



12 April 2024

General Manager
Northern Beaches Council
PO Box 82
Manly NSW 1655

Dear Sir/Madam,

327 Mona Vale Road, Terrey Hills NSW 2084

1. I refer to a request from The Palms Eatery Pty Ltd for a traffic engineering assessment of the proposed development at the above address. My assessment is outlined below.
2. There are two separate commercial entities on the site, the plant nursery (The Palms Nursery Pty Ltd) and the restaurant (The Palms Eatery Pty Ltd). These two entities share the site with the restaurant generally occupying the portion of the site adjacent to Mona Vale Road and the plant nursery occupying the rear of the site adjacent to Myoora Road. The site location is shown in **Figure 1**.
3. A café/restaurant to be used in association with the existing plant nursery was first approved in 2000. In 2014, an application was approved for reconstruction of the restaurant building (DA2014/0661). The approved hours of operation were as follows:

19. Hours of Operation

The hours of operation are to be restricted to:

- 9.00am to 10.00pm; Monday to Thursday;
 - 9.00am to 11.00pm, Fridays;
 - 8.00am to 11.00pm, Saturdays; and
 - 8.00am to 10.00pm, Sundays.
4. Upon expiration of the permitted hours all customers were required to leave within 30 minutes.
 5. It is also my understanding that the current Gross Floor Area (GFA) of the restaurant is 301.6 m² (refer to attached "Restaurant Drawing BIC.04 Rev B").
 6. The Palms Eatery Pty Ltd seeks approval for the following on the site:
 - 6.1. Authorise the use of the existing restaurant structures altered (unlawfully), comprising:
 - a) The extension to the dining areas to the south and east of the existing building.
 - b) The extension to the kitchen and bar areas, including kitchen fit out works, which includes a deep fryer and pizza oven.
 - 6.2. Increase the capacity of the restaurant to 100 patrons (48 approved).
 - 6.3. Reconfigure the car park layout to provide a total of 80 car spaces (minimum 46 spaces for the restaurant and 29 space for the plant nursery).
 7. The development site is well serviced by public transport, as shown in Figure 1. Two bus stops are located within 350 m walk and six bus services connect the site with the Sydney CBD, Macquarie University, Gordon, Terrey Hills and Mona Vale. Yet, the majority of the restaurant patrons travel by car.

TRAFFIC & PARKING STUDIES
AND MANAGEMENT

TRAFFIC IMPACT
ASSESSMENTS

INTERSECTION AND NETWORK
MODELLING

ENVIRONMENTAL IMPACT
ASSESSMENT OF ROADS,
TRAFFIC AND TRANSPORT
OPERATIONS

ROAD AND TRAFFIC NOISE

ROAD SAFETY STUDIES

TRAFFIC & PARKING SURVEYS

CAR PARK DESIGN

INTERSECTION DESIGN

TRAFFIC ACCIDENT
INVESTIGATION

TRAFFIC ACCIDENT
RECONSTRUCTION

RESEARCH AND DEVELOPMENT

EXPERT WITNESSES

8. DCP sets out the following requirements for parking facilities.

Requirement	Compliance
2. Off street parking is to be provided within the property demonstrating that the following matters have been taken into account:	
• the land use;	Complies
• the hours of operation;	Complies; refer to paragraph 3
• the availability of public transport;	Complies; refer to paragraph 7
• the availability of alternative car parking; and	Not applicable
• the need for parking facilities for courier vehicles, delivery / service vehicles and bicycles.	Complies, loading areas are available
3. Carparking, other than for individual dwellings, shall:	
• Avoid the use of mechanical car stacking spaces;	Complies
• Not be readily apparent from public spaces;	Complies
• Provide safe and convenient pedestrian and traffic movement;	Complies
• Include adequate provision for manoeuvring and convenient access to individual spaces;	Complies
• Enable vehicles to enter and leave the site in a forward direction;	Complies
• Incorporate unobstructed access to visitor parking spaces;	Complies
• Be landscaped to shade parked vehicles, screen them from public view, assist in micro-climate management and create attractive and pleasant places;	Complies
• Provide on site detention of stormwater, where appropriate; and	Not part of this assessment
• Minimum car parking dimensions are to be in accordance with AS/NZS 2890.1.	Complies
4. Carparking is to be provided in accordance with Appendix 1 which details the rate of car parking for various land uses. Where the carparking rate is not specified in Appendix 1 or the WLEP, carparking must be adequate for the development having regard to the objectives and requirements of this clause. The rates specified in the Roads and Traffic Authority's Guide to Traffic Generating Development should be used as a guide where relevant.	Refer to the assessment further in this report.
5. Adequate provision for staff, customer and courier parking, and parking and turning of vehicles with trailers must be provided if appropriate to the land use.	Complies

9. Appendix 1 of the DCP sets out the following car parking rates.

Use	Requirement
Landscape and garden supplies	Whichever is greater of: <ul style="list-style-type: none"> 15 spaces, or 0.5 spaces per 100 m² of site area.
Restaurant	Whichever is the greater of: 15 spaces per 100 m ² GFA, or 1 space per 3 seats. The above rate may be reduced if there is, in the consent authority's opinion, suitable available parking in the vicinity during the operating hours of the proposed development.

10. There is an approximate boundary for the two commercial entities that share the site.
11. The site area for the plant nursery is approximately 5,604 m². Refer to attached "Drawing Plant Nursery Drawing BIC.01 Rev A". As such, the plant nursery component requires
 $5,604 / 100 \times 0.5 = 28.02$, say 29 car parking spaces.
12. The GFA for the restaurant is 301.6 m². As such, the restaurant requires
 $301.6 / 100 \times 15 = 45.24$, say 46 spaces.
13. The total car parking requirement is, therefore, 75 spaces. A total of 80 car spaces is proposed in support of the proposal, and therefore complies with the provisions.
 - 13.1. A review of the site's areas available for parking revealed that it is possible to create a total of 80 car parking spaces, complying with the requirements of AS/NZS 2890.1:2004. Please refer to the attached drawing.
14. This level of parking provision is considered more than adequate due to the following:
 - 14.1. The nursery is not open during the peak parking demand at dinner time at the restaurant and therefore all 80 spaces will be available for the restaurant, exceeding its requirement for 46 spaces.
 - 14.2. At lunchtime, the number of patrons at restaurants is typically less than for dinner and therefore it is likely that the actual parking demand for the restaurant component will be less than 46 spaces.
 - 14.3. Also, many lunchtime patrons of the restaurant are also customers of the nursery, who are already on site. They will not require additional parking.
15. Although the proposed number of car parking spaces is sufficient, to reduce the private car use and encourage the use of public transport (buses, taxis and Uber type services) it may be recommended that a Transport Access Guide (TAG) be prepared and made available on the restaurant's website.
16. The proposed development is supported on traffic and parking grounds.

Please do not hesitate to contact the undersigned should you require further information.

Yours faithfully,



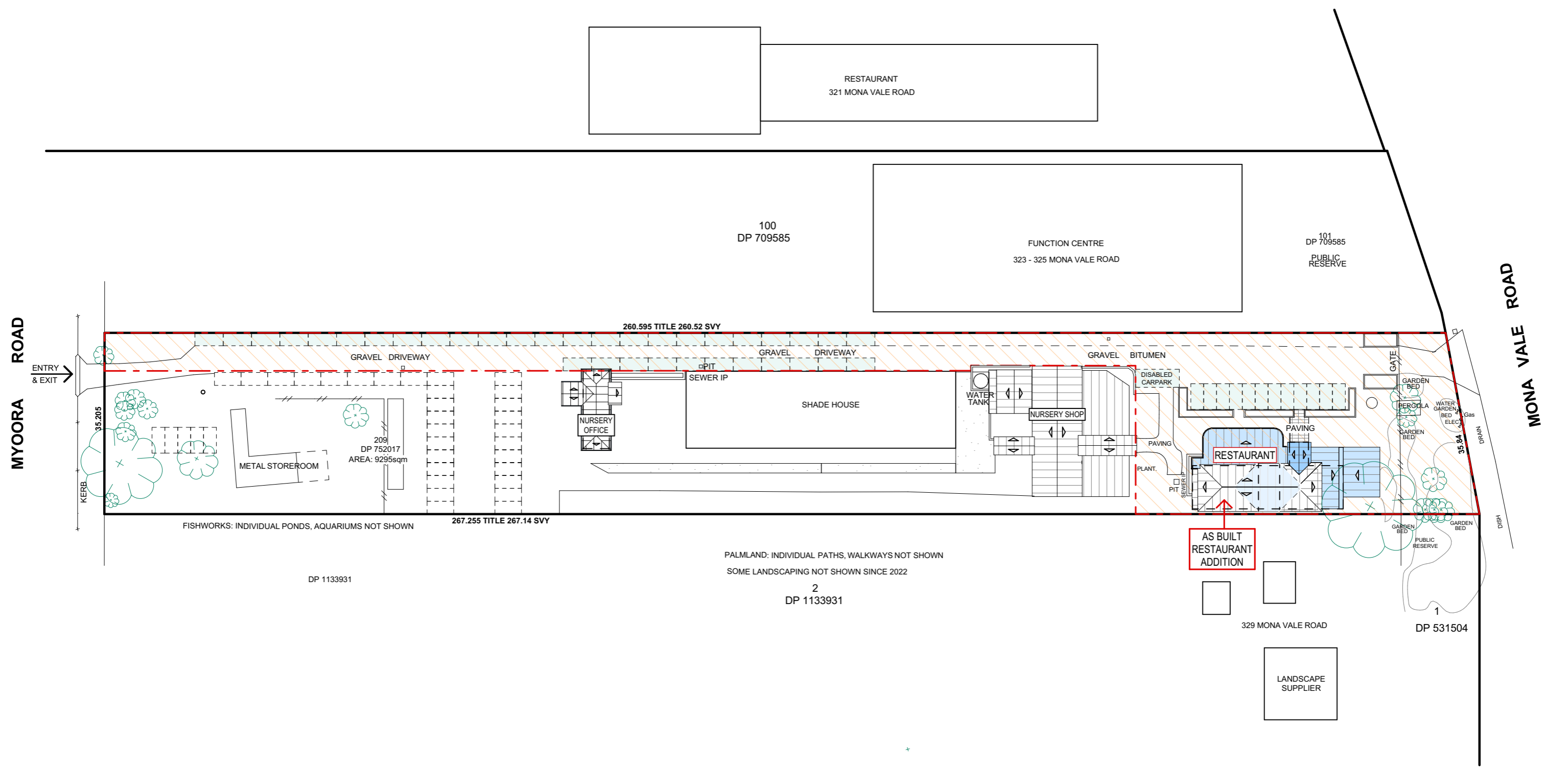
Oleg I.
Directo,
MEngSc (Traffic Engineering), MIEAust PEng, FAITPM



Figure 1. Site location (Base map: Google maps).

MYOORA ROAD

MONA VALE ROAD



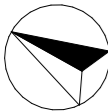
SITE PLAN

LOT	209
DP	752017
SITE AREA = 9.295 m ²	

PARKING LEGEND:

RESTAURANT - THE PALMS
EATERY CARSPACES

TRUE NORTH:



NOTES (E & OE)

- All structures including stormwater & drainage to engineer's details.
- Do not obtain dimensions by scaling drawings.
- All dimensions are to be checked on site prior to starting work.
- These drawings are to be read in conjunction with all other consultant's drawings and specifications.
- All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.
- New materials are to be used throughout unless otherwise noted.
- Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.

JJ Drafting
Australia P/L.

26/90 Mona Vale Road, Mona Vale, NSW, 2103
PO Box 687, Dee Why, NSW, 2099
Mob. 0414 717 541 | ACN 651 693 346
Email. enquiries@jjdrafting.com.au
www.jjdrafting.com.au

REV:	DATE:	DESCRIPTION:
A	20.12.23	BIC RESTAURANT - DRAWINGS UPDATED
B.	10.04.24	FLOOR AREA INCLUDED (EN)

PROPOSED ALTERATIONS AND ADDITIONS
327 Mona Vale Road - Terrey Hills NSW 2084

CLIENT:
Palms Eatery

DRAWING TITLE:
SITE PLAN

DATE:
November/23

JOB No:
1212/23

DRAWN BY:
LB

CHECKED BY:
JJ

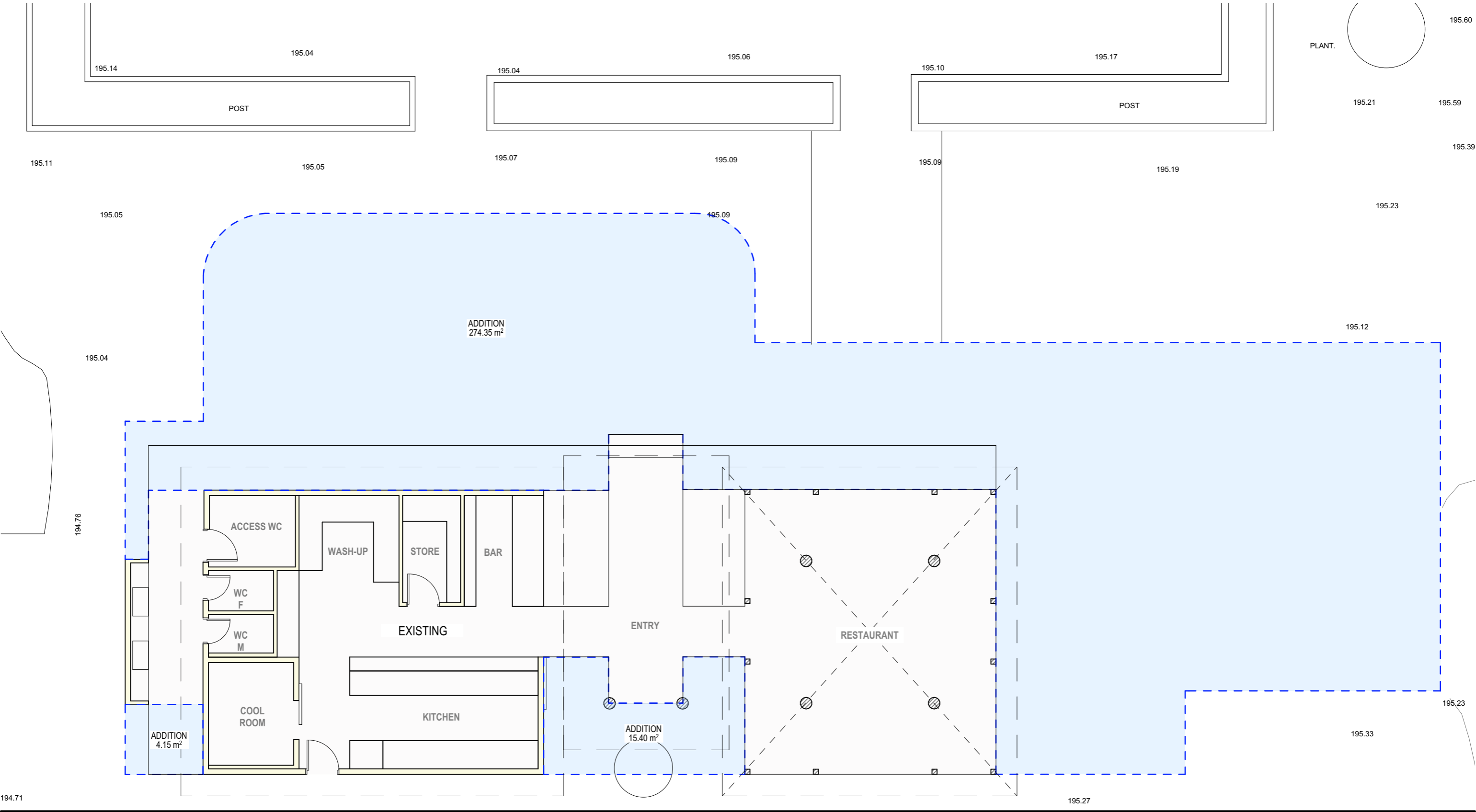
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DRAWING No:
BIC.01



DRAWING No:
BIC.02

RESTAURANT ROOF PLAN



EXISTING RESTAURANT FLOOR PLAN SHOWING ADDITION

LEGEND:

ADDITION TO APPROVED BUILDING

TRUE NORTH:

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PROPOSED ALTERATIONS AND ADDITIONS

327 Mona Vale Road - Terrey Hills NSW 2084

CLIENT:

Palms Eatery

DRAWING TITLE:

BUILDING A - EXISTING RESTAURANT FLOOR PLAN

DATE:

November/23

JOB No:

1212/23

DRAWN BY:

LB

CHECKED BY:

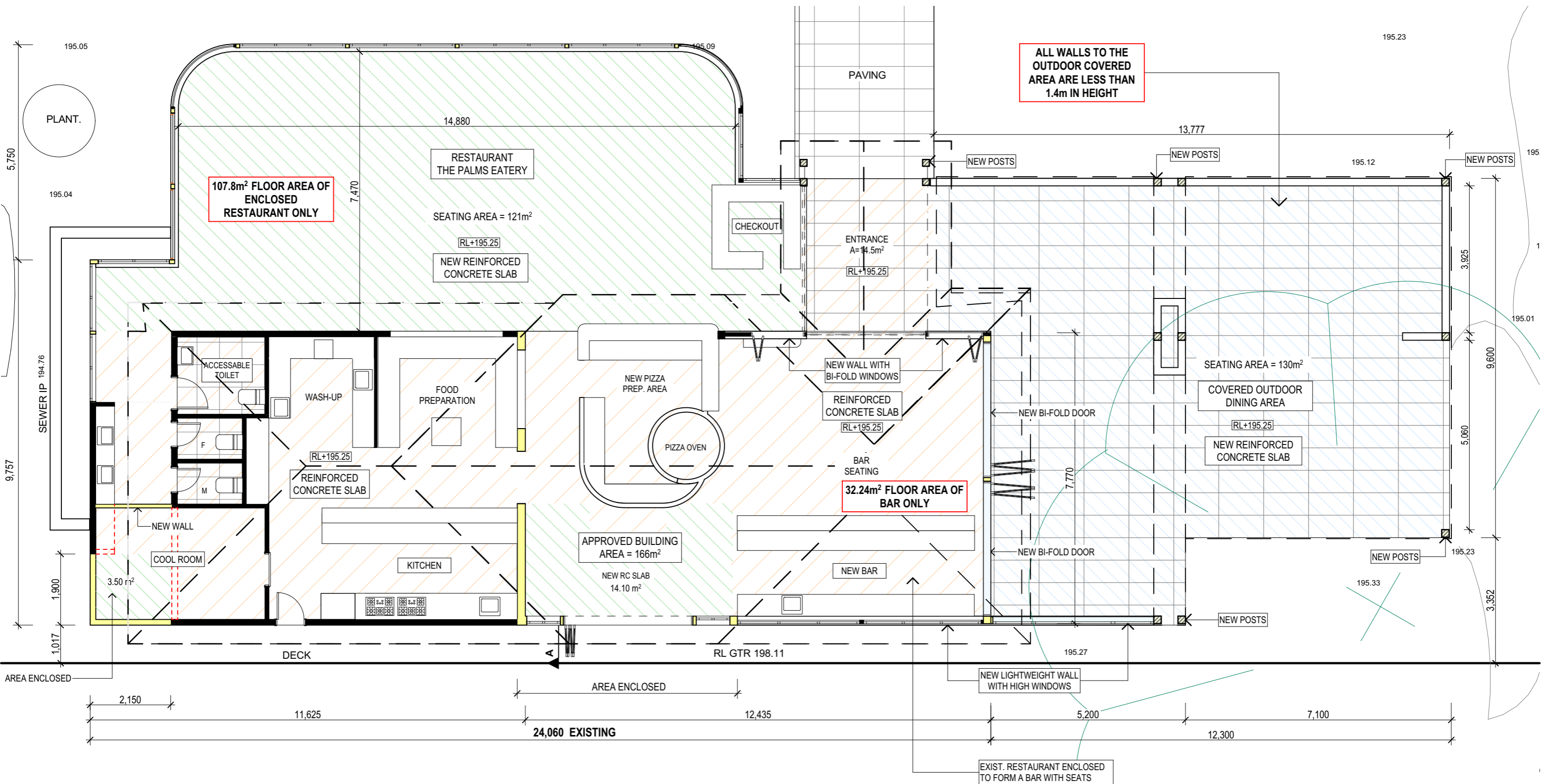
JJ

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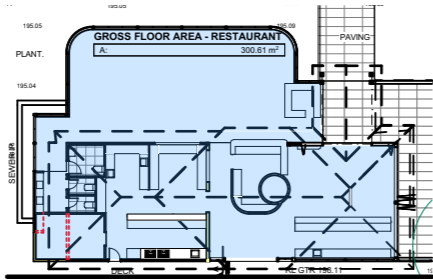
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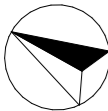
RESTAURANT FLOOR PLAN

GROSS FLOOR AREA	m ²
GROSS FLOOR AREA - RESTAURANT	301.06



LEGEND:	
	EXISTING BUILDING
	NEW ENCLOSED AREA
	NEW COVERED VERANDAH - OUTDOOR SEATING AREA

TRUE NORTH:



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CLIENT:
Palms Eatery

DRAWING TITLE:
RESTAURANT FLOOR PLAN

DATE:
November/23

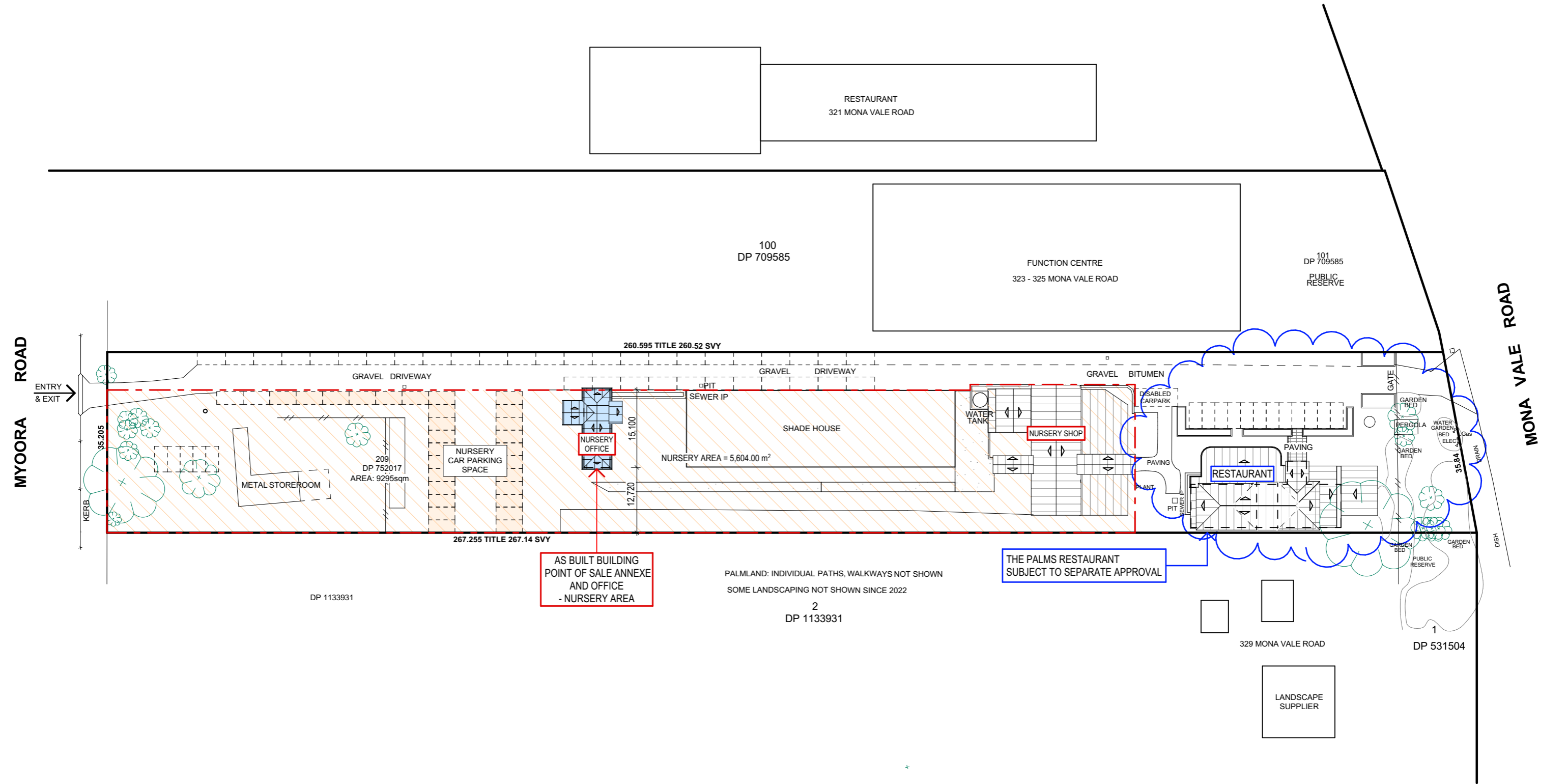
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LB

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JOB No:
1212/23

CHECKED BY:
JJ

DRAWING No:
BIC.04



SITE PLAN

LOT	209
DP	752017
SITE AREA = 9,295 m²	

PARKING LEGEND:	
	29 CARSPACES
	NURSERY AREA

TRUE NORTH:

NOTES (E & OE)

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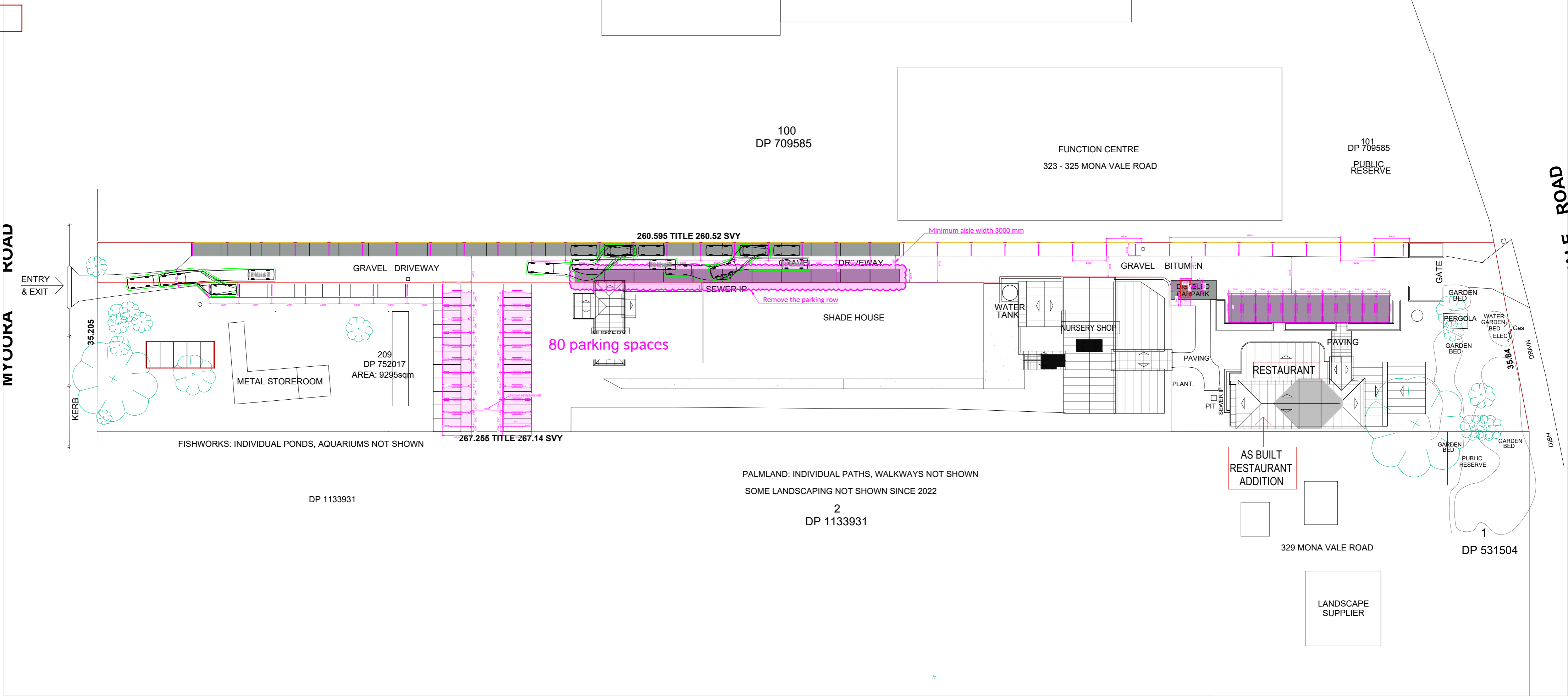
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REV:	DATE:	DESCRIPTION:
A	20.12.23	BIC NURSERY AREA - DRAWINGS UPDATED

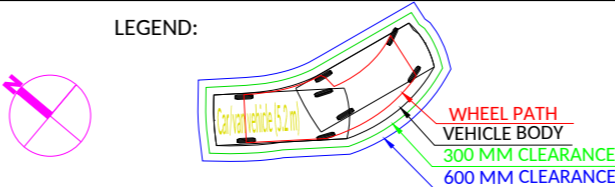
PROPOSED ALTERATIONS AND ADDITIONS
327 Monavale Road - Terrey Hills NSW 2084
CLIENT:
Palms Eatery

DRAWING TITLE:
SITE PLAN

DATE: November/23	DRAWN BY: LB	SCALE: 1:750 @ A3
JOB No: 1212/23	CHECKED BY: JJ	DRAWING No: BIC.01



LEGEND:



Dwg No 24012/01 Rev. A 13/03/2024
Client:
Eastway Consolidated Pty Ltd

327 Mona Vale Road, Terrey Hills NSW 2084

Proposed car park layout
Design checks as per AS/NZS 2890 series
Option 1

SCALE 1:500@297x610