

CHARLESTON[®]

Homes that create a lifestyle

PO Box 146 Horsley Park 2175
Ph: (02) 9620 0000 Fax: (02) 9620 0099
www.charlestonhomes.com.au

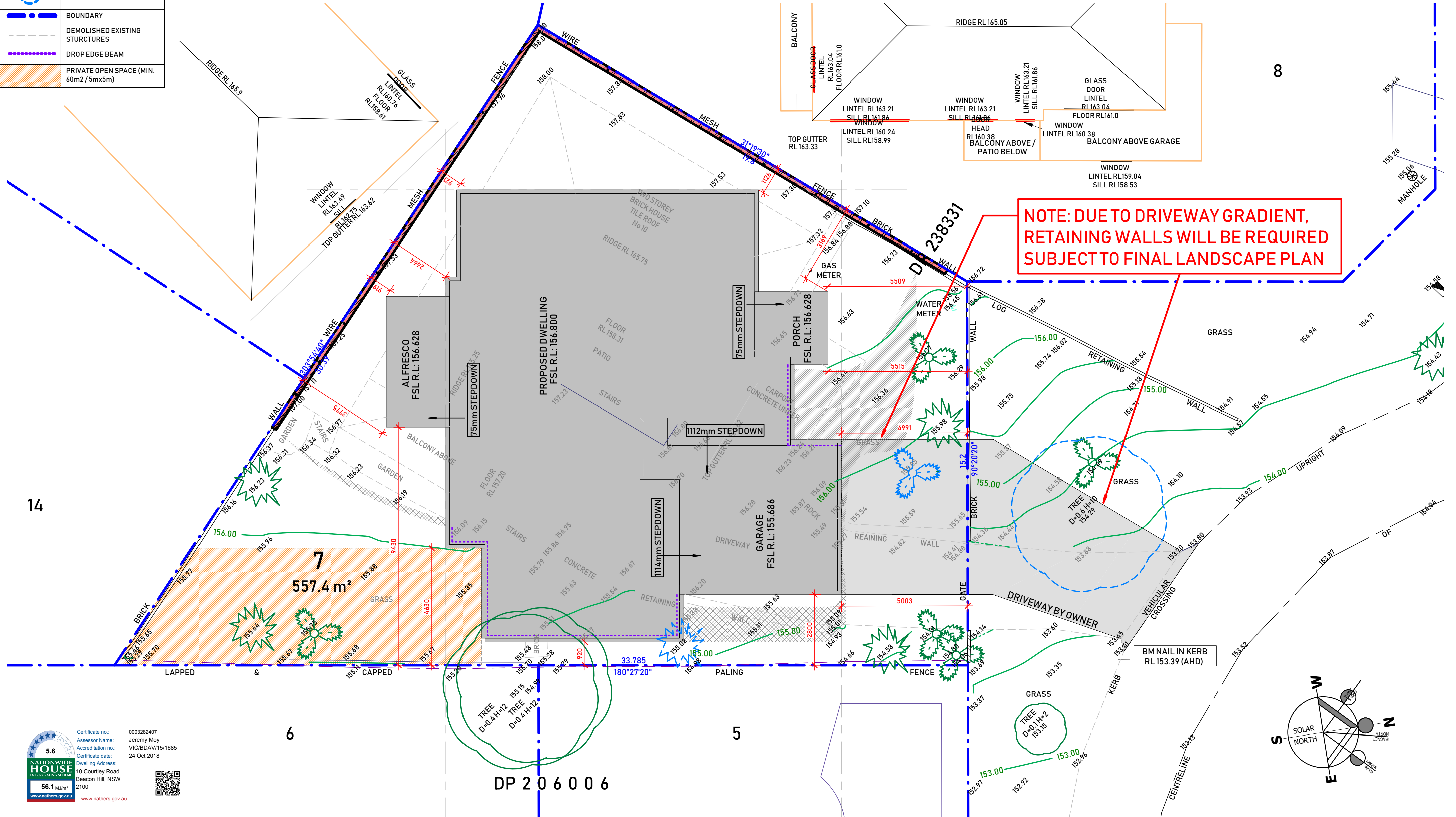
ABN: 57 050 836 863

BLD LIC. 44394C

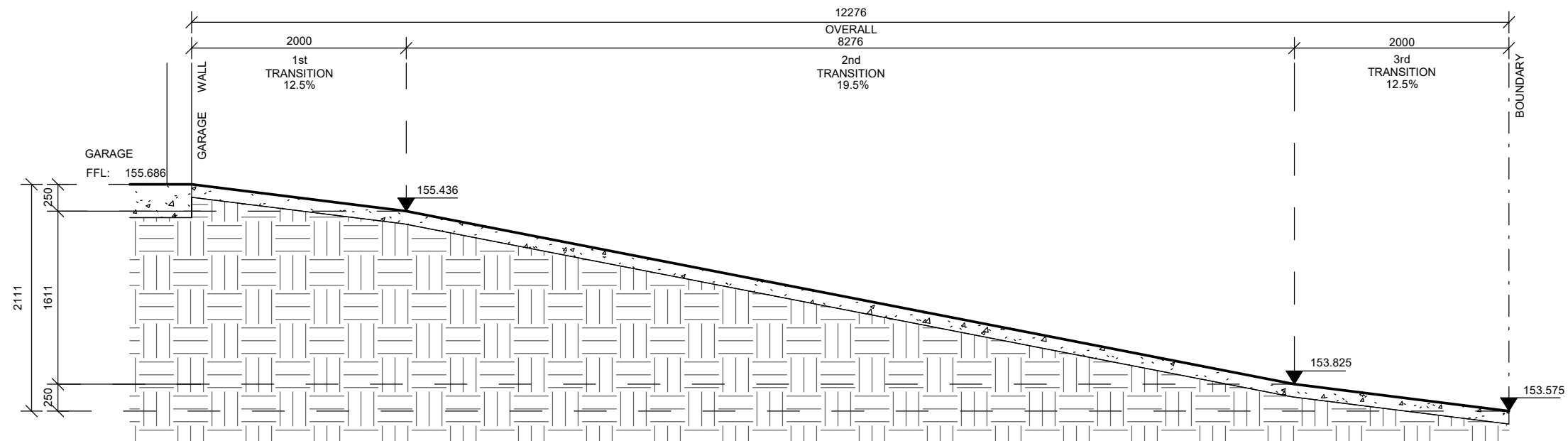


DESIGN	Trinity (Modified)	DATE:	-	DWG No.	000
CLIENT	Rev. Hon. Fred Nile	SCALE:		REV.	I
ADDRESS	10 Courtley Road, Beacon Hill	DRAWN BY:	Robert Bacic		
LOT/ D.P	Lot 7 / D38331	COUNCIL:	Northern Beaches Council		
		D.A OR GDC:	D.A.		
		JOB NO:	NIL53618		

LEGEND	
	DONATES CUT BATTER
	DONATES FILL BATTER
	RETAINING WALL BY OWNER
	TREES (RETAINED)
	TREES (DEMOLISHED)
	BOUNDARY
	DEMOLISHED EXISTING STURCTURES
	DROP EDGE BEAM
	PRIVATE OPEN SPACE (MIN. 60m2/5mx5m)








SITE PLAN							
<div><div>CHARLESTON[®]</div><div>Homes that create a lifestyle</div><div>PO Box 146 Horsley Park 2175 Ph: (02) 9420 0000 Fax: (02) 9420 0099 www.charlestonhomes.com.au</div><div>BLD LIC: 44394C</div></div>	AMENDMENTS						
	Rev.	Issued by	Date	Description			
	F	RB	24.07.18	Balcony Size and Door Adjustment			
	G	RB	14.08.18	Variation #04			
	H	CC	08.10.18	Compliance Check			
	I	RB	14.11.18	Adjustments for Compliance			
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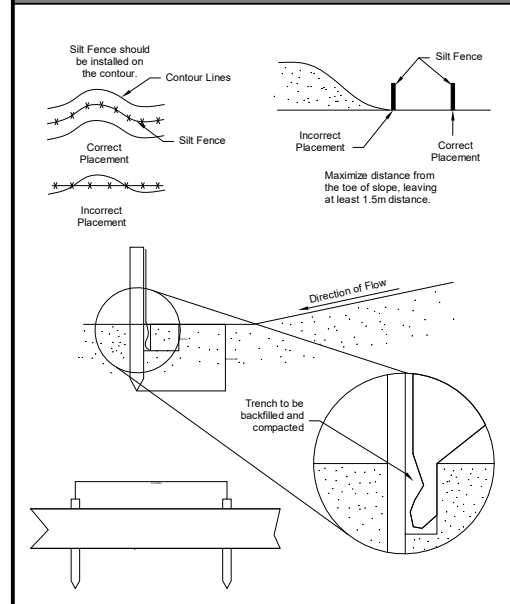


DRIVEWAY GRADIENT

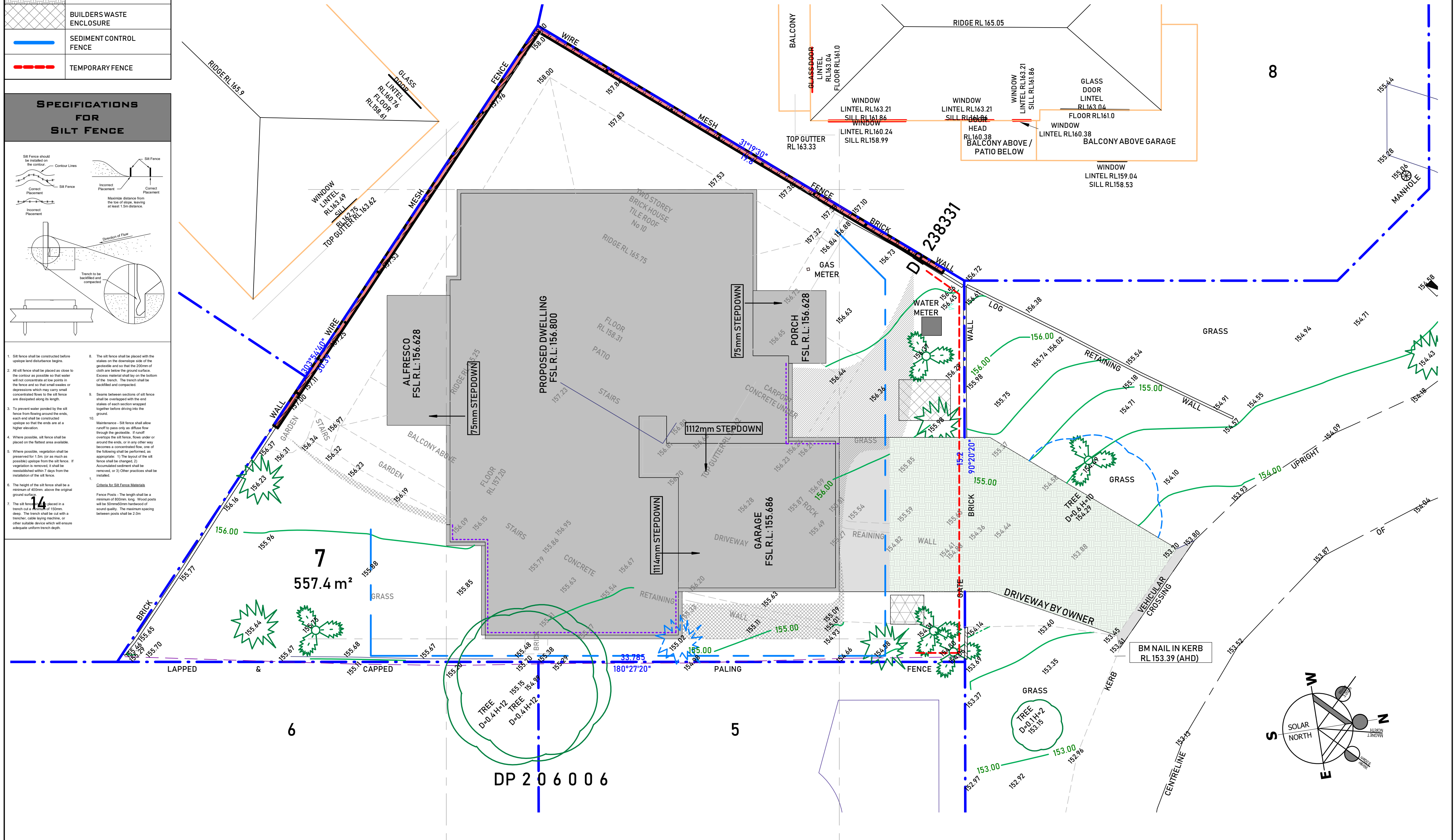
<div><div>CHARLESTON[®]</div><div>Homes that create a lifestyle</div><div>PO Box 146 Horsley Park 2175 Ph: (02) 9620 0000 Fax: (02) 9620 0099 www.charlestonhomes.com.au</div><div>ABN: 57 050 836 863</div></div>	AMENDMENTS				<div><div>COPYRIGHT:</div><div>ALL PLANS AND DRAWINGS ARE SUBJECT OF COPYRIGHT. ANY ATTEMPT OR ACTUAL INFRINGEMENT BY USING OR REPRODUCING OR COPYING THE SAME, WHOLLY OR IN PART, WITHOUT PRIOR WRITTEN PERMISSION FROM CHARLESTON HOMES Pty Ltd WILL RESULT IN LEGAL PROCEEDING</div><div>NOTE:</div><div>ALL WORKS AND MATERIALS SHALL BE IN ACCORDANCE WITH THE RELEVANT BUILDING CODE OF AUSTRALIA AND THE RELEVANT AUSTRALIAN STANDARDS AS STATED IN THE GENERAL HOUSING SPECIFICATIONS.</div></div>	DESIGN	Trinity (Modified)	DATE:	-	DWG No. <div>01A</div>
	Rev.	Issued by	Date	Description		CLIENT	Rev. Hon. Fred Nile	SCALE:	1 : 50	
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	H	CC	08.10.18	Compliance Check				D.A OR GDC:	D.A.	
	I	RB	14.11.18	Adjustments for Compliance				JOB NO:	NIL53618	REV. <div>I</div>

LEGEND	
	BUILDERS WC
	BUILDERS TOOL STORAGE
	ALL WEATHER SITE ACCESS
	BUILDERS WASTE ENCLOSURE
	SEDIMENT CONTROL FENCE
	TEMPORARY FENCE


SPECIFICATIONS FOR SILT FENCE

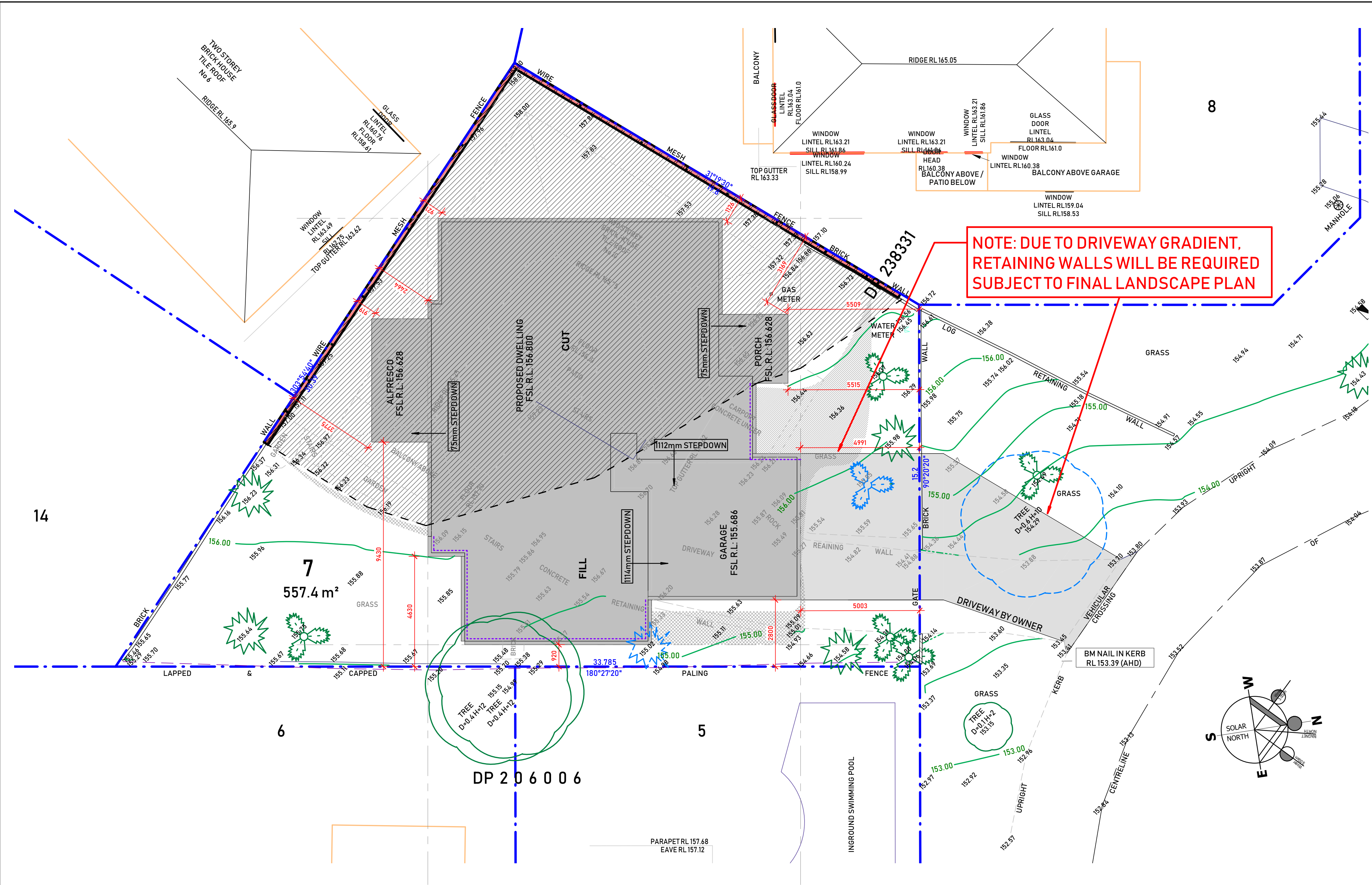


- 1 The sill fence shall be constructed before laying outtop and distance bearings.
 - 2 All sill fence shall be placed on all points in the trench and shall be constructed so that lay out of the trench will not be interrupted at any points in the trench and so that small variations or adjustments which may carry small length concentrated forces to the sill fence are not accumulated. The trench shall be
 - 3 To prevent water running by the sill fence from flowing around the ends, each end shall be constructed upslope to trench ends where ends are at a higher elevation.
 - 4 Where possible, sill fence shall be placed on the flattest area available.
 - 5 Where possible, vegetation shall be removed from the trench (or, if not possible) upslope from the sill fence. If vegetation is removed, it shall be reestablished 1 year from the installation of the sill fence.
 - 6 The height of the sill fence shall be a minimum of 200mm above the original ground surface.
 - 7 The sill fence shall be placed in a trench cut 14" deep and 150mm, minimum, wide. The trench shall be cut with a trencher, cable laying machine, or other suitable device which will ensure adequate bottom trench depth.
 - 8 The sill fence shall be placed by the stakes on the down slope side of the geotextiles and so that the 200mm of earth are below the ground surface. Excess material shall be on the bottom of the trench. The trench shall be backfilled and compacted.
 - 9 Seams between sections of all fence shall be overlapped with the following status: each section wrapped together before driving into the ground.
 - 10 Maintenance - Sill fence shall allow runoff to pass only up a slight flow through the geotextile. If runoff overtops the sill fence, flows under or over the fence, or in any other way causes a concentrated flow, the following shall be performed as required:
 - a) If the type of the sill fence shall be changed; 2)
 - b) Accumulated sediment that be removed; 3)
 - c) Other practices shall be installed.
- Criteria for Sill Fence Materials**
- Sill Fence Posts** - The length shall be a minimum of 800mm. Wood posts will be 60mm(diameter) hardwood or equivalent. The maximum spacing between posts shall be 2.0m



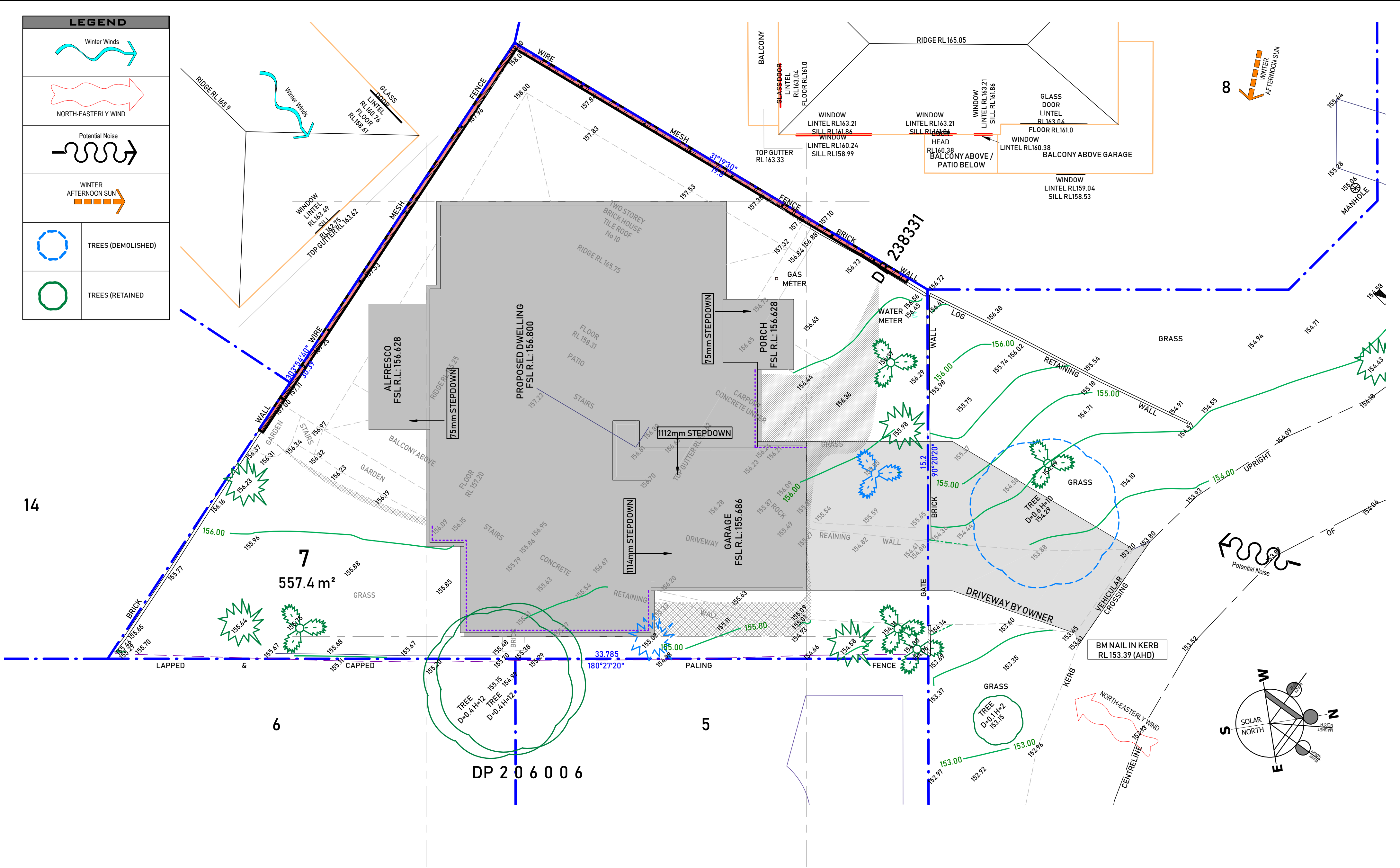
EROSION AND SEDIMENT CONTROL PLAN

 <p>CHARLESTON <i>Homes that create a lifestyle</i></p> <p>PO Box 144 Horsley Park 2175 Ph: (02) 9420 0000 Fax: (02) 9420 0099 www.charlestonhomes.com.au</p> <p>ABN: 57 050 836 863</p>	<p align="center">AMENDMENTS</p>				<p><small>COPYRIGHT: ALL PLANS AND DRAWINGS ARE SUBJECT OF COPYRIGHT. ANY ATTEMPT OR ACTUAL INFRINGEMENT BY USING OR REPRODUCING OR COPYING THE SAME, WHOLLY OR IN PART, WITHOUT PRIOR WRITTEN PERMISSION FROM CHARLESTON HOMES Pty Ltd WILL RESULT IN LEGAL PROCEEDINGS.</small></p> <p><small>NOTE: ALL WORKS AND MATERIALS SHALL BE IN ACCORDANCE WITH THE RELEVANT BUILDING CODE OF AUSTRALIA AND THE RELEVANT AUSTRALIAN STANDARDS AS STATED IN THE GENERAL HOUSING SPECIFICATIONS.</small></p>	<p><small>NOTE: - ALL DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO THE SCALE OF THE DRAWING. ALL GROUND LINES ARE INDICATIVE ONLY AND ARE TO BE CONFIRMED BY A REGISTERED SURVEYORS CONTOUR PLAN.</small></p> <p><small>- LIGHTING FIXTURES ARE NOT INCLUDED AS A STANDARD ITEM AND THEY ARE ONLY SHOWN IN THIS VIEW AS A REFERENCE.</small></p>	<p>DESIGN Trinity (Modified)</p> <p>CLIENT Rev. Hon. Fred Nile</p> <p>ADDRESS 10 Courtley Road, Beacon Hill</p> <p>LOT/ D.P Lot 7 / D38331</p>	<p>DATE: -</p> <p>SCALE: As indicated</p> <p>DRAWN BY: Robert Bacic</p> <p>COUNCIL: Northern Beaches Council</p> <p>D.A. OR CDG: D.A.</p> <p>JOB NO: NIL53618</p>	<p>DWG No.</p> <p align="center">01B</p> <p>REV.</p> <p align="center">I</p>
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	G	RB	14.08.18	Variation #04					
	H	CC	08.10.18	Compliance Check					
I	RB	14.11.18	Adjustments for Compliance						



CUT/FILL PLAN

<div><div>CHARLESTON[®]</div><div>Homesthat create a lifestyle</div><div><div>PO Box 144 Hordley Park 2172</div><div>Ph: (02) 9420 0050 Fax: (02) 9420 0099</div><div>www.charlestonforhomes.com.au</div></div><div><div>ABN: 57 030 834 863</div><div>B1C LIC: 44934C</div></div></div> <div><div>AMENDMENTS</div><table><tr><th>Rev.</th><th>Issued by</th><th>Date</th><th>Description</th></tr><tr><td>F</td><td>RB</td><td>24.07.18</td><td>Balcony Size and Door Adjustment</td></tr><tr><td>G</td><td>RB</td><td>14.08.18</td><td>Variation #04</td></tr><tr><td>H</td><td>CC</td><td>08.10.18</td><td>Compliance Check</td></tr><tr><td>I</td><td>RB</td><td>14.11.18</td><td>Adjustments for Compliance</td></tr></table><div><div><div>COPYRIGHT: ALL PLANS AND DRAWINGS ARE SUBJECT OF COPYRIGHT. ANY ATTEMPT OR ACTUAL INFRINGEMENT BY USING OR REPRODUCING OR COPYING THE SAME WHOLLY OR IN PART WITHOUT PRIOR WRITTEN PERMISSION FROM CHARLESTON HOMES PTY LTD WILL RESULT IN LEGAL PROCEEDINGS.</div><div>NOTE: ALL WORKS AND MATERIALS SHALL BE IN ACCORDANCE WITH THE RELEVANT BUILDING CODE OF AUSTRALIA AND THE RELEVANT AUSTRALIAN STANDARDS AS STATED IN THE GENERAL HOUSING SPECIFICATIONS.</div></div><div><div>NOTE: ALL DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO THE SCALE OF THE DRAWING. ALL GROUND LINES ARE INDICATIVE ONLY AND ARE TO BE CONFIRMED BY A REGISTERED SURVEYORS CONTOUR PLAN.</div><div>- LIGHTING FIXTURES ARE NOT INCLUDED AS A STANDARD ITEM AND THEY ARE ONLY SHOWN IN THIS VIEW AS A REFERENCE.</div></div></div><div><table><tr><td>DESIGN</td><td>Trinity (Modified)</td></tr><tr><td>CLIENT</td><td>Rev. Hon. Fred Nile</td></tr><tr><td>ADDRESS</td><td>10 Courtley Road, Beacon Hill</td></tr><tr><td>LOT/ D.P</td><td>Lot 7 / D38331</td></tr></table></div><div><table><tr><td>DATE:</td><td>-</td></tr><tr><td>SCALE:</td><td>1 : 100</td></tr><tr><td>DRAWN BY:</td><td>Robert Baic</td></tr><tr><td>COUNCIL:</td><td>Northern Beaches Council</td></tr><tr><td>D.A OR CDD:</td><td>D.A.</td></tr><tr><td>JOB NO:</td><td>NIL53618</td></tr></table></div><div><div>DWG No.</div><div>01C</div><div>REV.</div><div>I</div></div></div>	Rev.	Issued by	Date	Description	F	RB	24.07.18	Balcony Size and Door Adjustment	G	RB	14.08.18	Variation #04	H	CC	08.10.18	Compliance Check	I	RB	14.11.18	Adjustments for Compliance	DESIGN	Trinity (Modified)	CLIENT	Rev. Hon. Fred Nile	ADDRESS	10 Courtley Road, Beacon Hill	LOT/ D.P	Lot 7 / D38331	DATE:	-	SCALE:	1 : 100	DRAWN BY:	Robert Baic	COUNCIL:	Northern Beaches Council	D.A OR CDD:	D.A.	JOB NO:	NIL53618
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SITE ANALYSIS PLAN

<div>CHARLESTON</div> <div>Homes that create a lifestyle</div> <div>PO Box 146 Morley Park 2175 Ph: (02) 9420 0000 Fax: (02) 9420 2099 www.charlestonhomes.com.au</div> <div>BLD LIC: 44394C</div>	AMENDMENTS				COPYRIGHT: ALL PLANS AND DRAWINGS ARE SUBJECT OF COPYRIGHT. ANY ATTEMPT OR ACTUAL INFRINGEMENT BY USING OR REPRODUCING OR COPYING THE SAME WHOLLY OR IN PART, WITHOUT PRIOR WRITTEN PERMISSION FROM CHARLESTON HOMES PTY LTD WILL RESULT IN LEGAL PROCEEDINGS	NOTE: ALL DIMENSIONS ARE TO BE TAKEN IN REFERENCE TO THE SCALE OF THE DRAWING. ALL GROUND LINES ARE INDICATIVE ONLY AND ARE TO BE CONFIRMED BY A REGISTERED SURVEYORS CONTOUR PLAN	NOTE: LIGHTING FIXTURES ARE NOT INCLUDED AS A STANDARD ITEM AND THEY ARE ONLY SHOWN IN THIS VIEW AS A REFERENCE	DESIGN	Trinity (Modified)	DATE:	-	DWG No.	01D I
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	I	RB	14.11.18	Adjustments for Compliance						JOB NO:	NIL53618		

TREES (RETAINED)

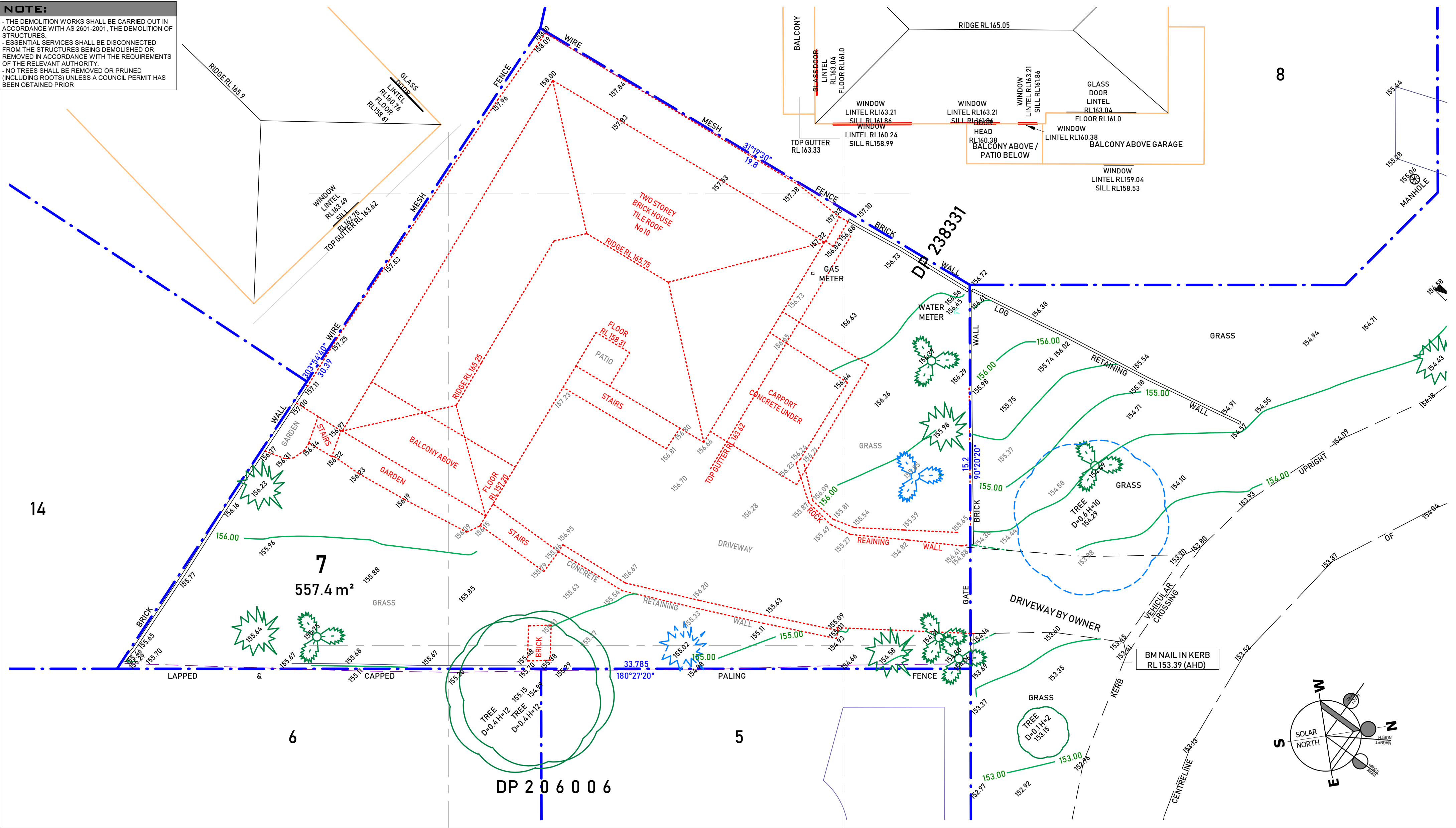
TREES (DEMOLISHED)

BOUNDARY

DEMOLISHED EXISTING STURCTURES

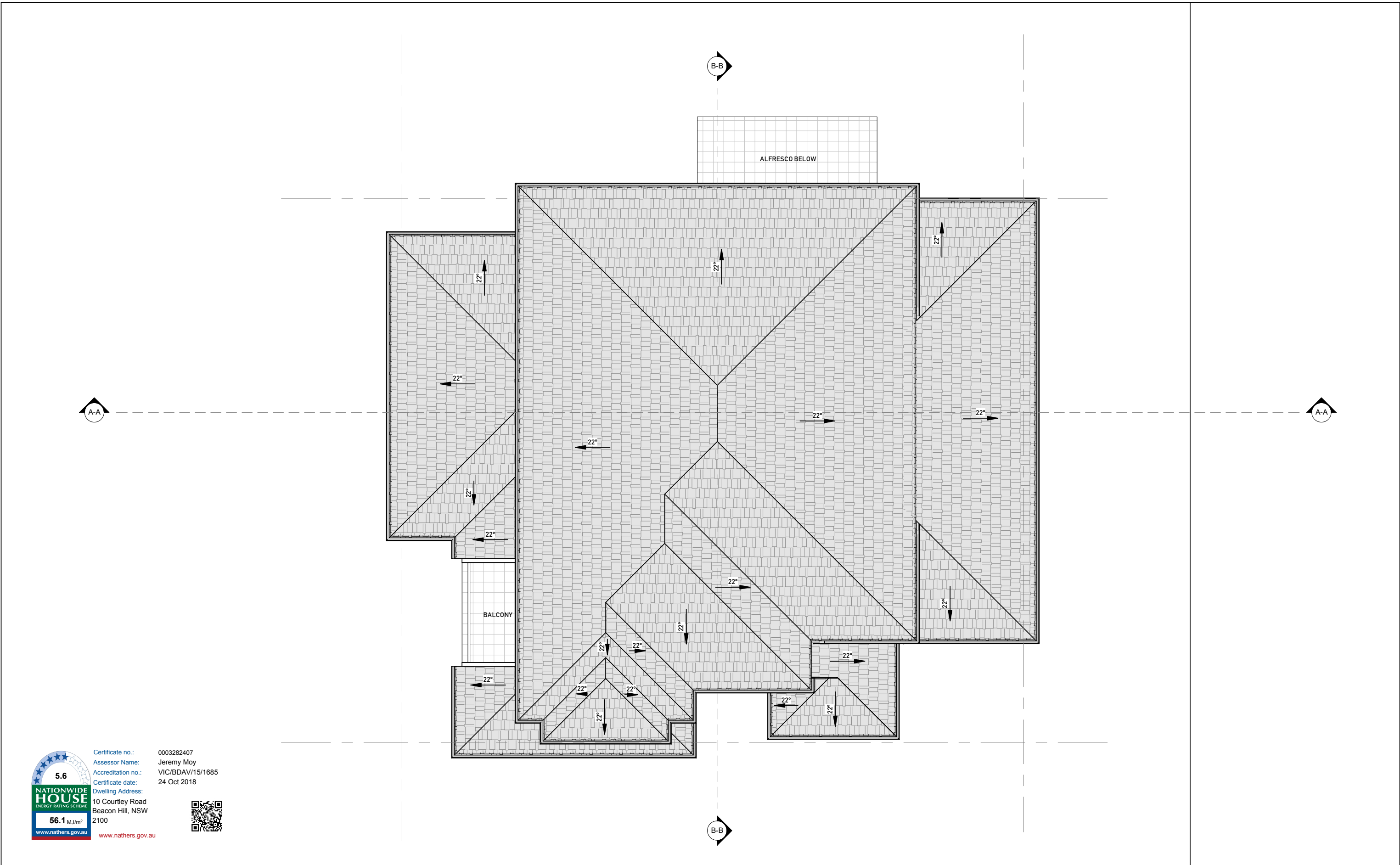
NOTE:

- THE DEMOLITION WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH AS 2601-2001, THE DEMOLITION OF STRUCTURES.
- ESSENTIAL SERVICES SHALL BE DISCONNECTED FROM THE STRUCTURES BEING DEMOLISHED OR REMOVED IN ACCORDANCE WITH THE REQUIREMENTS OF THE RELEVANT AUTHORITY.
- NO TREES SHALL BE REMOVED OR PRUNED (INCLUDING ROOTS) UNLESS A COUNCIL PERMIT HAS BEEN OBTAINED PRIOR



DEMOLITION PLAN

<div><div>CHARLESTON®</div><div>Homes that create a lifestyle</div><div>PO Box 146 Morley Park 2175 Ph: (02) 9420 0000 Fax: (02) 9420 0099 www.charlestonhomes.com.au</div><div>ABN: 57 050 834 843</div></div>	AMENDMENTS				<p>COPYRIGHT: ALL PLANS AND DRAWINGS ARE SUBJECT OF COPYRIGHT. ANY ATTEMPT OR ACTUAL INFRINGEMENT BY USING OR REPRODUCING OR COPYING THE SAME WHOLLY OR IN PART, WITHOUT PRIOR WRITTEN PERMISSION FROM CHARLESTON HOMES Pty Ltd WILL RESULT IN LEGAL PROCEEDINGS.</p> <p>NOTE: ALL WORKS AND MATERIALS SHALL BE IN ACCORDANCE WITH THE RELEVANT BUILDING CODE OF AUSTRALIA AND THE RELEVANT AUSTRALIAN STANDARDS AS STATED IN THE GENERAL HOUSING SPECIFICATIONS.</p> <p>NOTE: - ALL DIMENSIONS ARE TO BE TAKEN IN REFERENCE TO THE SCALE OF THE DRAWING. ALL GROUND LINES ARE INDICATIVE ONLY AND ARE TO BE CONFIRMED BY A REGISTERED SURVEYORS CONTOUR PLAN.</p> <p>- LIGHTING FIXTURES ARE NOT INCLUDED AS A STANDARD ITEM AND THEY ARE ONLY SHOWN IN THIS VIEW AS A REFERENCE.</p>	DESIGN	Trinity (Modified)		DATE:	-		DWG No. REV. 011 I
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5.6

NATIONWIDE
HOUSE
ENERGY RATING SCHEME

56.1 MJ/m²

www.nathers.gov.au

Certificate no.: 0003282407

Assessor Name: Jeremy Moy

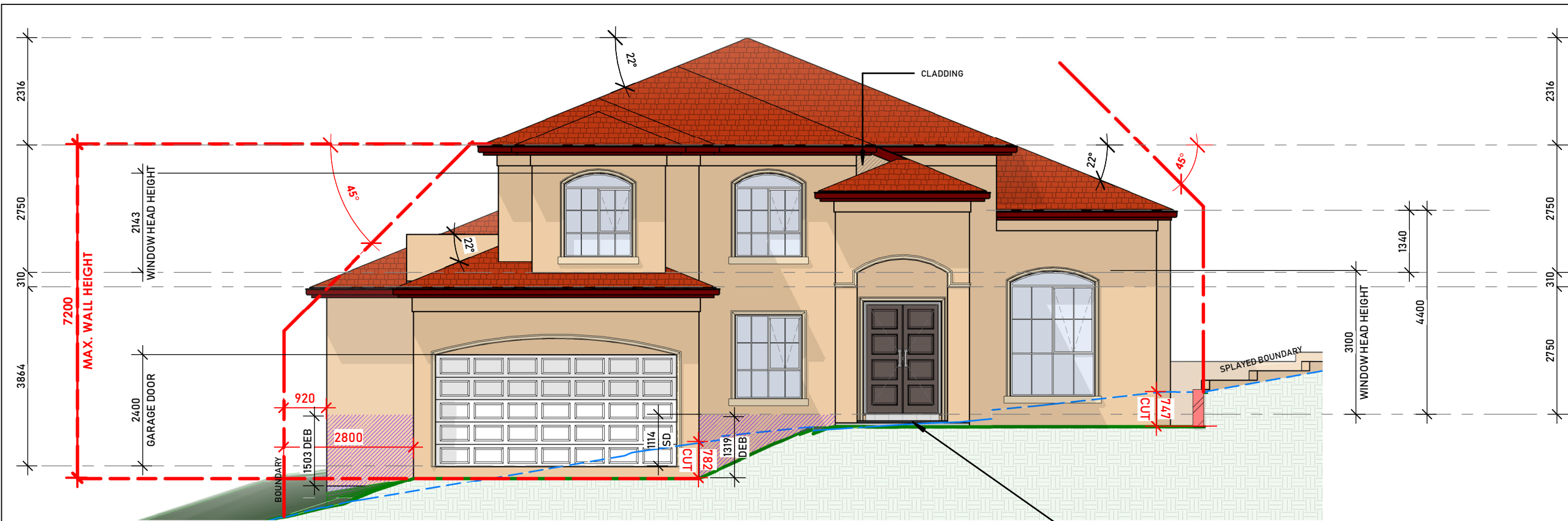
Accreditation no.: VIC/BDV/15/1685

Certificate date: 24 Oct 2018

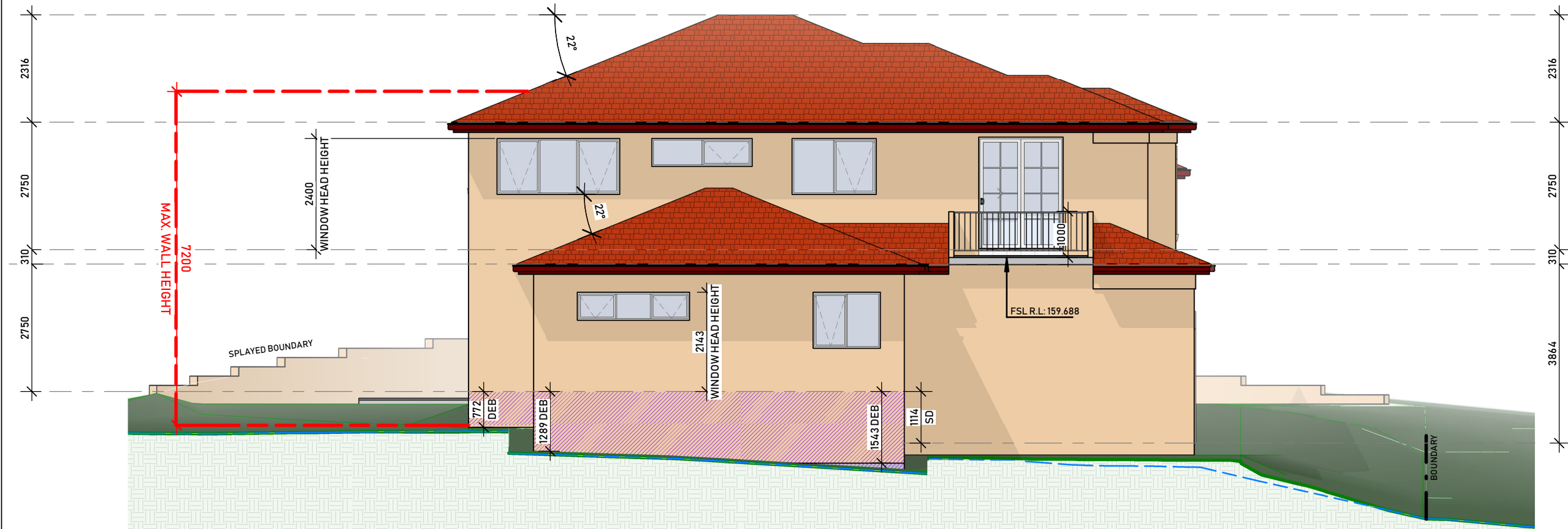
Dwelling Address: 10 Courtley Road
Beacon Hill, NSW
2100

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ROOF PLAN													
<div>CHARLESTON[®]</div> <div>Homes that create a lifestyle</div> <div>PO Box 146 Horsley Park 2175 Ph: (02) 9620 0000 Fax: (02) 9620 0099 www.charlestonhomes.com.au</div> <div>ABN: 57 050 836 863</div>	AMENDMENTS				<div><small>COPYRIGHT:</small> ALL PLANS AND DRAWINGS ARE SUBJECT OF COPYRIGHT. ANY ATTEMPT OR ACTUAL INFRINGEMENT BY USING OR REPRODUCING OR COPYING THE SAME, WHOLLY OR IN PART, WITHOUT PRIOR WRITTEN PERMISSION FROM CHARLESTON HOMES Pty Ltd WILL RESULT IN LEGAL PROCEEDING</div> <div><small>NOTE:</small> ALL WORKS AND MATERIALS SHALL BE IN ACCORDANCE WITH THE RELEVANT BUILDING CODE OF AUSTRALIA AND THE RELEVANT AUSTRALIAN STANDARDS AS STATED IN THE GENERAL HOUSING SPECIFICATIONS.</div>	<div><small>NOTE:</small> - ALL DIMENSIONS ARE TO BE TAKEN IN REFERENCE TO THE SCALE OF THE DRAWING. ALL GROUND LINES ARE INDICATIVE ONLY AND ARE TO BE CONFIRMED BY A REGISTERED SURVEYORS CONTOUR PLAN</div> <div><small>NOTE:</small> - LIGHTING FIXTURES ARE NOT INCLUDED AS A STANDARD ITEM AND THEY ARE ONLY SHOWN IN THIS VIEW AS A REFERENCE</div>	DESIGN	Trinity (Modified)		DATE:	-		DWG No. <div>03</div>
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NORTH ELEVATION
1:100



EAST ELEVATION
1:100

LEGEND	
	EXISTING GROUND LEVEL
	PROPOSED FGL BY BUILDER
	RETAINING WALL BY OWNER
	DROP EDGE BEAM
	REQ. BUILDING ENVELOPE



Certificate no.: 0003282407
Assessor Name: Jeremy Moy
Accreditation no.: VIC/BDV/15/1685
Certificate date: 24 Oct 2018
Dwelling Address: 10 Courtley Road, Beacon Hill, NSW 2100
www.nathers.gov.au



ELEVATION 1 & 2

CHARLESTON
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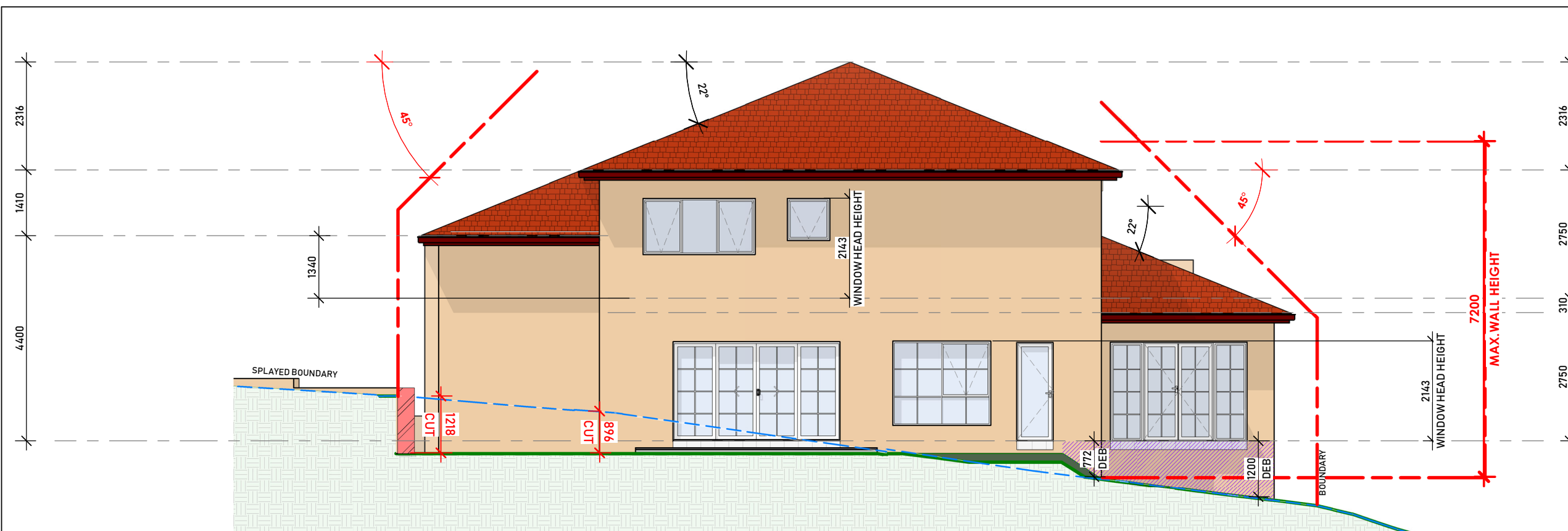
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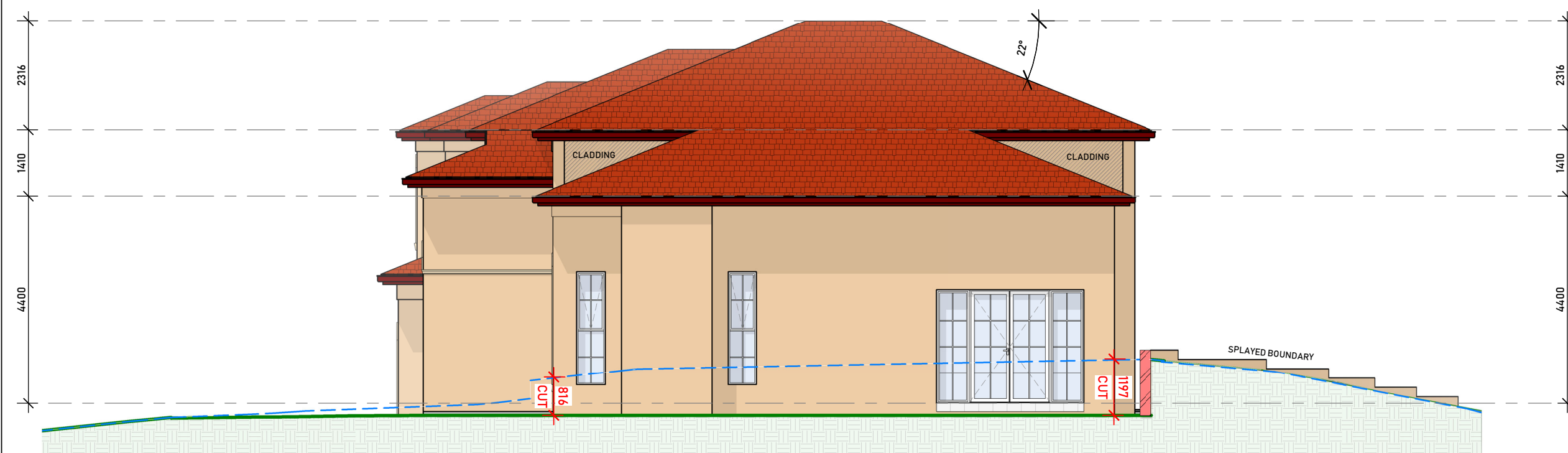
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SURVEYORS CONTOUR PLAN

- LIGHTING FIXTURES ARE NOT INCLUDED
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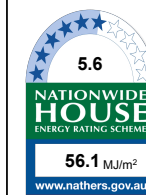


○ **SOUTH ELEVATION**
1:100



○ **WEST ELEVATION**
1 : 100

LEGEND	
	EXISTING GROUND LEVEL
 	PROPOSED FGL BY BUILDER
	RETAINING WALL BY OWNER
	DROP EDGE BEAM
	REQ. BUILDING ENVELOPE



Certificate no.: 0003282407
Assessor Name: Jeremy Moy
Accreditation no.: VIC/BDAY/15/1685
Certificate date: 24 Oct 2018



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ELEVATION 3 & 4

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BLD LIC. 44394C

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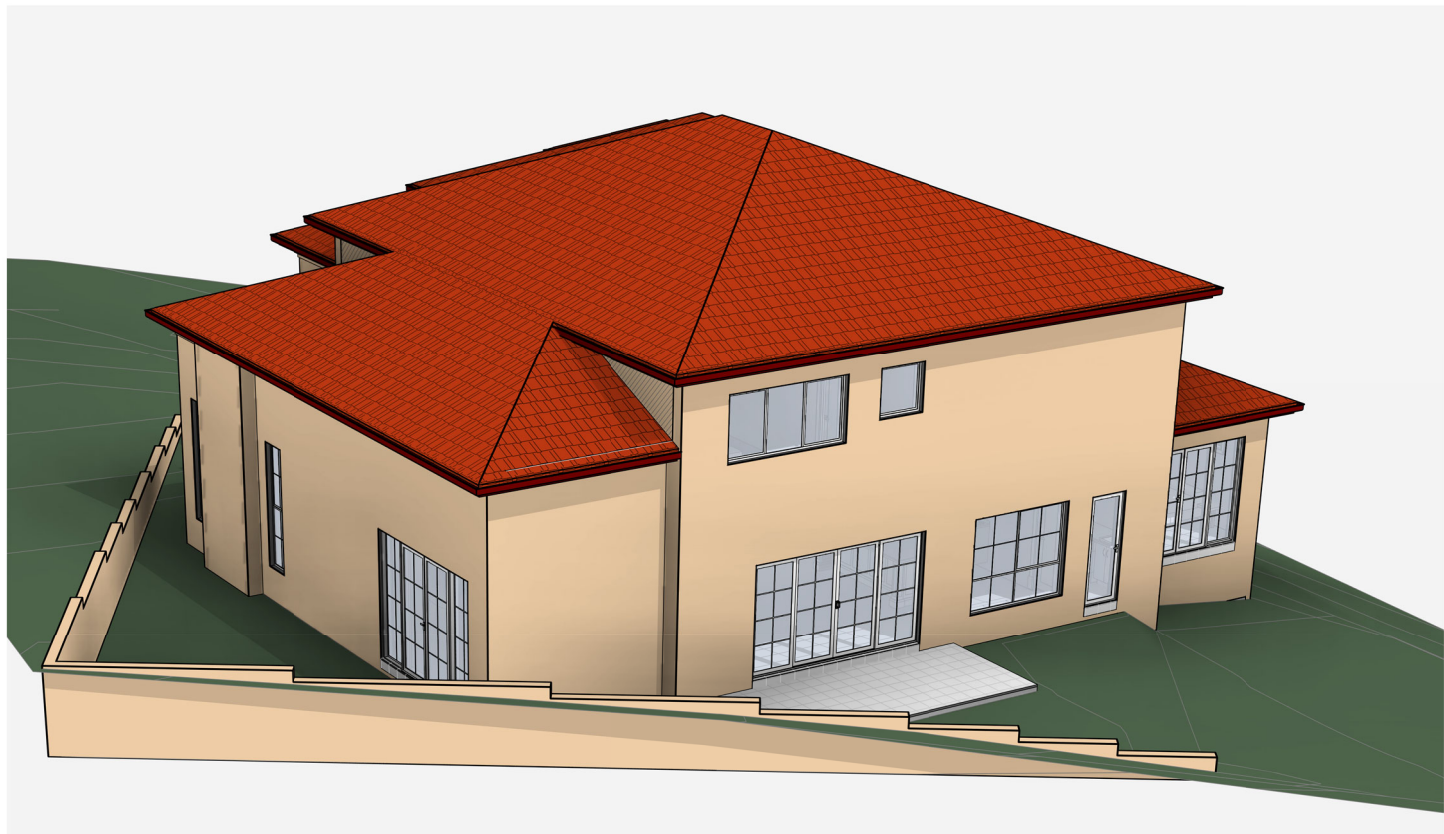
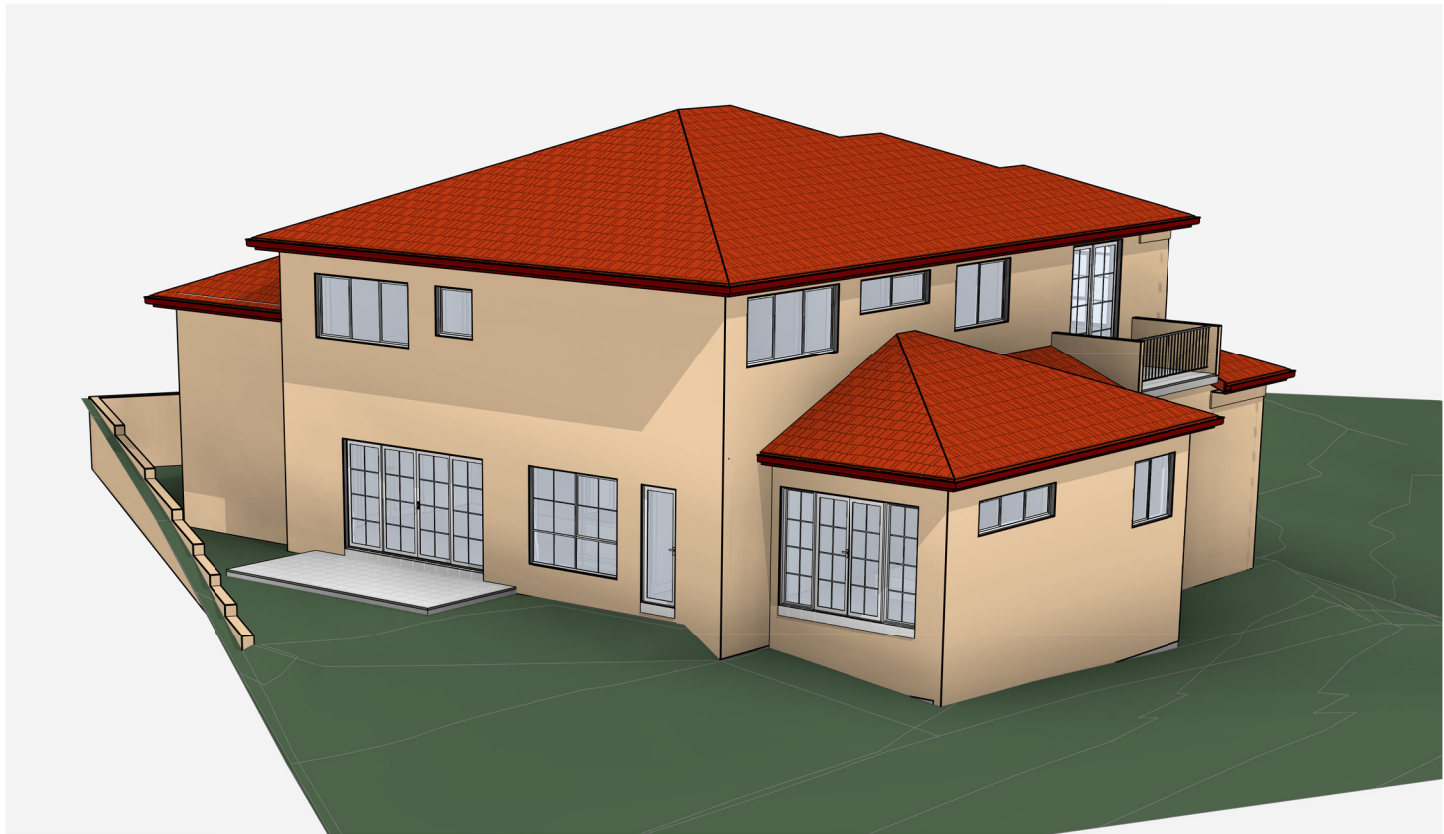
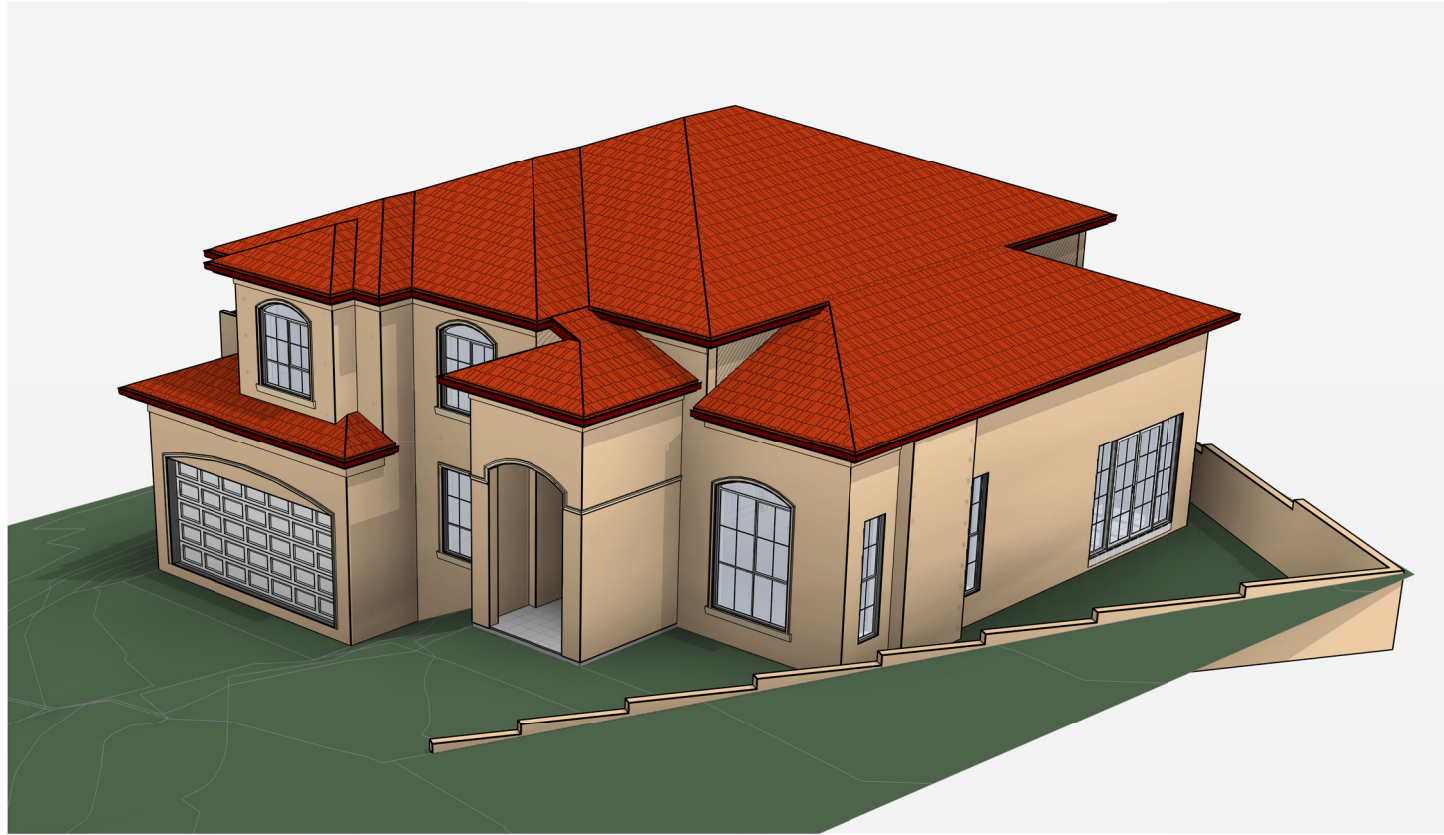
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AS A STANDARD ITEM AND THEY ARE ONLY
SHOWN IN THIS VIEW AS A REFERENCE

DESIGN	Trinity (Modified)	DATE:	-	DWG No. 04A
CLIENT	Rev. Hon. Fred Nile	SCALE:	As indicated	
ADDRESS	10 Courtley Road, Beacon Hill	DRAWN BY:	Robert Bacic	REV. I
		COUNCIL:	Northern Beaches Council	
		D.A OR GDC:	D.A.	
LOT/ D.P	Lot 7 / D38331	JOB NO:	NIL53618	



EXTERNAL PERSPECTIVES

<div><div>CHARLESTON®</div><div>Homes that create a lifestyle</div><div><div>PO Box 146 Horsley Park 2175</div><div>Ph: (02) 9620 0000 Fax: (02) 9620 0099</div><div>www.charlestonhomes.com.au</div></div><div><div>BN: 57 050 836 863</div><div>BLD LIC: 44394C</div></div></div>	AMENDMENTS				<div><div><div>COPYRIGHT:</div><div>ALL PLANS AND DRAWINGS ARE SUBJECT OF COPYRIGHT. ANY ATTEMPT OR ACTUAL INFRINGEMENT BY USING OR REPRODUCING OR COPYING THE SAME, WHOLLY OR IN PART, WITHOUT PRIOR WRITTEN PERMISSION FROM CHARLESTON HOMES Pty Ltd WILL RESULT IN LEGAL PROCEEDING</div></div><div><div><div>NOTE:</div><div>ALL WORKS AND MATERIALS SHALL BE IN ACCORDANCE WITH THE RELEVANT BUILDING CODE OF AUSTRALIA AND THE RELEVANT AUSTRALIAN STANDARDS AS STATED IN THE GENERAL HOUSING SPECIFICATIONS.</div></div><div><div><div>NOTE:</div><div>ALL DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO THE SCALE OF THE DRAWING. ALL GROUND LINES ARE INDICATIVE ONLY AND ARE TO BE CONFIRMED BY A REGISTERED SURVEYORS CONTOUR PLAN</div></div><div><div><div>- LIGHTING FIXTURES ARE NOT INCLUDED AS A STANDARD ITEM AND THEY ARE ONLY SHOWN IN THIS VIEW AS A REFERENCE</div></div></div></div></div></div>	DESIGN	Trinity (Modified)	DATE:	-	DWG No.
	Rev.	Issued by	Date	Description		CLIENT	Rev. Hon. Fred Nile	SCALE:		<div><div>04B</div><div>REV.</div><div>I</div></div>
	F	RB	24.07.18	Balcony Size and Door Adjustment		ADDRESS	10 Courtley Road, Beacon Hill	DRAWN BY:	Robert Bacic	
	G	RB	14.08.18	Variation #04		LOT/ D.P	Lot 7 / D38331	COUNCIL:	Northern Beaches Council	
	H	CC	08.10.18	Compliance Check				D.A OR GDC:	D.A.	
	I	RB	14.11.18	Adjustments for Compliance				JOB NO:	NIL53618	

Single Dwelling

Certificate number: 968521S

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Wednesday, 24 October 2018
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary		
Project name	10 Courtley Rd, Beacon Hill	
Street address	10 Courtley Road Beacon Hill 2100	
Local Government Area	Northern Beaches Council	
Plan type and plan number	deposited 238331	
Lot no.	7	
Section no.	-	
Project type	separate dwelling house	
No. of bedrooms	5	
Project score		
Water	✓ 40	Target 40
Thermal Comfort	✓ Pass	Target Pass
Energy	✓ 51	Target 50

Certificate Prepared by

Name / Company Name: Planning Approvals

ABN (if applicable): 21108969624

BASIX Planning & Environment www.basix.nsw.gov.au Version: 3.0 / DARWINIA_3_7_9 Certificate No.: 968521S Wednesday, 24 October 2018 page 1/7

Description of project

Project address	
Project name	10 Courtley Rd, Beacon Hill
Street address	10 Courtley Road Beacon Hill 2100
Local Government Area	Northern Beaches Council
Plan type and plan number	Deposited Plan 238331
Lot no.	7
Section no.	-
Project type	
Project type	separate dwelling house
No. of bedrooms	5
Site details	
Site area (m ²)	557
Roof area (m ²)	273
Conditioned floor area (m2)	292.9
Unconditioned floor area (m2)	6.4
Total area of garden and lawn (m2)	271

Assessor details and thermal loads		
Assessor number	BDAV15/1685	
Certificate number	0003282407	
Climate zone	56	
Area adjusted cooling load (MJ/m ² year)	20	
Area adjusted heating load (MJ/m ² year)	37	
Project score		
Water	✔ 40	Target 40
Thermal Comfort	✔ Pass	Target Pass
Energy	✔ 51	Target 50

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Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 3 star (> 6 but <= 7.5 L/min) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 3 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 3 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 3 star in each bathroom in the development.		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 2500 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 273 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to:			
• all toilets in the development		✓	✓
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓

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Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Simulation Method			
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.			
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate.			
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.	✓	✓	✓
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓

Floor and wall construction	Area
Floor - concrete slab on ground	All or part of floor area square metres

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Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 5 stars.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning. Energy rating: EER 2.5 - 3.0		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning. Energy rating: EER 2.5 - 3.0		✓	✓
The cooling system must provide for day/night zoning between living areas and bedrooms.		✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning. Energy rating: EER 3.0 - 3.5		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning. Energy rating: EER 3.0 - 3.5		✓	✓
The heating system must provide for day/night zoning between living areas and bedrooms.		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development:			
At least 1 Bathroom: individual fan, ducted to façade or roof, Operation control: manual switch on/off		✓	✓
Kitchen: individual fan, ducted to façade or roof, Operation control: manual switch on/off		✓	✓
Laundry: natural ventilation only, or no laundry; Operation control: n/a		✓	✓
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:			
• at least 5 of the bedrooms / study; dedicated		✓	✓

BASIX Planning & Environment www.basix.nsw.gov.au Version: 3.0 / DARWINIA_3_7_9 Certificate No.: 968521S Wednesday, 24 October 2018 page 5/7

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
• at least 5 of the living / dining rooms, dedicated		✓	✓
• the kitchen; dedicated		✓	✓
• all bathrooms/toilets; dedicated		✓	✓
• the laundry; dedicated		✓	✓
• all hallways; dedicated		✓	✓
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓
The applicant must install a window and/or skylight in 4 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
Other			
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.		✓	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	
The applicant must install a fixed indoor or sheltered clothes drying line as part of the development.		✓	

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Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a ✓ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.

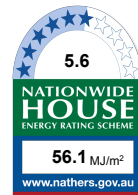
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NATHERS THERMAL PERFORMANCE SPECIFICATIONS

THERMAL PERFORMANCE SPECIFICATIONS BELOW WERE USED IN THE NATHERS RATING OF THIS DEVELOPMENT AND PREVAIL OVER ANY INCONSISTENCIES SHOWN ELSEWHERE ON THE PLANS OR SPECIFICATION ATTACHED HERewith.

BUILDING COMPONENT	RATED SPECIFICATION	
External Walls	Brick Veneer with insulation of at least:	R1.5
	Framed Clad or Weatherboard with insulation of at least:	R1.5
	Between Garage and rest of the dwelling:	R1.5
Roof Space	Above Ceiling with insulation of at least:	R2.5
	Under Tiled roof with insulation of at least:	Foil Sarking
Glazing (System Value - NFRC)	Type A:	
	Awnings, Casements, Bi-fold, Tilt & Turn, Hung Doors, French "Single Glazed Clear on Aluminium Frame"	U value 6.70 (or less) SHGC 0.57 (or +/- 10%)
	Type B:	
	Sliding, Fixed, Louvre, Double/Single Hung, Stacker "Single Glazed Clear on Aluminium Frame"	U value 6.70 (or less) SHGC 0.70 (or +/- 10%)
Lighting	LED lighting Type "IC" recessed luminaire where insulating material can be installed to abut and over the luminaire.	

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Certificate no.: 0003282407
Assessor Name: Jeremy Moy
Accreditation no.: VIC/BDAV/15/1685
Certificate date: 24 Oct 2018

Dwelling Address:
10 Courtley Road
Beacon Hill, NSW
2100

www.nathers.gov.au



AMENDMENTS

Rev.	Issued by	Date	Description
F	RB	24.07.18	Balcony Size and Door Adjustment
G	RB	14.08.18	Variation #04
H	CC	08.10.18	Compliance Check
I	RB	14.11.18	Adjustments for Compliance

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DESIGN Trinity (Modified)**CLIENT** Rev. Hon. Fred Nile**ADDRESS** 10 Courtley Road, Beacon Hill**LOT/ D.P** Lot 7 / D38331**DATE:** -**SCALE:****DRAWN BY:** Robert Bacic**COUNCIL:** Northern Beaches Council**D.A OR GDC:** D.A.**JOB NO:** NIL53618

DWG No.

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REV.

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