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STATUS

DEVELOPMENT APPLICATION

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GRAPHIC SCALE

1:200 @ A3 0 2000 5000
1:100 @ A1

DRAWING NOTES

42 NORTH STEYNE - NOT PART OF THIS DOCUMENTATION SET

REFER TO:
- DA2021/2257
- Mod2022/0630 (\$4.55 - 1)
- Mod2023/0397 (\$4.55 - 2)

EXISTING WITH NO NEW WORKS

EXISTING WALLS TO REMAIN

NEW WORKS

WALLS TO BE DEMOLISHED

FLOOR FINISHES TO BE REMOVED & REGRADED AS REQUIRED

CEILINGS AND FLOOR FINISHES TO BE REMOVED & REGRADED AS REQUIRED

NATURAL VENTILATION THROUGH LOUVRES & SLIDING DOORS THAT WILL BE OPEN ON FIRE TRIP MODE

SMOKE EXHAUST FANS & DUCTING WORK

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
DA2023/1750

A 23.11.2023 ISSUE FOR DA
ISS DATE PURPOSE OF ISSUE

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ABN: 24 132 554 753

NOMINATED ARCHITECT

Vince Squillace Reg No. 6468 (NSW),

17219 (VIC), 3677 (QLD), AR1173 (NT)

PROJECT

HOTEL STEYNE

75 THE CORSO, MANLY

DRAWING NO.

DA-020

ISSUE

A

JOB NO.

IRI2211

SCALE

1 : 100@ A1

DATE

23.11.2023

DRAWING TITLE

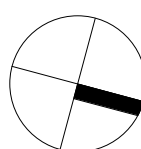
GROUND LEVEL - DEMOLITION PLAN

DRAWN BY

FO

CHECKED BY

VS



GROUND LEVEL - DEMOLITION PLAN

1 : 100 @ A1

NORTH STEYNE

REFER TO DRAWING DA-903 FOR A DETAILED SCOPE OF WORKS & FINISHES

 northern beaches council

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DA2023/1750

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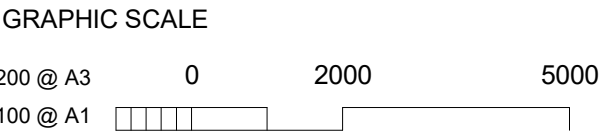
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PROJECT
HOTEL STEYNE

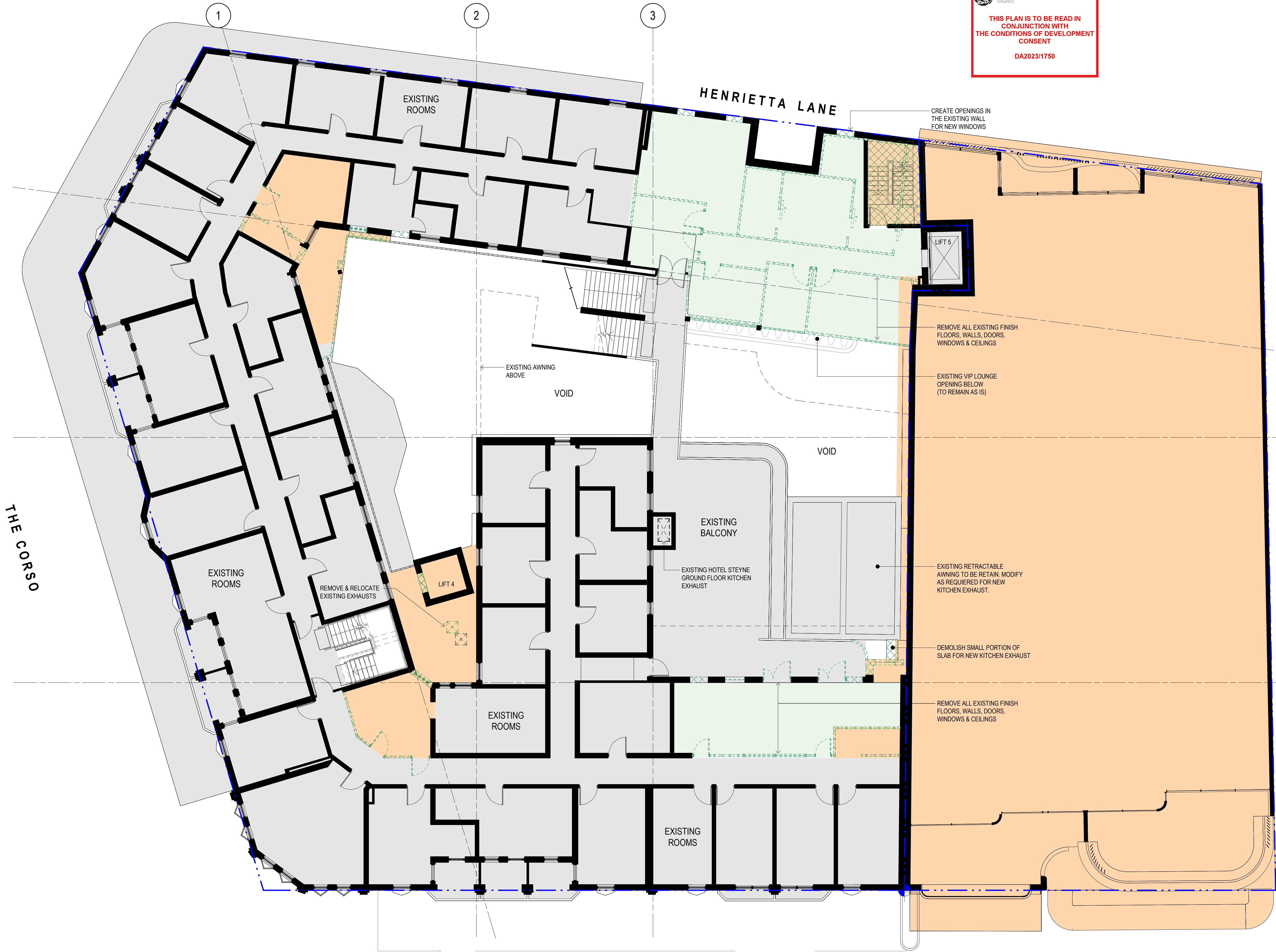
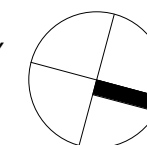
75 THE CORSO, MANLY

DRAWING NO. ISSUE
DA-021 A

JOB NO. SCALE DATE
IRI2211 1 : 100@ A1 23.11.2023

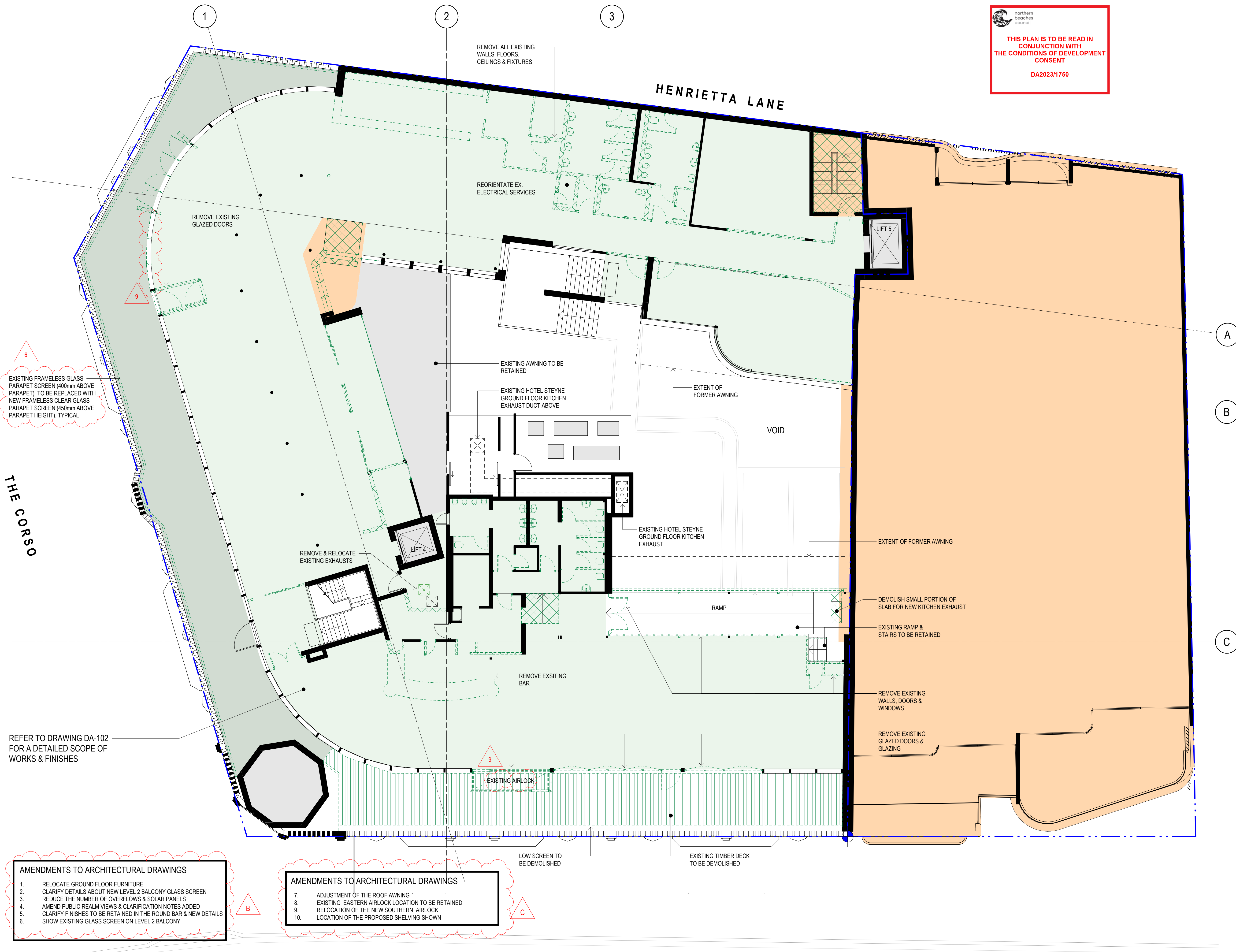
DRAWING TITLE
LEVEL 1 - DEMOLITION PLAN

DRAWN BY CHECKED BY
FO VS



1 LEVEL 1 - DEMOLITION PLAN
1 : 100 @ A1

NORTH STEYNE



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DA2023/1750

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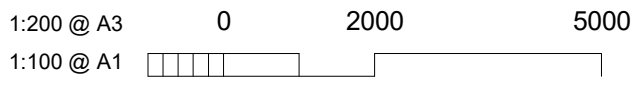


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EXISTING WITH NO NEW WORKS

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NEW WORKS

WALLS TO BE DEMOLISHED

FLOOR FINISHES TO BE REMOVED & REGRADED AS REQUIRED

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NATURAL VENTILATION THROUGH LOUVRES & SLIDING DOORS THAT WILL BE OPEN ON FIRE TRIP MODE

SMOKE EXHAUST FANS & DUCTING WORK

AMENDMENTS TO ARCHITECTURAL DRAWINGS

1. RELOCATE GROUND FLOOR FURNITURE
2. CLARIFY DETAILS ABOUT NEW LEVEL 2 BALCONY GLASS SCREEN
3. REDUCE THE NUMBER OF OVERFLOWS & SOLAR PANELS
4. AMEND PUBLIC REALM VIEWS & CLARIFICATION NOTES ADDED
5. CLARIFY FINISHES TO BE RETAINED IN THE ROUND BAR & NEW DETAILS
6. SHOW EXISTING GLASS SCREEN ON LEVEL 2 BALCONY

AMENDMENTS TO ARCHITECTURAL DRAWINGS

7. ADJUSTMENT OF THE ROOF AWNING
8. EXISTING EASTERN AIRLOCK LOCATION TO BE RETAINED
9. RELOCATION OF THE NEW SOUTHERN AIRLOCK
10. LOCATION OF THE PROPOSED SHELVING SHOWN

1 LEVEL 2 - DEMOLITION PLAN
1:100 @ A1

NORTH STEYNE

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17219 (VIC), 3677 (QLD), AR1173 (NT)

PROJECT

HOTEL STEYNE

75 THE CORSO, MANLY

DRAWING NO.

DA-022

ISSUE

C

JOB NO.

IRI2211

SCALE

1:100 @ A1

DATE

21.05.2024

DRAWING TITLE

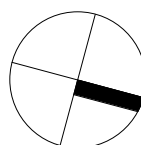
LEVEL 2 - DEMOLITION PLAN

DRAWN BY

FO

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1:200 @ A3 0 2000 5000
1:100 @ A1  

REFER TO:
- DA2021/2257
- Mod2022/0630 (S4.55 - 1)
- Mod2023/0397 (S4.55 - 2)

 WALLS TO BE DEMOLISHED

 FLOOR FINISHES TO BE REMOVED
& REGRADED AS REQUIRED

CEILINGS AND FLOOR FINISHES TO
BE REMOVED & REGRADED AS
REQUIRED

NATURAL VENTILATION THROUGH LOUVRES & SLIDING DOORS THAT WILL BE OPEN ON FIRE TRIP MODE

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ISS	DATE	PURPOSE OF ISSUE
A	23.11.2023	ISSUE FOR DA

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17219 (VIC), 3677 (QLD), AR1173 (NT)

PROJECT
HOTEL STEYNE

75 THE CORSO, MANLY

DRAWING NO	ISSUE
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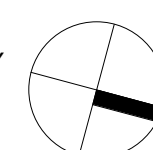
DA-023 A

JOB NO. SCALE DATE
IRI2211 1 : 100@ A1 23.11.2023

DRAWING TITLE
ROOF LEVEL - DEMOLITION PLAN

DRAWN BY
FO

CHECKED BY
VS



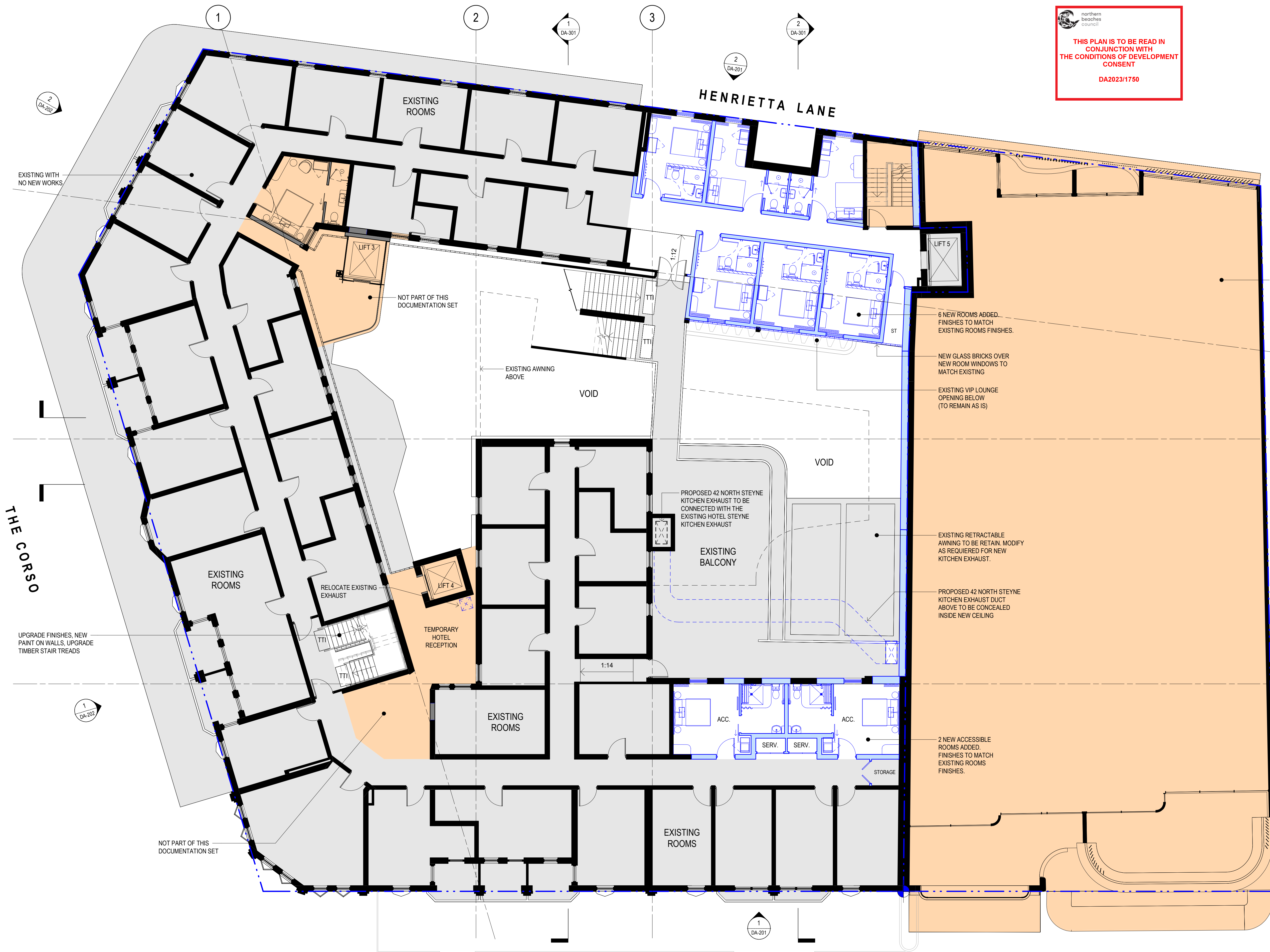
Architectural site plan of a building complex. The plan includes the following labels and annotations:

- NEW OPENING ON THE ROOF** (top left)
- NEW OPENING ON THE ROOF** (bottom left)
- EXISTING AWNING TO BE RETAINED** (center left)
- EXISTING LOUVRES SCREENING TO BE RETAINED** (center left)
- EXISTING HOTEL STEYNE GROUND FLOOR KITCHEN EXHAUST DUCT** (center left)
- EXISTING ROOF PLANT APPROVED UNDER NBC BC 2020-0060 TEMPORARILY REMOVED** (bottom center)
- VOID** (center right)
- HENRIETTA LANE** (top right)
- THE CORSO** (left side)
- ALL UNITS ON THE EXISTING ROOF OF 41 NORTH STEYNE TO BE RELOCATED TO THE STEYNE HOTEL ROOF AS REQUIRED** (top right)

The plan also features a grid system with numbers 1, 2, and 3 along the top, and letters A, B, and C along the right side. A red box in the top right corner contains the text: "THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT DA2023/1750".

1 ROOF LEVEL - DEMOLITION PLAN
1 : 100 @ A1

NORTH STEYNE



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CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT
DA2023/1750

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GRAPHIC SCALE

1:200 @ A3
1:100 @ A1

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NEW WORKS

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PROJECT
HOTEL STEYNE

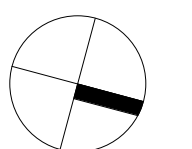
75 THE CORSO, MANLY

DRAWING NO. ISSUE
DA-101 A

JOB NO. SCALE DATE
IRI2211 1:100@A1 23.11.2023

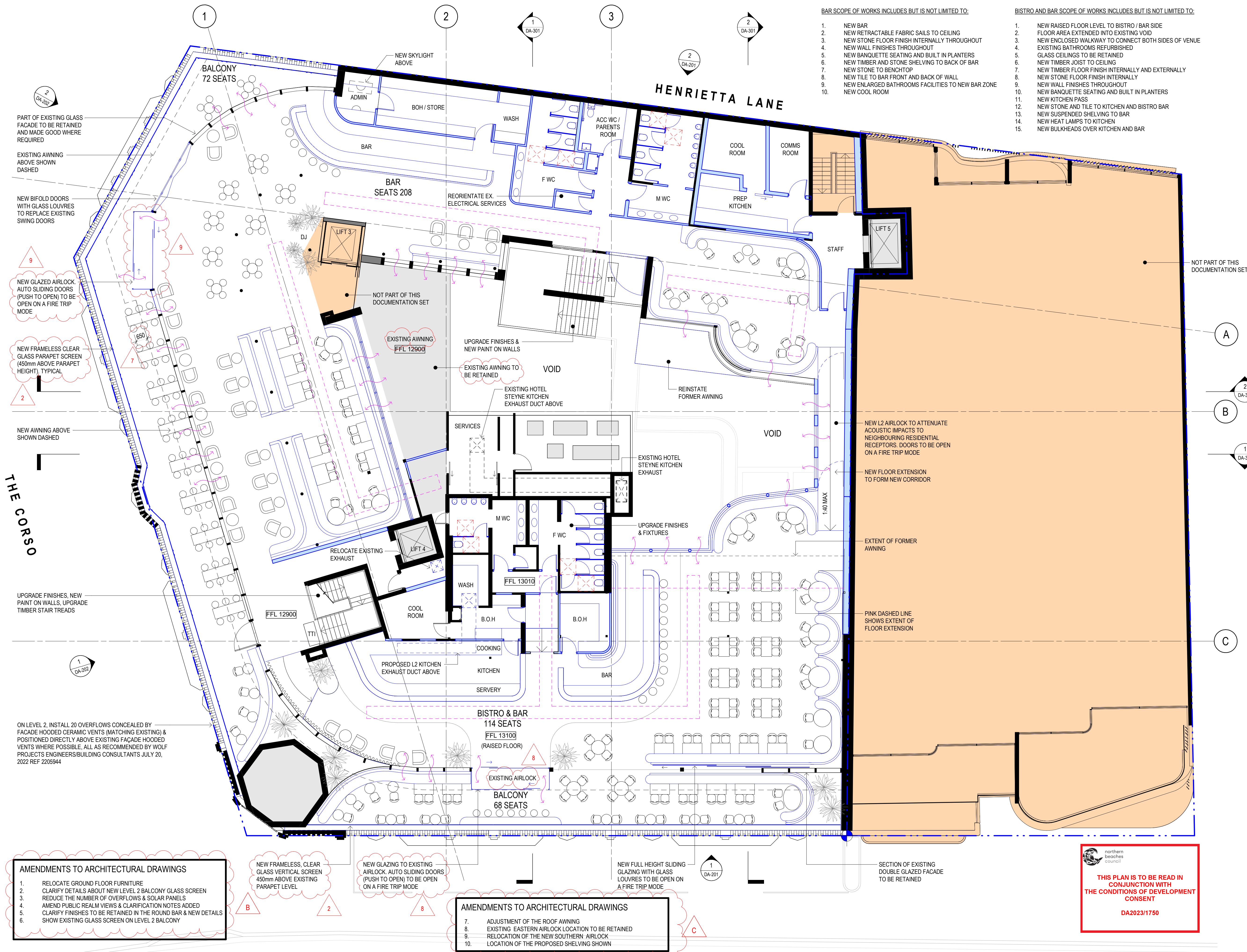
DRAWING TITLE
LEVEL 1 - FLOOR PLAN

DRAWN BY CHECKED BY
FO VS



LEVEL 1 - FLOOR PLAN
1:100 @ A1

NORTH STEYNE



BAR SCOPE OF WORKS INCLUDES BUT IS NOT LIMITED TO:

1. NEW BAR
2. NEW RETRACTABLE FABRIC SAILS TO CEILING
3. NEW STONE FLOOR FINISH INTERNALLY THROUGHOUT
4. NEW WALL FINISHES THROUGHOUT
5. NEW BANQUETTE SEATING AND BUILT IN PLANTERS
6. NEW TIMBER AND STONE SHELVING TO BACK OF BAR
7. NEW STONE TO BENCHTOP
8. NEW TILE TO BAR FRONT AND BACK OF WALL
9. NEW ENLARGED BATHROOMS FACILITIES TO NEW BAR ZONE
10. NEW COOL ROOM

BISTRO AND BAR SCOPE OF WORKS INCLUDES BUT IS NOT LIMITED TO:

1. NEW RAISED FLOOR LEVEL TO BISTRO / BAR SIDE
2. FLOOR AREA EXTENDED INTO EXISTING VOID
3. NEW ENCLOSED WALKWAY TO CONNECT BOTH SIDES OF VENUE
4. EXISTING BATHROOMS REFURBISHED
5. GLASS CEILINGS TO BE RETAINED
6. NEW TIMBER JOIST TO CEILING
7. NEW TIMBER FLOOR FINISH INTERNALLY AND EXTERNALLY
8. NEW STONE FLOOR FINISH INTERNALLY
9. NEW WALL FINISHES THROUGHOUT
10. NEW BANQUETTE SEATING AND BUILT IN PLANTERS
11. NEW KITCHEN PASS
12. NEW STONE AND TILE TO KITCHEN AND BISTRO BAR
13. NEW SUSPENDED SHELVING TO BAR
14. NEW HEAT LAMPS TO KITCHEN
15. NEW BULKHEADS OVER KITCHEN AND BAR

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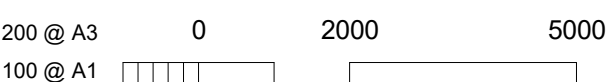


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GRAPHIC SCALE



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- EXISTING WITH NO NEW WORKS
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- NEW WORKS
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- SMOKE EXHAUST FANS & DUCTING WORK

C	21.05.2024	ISSUE FOR DA
B	10.04.2024	ISSUE FOR DA
A	23.11.2023	ISSUE FOR DA
ISS	DATE	PURPOSE OF ISSUE

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PROJECT

HOTEL STEYNE

75 THE CORSO, MANLY

DRAWING NO.

DA-102

ISSUE

C

JOB NO.

IRI2211

SCALE

1: 100@ A1

DATE

21.05.2024

DRAWING TITLE

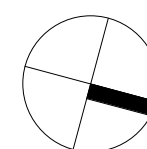
LEVEL 2 - FLOOR PLAN

DRAWN BY

FO

CHECKED BY

VS



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DA2023/1750



northern beaches council

- AMENDMENTS TO ARCHITECTURAL DRAWINGS
1. RELOCATE GROUND FLOOR FURNITURE
 2. CLARIFY DETAILS ABOUT NEW LEVEL 2 BALCONY GLASS SCREEN
 3. REDUCE THE NUMBER OF OVERFLOWS & SOLAR PANELS
 4. AMEND PUBLIC REALM VIEWS & CLARIFICATION NOTES ADDED
 5. CLARIFY FINISHES TO BE RETAINED IN THE ROUND BAR & NEW DETAILS
 6. SHOW EXISTING GLASS SCREEN ON LEVEL 2 BALCONY

NEW FRAMELESS, CLEAR GLASS VERTICAL SCREEN 450mm ABOVE EXISTING PARAPET LEVEL

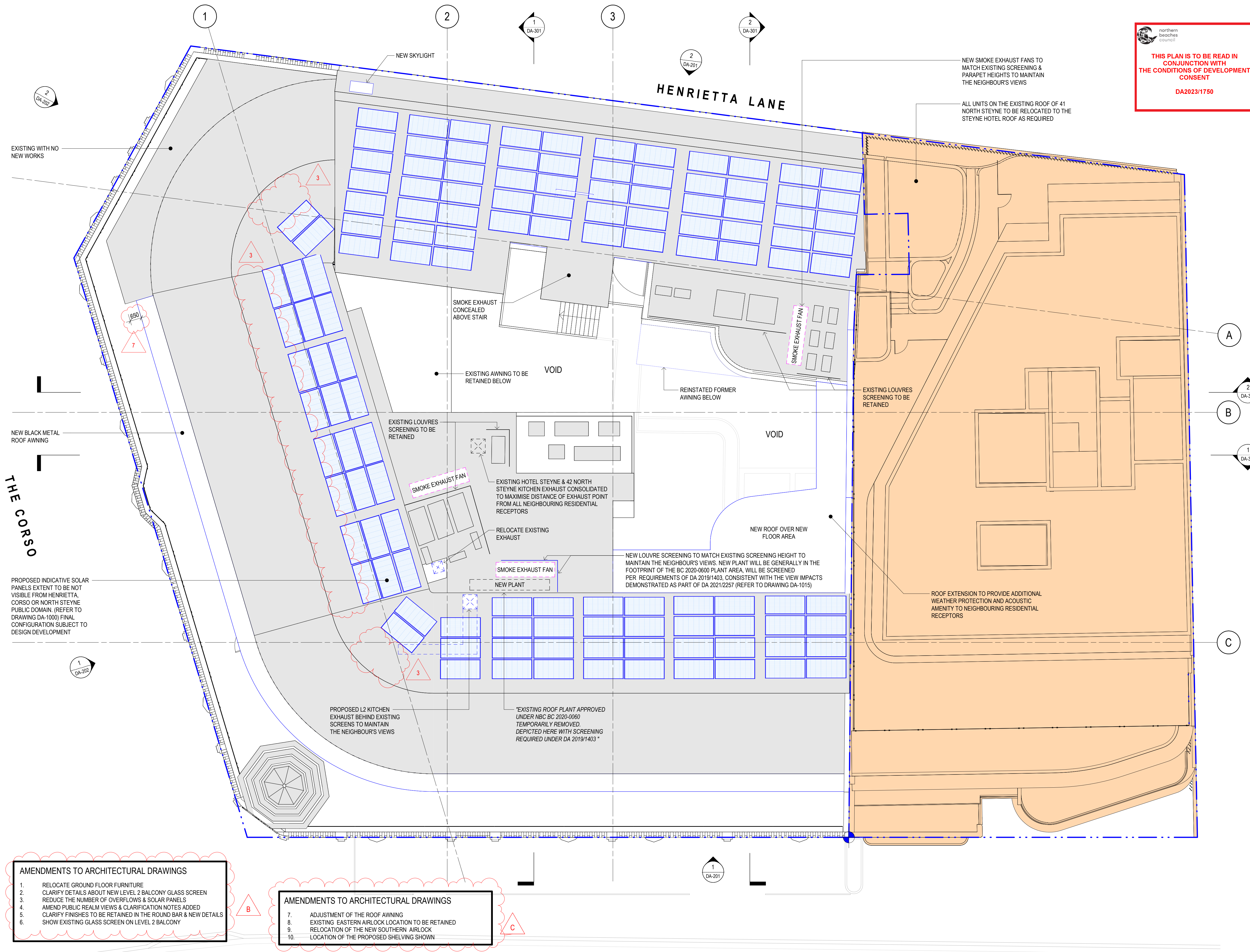
NEW GLAZING TO EXISTING AIRLOCK, AUTO SLIDING DOORS (PUSH TO OPEN) TO BE OPEN ON A FIRE TRIP MODE

NEW FULL HEIGHT SLIDING GLAZING WITH GLASS LOUVRES TO BE OPEN ON A FIRE TRIP MODE

- AMENDMENTS TO ARCHITECTURAL DRAWINGS
7. ADJUSTMENT OF THE ROOF AWNING
 8. EXISTING EASTERN AIRLOCK LOCATION TO BE RETAINED
 9. RELOCATION OF THE NEW SOUTHERN AIRLOCK
 10. LOCATION OF THE PROPOSED SHELVING SHOWN

LEVEL 2 - FLOOR PLAN
1: 100 @ A1

NORTH STEYNE



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DA2023/1750

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C	21.05.2024	ISSUE FOR DA
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PROJECT

HOTEL STEYNE

75 THE CORSO, MANLY

DRAWING NO.

DA-103

ISSUE

C

JOB NO.

IR12211

SCALE

1 : 100@ A1

DATE

21.05.2024

DRAWING TITLE

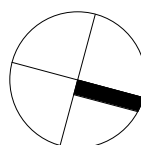
ROOF LEVEL - FLOOR PLAN

DRAWN BY

FO

CHECKED BY

VS



1 ROOF PLAN
1 : 100 @ A1

NORTH STEYNE

AMENDMENTS TO ARCHITECTURAL DRAWINGS

- ADJUSTMENT OF THE ROOF AWNING
- EXISTING EASTERN AIRLOCK LOCATION TO BE RETAINED
- RELOCATION OF THE NEW SOUTHERN AIRLOCK
- LOCATION OF THE PROPOSED SHELVING SHOWN

AMENDMENTS TO ARCHITECTURAL DRAWINGS

- RELOCATE GROUND FLOOR FURNITURE
- CLARIFY DETAILS ABOUT NEW LEVEL 2 BALCONY GLASS SCREEN
- REDUCE THE NUMBER OF OVERFLOWS & SOLAR PANELS
- AMEND PUBLIC REALM VIEWS & CLARIFICATION NOTES ADDED
- CLARIFY FINISHES TO BE RETAINED IN THE ROUND BAR & NEW DETAILS
- SHOW EXISTING GLASS SCREEN ON LEVEL 2 BALCONY



STATUS

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1:200 @ A3 0 2000 5000
1:100 @ A1

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DRAWING NO.

DA-201

ISSUE

B

JOB NO.

IRI2211

SCALE

1 : 100@ A1

DATE

10.04.2024

DRAWING TITLE

ELEVATIONS SHEET 1

DRAWN BY

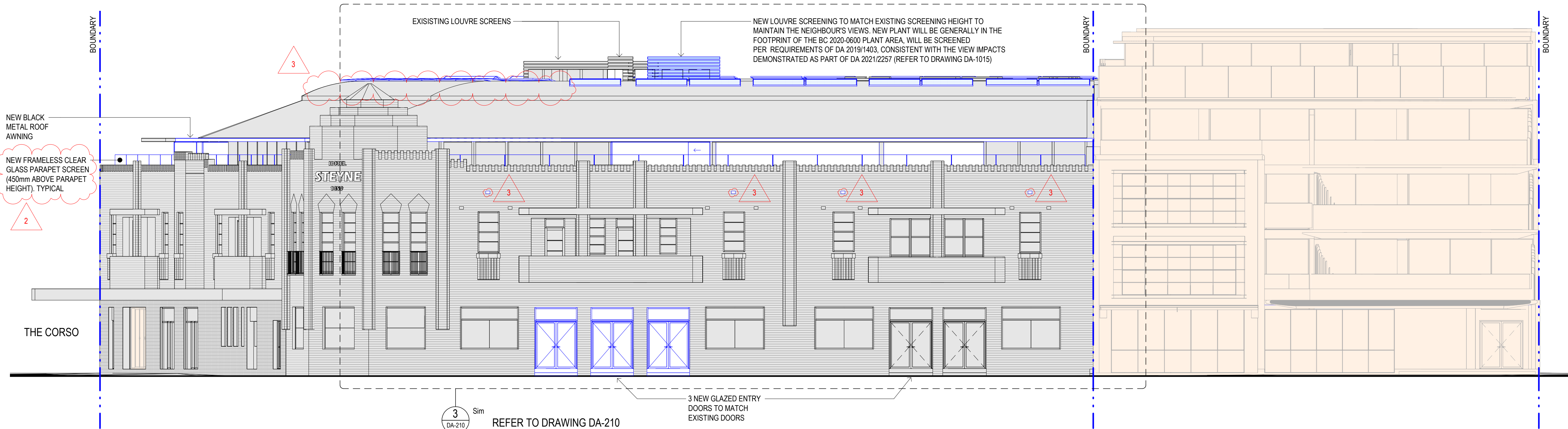
FO

CHECKED BY

VS

75 THE CORSO

42 NORTH STEYNE



1 EAST ELEVATION

1 : 100 @ A1

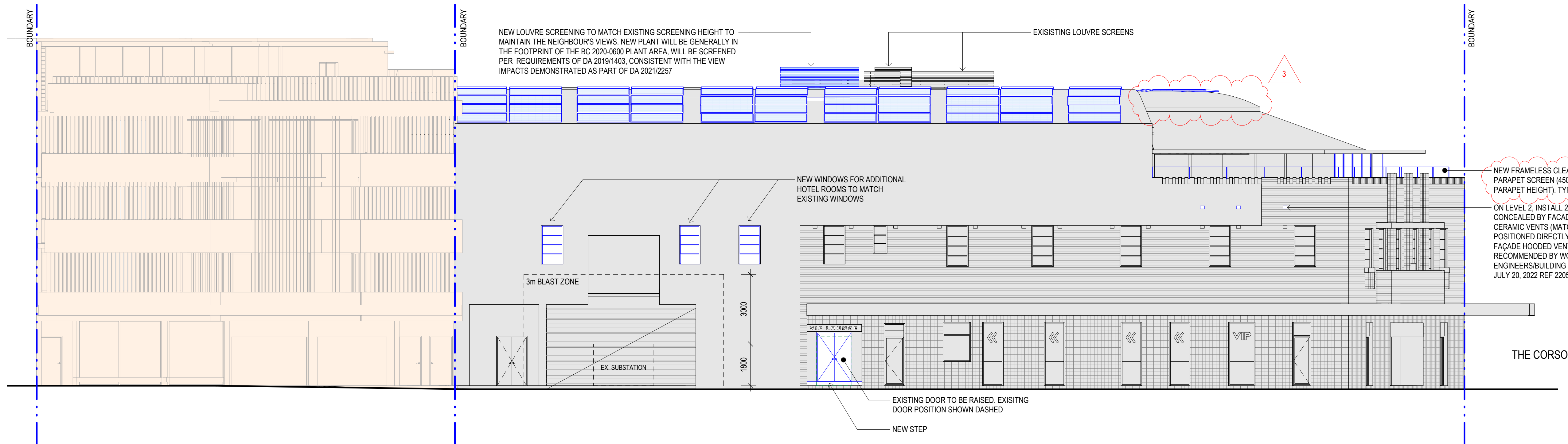


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2. CLARIFY DETAILS ABOUT NEW LEVEL 2 BALCONY GLASS SCREEN
3. REDUCE THE NUMBER OF OVERFLOWS & SOLAR PANELS
4. AMEND PUBLIC REALM VIEWS & CLARIFICATION NOTES ADDED
5. CLARIFY FINISHES TO BE RETAINED IN THE ROUND BAR & NEW DETAILS
6. SHOW EXISTING GLASS SCREEN ON LEVEL 2 BALCONY

42 NORTH STEYNE

75 THE CORSO



2 WEST ELEVATION

1 : 100 @ A1



STATUS

DEVELOPMENT APPLICATION

Do not scale drawing. Verify all dimensions on site. Report any discrepancies in documentation to architect. This drawing is for the purpose of council approval and as such, is not suitable for construction.

GRAPHIC SCALE

1:200 @ A3 0 2000 5000
1:100 @ A1

DRAWING NOTES

42 NORTH STEYNE - NOT PART OF THIS DOCUMENTATION SET

REFER TO:

- DA2021/2257
- Mod2022/0630 (\$4.55 - 1)
- Mod2023/0397 (\$4.55 - 2)

EXISTING WITH NO NEW WORKS

EXISTING WALLS TO REMAIN

NEW WORKS

WALLS TO BE DEMOLISHED

FLOOR FINISHES TO BE REMOVED & REGRADED AS REQUIRED

CEILINGS AND FLOOR FINISHES TO BE REMOVED & REGRADED AS REQUIRED

NATURAL VENTILATION THROUGH LOUVRES & SLIDING DOORS THAT WILL BE OPEN ON FIRE TRIP MODE

SMOKE EXHAUST FANS & DUCTING WORK

B 10.04.2024 ISSUE FOR DA
A 23.11.2023 ISSUE FOR DA
ISS DATE PURPOSE OF ISSUE

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SYDNEY

1/80 Albion Street, Surry Hills, NSW 2010
Ph: +61 2 8354 1300
ABN: 24 132 554 753

NOMINATED ARCHITECT

Vince Squillace Reg No. 6468 (NSW),
17219 (VIC), 3677 (QLD), AR1173 (NT)

PROJECT

HOTEL STEYNE

75 THE CORSO, MANLY

DRAWING NO.

DA-202

JOB NO.

IRI2211

ISSUE

B

SCALE

1 : 100@ A1

DATE

10.04.2024

DRAWING TITLE
ELEVATIONS SHEET 2

DRAWN BY

FO

CHECKED BY

VS

75 THE CORSO

42 NORTH STEYNE

EXISTING LOUVRE SCREENS

NEW LOUVRE SCREENING TO MATCH EXISTING SCREENING HEIGHT TO MAINTAIN THE NEIGHBOUR'S VIEWS. NEW PLANT WILL BE GENERALLY IN THE FOOTPRINT OF THE BC 2020-0600 PLANT AREA, WILL BE SCREENED PER REQUIREMENTS OF DA 2019/1403, CONSISTENT WITH THE VIEW IMPACTS DEMONSTRATED AS PART OF DA 2021/2257

NEW BLACK METAL ROOF AWNING

NEW FRAMELESS CLEAR GLASS PARAPET SCREEN (450mm ABOVE PARAPET HEIGHT), TYPICAL

ON LEVEL 2, INSTALL 20 OVERFLOWS CONCEALED BY FAÇADE HOODED CERAMIC VENTS (MATCHING EXISTING) & POSITIONED DIRECTLY ABOVE EXISTING FAÇADE HOODED VENTS, ALL AS RECOMMENDED BY WOLF PROJECTS ENGINEERS/BUILDING CONSULTANTS JULY 20, 2022 REF 2205944

HENRIETTA LANE

NORTH STEYNE

1 SOUTH-EAST ELEVATION 1:100 @ A1

AMENDMENTS TO ARCHITECTURAL DRAWINGS

1. RELOCATE GROUND FLOOR FURNITURE
2. CLARIFY DETAILS ABOUT NEW LEVEL 2 BALCONY GLASS SCREEN
3. REDUCE THE NUMBER OF OVERFLOWS & SOLAR PANELS
4. AMEND PUBLIC REALM VIEWS & CLARIFICATION NOTES ADDED
5. CLARIFY FINISHES TO BE RETAINED IN THE ROUND BAR & NEW DETAILS
6. SHOW EXISTING GLASS SCREEN ON LEVEL 2 BALCONY

42 NORTH STEYNE

75 THE CORSO

EXISTING LOUVRE SCREENS

NEW BLACK METAL ROOF AWNING

NEW FRAMELESS CLEAR GLASS PARAPET SCREEN (450mm ABOVE PARAPET HEIGHT), TYPICAL

HENRIETTA LANE

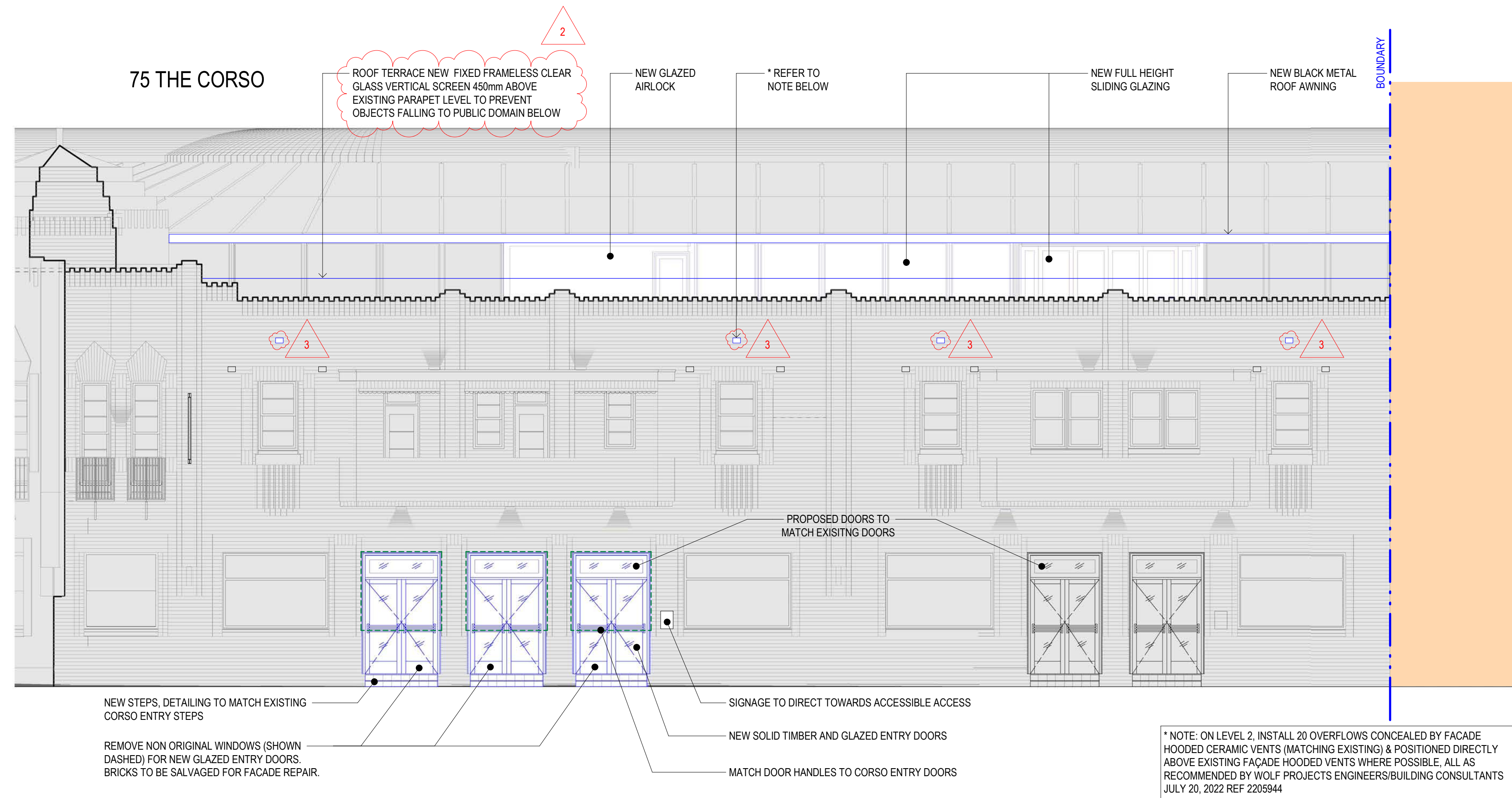
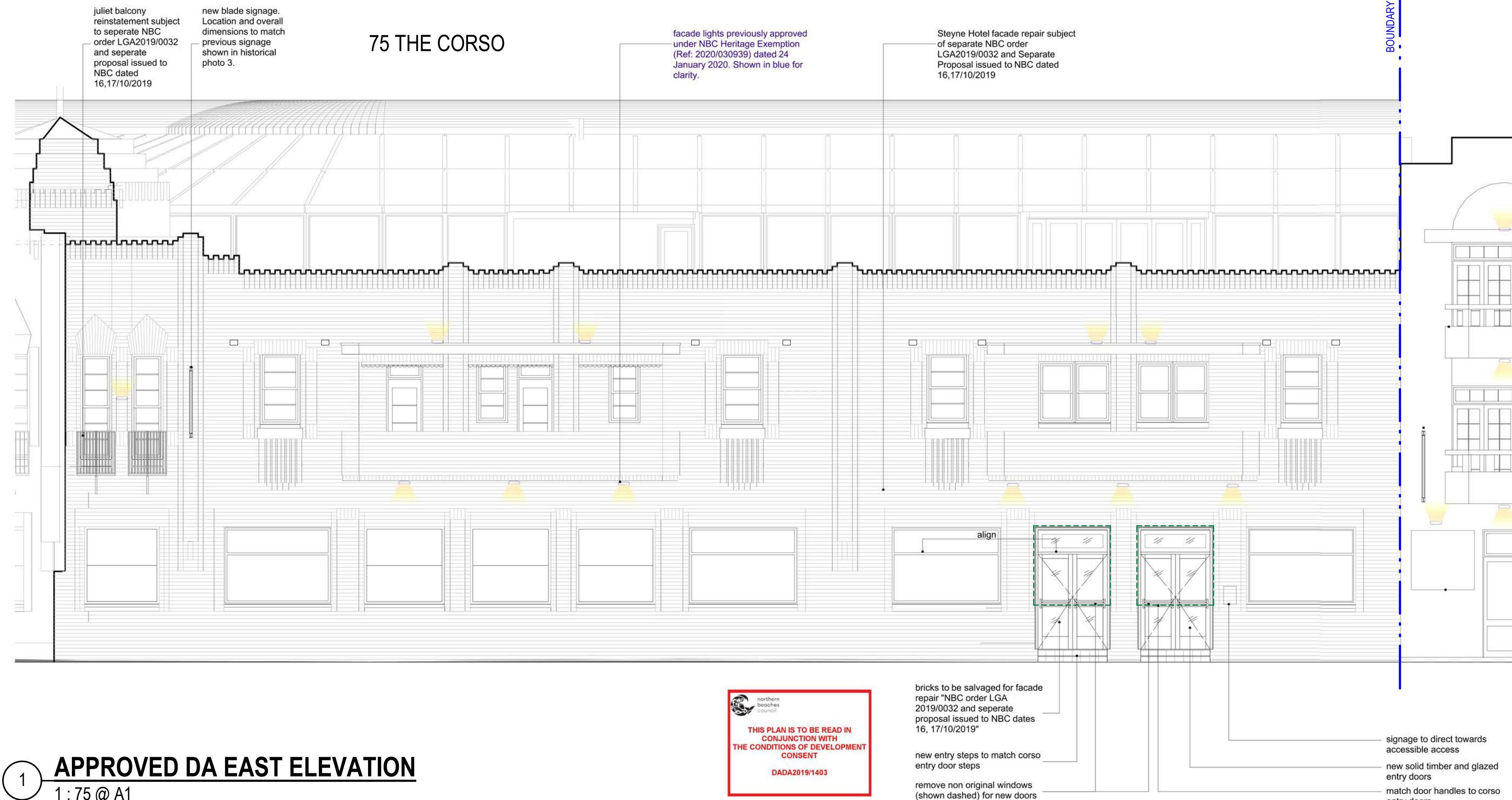
NORTH STEYNE

2 SOUTH-WEST ELEVATION 1:100 @ A1



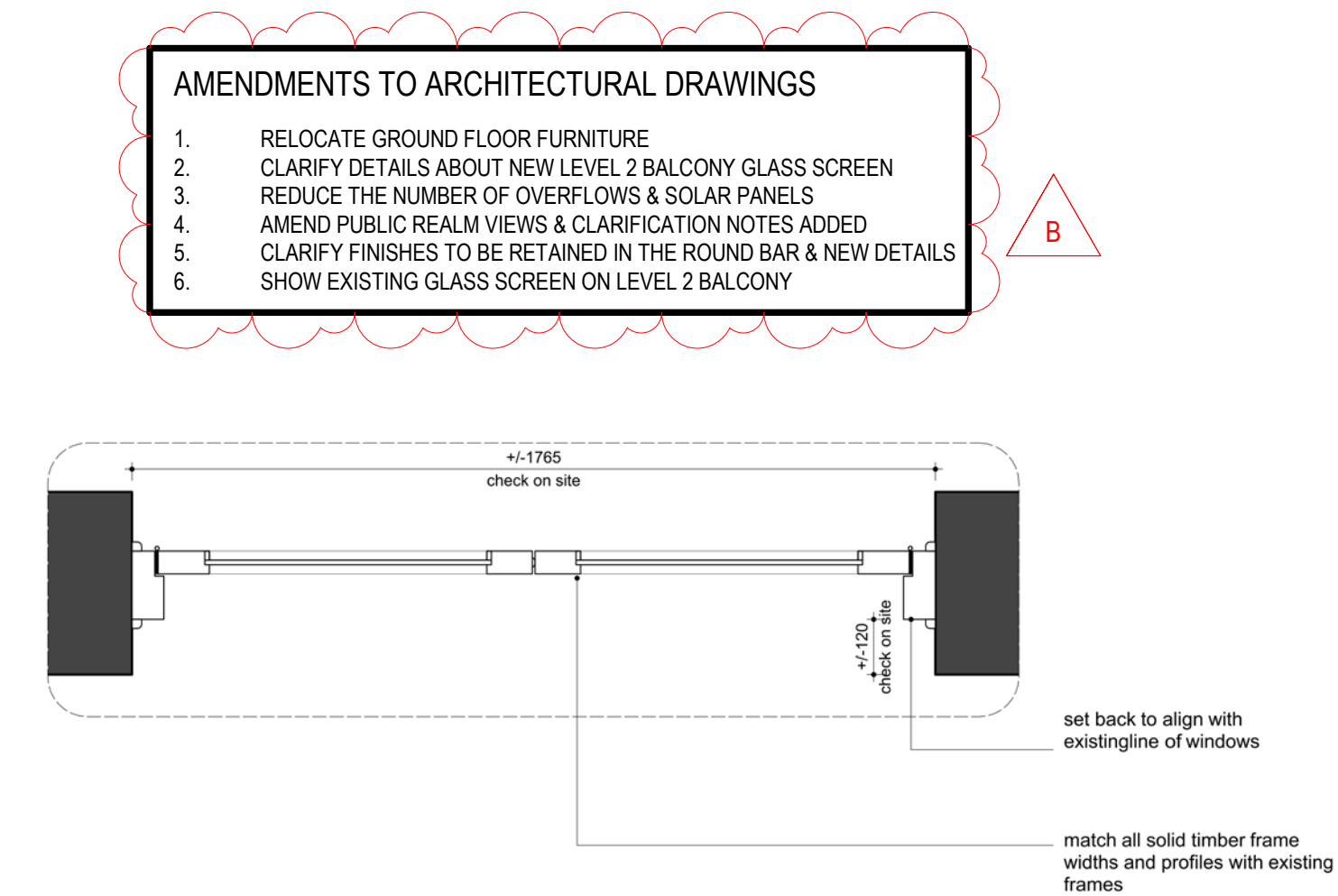
THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2023/1750



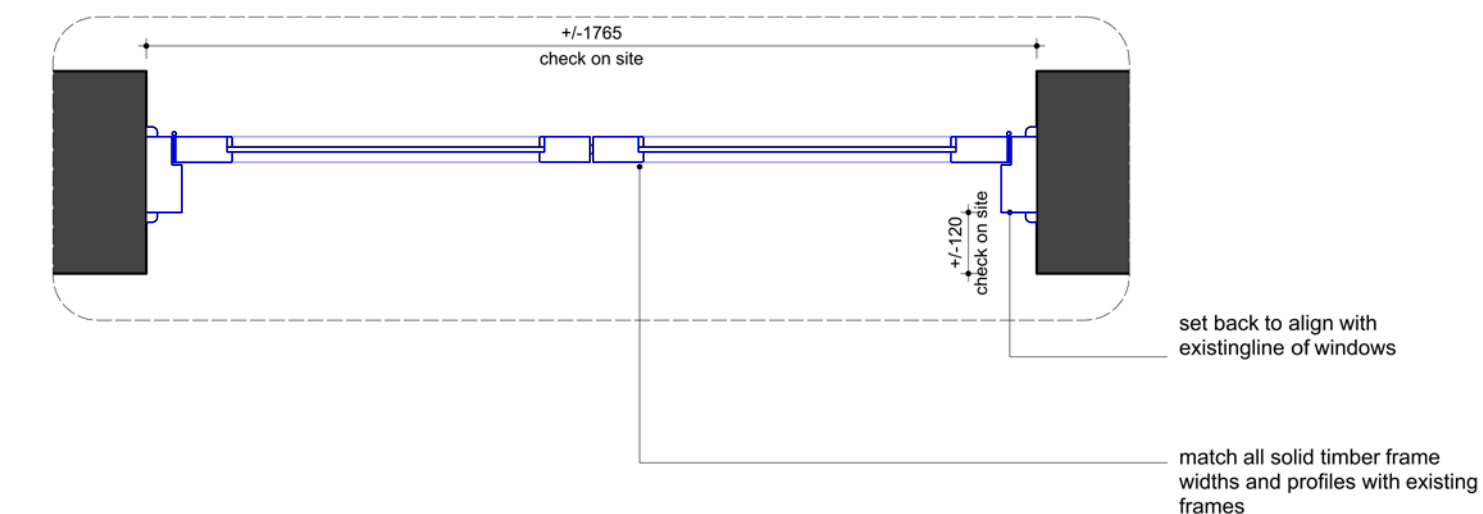
3

PROPOSED NEW DOORS
1:75 @ A1



2

APPROVED DOORS DETAIL



4

PROPOSED NEW DOORS DETAIL
1:75 @ A1

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STATUS

DEVELOPMENT APPLICATION

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GRAPHIC SCALE

NOT TO SCALE

DRAWING NOTES

- 42 NORTH STEYNE - NOT PART OF THIS DOCUMENTATION SET
- REFER TO:
- DA2021/2257
- Mod2022/0630 (\$4.55 - 1)
- Mod2023/0397 (\$4.55 - 2)
- EXISTING WITH NO NEW WORKS
- EXISTING WALLS TO REMAIN
- NEW WORKS
- WALLS TO BE DEMOLISHED
- FLOOR FINISHES TO BE REMOVED & REGRADED AS REQUIRED
- CEILINGS AND FLOOR FINISHES TO BE REMOVED & REGRADED AS REQUIRED
- NATURAL VENTILATION THROUGH LOUVRES & SLIDING DOORS THAT WILL BE OPEN ON FIRE TRIP MODE
- SMOKE EXHAUST FANS & DUCTING WORK

B	10.04.2024	ISSUE FOR DA
A	23.11.2023	ISSUE FOR DA
ISS	DATE	PURPOSE OF ISSUE

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NOMINATED ARCHITECT

Vince Squillace Reg No. 6468 (NSW),
17219 (VIC), 3677 (QLD), AR1173 (NT)

PROJECT

HOTEL STEYNE

75 THE CORSO, MANLY

DRAWING NO.

DA-210

ISSUE

B

JOB NO.

IR12211

SCALE

AS SHOWN

DATE

10.04.2024

DRAWING TITLE

ELEVATIONS SHEET - DETAIL VIEW

DRAWN BY

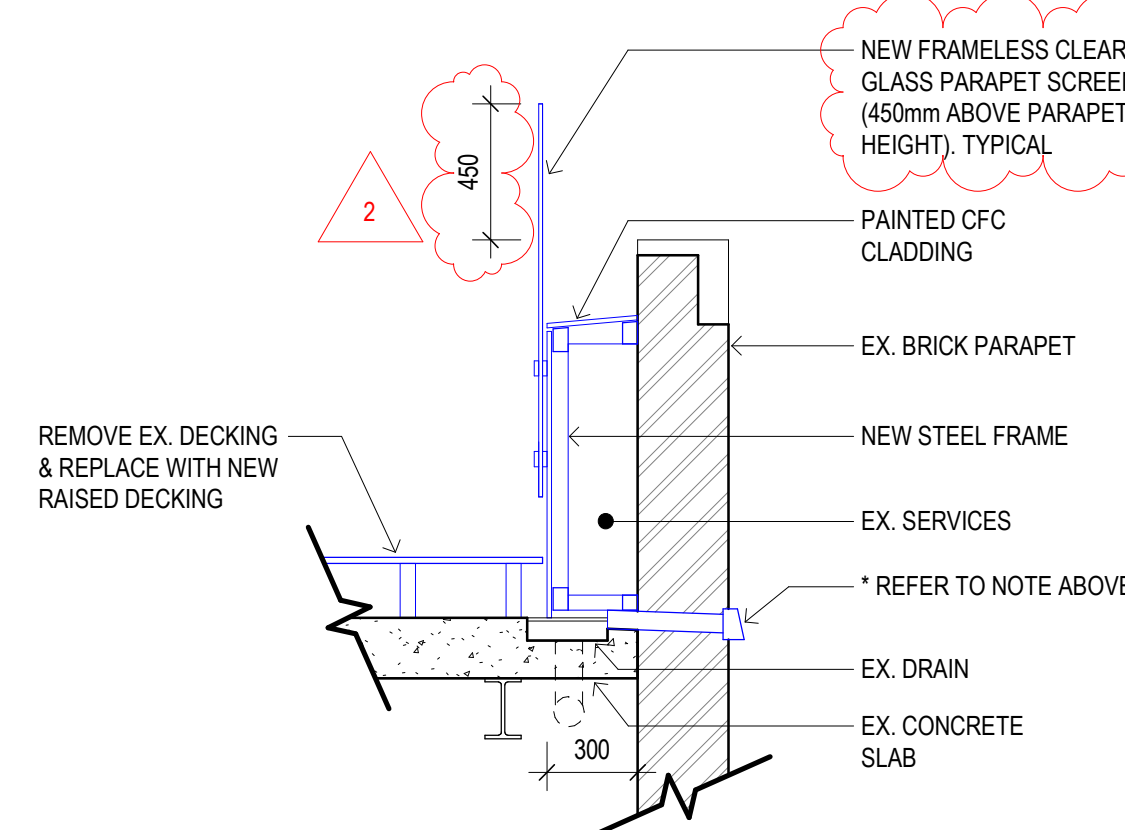
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CHECKED BY

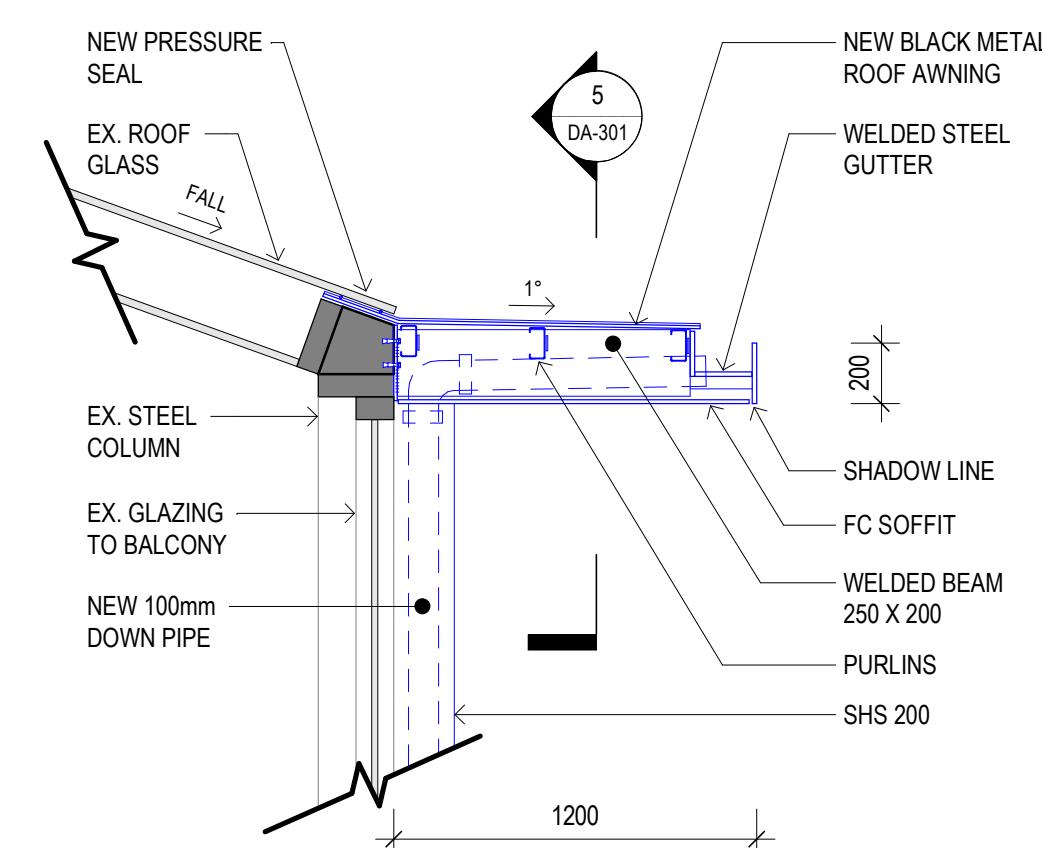
VS



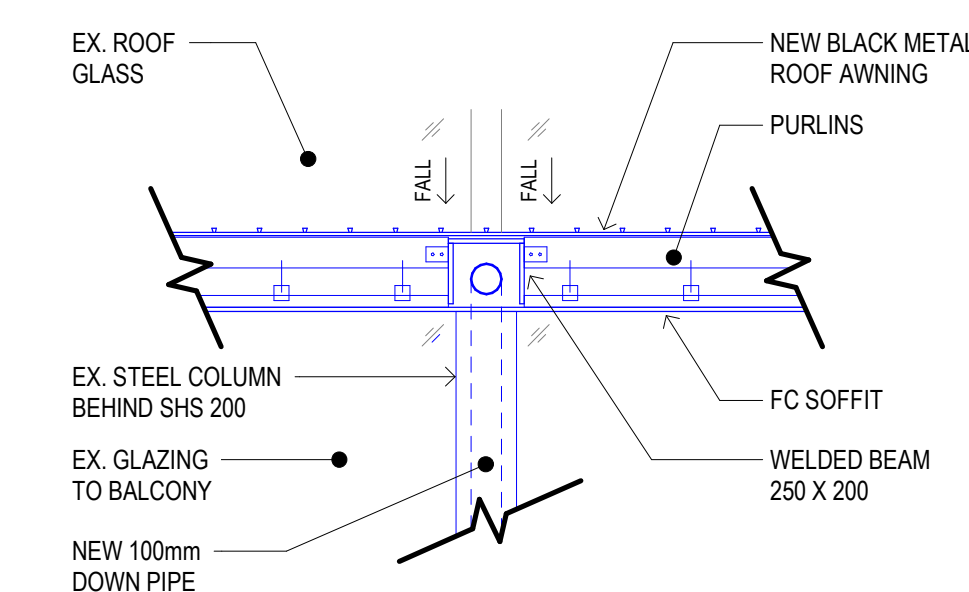
* NOTE: PROPOSED STEYNE HOTEL HOODED VENTS MATCHING THOSE RECENTLY REPAIRED AND REPLACED IN 2020 UNDER NBC ORDER REF LGA2019/0032 DATED JULY 29, 2019. NOTE THAT THE CERAMIC HOODS CAN BE STAINED TO MATCH THE EXISTING AS PER NBC ORDER REF LGA2019/0032.



1 : 25 @ A1



1 : 25 @ A1



1 : 25 @ A1



Member
Australian
Institute of
Architects

DEVELOPMENT APPLICATION

1:200 @ A3 0 2000 5000
1:100 @ A1

C	21.05.2024	ISSUE FOR DA
B	10.04.2024	ISSUE FOR DA
A	23.11.2023	ISSUE FOR DA
ISS	DATE	PURPOSE OF ISSUE

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NOMINATED ARCHITECT
Vince Squillace Reg No. 6468 (NSW),
17219 (VIC), 3677 (QLD), AR1173 (NT)

PROJECT
HOTEL STEYNE

75 THE CORSO, MANLY

DRAWING NO. _____ ISSUE _____

DA-301 C

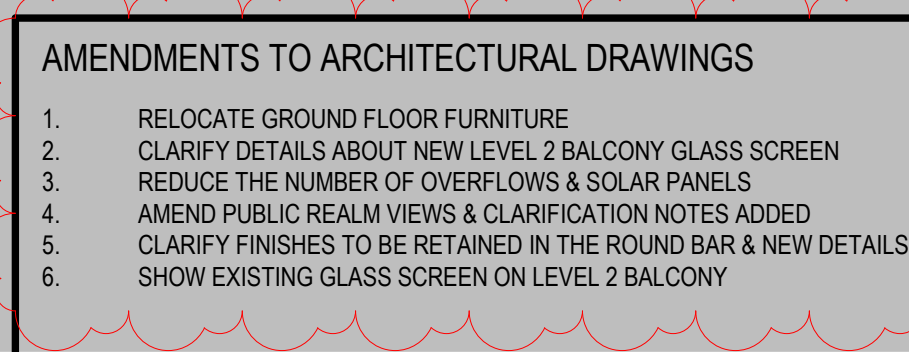
JOB NO. IRI2211 SCALE **AS SHOWN** DATE 21.05.2024

DRAWING TITLE
SECTIONS SHEET 1

DRAWN BY
FO

CHECKED BY
VS

1:100 @ A1



7. ADJUSTMENT OF THE ROOF AWNING
8. EXISTING EASTERN AIRLOCK LOCATION TO BE RETAINED
9. RELOCATION OF THE NEW SOUTHERN AIRLOCK
10. LOCATION OF THE PROPOSED SHELVING SHOWN

northern
beaches
council

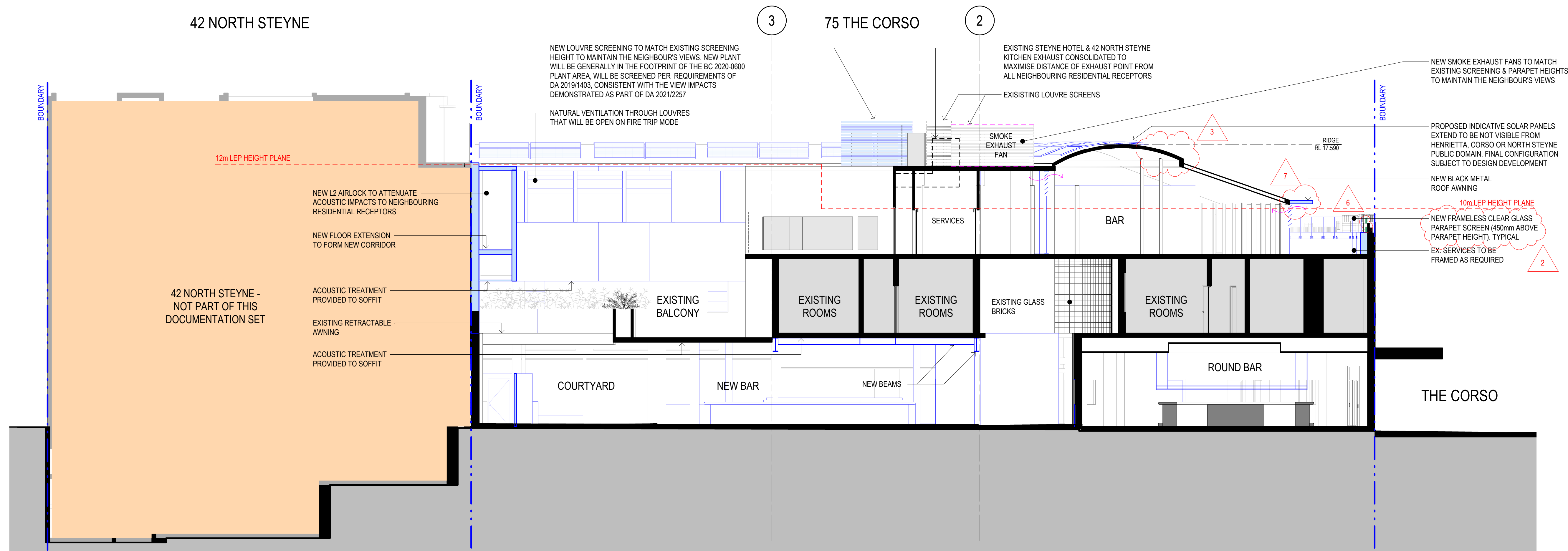
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CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2023/1750

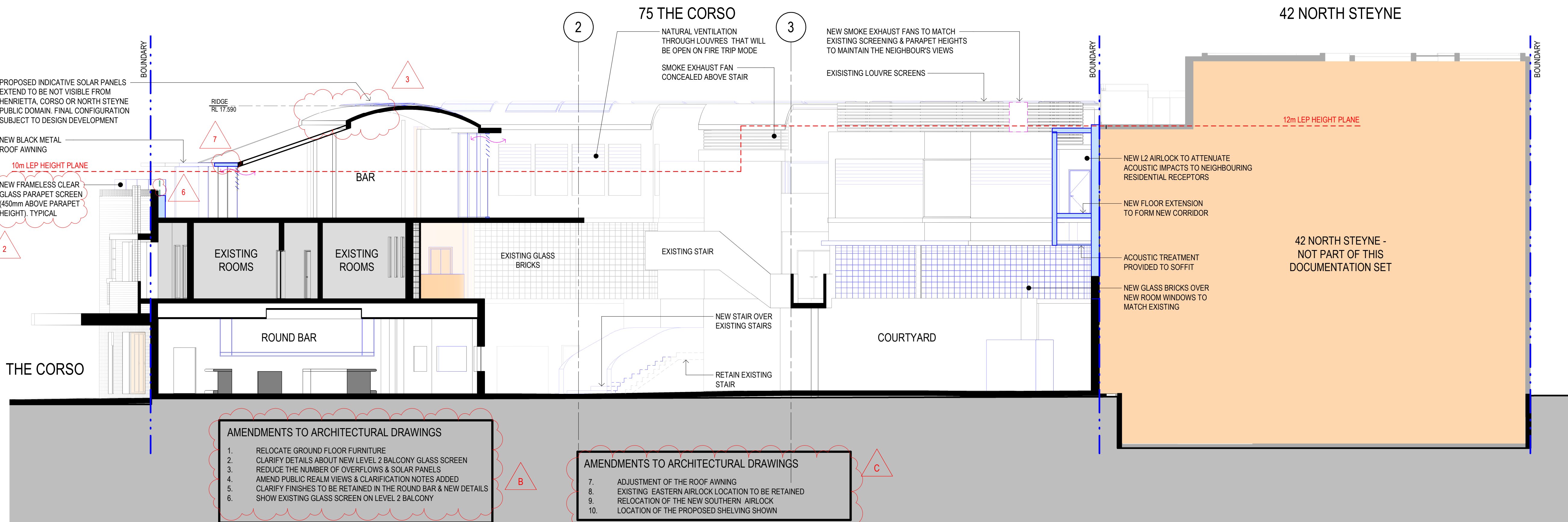
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42 NORTH STEYNE

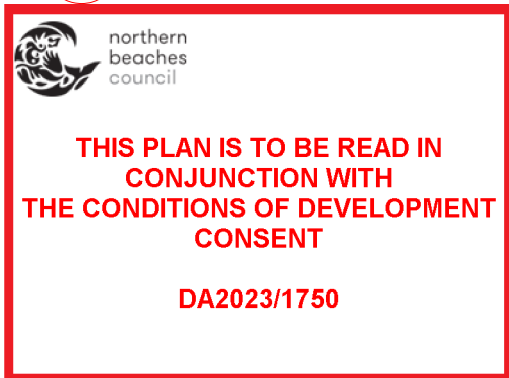
75 THE CORSO



1 **SECTION D**
1:100 @ A1



2 **SECTION E**
1:100 @ A1



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GRAPHIC SCALE

1:200 @ A3 0 2000 5000
1:100 @ A1

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PROJECT

HOTEL STEYNE

75 THE CORSO, MANLY

DRAWING NO.

DA-302

ISSUE

C

JOB NO.

IR12211

SCALE

1:100 @ A1

DATE

21.05.2024

DRAWING TITLE

SECTIONS SHEET 2

DRAWN BY

FO

CHECKED BY

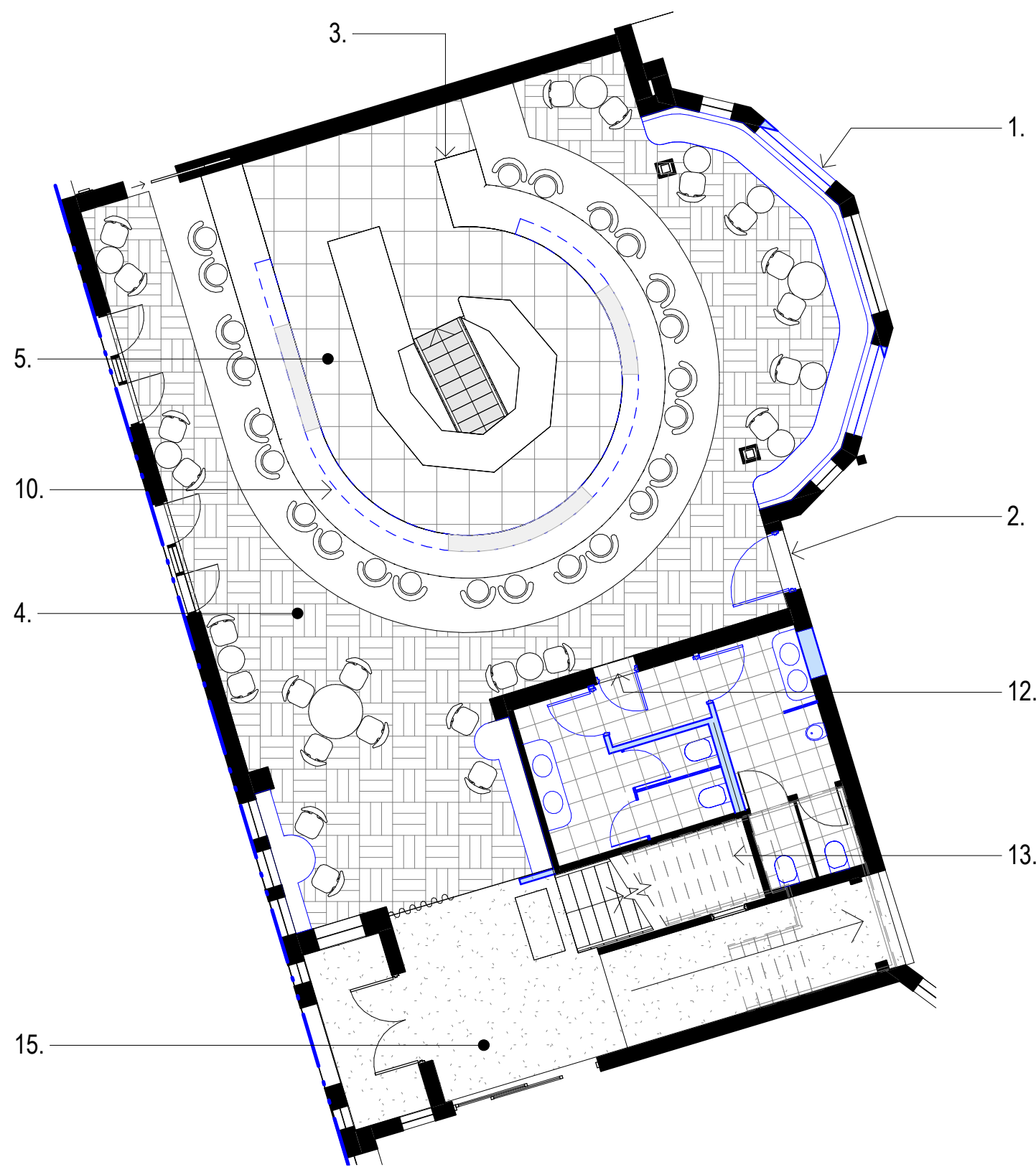
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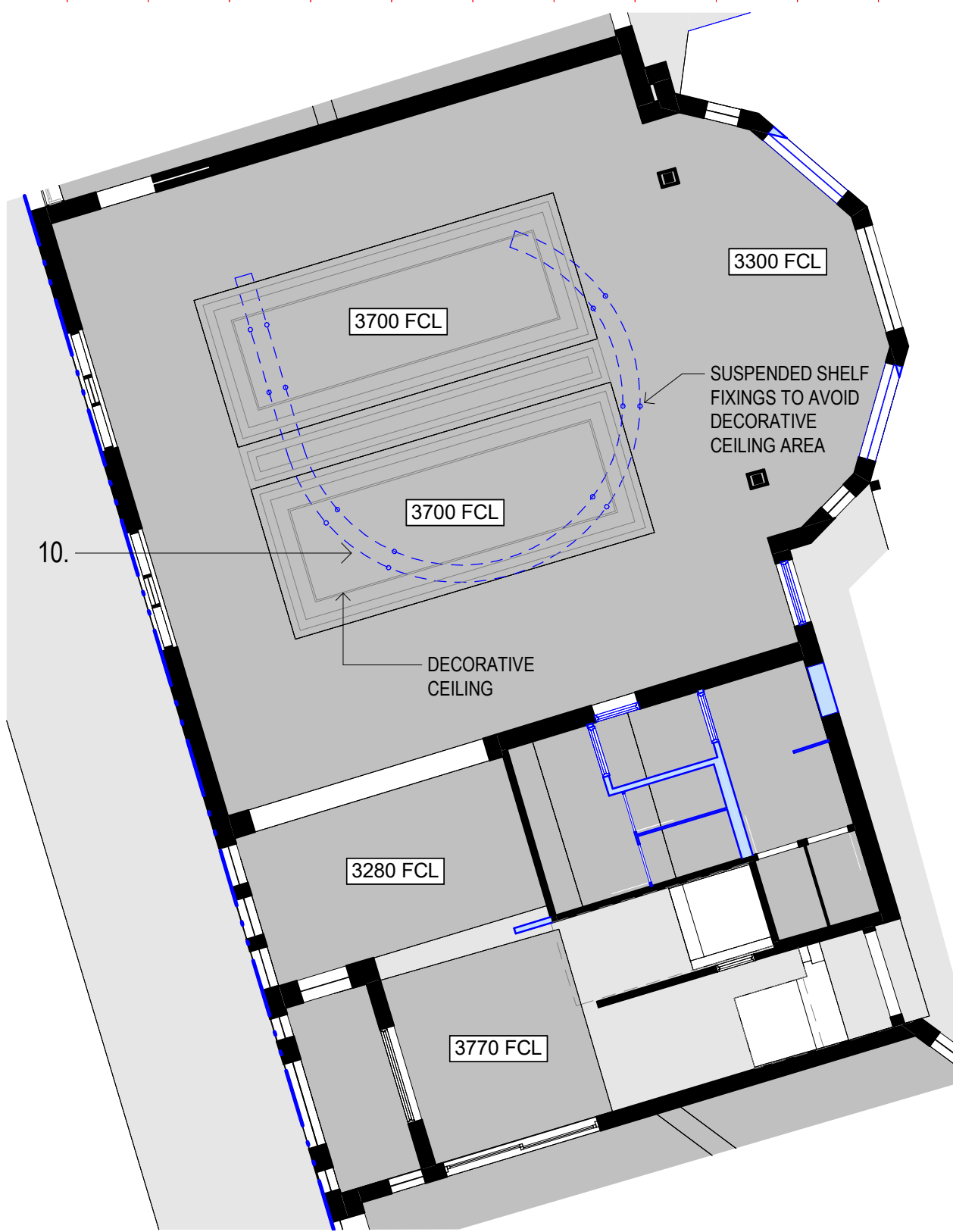
NON ORIGINAL TILES ON HOB

- AMENDMENTS TO ARCHITECTURAL DRAWINGS
1. RELOCATE GROUND FLOOR FURNITURE
 2. CLARIFY DETAILS ABOUT NEW LEVEL 2 BALCONY GLASS SCREEN
 3. REDUCE THE NUMBER OF OVERFLOWS & SOLAR PANELS
 4. AMEND PUBLIC REALM VIEWS & CLARIFICATION NOTES ADDED
 5. CLARIFY FINISHES TO BE RETAINED IN THE ROUND BAR & NEW DETAILS
 6. SHOW EXISTING GLASS SCREEN ON LEVEL 2 BALCONY

- AMENDMENTS TO ARCHITECTURAL DRAWINGS
7. ADJUSTMENT OF THE ROOF AWNING
 8. EXISTING EASTERN AIRLOCK LOCATION TO BE RETAINED
 9. RELOCATION OF THE NEW SOUTHERN AIRLOCK
 10. LOCATION OF THE PROPOSED SHELVING SHOWN



1 **ROUND BAR PLAN**
1: 100 @ A1

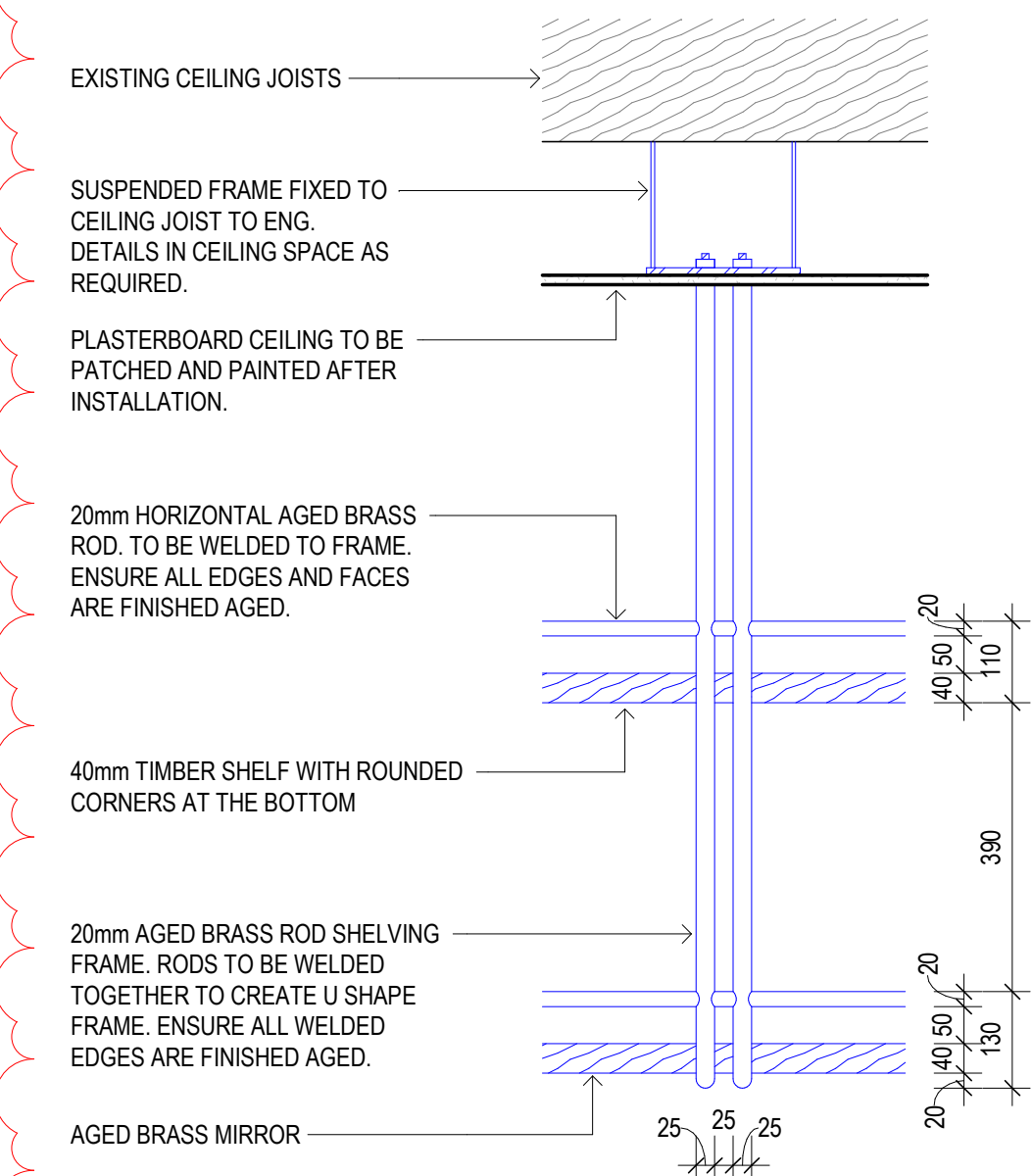


5 **ROUND BAR - RCP**
1: 100 @ A1

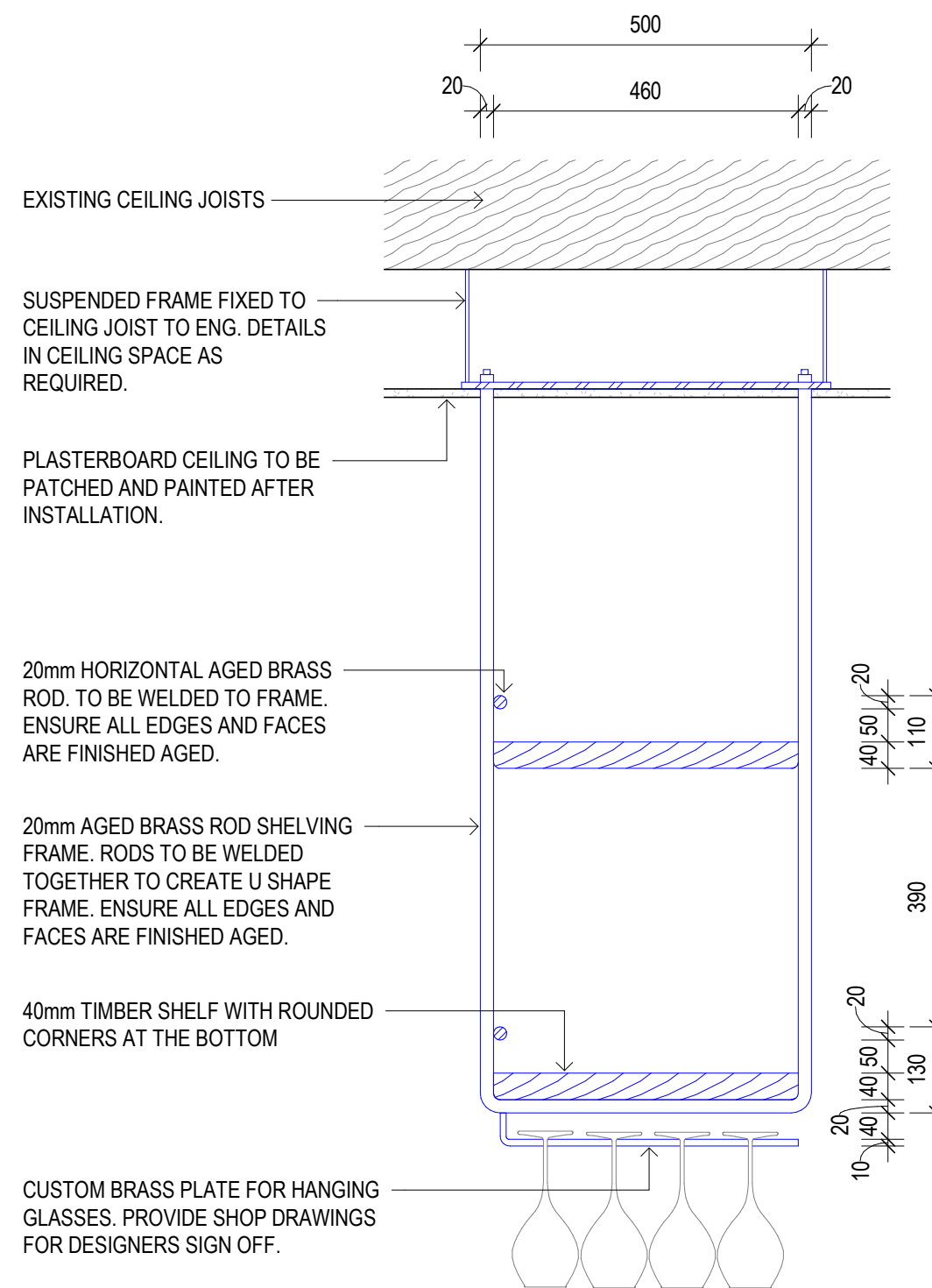
SCOPE OF WORKS

SCOPE OF WORKS INCLUDES BUT IS NOT LIMITED TO:

1. EXISTING ENTERANCES TO BAR FROM COURTYARD TO BE REMOVED TO REINSTATE WINDOWS.
2. NEW DOORWAY TO BE ADDED TO ACCESS BAR FROM COURTYARD
3. DEMOLISH EXISTING BAR BENCHTOP AND REPLACE WITH A SOLID TIMBER BENCHTOP, WITH BULLNOSE PROFILE.
4. REMOVE AND REPLACE EXISTING FLOORING. NEW FLOORING TO BE TIMBER PARQUETRY TO MATCH ORIGINAL HERITAGE DETAIL.
5. NEW FLOOR TILE BEHIND BAR.
6. NATURAL STONE CLADDING OVER EXISTING BAR HOB (NON ORIGINAL TILES) AND TO FLOOR FINISH SURROUNDING BAR.
7. EXISTING BAR FRONT TILES TO BE RETAINED AND MADE GOOD.
8. EXISTING WALL TILES TO BE RETAINED AND MADE GOOD.
9. NEW PAINT FINISH TO EXISTING CEILING AND WALLS.
10. NEW SUSPENDED BRASS AND MIRROR SHELVING OVER BAR.
11. EXISTING BATHROOMS TO BE REMOVED AND REPLACED. NEW FINISHES THROUGHOUT BATHROOM.
12. REINSTATE EXISTING DOORWAY TO BATHROOMS
13. EXISTING STAIRS TO BE RETAINED.
14. NEW PAINT FINISH TO WALLS AND CEILING IN STAIRWELL.
15. NEW STONE FLOORING TO ENTERANCE
16. **ALL ORIGINAL FABRIC OF THE ROUND BAR IS RETAINED**



3 **SUSPENDED SHELVING ELEVATION**
1: 10 @ A1



4 **SUSPENDED SHELVING SECTION**
1: 10 @ A1

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GRAPHIC SCALE

1:200 @ A3 0 2000 5000
1:100 @ A1

DRAWING NOTES

42 NORTH STEYNE - NOT PART OF THIS DOCUMENTATION SET

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- Mod2023/0397 (\$4.55 - 2)

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NEW WORKS

WALLS TO BE DEMOLISHED

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NOMINATED ARCHITECT

Vince Squillace Reg No. 6468 (NSW),
17219 (VIC), 3677 (QLD), AR1173 (NT)

PROJECT

HOTEL STEYNE

75 THE CORSO, MANLY

DRAWING NO.

DA-900

JOB NO.

IRI2211

DRAWING TITLE

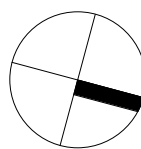
ROUND BAR PLAN

DRAWN BY

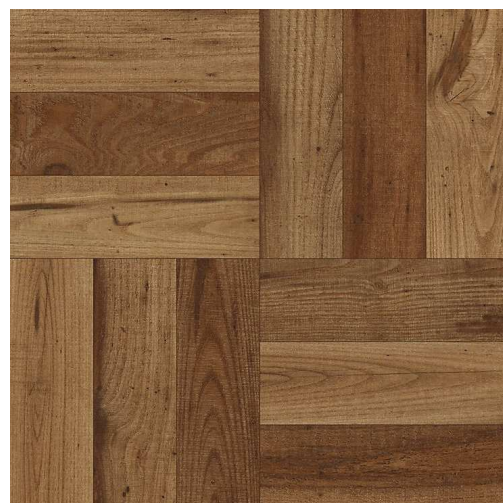
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CHECKED BY

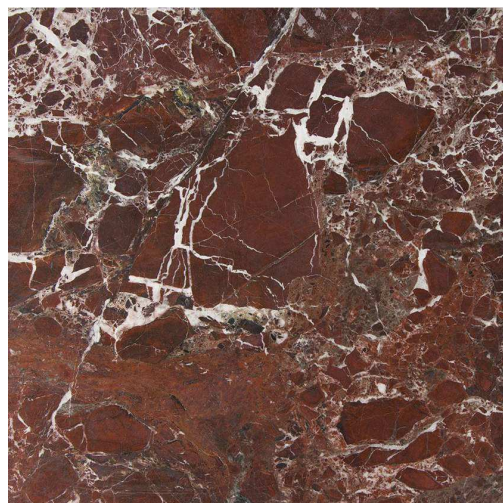
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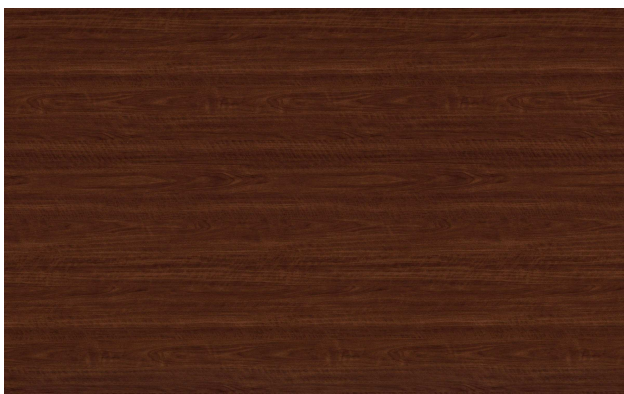
LOOK AND FEEL IMAGES OF FINISHES. THE FOLLOWING IMAGES ARE THE GENERAL DESIGN DIRECTION OF THE IMAGES PROPOSED AND ARE SUBJECT TO CHANGE.



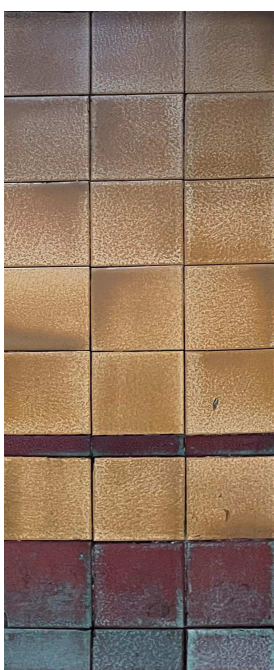
NEW TIMBER PARQUETRY FLOOR



NATURAL STONE CLADDING OVER EXISTING BAR HOB, AND TO FLOOR FINISH AROUND BAR.



NEW TIMBER BAR TOP



EXISTING TILED BAR FRONT TO BE RETAINED AND MADE GOOD



EXISTING TILES TO WALLS TO BE RETAINED AND MADE GOOD



SUSPENDED BRASS AND MIRROR SHELVING



LOOK AND FEEL OF BATHROOMS



STONE FLOOR FINISH TO ENTERANCE

northern
beaches
council

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2023/1750

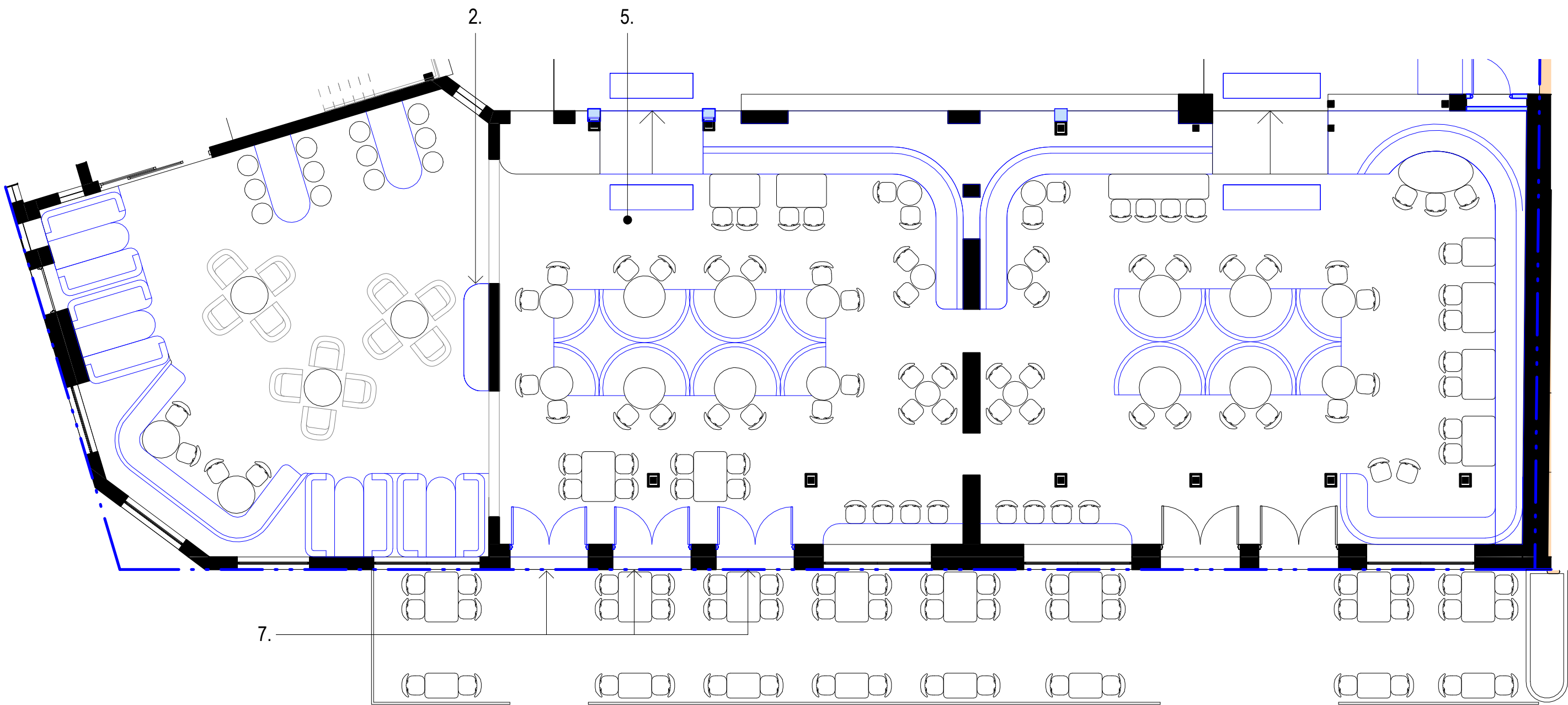
SCOPE OF WORKS

SCOPE OF WORKS INCLUDES BUT IS NOT LIMITED TO:

- EXISTING KITCHEN PASS TO BE DEMOLISHED
- EXISTING FIRE PLACE TO BE ALTERED AND FINISHED WITH A TEXTURED RENDER.
- NEW TILES TO EXISTING DATUM LINE ON WALLS
- NEW PAINT FINISH TO EXISTING CEILING AND WALLS
- NEW STONE AND TERRAZZO FLOORING TO BEACH BAR AREA
- NEW RATTAN INSERTS TO EXISTING CEILING COFFERS (OFFSET TO EXPOSE EXISTING CORNICES)
- EXISTING WINDOWS TO BE DEMOLISHED AND DOORS ADDED TO MATCH RECENTLY ADDED DOORS IN THE NORTHERN BEACH BAR ROOM



RECENTLY ADDED DOORS TO NORTHERN BEACH BAR ROOM



1 BEACH BAR PLAN
1: 100 @ A1

LOOK AND FEEL IMAGES OF FINISHES. THE FOLLOWING IMAGES ARE THE GENERAL DESIGN DIRECTION OF THE IMAGES PROPOSED AND ARE SUBJECT TO CHANGE.



NEW STONE AND TERRAZZO FLOORING



NEW TILES TO EXISTING DATUM LINE ON WALLS



NEW FIREPLACE TO EXISTING
LOCATION. TEXTURED RENDER
FINISH.



NEW RATTAN INSERTS TO EXISTING CEILING COFFERS (OFFSET TO
EXPOSE EXISTING CORNICES)



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STATUS

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APPLICATION

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GRAPHIC SCALE



DRAWING NOTES

42 NORTH STEYNE - NOT PART OF THIS DOCUMENTATION SET

REFER TO:
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ISS DATE PURPOSE OF ISSUE

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NOMINATED ARCHITECT
Vince Squillace Reg No. 6468 (NSW),
17219 (VIC), 3677 (QLD), AR1173 (NT)

PROJECT
HOTEL STEYNE

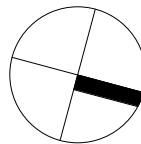
75 THE CORSO, MANLY

DRAWING NO. ISSUE
DA-901 A

JOB NO. SCALE DATE
IRI2211 AS SHOWN 23.11.2023

DRAWING TITLE
BEACH BAR PLAN

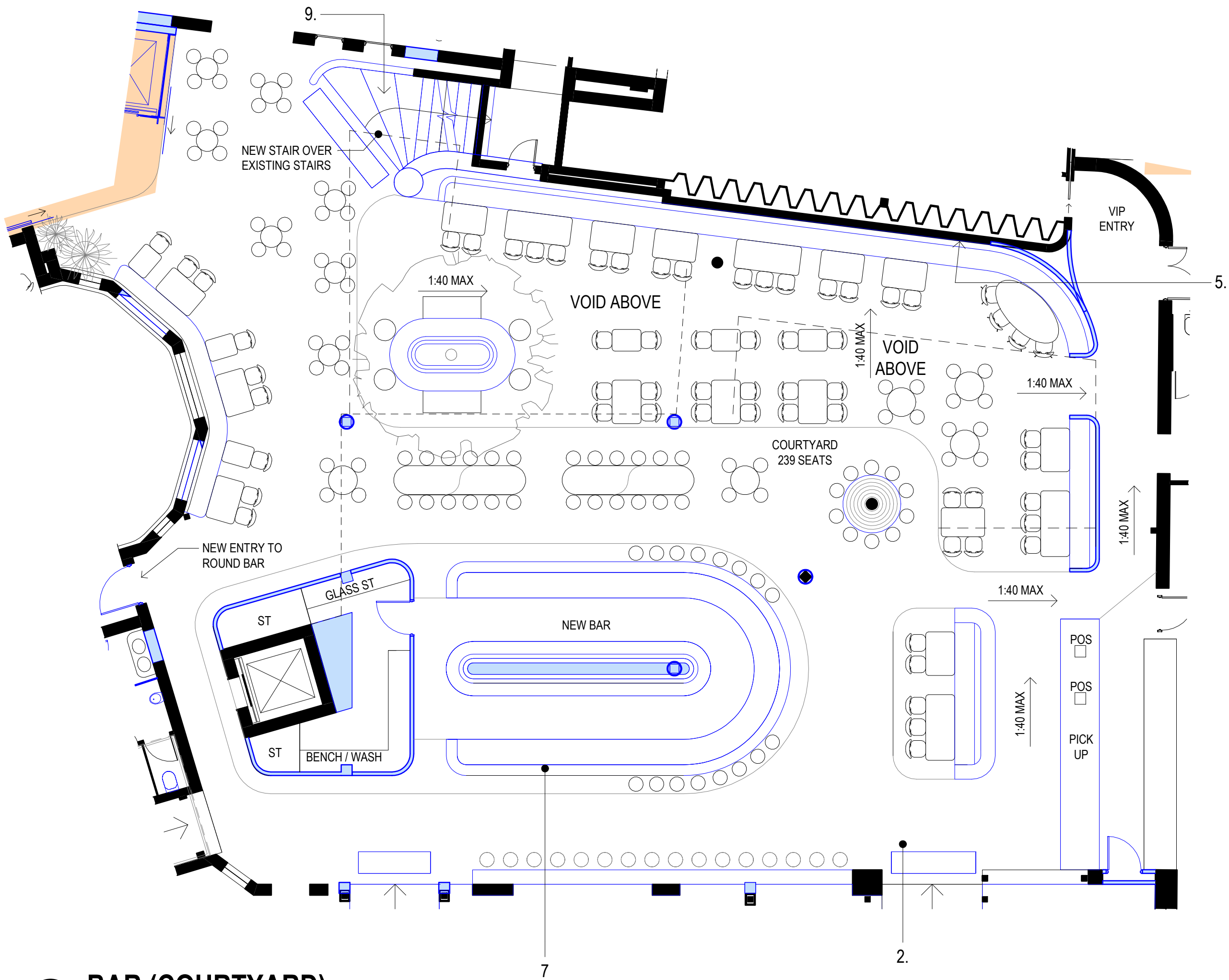
DRAWN BY CHECKED BY
FO VS



SCOPE OF WORKS

SCOPE OF WORKS INCLUDES BUT IS NOT LIMITED TO:

- EXISTING KITCHEN AND BAR TO BE DEMOLISHED. KITCHEN TO BE RELOCATED
- NEW EXTERNAL RATED TILED FLOOR FINISH THROUGHOUT COURTYARD. FLOOR FINISH TO BE RAMPED AS REQUIRED TO CREATE FLUSH, EVEN TRANSITIONS.
- NEW WALL FINISHES THROUGHOUT
- NEW BANQUETTE SEATING AND BUILT IN PLANTERS
- NEW ARCHES TO WALL BEHIND BANQUETTE SEATING
- NEW BAR AND BOH STORE ROOM
- NEW STONE AND CONCRETE TO BAR
- NEW PAINT FINISH TO CEILINGS
- ALTERATIONS TO EXISTING COURTYARD STAIRCASE
- NEW LOW HEIGHT WALLS TO CREATE CORRIDOR TO BATHROOMS
- NEW STONE TO BAR TOP
- NEW CONCRETE TO BAR FRONT



1 BAR (COURTYARD)
1: 100 @ A1



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FLOOR FINISHES TO BE REMOVED & REGRADED AS REQUIRED

CEILINGS AND FLOOR FINISHES TO BE REMOVED & REGRADED AS REQUIRED

NATURAL VENTILATION THROUGH LOUVRES & SLIDING DOORS THAT WILL BE OPEN ON FIRE TRIP MODE

SMOKE EXHAUST FANS & DUCTING WORK

A	23.11.2023	ISSUE FOR DA
ISS	DATE	PURPOSE OF ISSUE

CLIENT

IRIS CAPITAL

squillace

ARCHITECTURE / INTERIORS

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PROJECT
HOTEL STEYNE

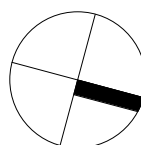
75 THE CORSO, MANLY

DRAWING NO. DA-902 ISSUE A

JOB NO. IRI2211 SCALE AS SHOWN DATE 23.11.2023

DRAWING TITLE
NEW BAR COURTYARD

DRAWN BY FO CHECKED BY VS



LOOK AND FEEL IMAGES OF FINISHES. THE FOLLOWING IMAGES ARE THE GENERAL DESIGN DIRECTION OF THE IMAGES PROPOSED AND ARE SUBJECT TO CHANGE.



NEW TERRAZZO FLOORING



NEW PAINTED FINISH TO WALLS



CONCRETE TO BAR FRONT



STAIRCASE

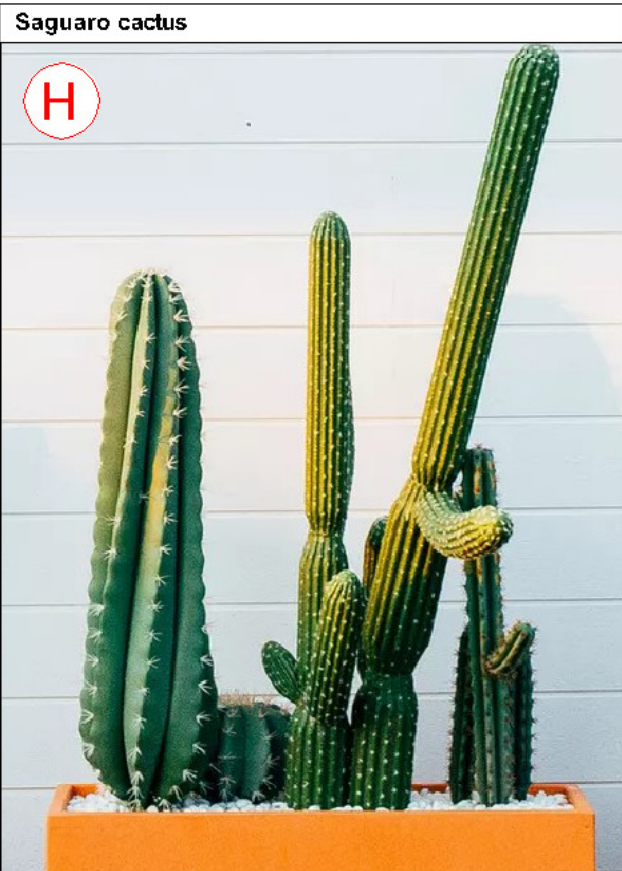
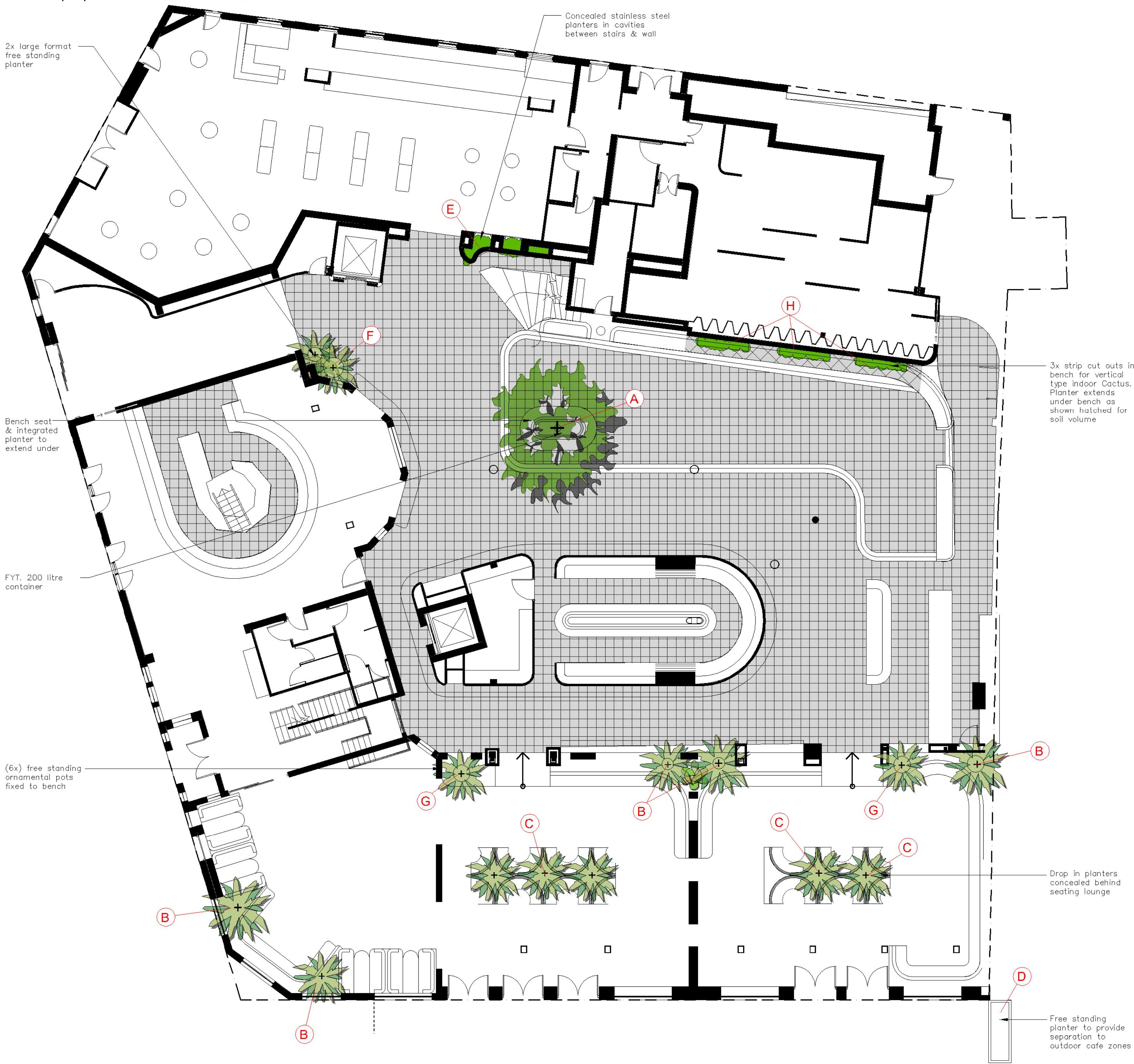
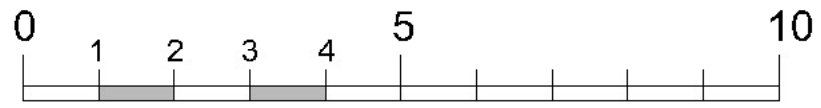


STONE TO BAR BENCHTOP



ARCHES TO WALL

Landscape plan - Ground floor 1:100 @ A1



 northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2023/1750

Amendments	
A	21.09.23



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Project: Hotel Steyne
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DWG: Landscape plan - Ground floor

Date: 0.0.23
Scale: 1:100 @A1

Job Ref: 2592/23

Builder must verify all dimensions of the site before work commences.
Figured dimensions should be used in preference to those scaled off.

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1 of 3

ISSUE-A



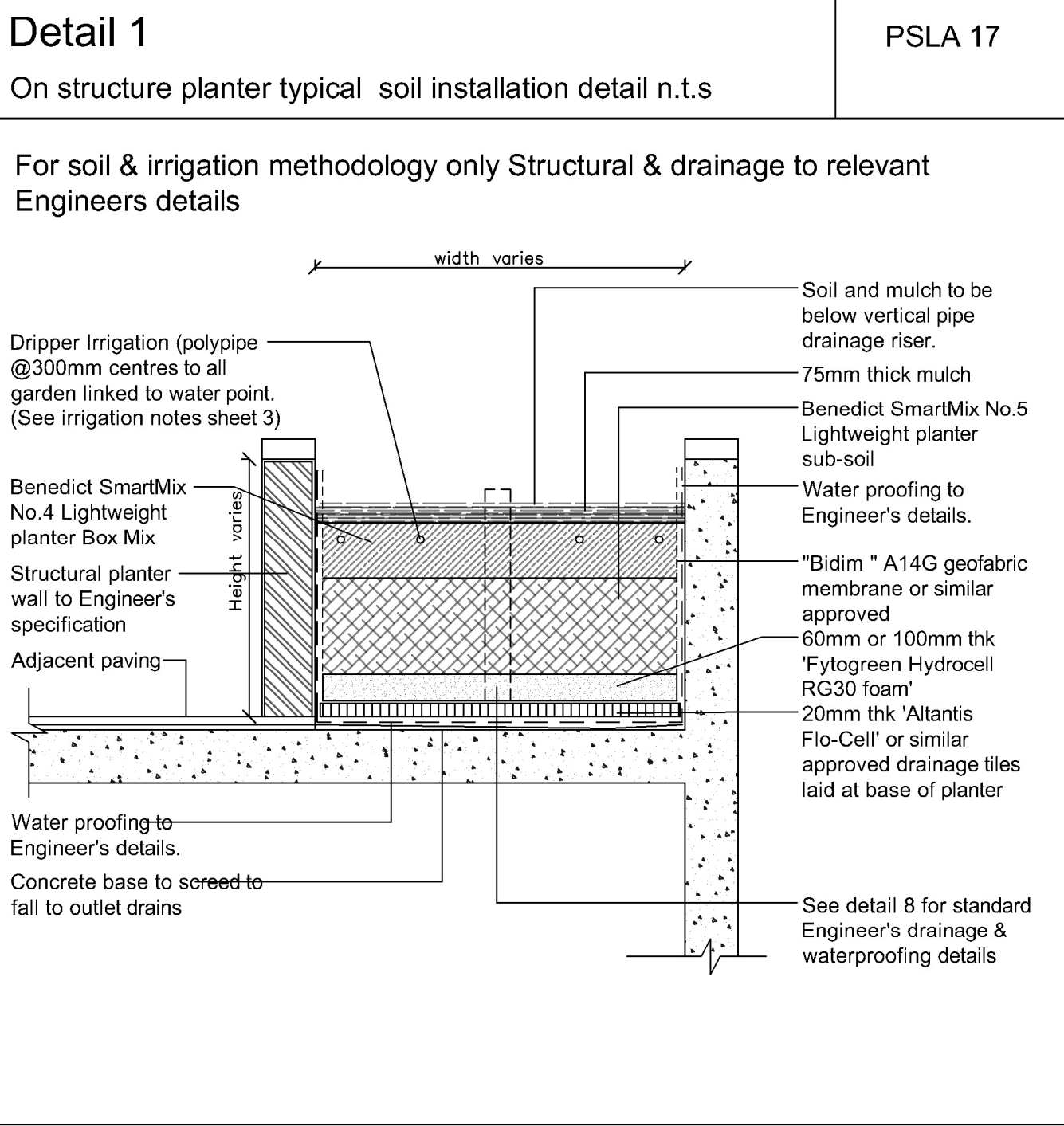


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Planter soil installation detail



Irrigation notes

Automatic drip line watering system to be selected. To extend to ALL common area garden and landscape zones in the development including both the deep soil and raised planter wall areas and including all raised planter boxes over slab on all levels. (All lawn areas to be excluded.

Water supply points to be coordinated by Hydraulic and Structural Engineer's details). Dripline supply system only to be incorporated.

Prior to approval by the project manager and prior to installation the Contractor responsible for the irrigation installation is to provide an irrigation design to meet the following requirements.

Generally: Supply an automatic drip line irrigation system. To include all piping to solenoids either PVC lines and/or class 12 pressure pipe or low density, rubber modified polypropylene reticulation as required to provide water supply to the nominated areas. To be coordinated with Hydraulic engineers plans. To include all bends, junctions, ends, ball valves, solenoids and all other ancillary equipment. Backwash valve: An approved backwash prevention valve is to be located at the primary water source for top up valves to rainwater tanks (where applicable).

Ensure rain sensor is installed for common area garden zones connected to timers

Root inhibiting system. Driplines to be 'Netafim Techline AS XR' drip tubing or approved equivalent

Automatic Controller: For all common area landscape areas provide automatic 2 week timer with hourly multi-cycle operation for each zone as noted on the irrigation areas plan on sheet. Battery timers to isolated planter boxes to private terraces.

Performance: It shall be the Landscape Contractor's responsibility to ensure and guarantee satisfactory operation of the irrigation system. The system is to be fit for the purpose and should utilize sufficient solenoids to provide for the varying watering requirements of landscape areas to allow all plants and lawn areas to thrive and attain long term viability.

Testing: After the system has been installed to the satisfaction of the project manager, the installation shall be tested under working conditions. Acceptance of the installed plant and equipment shall be subject to these being satisfactory.

Warranty: A twelve month warranty is to be provided in writing by the Landscape Contractor, which shall commit the Landscape Contractor to rectify the system (the items they have installed) to the satisfaction of the project manager or nominated representative. This will apply should any fault develop, or the capacity or efficiency fall below that guaranteed, or should the discharge or pressure be inadequate, or should defects develop in the filter unit or control heads, or any blockages that may develop in the system.

Approvals: The Landscape Contractor is to liaise as necessary, to ensure that the irrigation system conforms with all Water Board, Council and Australian standards (AS)



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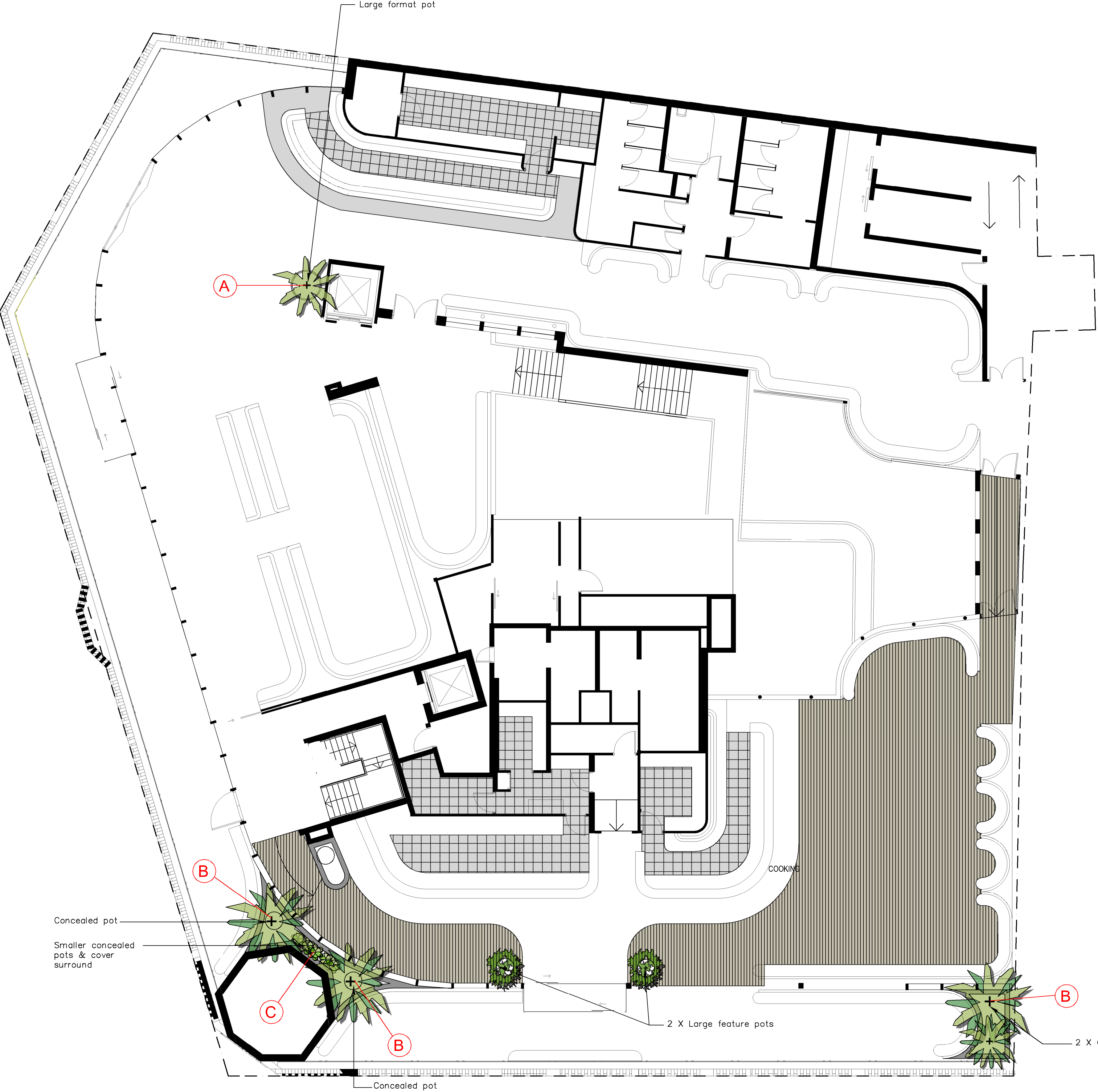
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Project: Hotel Steyne

75 The corso, manly

DWG: Level 1 plan



General installation notes

- 1. Planter wall waterproofing.**
All slab areas to be waterproofed and 'Atlantis' drainage cell installed with geotextile fabric or similar approved. Refer Engineer's details for ALL structural, drainage and installation details whatsoever for wall construction. All raised gardens to have the following soils:
- Benedicts Smart Mix no. 4 Lightweight Planter Mix (or approved equivalent) to min. 400-500mm depth.. To comply with AS 4419 and AS 3743
 - All planter boxes are to have automatic dripline irrigation system.
 - Landscape contractor to install all planter box fill material and plant material after other site works are completed to ensure no deterioration of waterproof membrane behind external walls.
- 2. Fertiliser**
All planting areas to be fertilised with 9 month 'NPK' slow release fertiliser.
- 3. Structural**
All structural details whatsoever to Engineer's details.



Rhapis excelsor Palm



Dwarf Date palm



Agave in pot

Planting schedule - overall species list

Symbol	Botanical name	Common name	Cont. size	Staking	Mature height	No req.
Indoor tree						
FIC	Ficus carica	Common Fig (Fruiting Fig Tree in large feature pots)	45Lt	nil	2-3.0M	
RAI (SM)	Raphiolepis indica SM	Snow Maiden (hedging dense flowering plant. Salt air tolerant)	300mm	hedged	1.0M	
Cactus / succulents						
EPT	Euphorbia trigona	Small topiary ball (Trimmed topiary plant)	200mm	nil	0.25-0.35M	
SAU	Carnegiea gigantea	Saguaro Catus (narrow vertical very slow growing cactus)	0.8-1.0M specimen		1.0-1.2M	
Ferns / Palms / glossy leaved plants						
AGV	Agave attenuata	Century plant (striking spiky leaved succulent)	200mm	nil	0.5M	
AMC	Alocasia macrorrhizos	Giant Taro	300mm	nil	2-3.0M	
AN	Asplenium australasicum	Birds Nest Fern (shade tolerant broad leaved low fern)	200mm	nil	0.7M	
CSZ	Chamaedorea selfrizii	Bamboo Palm (shade tolerant small Palm)	200mm	nil	2.0M	
LIG	Ligularia dentata 'Reniformis'	Tractor Seat Plant (Low Glossy leaved plant)	200mm	nil	1.0M	
PHR	Phoenix roebelenii	Dwarf Date Palm (shade tolerant small palm)	100Lt	nil	1.5-2.0M	
RHA	Rhapis excelsor	Lady Finger Palm	300mm	nil	2-2.5M	
SML	Spathiphyllum 'Alo Moana'	Peace Lily (shade tolerant flowering. Glossy leaves)	200mm	nil	0.5M	
Groundcovers/Climbers						
ANT	Anthurium White Heart	Anthurium (low shade tolerant flowering)	200mm	nil	0.3M	
DSF	Dichondra 'Silver Falls	Silver Falls (cascading groundcover in roof garden)	300mm	nil	0.15M	
HH	Hedera helix	English Ivy (shade tolerant climbing plant)	300mm	nil	5.0M	
SMW	Spathiphyllum wallisii 'Bonito'	Dwarf Peace Lily (shade tolerant flowering. Glossy leaves)	300mm	nil	0.3M	

Landscape contractor is to check plant numbers on plan against the schedule prior to submitting tender price. Contact landscape architect if any number discrepancies are found. Council compliance controls require that any substitution of species variety or container size MUST be confirmed with landscape architect to ensure a compliance certificate can be issued that meets the specific development consent conditions of the project.

 northern beaches council

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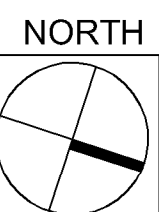
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Job Ref: 2592/23

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3 of 3

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