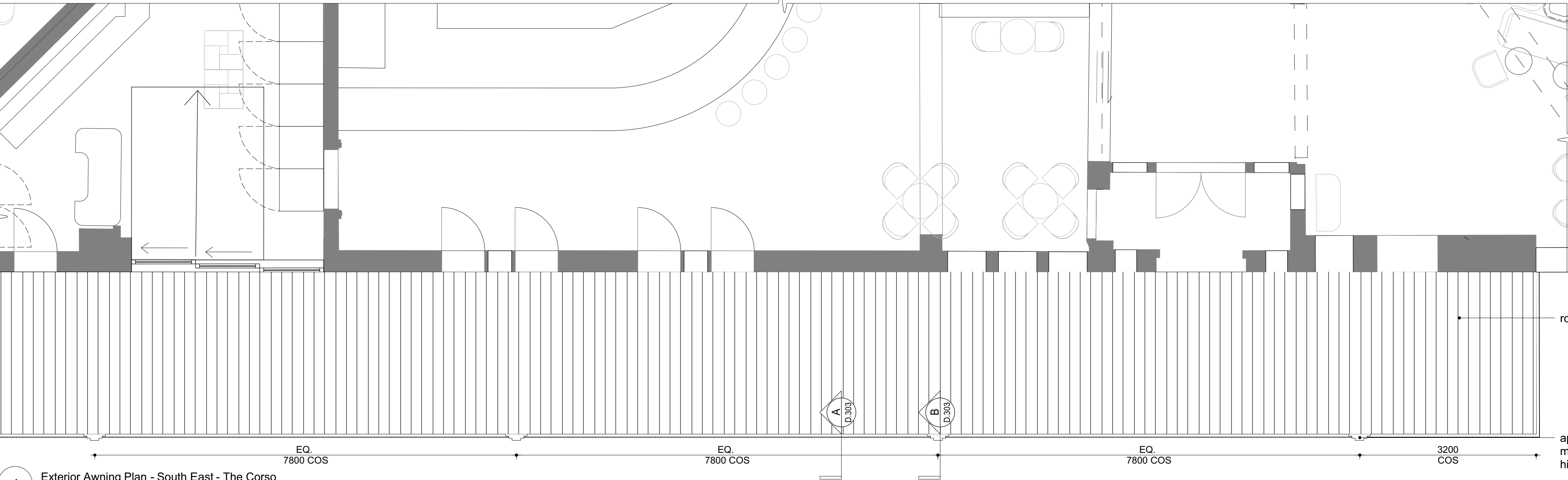
4 Historical Photo - South East - The Corso
N.T.S



5 Historical Photo - South East - The Corso
N.T.S



2 Exterior Elevation - South East - The Corso
1:50 @ A1



1 Exterior Awning Plan - South East - The Corso
1:50 @ A1

roofing above awning

applied painted
moulding to replicate
historical awning

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C	Issue for approval review	13/11/19
D	Issue for approval review	20/11/19
E	Amendment for approval	05/02/20

**Hotel Steyne
Ground Floor**

19049

75 The Corso
Manly NSW
2095

Iris Capital

Exterior Elevation - External
Awning Improvements

Date
8/11/19

Scale
1:50

Drawn:
LK

Scale 1:50@A1

metres

DRAWING NO.

DA.301

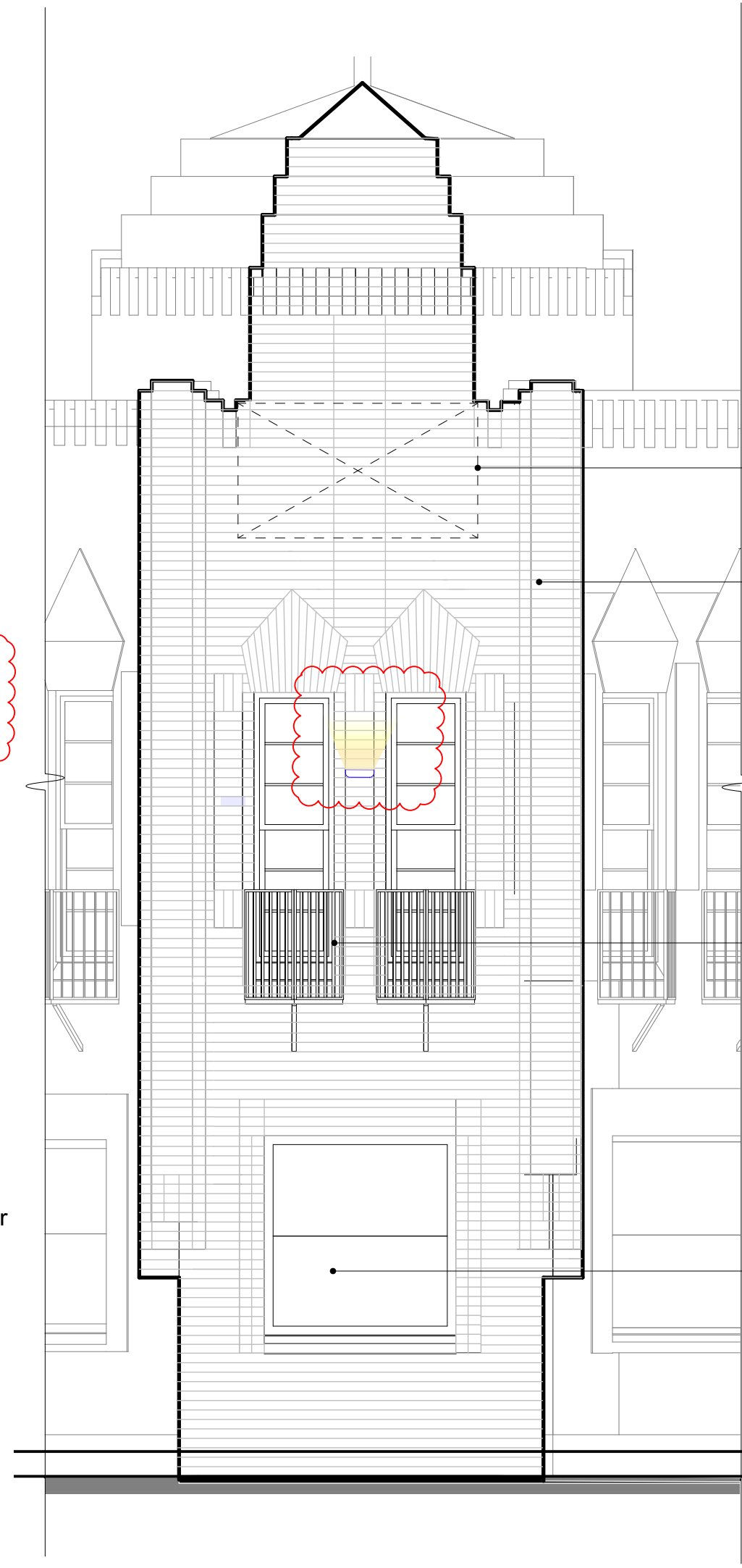
REVISION

E



2 Exterior Elevation - South West - Sydney Road
1:50 @ A1

- juliet balcony reinstatement subject to separate NBC order LGA2019/0032 and separate proposal issued to NBC dated 16,17/10/2019
- facade lights previously approved under NBC Heritage Exemption (Ref: 2020/030939) dated 24 January 2020. Shown in blue for clarity.
- Steyne Hotel facade repair subject of separate NBC order LGA2019/0032 and Separate Proposal issued to NBC dated 16,17/10/2019
- new hand painted signage to face
- new pressed tin ceiling to underside with painted finish. See Image 5 on DA.303 for pattern
- all existing doors and windows to remain

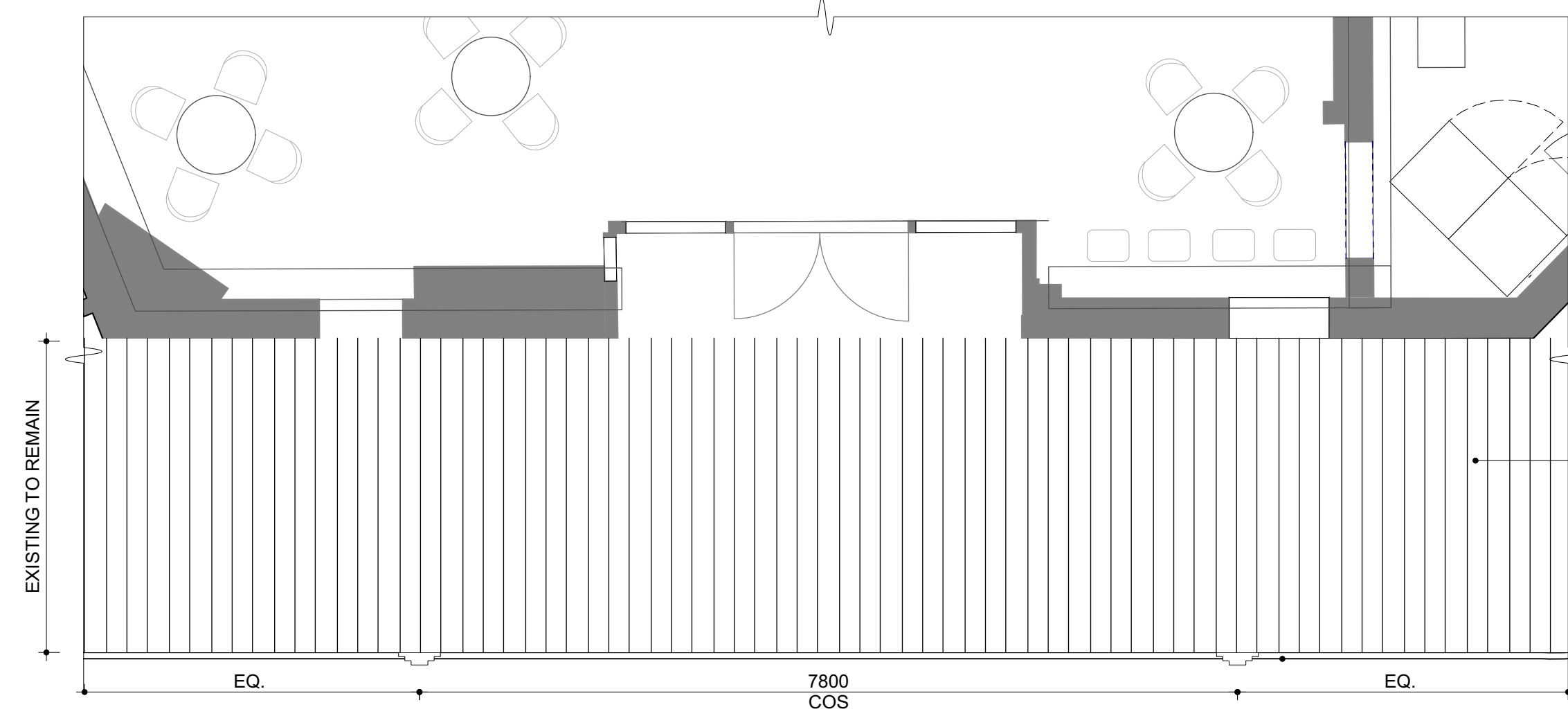


3 Exterior Elevation - South West - Sydney Road
1:50 @ A1

- new signage location and overall dimensions to match previous signage shown in historical photo 6.
- Steyne Hotel facade repair subject of separate NBC order LGA2019/0032 and Separate Proposal issued to NBC dated 16,17/10/2019
- juliet balcony reinstatement subject to separate NBC order LGA2019/0032 and separate proposal issued to NBC dated 16,17/10/2019
- all existing doors and windows to remain



6 Historical Photo - South East - The Corso
N.T.S



1 Exterior Awning Plan - South West - Sydney Road
1:50 @ A1

- roofing above awning
- applied painted moulding to replicate historical awning

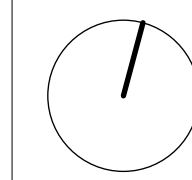


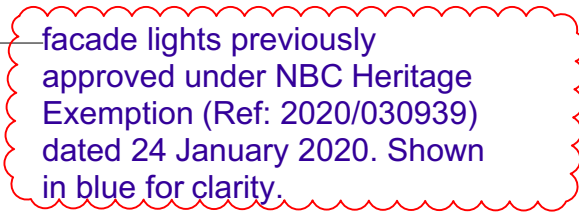
4 Historical Photo - South East - The Corso
N.T.S



5 Historical Photo - South East - The Corso
N.T.S

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
DADA2019/1403





- all existing doors and windows to remain

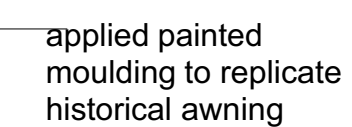
MT-XX	PT-XX
new pressed tin ceiling to underside with painted finish. See Image 5 for pattern	

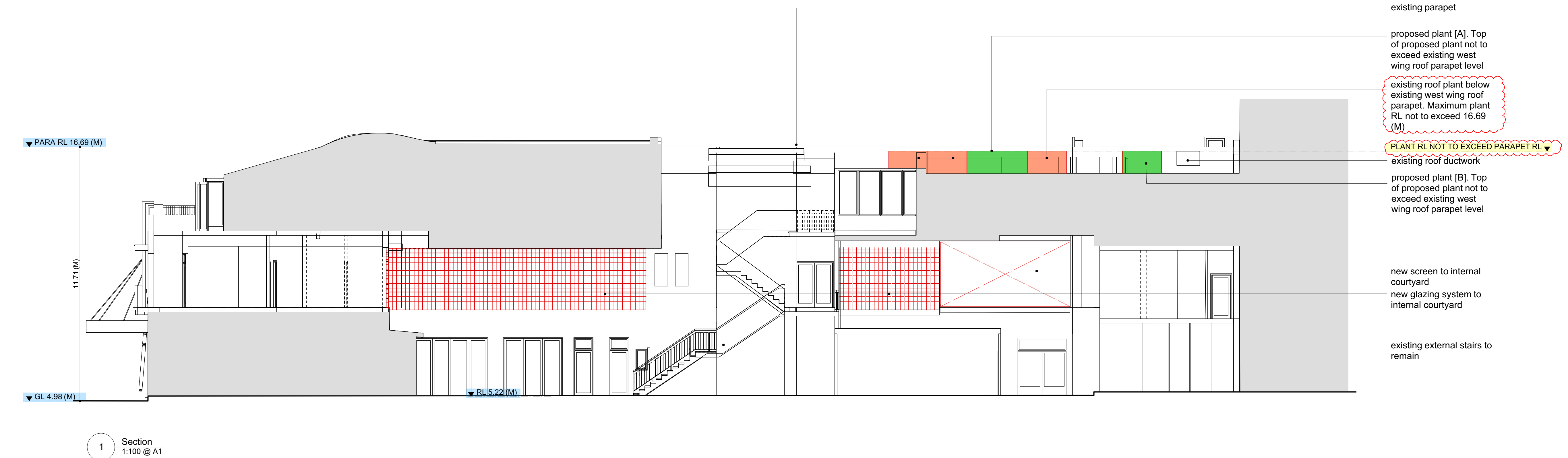
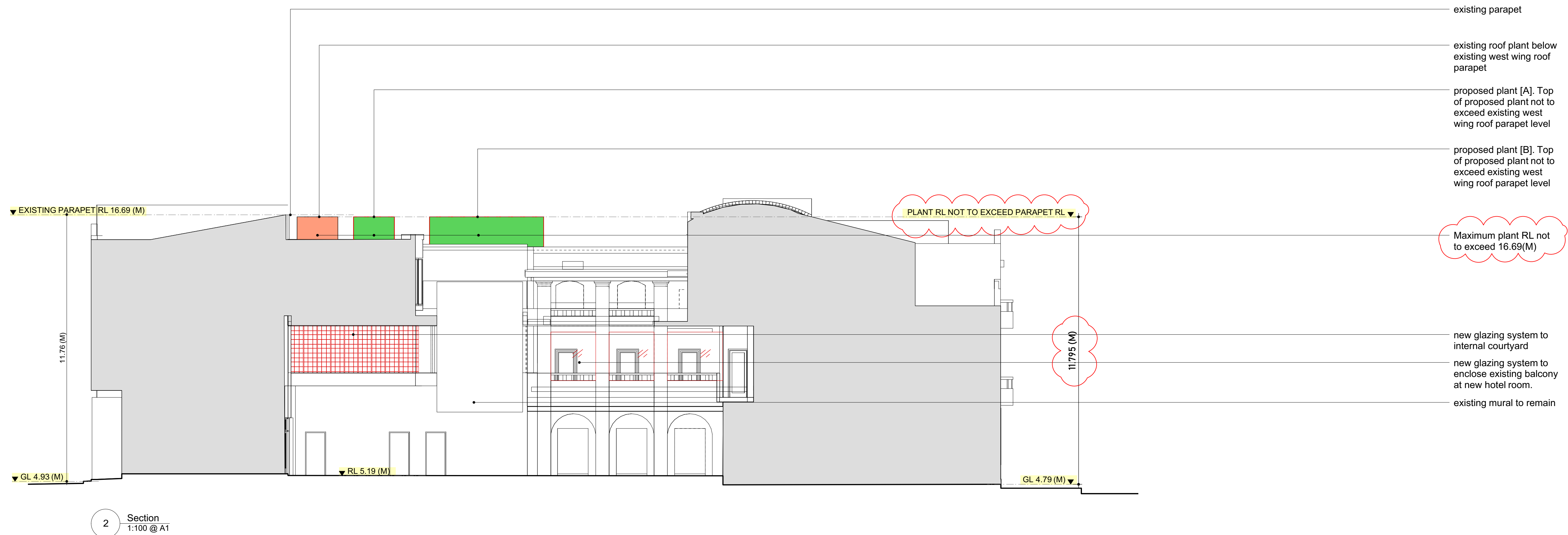
MT-XX	PT-XX
-------	-------

new pressed tin ceiling to underside with painted finish. See Image 5 for pattern

1

F





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Rev	Description	Date
B	Issue for approval review	11/11/19
C	Issue for approval review	13/11/19
D	Issue for approval review	20/11/19
E	Amendment for approval	05/02/20
F	Amendment for approval review	17/3/20
G	Issue for approval	18/3/20
H	Issue for approval	20/3/20
I	Issue for approval	20/3/20

Hotel Steyne
Ground Floor

19049

75 The Corso
Manly NSW
2095

Iris Capital

Overall Sections

Date
8/11/19

Scale
1:100

Scale 1:100@A1

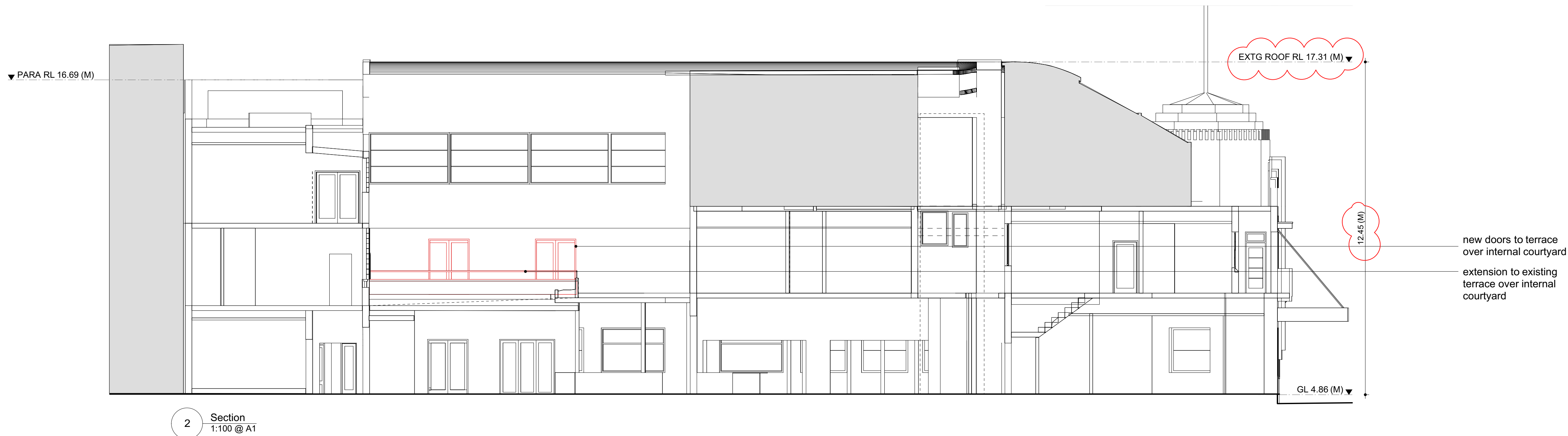
Drawn:
LK

DRAWING NO.

DA.350

REVISION

1



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E	Amendment for approval review	17/3/20
F	Amendment for approval	18/3/20

**Hotel Steyne
Ground Floor**

19049

75 The Corso
Manly NSW
2095

Iris Capital

Overall Sections

Date
8/11/19
Scale
1:100
Scale 1:100@A1

Drawn:
LK

DRAWING NO.

DA.351

REVISION

F

DEMOLITION TYPE LEGEND	
	EXISTING WALLS AND DOORS TO BE RETAINED - CHECK ON SITE
	EXISTING WALLS AND DOORS TO BE DEMOLISHED - CHECK ON SITE
	EXISTING DOORS TO BE PERMANENTLY CLOSED OFF. RETAIN DOOR AND ARCHITRAVE IN SITU TO CORRIDOR SIDE AND INSTALL LINING OVER DOOR TO GUESTROOM - CHECK ON SITE
	EXISTING DOORS TO BE PERMANENTLY CLOSED OFF. RETAIN EXISTING DOOR IN SITU AND REPLACE EXISTING GLASS WITH TRANSLUCENT GLASS TO MAINTAIN PRIVACY - CHECK ON SITE
	EXISTING DOORS TO BE RETAINED FOR RELOCATION OR REVERSAL IN SITU - CHECK ON SITE



northern
demolish wall for new access
**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**
DADA2019/1403

1 Demolition Plan - First Floor
1:100 @ A1

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D	Issue for approval	20/11/19

The Steyne Hotel Manly

19049
75 The Corso
Manly NSW 2095

Iris Capital

L1 - Demolition Plan

Date
September 2019

Scale
1:100 @ A1

Drawn:
LK

0 2 5
Scale 1:100@A1 metres

DRAWING NO.

DA1.030

REVISION

D

SYSTEM SPECIFICATIONS

Steel Frame Internal Wall Systems – Double Stud

Lining material as per system table.

2 rows of steel studs at 600mm maximum centres with 20mm minimum gap.

Predicted performance $R_{a}+C_{v}$ 50

Cavity insulation as per system table. (Unless otherwise specified, cavity insulation is required in one stud row only).

Lining material as per system table.

110mm Soundscreen R3.1

122mm cavity width

51mm studs

NOTE: *ACR = Axial Capacity Reduction. Acoustic performance valid for studs with BMT stated in table.

SYSTEM SPECIFICATION

Refer to GYP548 Gyproc Commercial Installation Guide for further information.

FRL Report/Option

SYSTEM N

WALL LININGS

ACOUSTIC OPINION: PKA Predictor V16

Discontinuity Construction

CAVITY WIDTH mm

CAVITY DEPTH/BMT mm

CAVITY INFILL

Ref: TABLE B13

R_{w} / $R_{w}+C_{tr}$

~ /120/120 90/90/90 120/120/120* (from both sides) *ACR 10% FAR 2357

CSR 1355

BOTH SIDES
• 2 x 13mm Gyproc Fynchek Plasterboard.
174mm thick wall

(a) Nil

(b) 50 GW Acoustigard 11kg

(c) 75 GW Acoustigard 11kg

(d) MSB3 Polyester

(e) 60 Soundscreen 1.7

Wall Thickness mm

50/44

51/45

52/46

53/47

58/49

59/50

60/51

61/52

61/52

62/53

63/54

64/47

55/48

56/49

57/50

1/50

62/51

63/52

64/53

233

252

302

352

Acoustic wall type for all new internal walls

Acomodation Capacity	Room quantity	Capacity
Existing	25 rooms	58 people
Previously approved DA	41 rooms	82 people
Proposed DA	42 rooms	84 people

PARTITION TYPE LEGEND	
	EXISTING WALLS TO BE RETAINED
	NEW WALLS/INFILLS/SERVICES
	NEW GLAZING SYSTEM



northern beaches council
THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
DADA2019/1403

1 Scope of Works Plan - First Floor
1:100 @ A1

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E	Issue for approval review	29/11/19

The Steyne Hotel Manly

19049
75 The Corso
Manly NSW 2095

Iris Capital

L1 - Scope of Works Plan

Date
Sep 19

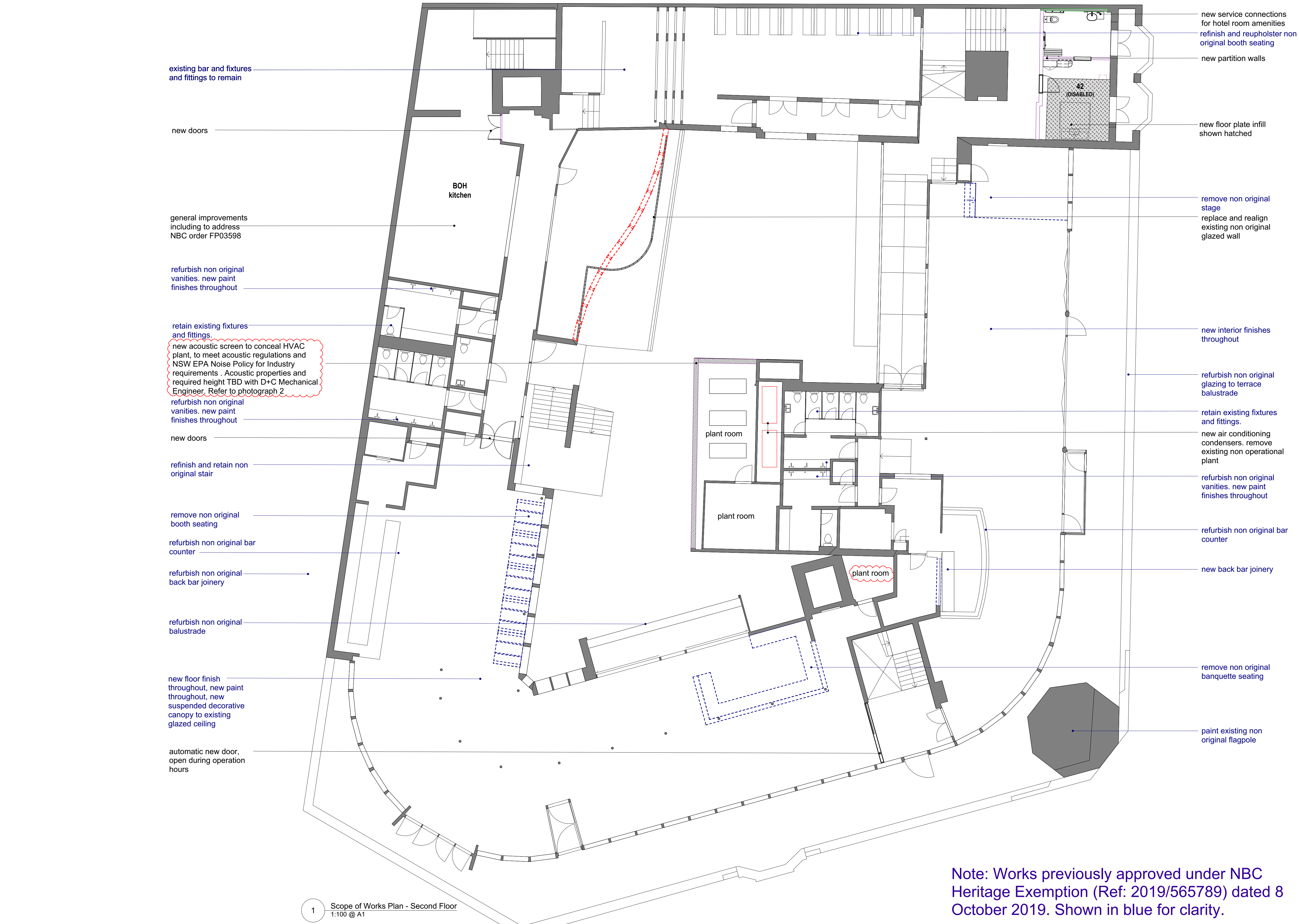
Scale
1:100 @ A1

Drawn:
LK

0 2 5
Scale 1:100@A1 metres

DRAWING NO.
DA1.040

REVISION
E



2 Photograph - Roof

northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DADA2019/1403

Note: Air conditioning units to meet acoustic regulations and NSW EPA Noise Policy for Industry requirements and operated at times as to not cause "Offensive Noise" as defined by the Protection of the Environment Operations Act 1997.

ISSUE FOR AUTHORITY APPROVAL

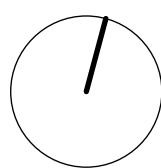
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56 Cooper Street
Surry Hills NSW 2010
+61 2 9699 3425
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DESIGN INTENT FOR
APPROVAL ONLY, NOT FOR
CONSTRUCTION

Rev	Description	Date
A	Draft Issue for Consultant Review	8/11/19
B	Issue for approval review	11/11/19
C	Issue for approval review	13/11/19
D	Issue for approval review	20/11/19
E	Issue for approval review	29/11/19
F	Amendment for approval	05/02/20
G	Amendment for approval	18/3/20



The Steyne Hotel Manly

19049

75 The Corso
Manly NSW 2095

Iris Capital

L2 - Scope of Works Plan

Date
November 19

Scale
1:100

Drawn:
LK

0 2 5
Scale 1:100@A1 metres

DRAWING NO.

DA2.040

REVISION

G

new proposed air
conditioning condenser
plant [B]
(proposed location of DA
2018/2023 plant approved)
(proposed location of DA
2019/1403 plant)

Top of proposed plant not to
exceed existing western
wing roof parapet level

new proposed air
conditioning condenser
plant [A]
(proposed location of DA
2018/2023 plant approved)
(proposed location of DA
2019/1403 plant)

existing
plant.
Refer to
drawing
DA.400

PARA
16690

existing
plant. Refer
to drawing
DA.400

ROOF
17200
ROOF
17111

ROOF
17340
ROOF
17130

ROOF
17280
ROOF
17720

1 Roof Plan
1:100 @ A1

Note: Air conditioning units to meet
acoustic regulations and NSW EPA
Noise Policy for Industry requirements
and operated at times as to not cause
"Offensive Noise" as defined by the
Protection of the Environment
Operations Act 1997.

ISSUE FOR AUTHORITY APPROVAL

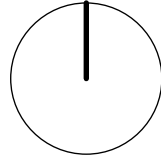
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Rev	Description	Date
A	Amendment for approval	05/02/20
B	Amendment for approval review	17/3/20
C	Amendment for approval	18/3/20



The Steyne Hotel Manly

19049
75 The Corso
Manly NSW 2095

Iris Capital

Roof Plan

Date
Jan 2020
Scale
1:100 @ A1
Scale 1:100@A1
metres

Drawn:
LK

DRAWING NO.

DA2.050

REVISION

C