

Building Construction in Bush Fire Prone Areas

Bushfire Hazard Assessment Report

REF No. 23.10.376

Address Lot 8 DP 223922
15 Southern Cross Way
Allambie Heights NSW 2756

For W & L Quick

The site was inspected on 31st January 2025

Report Preparation

Craig Burley

Grad Dip Design for Bushfire Prone Areas
FPAA Certified BPAD – Level 3 Practitioner



Bushfire Risk Assessment Certificate

As required by legislation under section 4.14 of the *Environmental Planning and Assessment Act 1979*

Property Address:	Lot 8 DP 223922 15 Southern Cross Way Allambie Heights NSW 2756
Description of Proposal	Alterations and additions to an existing Class 1a dwelling and new swimming pool
Plan Reference: [Relied upon in report preparation]	This assessment is based on plans prepared by: View Thru Dated: 14.01.2025
Bushfire Hazard Assessment Report Ref. No.	23.10.376
Report Date:	06.02.25
BAL Rating:	BAL 40
Does the proposal comply with the requirements of <i>Planning for Bush Fire Protection 2019</i> ?	Yes
Does the proposal require referral to the NSW Rural Fire Service?	NO
Does the proposal rely on Alternate Solutions?	NO

I Craig Burley of Control Line Consulting have carried out a bushfire risk assessment on the above-mentioned proposal and property.

A detailed Bushfire Hazard Assessment Report has been prepared in accordance to the submission requirements as set out in *Planning for Bush Fire Protection 2019* together with recommendations as to how the relevant specifications and requirements are to be achieved.

I hereby certify, in accordance with section 4.14 of the *Environmental Planning and Assessment Act 1979*:

1. That I am a person recognised by the *NSW Rural Fire Service* as a qualified consultant in bushfire risk assessment; and

I am aware that the Bushfire Hazard Assessment Report, prepared for the above-mentioned site is to be submitted in support of a development application for this site and will be relied upon by Northern Beaches Council as the basis for ensuring that the bushfire risk management aspects of the proposed development have been addressed in accordance with *Planning for Bushfire Protection 2019*.

Yours faithfully



Craig Burley
Grad Dip Design in Bushfire Prone Areas
FPA Australia BPAD – Level 3 Certified Practitioner



Executive Summary

We have been engaged by W & L Quick being the owners of the subject land to prepare a Bushfire Hazard Assessment Report to be a supplement for inclusion in a development application to Northern Beaches Council, for the proposed construction of alterations and additions to an existing Class 1a dwelling and new swimming pool upon the subject land.

The site has been identified as being bushfire prone land and therefore the legislative requirements for the proposed development are applicable.

The proposed development is an infill development as defined within *Planning for Bush Fire Protection* 2019 and this report has been prepared in accordance with the requirements of *Section 4.14 of the Environmental Planning and Assessment Act 1979*.

Bushfire Attack Summary – Dwelling Alterations

West

Vegetation Formation	Tall Heath (Area A)
Vegetation Slope	Upslope degrees
Building Separation Distance metres	13
Separation Slope	Upslope degrees
Fire Danger Index	100
AS 3959 Construction Standard	BAL 40

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Appendix 1 – Proposed dwelling alteration and addition plans ex View Thru

Appendix 2 – Proposed Landscape Plan ex Diamantina Design

Document Control

Revision No.	Author	Status	Date
01	Craig Burley	Final	06.02.25

1.0 Introduction

We have been engaged by W & L Quick being the owners of the subject land to prepare a Bushfire Hazard Assessment Report to be a supplement for inclusion in a development application to Northern Beaches Council for the proposed construction of alterations and additions to an existing Class 1a dwelling and new swimming pool upon the subject land.

The site has been identified as being bushfire prone land and therefore the legislative requirements for the proposed development are applicable.

The proposed development is an infill development as defined within *Planning for Bush Fire Protection 2019* and this report has been prepared in accordance with the requirements of *Section 4.14 of the Environmental Planning and Assessment Act 1979*.

1.1 Purpose of Report

- To determine the vegetation type, the expected fire behaviour and the threat to the proposal; and
- To assess the proposal with reference to *Planning for Bush Fire Protection 2019*; and
- To assess the proposed construction with reference to the National Construction Code of Australia Volume 2; and
- To determine the level of construction with reference to AS 3959-2018 *Construction of buildings in bushfire prone areas*; and
- To identify any other such measures as to improve the chances of building survival during a bushfire event; and
- To assist the consent authority Northern Beaches Council in the determination of the development application subject to this proposal.

1.2 Scope of Report

The scope of this report is limited to the Bushfire Hazard Assessment for the proposed development and only contains recommendations for the subject property. Where reference is made to adjacent or adjoining lands, this report does not purport to assess those lands; rather it may discuss bushfire progression on and through those lands with the possible bushfire impact to the subject property and the proposed development.

1.3 Regulatory Controls

The preparation of this report has given consideration to the various legislative and regulatory requirements including the *Environmental Planning and Assessment Act 1979*, the National Construction Code of Australia, *Planning for Bush Fire Protection 2019* and AS 3959-2018 *Construction of buildings in bushfire prone areas*.

1.4 Methodology

A site inspection for the purpose of assessing bushfire related matters affecting this site was conducted on the 31st January 2025 and a review of the proposed construction plans as supplied and prepared by View Thru has taken place.

An assessment of slope was conducted out to a distance of 100 metres and assessment of vegetation to a distance of 140 metres from the proposed development.

The findings were related and assessed with reference to *Planning for Bush Fire Protection 2019* and AS 3959-2018 *Construction of buildings in bushfire prone areas* for the formulation of the Bushfire Hazard Assessment.

This report includes calculations to predict the potential bushfire behaviour in accordance with the Detailed Method 2 Analysis for determining the Bushfire Attack Level (BAL).

1.5 The Proposal

The proposal as indicated by consultation with the proponents and perusal of plans supplied, shows for the construction of alterations and additions to an existing Class 1a dwelling.

The building footprint for the altered dwelling has been positioned upon the plans supplied and detail on such plans shows the new dwelling shall be located approximately 10.070 metres from the eastern (road frontage) boundary, 1.515 metres from the northern boundary, 13.0 metres from the western boundary and .900 metres from the southern boundary.

The external finishes for the dwelling have not been fully shown upon the plans supplied although it is anticipated that these will be further developed subject to the findings of this report.

Additionally, it is shown on the plans supplied to install a swimming pool within the western section of the subject allotment.

Further details of construction are shown upon plans included within appendix 1 of this report.

However, it must be noted that the plans supplied may not fully satisfy the recommendations included within this report and subject to actual consent conditions issued by the consent authority some modifications or changes may need to occur to achieve the required compliance.

2.0 Site and Adjacent Developments

The following seeks to describe the site, the adjoining lands and land uses effective upon the development proposal.

2.1 Site Description

The site is identified as Lot 8 DP 223922
 15 Southern Cross Way
 Allambie Heights NSW 2756
 LGA Northern Beaches Council



Figure 1: Address validation ex NSW Planning Portal

The subject allotment was created prior to the current subdivisional requirements contained within *Planning for Bush Fire Protection 2019*.

The site is a residential allotment of approximately 596.44m² located on the western side of Southern Cross Way. The area in which the proposal is located is generally urban residential development that has been established for many years.

The subject allotment is located within an area that should be considered as having a direct interface to bushfire hazardous vegetation.

The subject allotment is positioned upon the gentle easterly aspect slopes of a south to north ridgeline. The allotment is to the east of a naturally occurring unnamed topographical drainage feature that descends in a southerly direction into Manly Reservoir.

The parcel of land is slightly irregular but essentially rectangular in shape and the eastern boundary is the road frontage and provides vehicle access to the subject site.

At present the site has structural improvements limited to be an existing Class 1a dwelling that is the subject of this report.

In terms of vegetation the subject allotment contains no areas of bushfire hazardous vegetation and would currently satisfy the provisions for an asset protection zone as contained within *Planning for Bush Fire Protection 2019*.

The site is shown upon the Northern Beaches Bushfire Prone Land Map (Figure 2) to be wholly within category 1 vegetation buffer zone (shown yellow). The site inspection and interpretation of aerial photography for the site confirms that the subject allotment accurately described upon this image.

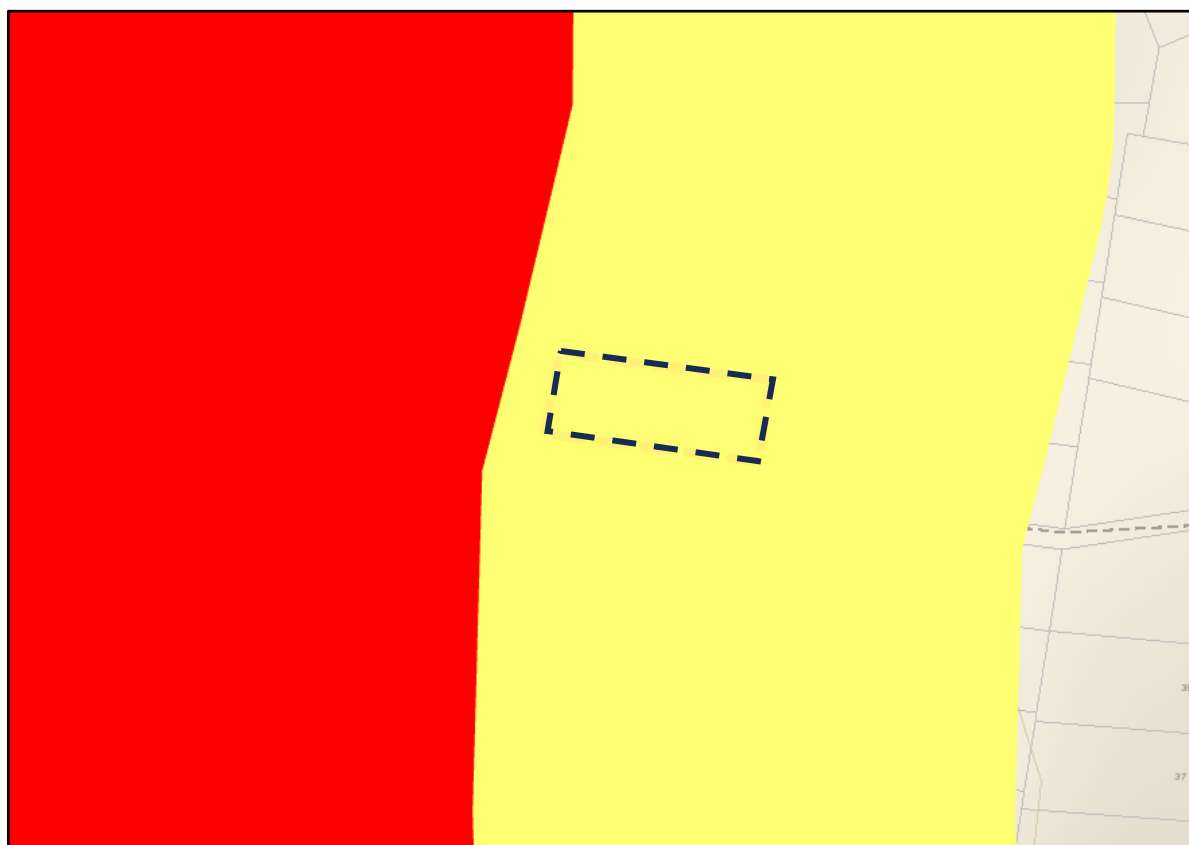


Figure 2; Section Northern Beaches LGA Bushfire Prone Land Map ex NSW Planning Portal

Provision of mains reticulated water supply, electricity and phone is available to the proposal by existing infrastructure.

2.2 Description of Adjoining Lands

To the north and south of the subject allotment is existing residential development located on the western side of Southern Cross Way.

To the east of the subject allotment is the carriageway of Southern Cross Way and beyond this is existing residential development that interfaces with a narrow section of Remnant Forest.

To the west of the subject allotment is a large and expansive area of Tall Heath located within the Manly Warringah War Memorial Park. This section of vegetation is of greatest influence on the proposed development in terms of bushfire exposure.

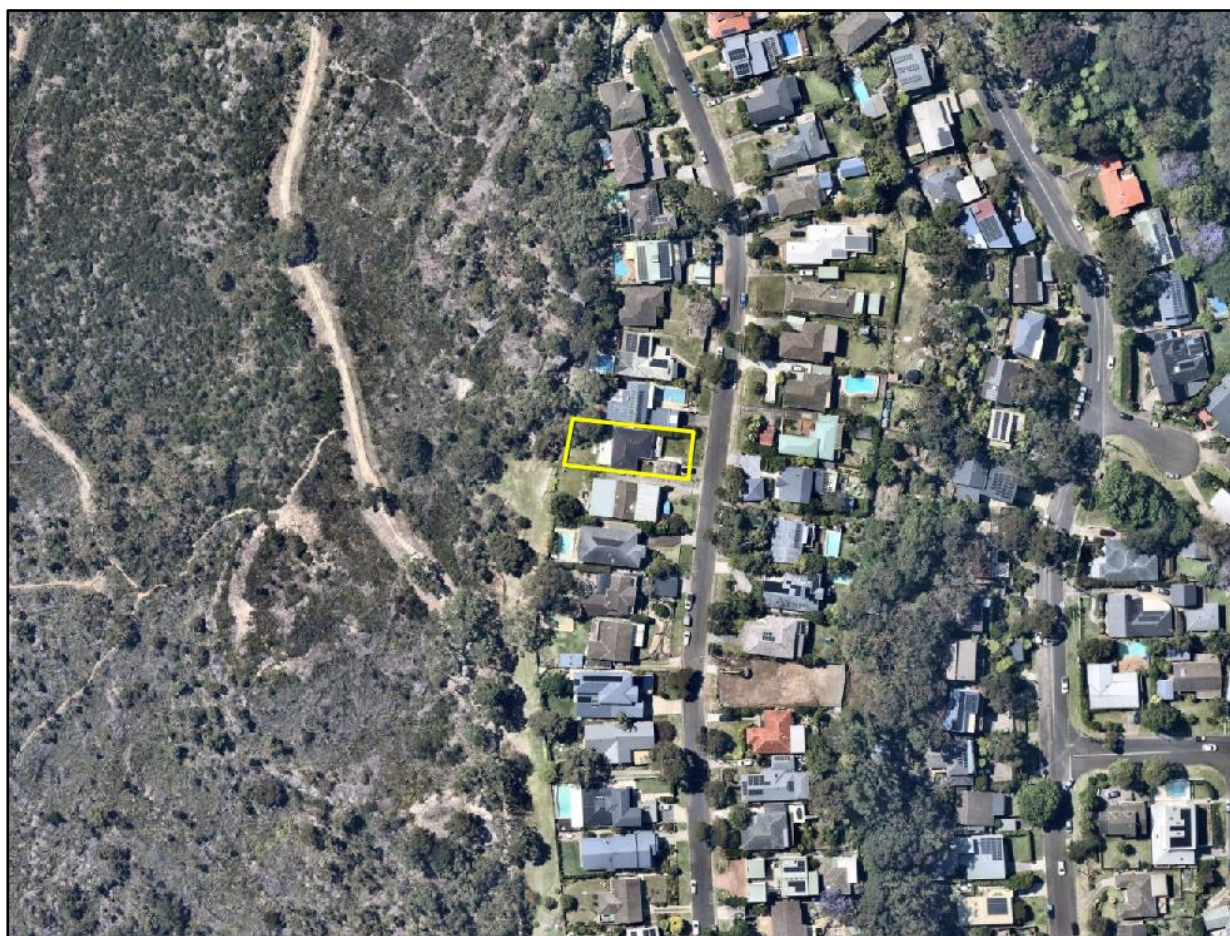


Figure 3: Aerial photo depicting localised terrain and adjoining allotments ex Nearmap

3.0 Environmental Considerations

The scope of this report has not been to provide an environmental survey although this report will be a supplement to a Statement of Environmental Effects as part of the development application process.

The proposed scope of works does not necessitate the removal of any vegetation to satisfy the recommendations for asset protection zones. It is also our opinion that the bushfire protection measures as recommended within this report will have little or no adverse environmental effects.

The proposal is located on a site that has been developed for many years and this proposal does not change the current land use or increase the expected level of occupancy.

4.0 Bushfire Hazard Assessment

The bushfire hazard assessment was conducted for the proposed development, using the procedures as outlined in *Planning for Bush Fire Protection 2019* to determine the bushfire attack level (BAL) likely upon the development. The assessment was conducted on the assumption of the building footprint being positioned as described in section 1.5 The Proposal of this report and the site plan.

4.1 Classification of Vegetation and Separation Distance from Proposed Development

The vegetation was assessed for a distance of 140 metres from the proposed development building footprint in each of the following directions. To the north, east, south and west being the general direction adjacent and away from the proposed building elevations within such building footprint.



Figure 4: Vegetation study area  140 metre radius approx. Image ex Nearmap

 Dwelling alteration  Pool  Paved  Tall Heath  Excluded

To the west of the subject allotment (Area A) is an area of effective bushfire hazardous vegetation and this area should be classified as being a vegetation formation of Tall Heath with a minimum separation distance of 13 metres from the proposed dwelling alterations.

To the east of the subject allotment (Area B) is an area of Remnant Forest with an area of approximately 3700m² and therefore excluded from being considered to be an area of effective hazard of the proposed development.

4.2 Slope Assessment

The slope was assessed for a distance of 100 meters within the bushfire hazardous vegetation and reference to slope classifications has been undertaken considering the procedure specified within *Planning for Bush Fire Protection 2019*.



Figure 5; Slope assessment study area contour data ex Geoscience Australia

The **effective slope** of the land, out to a distance of 100 metres from the proposed scope of works (that is, the slope of the land most likely to influence bushfire behaviour for the purposes of calculating the Category of Bushfire Attack and Asset Protection Zones, has been assessed (using a clinometer) and desktop analysis as being;

- Area A – Tall Forest - Upslope degrees (assumed) (elevation 0.83 met / dist. 55.76 met = 0.86 degrees)

4.3 Category of Bushfire Attack

The bushfire attack level (BAL) for the proposed development was determined by using the information gathered with respect to the classification of the vegetation, the effective slope and provision of asset protection zones specified in this report with reference given to *Planning for Bush Fire Protection 2019*.

It is the determination of the site inspection, the assessment procedure with incorporation of the recommendations in this report that the proposed dwelling alterations and additions of the proposed development could experience a BAL 40 category of bushfire attack. The proposed development is most likely to be subject to the greatest bushfire attack from any area to the west from the proposed development location.

Bushfire Attack Summary – Dwelling Alterations

West

Vegetation Formation	Tall Heath (Area A)
Vegetation Slope	Upslope degrees
Building Separation Distance metres	13
Separation Slope	Upslope degrees
Fire Danger Index	100
AS 3959 Construction Standard	BAL 40

5.0 Assessment of the extent to which the development conforms or deviates from *Planning for Bush Fire Protection 2019*

The proposed development being the construction of alterations and additions to an existing Class 1a dwelling will conform to the requirements of *Planning for Bush Fire Protection 2019* when considered in conjunction with both the proposal supplied for this assessment and the recommendations arising from this bushfire hazard assessment report.

5.1 Asset Protection Zones

The provision of asset protection zones for the proposed building footprint can be fully provided for onsite to satisfy the requirements of *Planning for Bush Fire Protection 2019*.

The maintenance of the entire area upon the subject allotment currently would satisfy the requirements of an inner protection area of an asset protection zone as contained in *Planning for Bush Fire Protection 2019*.

This report will recommend that the entire site where not built upon is continued to be maintained to the requirements of an inner protection area of an asset protection zone and managed to these provisions for the lifetime of the development.

The following is a summary of the requirements for an asset protection zone inner protection area as described within the documents *Planning for Bush Fire Protection 2019* and *NSW RFS Standards for Asset Protection Zones*.

Inner Protection Area (IPA)

The IPA is the area closest to the building and creates a fuel management area which can minimise the impact of direct flame contact and radiant heat on the development and act as a defendable space. Vegetation within the IPA should be kept to a minimum level. Litter fuels within the IPA should be kept below 10cm in height and be discontinuous.

In practical terms the IPA is typically the curtilage around the building consisting of a mown lawn and well-maintained gardens.

When establishing and maintaining in IPA the following requirements apply;

Trees

- tree canopy cover should be listed 15% at maturity;
- trees at maturity should not touch your overhang the building;
- lower limbs should be removed to a height of two metres above the ground;
- preference should be given to smooth bark and Evergreen trees

Shrubs

- create large discontinuities or gaps in the vegetation to slow down or break the progress of fire towards the buildings;
- shrubs should not be located under trees;
- shrubs should not form more than 10% ground cover; and

- clumps of shrubs should be separated from exposed windows and doors by distance of at least twice the height of the vegetation.

Grass

- grass should be kept mown (as a guide grass should be kept to no more than 100mm in height); and
- leaves vegetation debris should be removed

The creation and continued maintenance of the full asset protection zone is one of the primary factors in bushfire protection measures for developments in bushfire prone areas.

5.2 Position and Design of Proposed Development

The design and siting of the proposed dwelling alterations and additions must take into consideration the actual bushfire risk and this report contains recommendations to assist in mitigating the mechanisms of bushfire attack.

5.3 Construction Level

The National Construction Code contains both the performance requirements and the ‘deemed to satisfy’ provisions relating to construction of class 1, 2 & 3 buildings that are proposed for *construction in bushfire prone areas*. To satisfy the performance provision P2.3.4 of the National Construction Code of Australia Vol. 2, a Class 1a building that is constructed in a designated bushfire prone area must be designed and constructed to reduce the risk of ignition from a bushfire while the fire front passes.

Given that the proposed development could experience a Bushfire Attack Level (BAL) 40 from vegetative fuels to the west, the proposed dwelling alterations and additions to the roof and eaves section, and the western, northern and southern elevations should therefore be designed and constructed to the requirements of section 3 Construction General and section 8 BAL 40 of AS 3959-2018 *Construction of buildings in bushfire prone areas* or NASH Standard – *Steel Framed Construction in Bushfire Areas* (2014) apart from as varied to comply with section 7.5.2 Additional Construction Requirements of *Planning for Bushfire Protection* 2019.

Due to the effects of shielding and with reference to AS 3959-2018 section 3.5 *Reduction in Construction Requirements Due to Shielding*, this report recommends that it is appropriate to construct the eastern elevation of the proposed dwelling alterations and additions to the requirements of section 3 Construction General and section 7 BAL 29 of AS 3959-2018 *Construction of buildings in bushfire prone areas* or NASH Standard – *Steel Framed Construction in Bushfire Areas* (2014) apart from as varied to comply with section 7.5.2 Additional Construction Requirements of *Planning for Bushfire Protection* 2019.

Additionally, to satisfy the guidance of the NSW RFS for “best practice” the existing dwelling where not modified by the proposed scope of works shall be upgraded where or if necessary, to improve ember protection. This is to be achieved by enclosing all openings (excluding roof tile spaces) or covering of openings with a non-corrosive metal screen with a maximum aperture of 2mm. Where applicable, this includes any sub floor areas, openable windows, vents, weepholes and eaves. External doors are to be fitted with draught excluders.

5.4 Access / Egress

5.4.1 To the Proposed Development

The access to the subject site is from Southern Cross Way which is a sealed two lane road in a well maintained condition and under most conditions should provide adequate access and egress for both residents and emergency service vehicles.

Southern Cross Way links to other through roads at each end which would afford the residents the ability to evacuate the area to a location not being directly implicated by the mechanisms of bushfire attack, although under most bushfire conditions this would generally not be required.

5.4.2 Within the Site

The site plan for the proposal does show that vehicle access will not be possible to all elevations of the dwelling, although a fire tanker will be able to park in close proximity to the eastern building elevation upon the Southern Cross Way carriageway and foot access will be available to each of the other building elevations.

It should be considered by the residents that during a major bushfire event the following may occur;

- The suppression or defensive operations by fire authorities may not be possible in the general area of the development due to safety considerations for fire fighters; and
- That there may not be adequate fire authority resources to protect this development or others in the general area.

Whilst all fire authorities will endeavour to assist all occupants and protect all buildings during major bushfire events this is not always possible and cannot be guaranteed.

5.5 Utility Supplies

5.5.1 Water

This section of Allambie Heights is serviced by a mains reticulated water system and a search of the mains reticulated water supply layout plans (see figure 6 below) indicates that a hydrant is located approximately 18 metres to the south from the subject allotment on the footpath area of Southern Cross Way.

The site inspection confirmed the location of this hydrant.

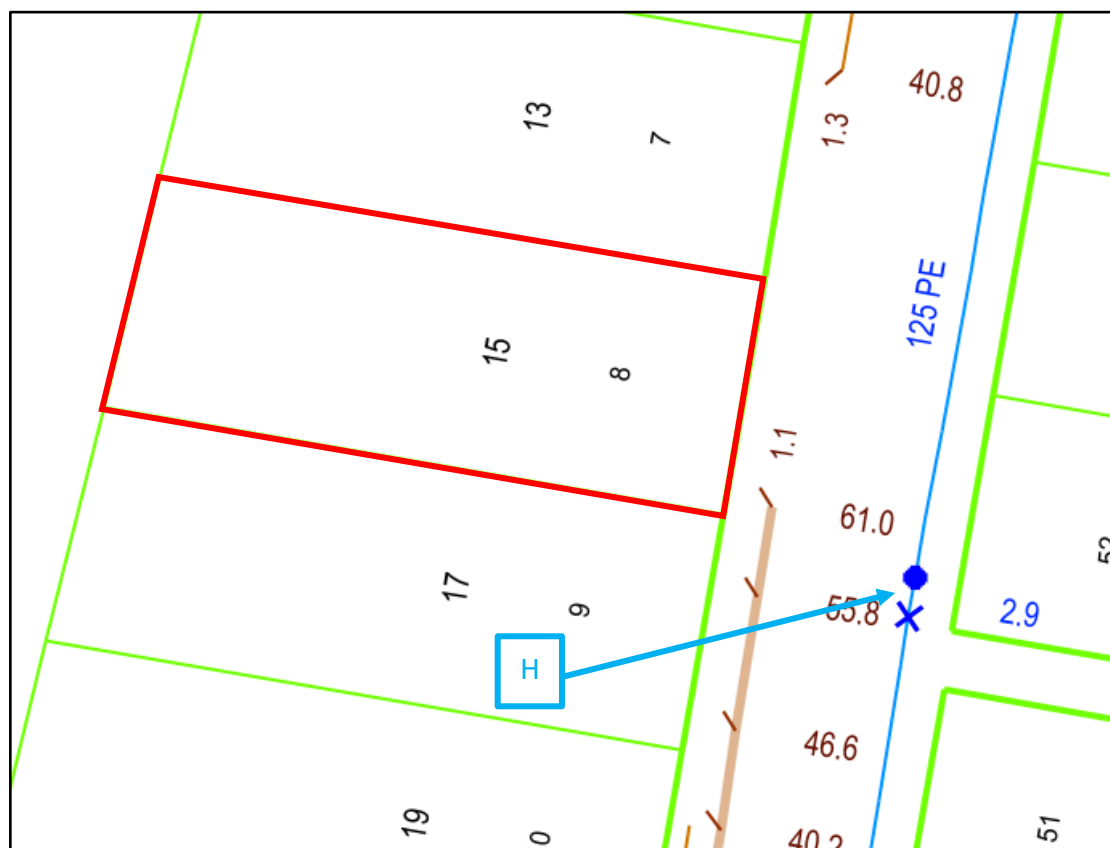


Figure 6: Section Sydney Water Reticulated Mains Water Supply Layout Plans

The location of this hydrant and the distance to the furthest point of the dwelling satisfies the requirements of *Planning for Bush Fire Protection 2019* and the provisions of AS 2419.1-2005 *Fire hydrant installations*.

5.5.2 Electricity

The methodology for the connection of electricity is by overhead wire connection from the mains service supply to a pole that is located just inside the road frontage boundary and from that point it travels underground to the metre box upon the external wall of the dwelling. This connection should not increase to a large extent the likelihood of bushfire ignition or be the cause of electrical failure to the subject site under most conditions due to the limited overhead distance to be spanned by the wiring.

5.5.3 Gas

At the time of report preparation, it was not known if it is proposed to connect gas supply to the subject dwelling. However, any future connection to either mains or portable gas supply should be undertaken and maintained to the provisions of AS 1596-2002 *Storage and handling of LP Gas*. All piping associated with the installation must be metal.

5.6 Landscaping

A landscape plan was supplied for perusal and this appears to satisfy the objectives for an asset protection zone as required by *Planning for Bushfire Protection 2019*.

It is highly probable that in the future landscaping and garden establishment may occur on the site. However no future planting of trees or shrubs, or combustible landscaping features should be undertaken or constructed in a manner which creates a path for bushfire progression towards the dwelling or allows for a potential compromise to the integrity of the asset protection zone.

5.7 Emergency Procedures

Preparation of procedures and actions by individuals and occupants of lands within bushfire prone areas has clearly been shown to increase chances of personal safety and building survival should a bushfire event occur.

The NSW Rural Fire Service and the NSW Fire and Rescue have formulated a Bush Fire Survival Plan and this is readily available from either the NSW RFS website or the local district office.

This document should be completed by the residents in conjunction with all occupants of the household so as to better prepare all persons for a bushfire event.

After completion it should be regularly reviewed (at least once a year) and stored in a location as to be easily accessible for reference during a bushfire emergency.

6.0 Bushfire Hazard Assessment Recommendations

1. That the entire site where not built upon shall have the vegetation reduced where or if necessary to satisfy the requirements of *Planning for Bush Fire Protection 2019* and the NSW Rural Fire Service document “Standards for Asset Protection Zones” for an inner protection area of an asset protection zone and this area shall be maintained at this vegetation level for the lifetime of the development.
2. That no future landscaping features, planting of shrubs, trees or other vegetation shall occur in such a manner as to compromise the integrity of the asset protection zone.
3. That the proposed dwelling alterations and additions to the roof and eaves section, and the western, northern and southern elevations shall be constructed to section 3 Construction General and section 8 BAL 40 of AS3959-2018 *Construction of buildings in bushfire prone areas* or NASH Standard - Steel Framed Construction in Bushfire Areas (2021) with the exception that the construction requirements shall be varied to comply with section 7.5.2 Additional Construction Requirements of *Planning for Bush Fire Protection 2019*.
4. That the proposed dwelling alterations and additions eastern elevation shall be constructed to section 3 Construction General and section 7 BAL 29 of AS3959-2018 *Construction of buildings in bushfire prone areas* or NASH Standard - Steel Framed Construction in Bushfire Areas (2021) with the exception that the construction requirements shall be varied to comply with section 7.5.2 Additional Construction Requirements of *Planning for Bush Fire Protection 2019*.
5. The existing dwelling not modified by the scope works shall be upgraded to improve ember protection. This is to be achieved by enclosing all openings (excluding roof tile spaces) or covering opening with a non-corrosive metal screen with a maximum aperture of 2mm. Where applicable, this includes any sub floor areas, openable windows, vents, weepholes and eaves. External doors are to be fitted with draught excluders and garage doors with ember penetration protection.
6. That if the supply of gas to the subject dwelling is undertaken it shall be installed and maintained in accordance with AS 1596-2014 and the requirements of relevant authorities.
7. The residents should complete a *Bush Fire Survival Plan* as formulated by the NSW Rural Fire Service and the NSW Fire & Rescue.

These recommendations are the opinions of the author of this report and are compiled to assist the consent authority and the NSW Rural Fire Service in the assessment of this proposed development and that the final conditions as imposed by the consent authority must be adhered to at all stages and where required for the lifetime of the development.

7.0 Conclusion

The objectives and performance requirements for the proposed development as required by the National Construction Code Volume 2 and the document *Planning for Bush Fire Protection 2019* will be achieved by the incorporation of the 7 recommendations contained within this report.

The recommendations contained within this report will assist in providing a reasonable level of bushfire protection and improve but not guarantee the chances of building survival, or provision for the occupants with a safe refuge during the passage of a bushfire front and or the provision of a defensible space for fire fighters.



Craig Burley
Grad.Dip. Building in Bushfire Prone Areas (UWS)
FPA Australia Certified BPAD – Level 3 Practitioner



Caveat

Quote from *Planning for Bush Fire Protection 2006*, 'notwithstanding the precautions adopted, it should always be remembered that bushfire burn under a wide range of conditions and an element of risk, no matter how small always remains.'

Quote from Standards Australia, 'Although the standard is designed to improve the performance of such buildings, there can be no guarantee, because of the variable nature of bushfires, that any one building will withstand bushfire attack on every occasion.'

References

Planning for Bush Fire Protection 2019 Planning NSW in conjunction with NSW Rural Fire Service

Building Code of Australia Volume 2 2013 Australian Building Codes Board

AS 3959 –2018 Construction of buildings in bushfire prone areas Standards Australia & Australian Building Codes Board

Landscape and building Design for Bushfire Areas Ramsay C. & Rudolph L. CSIRO 2003

Quantifying bushfire penetration into urban areas in Australia Keping Chan & McAneny J. Geophysical Research Letters, Volume 31, L12212, doi:10.1029/2004GL020244,2004

Bushfires in Australia Luke R.H. & McArthur CSIRO 1978

Performance of Building Elements in Bushfire Prone Areas Poon S.L. & England J.P. Warrington Fire Research Australia

Address Validation Search Department of Lands www.maps.nsw.gov.au

Standards for Asset Protection Zones NSW Rural Fire Service 2005

Ocean Shores to Dessert Dunes Keith D. Department of Environment and Conservation Sydney 2004

Appendix 1- Proposed development plans ex View Thru

15 Southern Cross Way, ALLAMBIE HEIGHTS



site location plan
Scale: nts



drawing register

		Issue Date:
		Day 14
		Month 1
		Year 25
DA//00	Site Location & Drawing Register	A
DA//01	Perspective Views // Existing	A
DA//02	Planning Approval Pathway (DA)	A
DA//03	Site Analysis Plan // Existing	A
DA//04	Site Layout Plan // Proposed	A
DA//05	GF Plan // Existing	A
DA//06	GF Plan // Proposed	A
DA//07	Lower GF Plan // Proposed	A
DA//08	Roof Plan // Proposed	A
DA//09	Sections // Proposed	A
DA//10	Elevations North // Exg. & Prop.	A
DA//11	Elevations South // Exg. & Prop.	A
DA//12	Elevations East // Existing	A
DA//13	Elevations East // Proposed	A
DA//14	Elevations West // Exg. & Prop.	A
DA//15	BASIX Report - Sht 1	A
DA//16	BASIX Report - Sht 2	A
DA//17	Ext. Window Schedule	A
DA//18	Ext. Door & Finishes Schedule	A
DA//19	Building Height Envelope	A
DA//20	Shadow Diagram Jun 21st 9am	A
DA//21	Shadow Diagram Jun 21st 12pm	A
DA//22	Shadow Diagram Jun 21st 3pm	A
DA//24	Sec. & Erosion//Site Setup Plan	A
DA//AA	Notification Plans	A

Issue:

Issue:	Recipients:
(DA)	Clients : Wes & Louise Quick *
	Council : Northern Beaches Council *
	Town Planner : Watermark - Sarah / JoNelly *
	Engineer : Found Engineers - Faran Daneshgar *

BASIX Building Sustainability Index
NSW Planning & Environment

To be read inwith BASIX Report included.

Quality swimming pool
The swimming pool must not have a capacity greater than 20,000 litres MAX.

Rainwater tank
The applicant must install a rainwater tank of at least 15,000 litres on the site. The rainwater tank must meet and be installed in accordance with the requirements of all applicable regulatory authorities.

Fixtures
Showersheads 3 Star
Toilets 3 Star
Taps 3 Star

Quality of lighting
40% Of All Light Fixtures must be LED

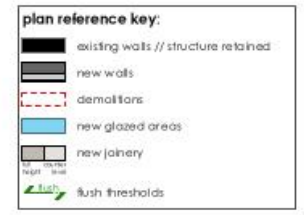
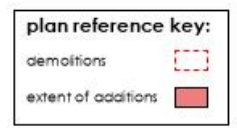
Insulation requirements (minimum req)
Insulated Floor R 0.60 (or R1.70 incl. construction)
External Wall Back veneer R 1.16 (or R1.70 incl. construction)
External Wall R-sides R 1.50 (or R1.70 incl. construction)
Ceiling (incl) R 0.95
Ceiling (excl) R 1.26

Roof
100mm full tracked blanket (water also to take on noise in BASIX Report included)

Windows and glass doors (minimum req)
Standard Aluminum, Single clear, (i) value 7.45 SHGC: 0.70 and
Standard Aluminum, clear (or glass) clear, (i) value 5.36 SHGC: 0.61
Water also to take on noise in BASIX Report included

Skylight (minimum req)
Timber to be in an aluminium frame external (i) value 5.5 SHGC: 0.64

note skylight grouping
skylight orientation grouped for BASIX purpose



DEVELOPMENT APPLICATION (DA)
not for construction

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address: 15 Southern Cross Way, Allambie Heights, NSW 2010, LOT 8 DP 223922	title: Site Location & Drawing Register
client: Wes & Louise Quick	drawn by: JOB scale: @ c3
project: Alterations & additions	date: 14/01/2025 issue: @ VIEWTHRU (DA)
	dwg. no.: DA//00 Rev. no.: A

RIAI 2024 Jim O'Brien Principal Designer / Director (RIAI Arch Tech) (A15616 RIAA)

t: 043 7222 389 info@viewthru.com.au

BALGOULAH, NSW 2093
VIEWTHRU PTY LTD, YA WEW-BJACN 620364 031

bdag ACCREDITED BUILDING DESIGNER (accreditation no. 455)

VIEWTHRU MAKE IT YOURS
WWW.VIEWTHRU.COM.AU

LIVING FUTURE PROFESSIONAL MEMBER



existing street view
Scale: nts



proposed street view
Scale: nts



existing garden view
Scale: nts



proposed garden view
Scale: nts

DEVELOPMENT APPLICATION (DA)

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address: 15 Southern Cross Way, Allambie Heights, NSW 2010. LOT 8 DP 223922	title: Perspective Views // Existing	
client: Wes & Louise Quick	drawn by: JOB	scale: @ c3
project: Alterations & additions	date: 14/01/2025	save: @ VIEW/SEN (DA)
	dwg. no.: DA//01	Rev. no.: A

RIA Accredited Technology **2024**

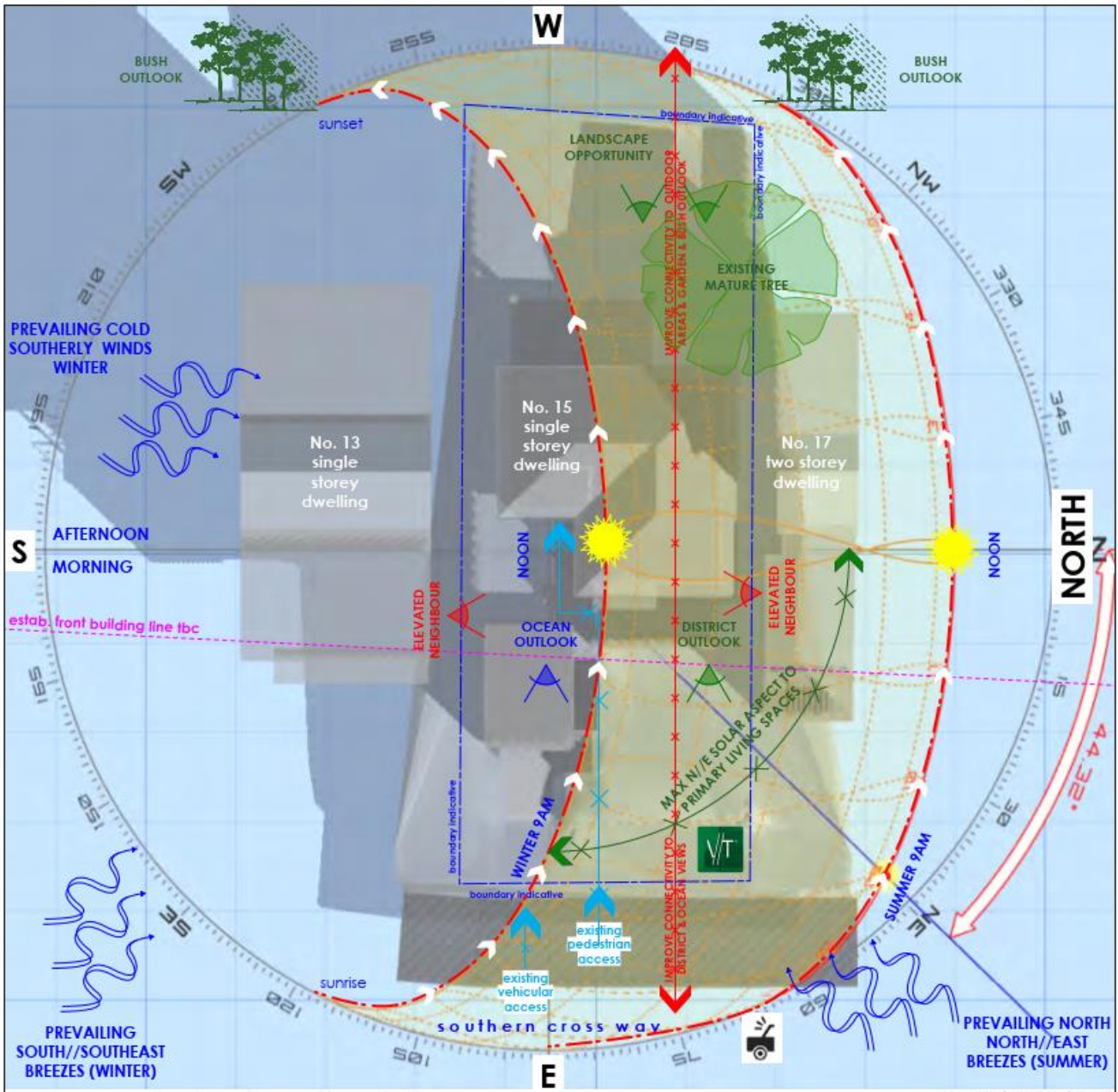
Jim O'Brien
Principal Designer // Director
(RIA Arch Tech.)
(Affiliate RIAA)

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accreditation no. 4851

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site analysis plan // existing
Scale: n1s

source: andrewmarsh.com

plan reference key:	
	potential overlooking
	views water
	views bush // district
	site entry points
	traffic noise
	existing bush outlook

GEOGRAPHIC LOCATION	
Latitude:	-30.00°
Longitude:	150.1171875°
Timezone:	GMT+10:00
DATE AND TIME	
Date:	21 Jun 2023
Time:	12:01
SOLAR INFORMATION	
Azi / Alt:	0.09° / 36.58°
Rise / Set:	06:55 / 17:08
Daylight:	10:13 Hrs



site analysis // street view
Scale: n1s

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DEVELOPMENT APPLICATION (DA)

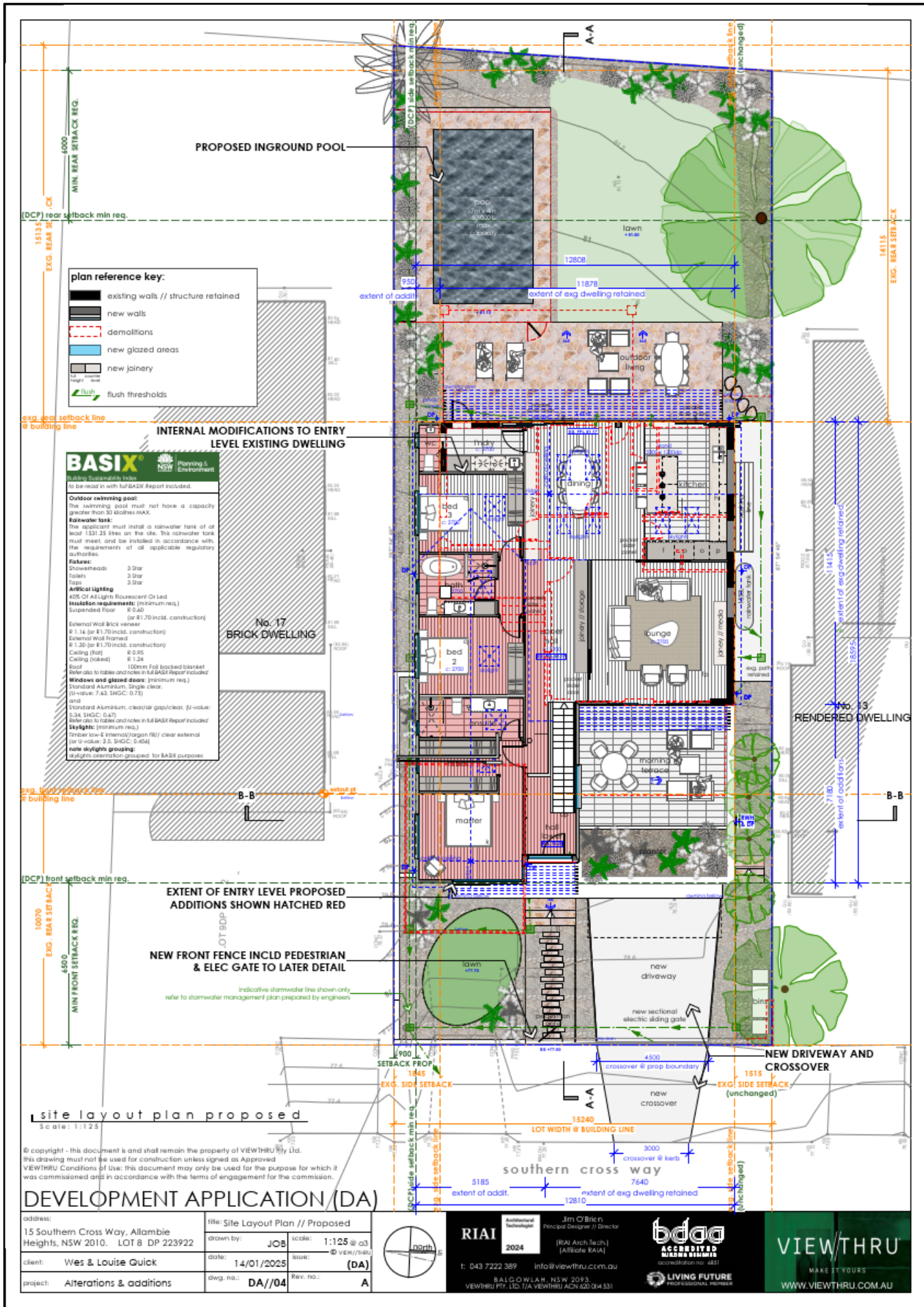
address: 15 Southern Cross Way, Allambie Heights, NSW 2010. LOT 8 DP 223922	title: Site Analysis Plan // Existing
client: Wes & Louise Quick	drawn by: JOB
project: Alterations & additions	scale: 1:200 @ a3
	date: 14/01/2025
	issue: (DA)
	dwg. no.: DA//03
	rev. no.: A

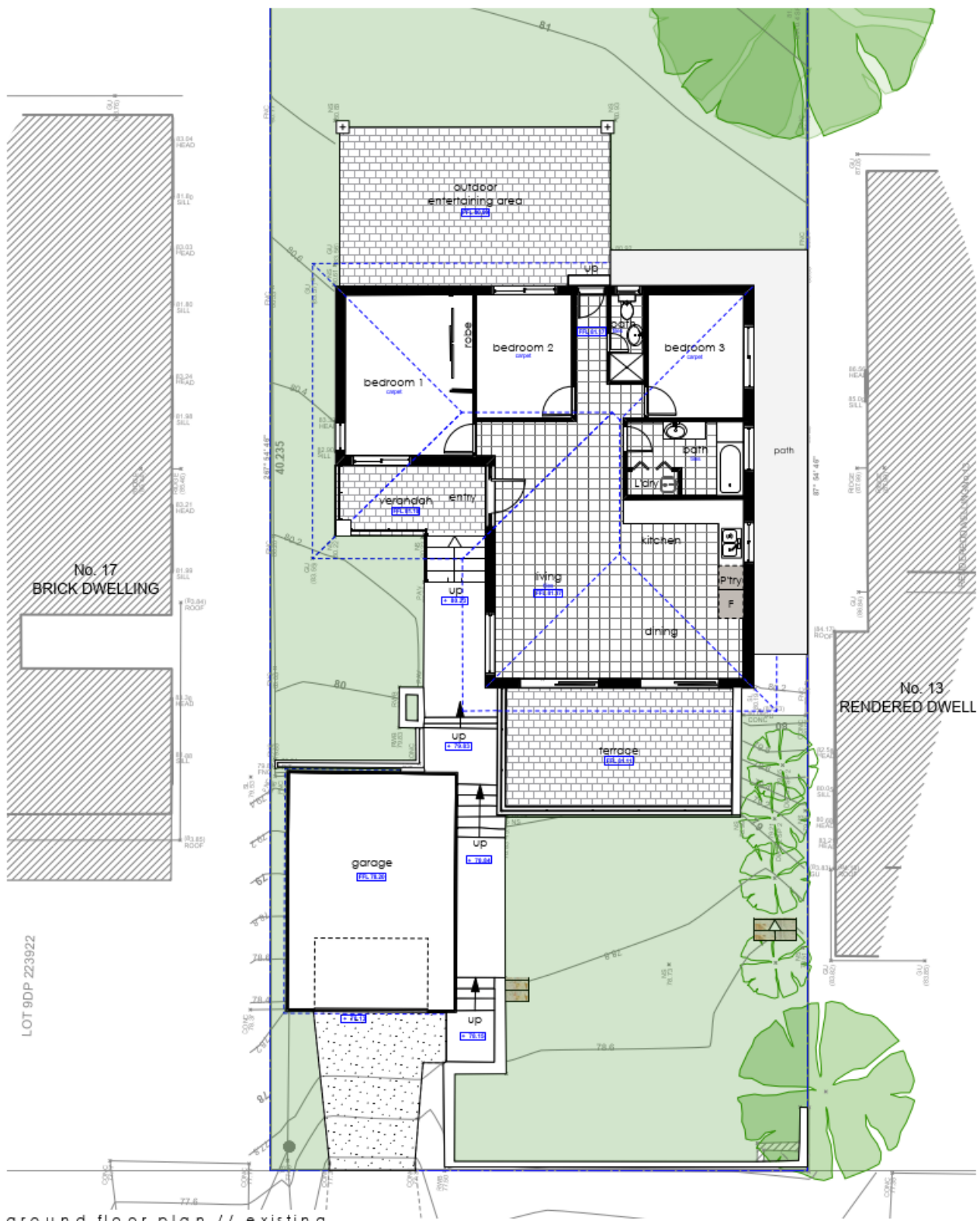


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 Jim O'Brien Principal Designer // Director
 [RAI Arch. Tech.] [Architect RAI]
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ground floor plan // existing
Scale: 1:100

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DEVELOPMENT APPLICATION (DA)

address:
15 Southern Cross Way, Allambie
Heights, NSW 2010. LOT 8 DP 223922

client: **Wes & Louise Quick**

project: **Alterations & additions**

title: **GF Plan // Existing**

drawn by: **JOB** scale: **1:100 @ a3**

date: **14/01/2025** issue: **VIEWTHRU (DA)**

dwg. no.: **DA//05** rev. no.: **A**



RIAI 2024
Achievement
Technologies

Jim O'Brien
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(RIAI Arch Tech)
(Allstate RIAI)

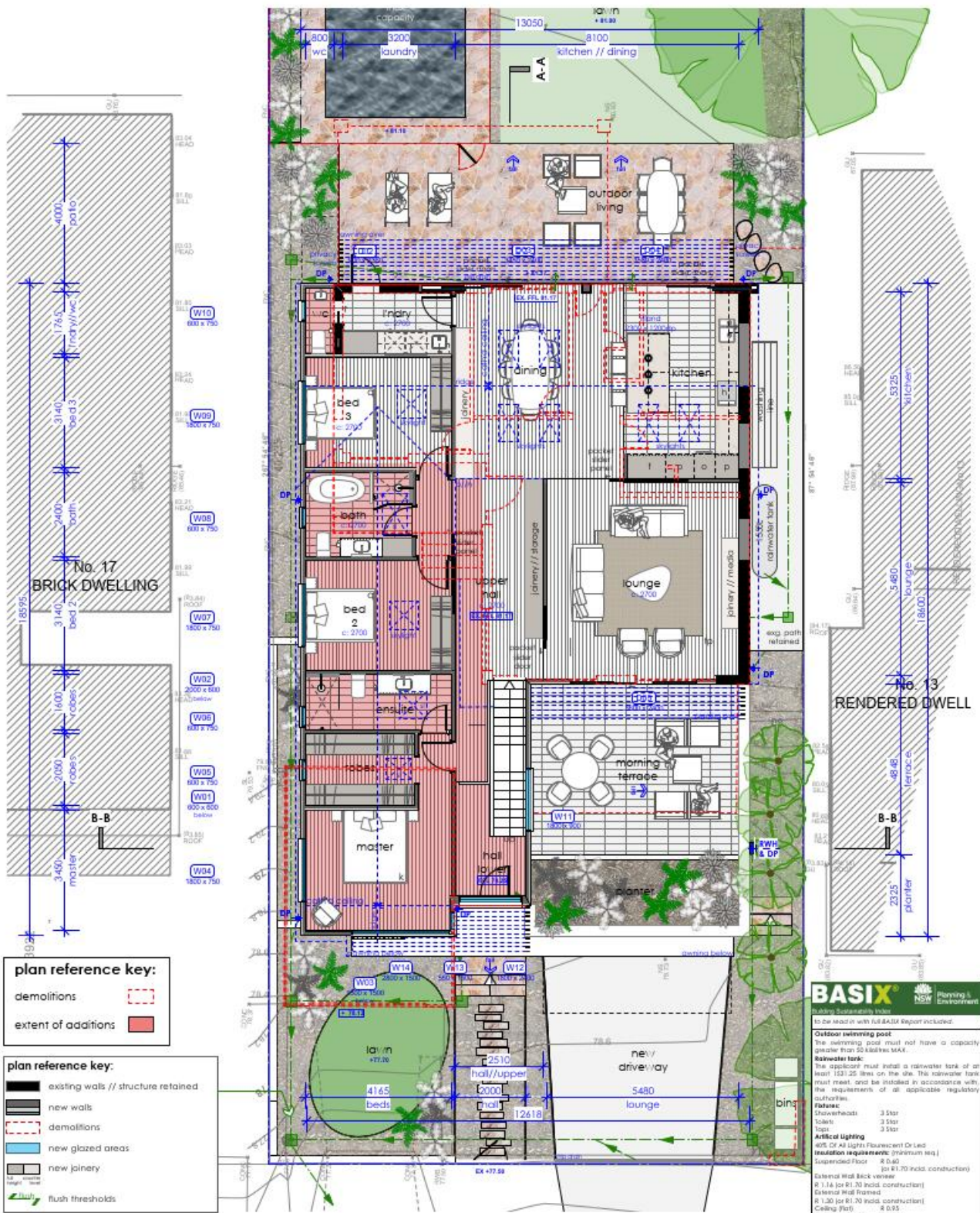
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MEMBER
accreditation no. 4831

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plan reference key:
 demolitions
 extent of additions

plan reference key:
 existing walls // structure retained
 new walls
 demolitions
 new glazed areas
 new joinery
 flush thresholds

ground floor plan // proposed
 scale: 1:100

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DEVELOPMENT APPLICATION (DA)

address:
 15 Southern Cross Way, Allambie Heights, NSW 2010. LOT 8 DP 223922
 client: Wes & Louise Quick
 project: Alterations & additions

title: GF Plan // Proposed
 drawn by: JCB scale: 1:100 @ a3
 date: 14/01/2025 issue: 01 VIEWTHRU (DA)
 dwg. no.: DA/06 Rev. no.: A

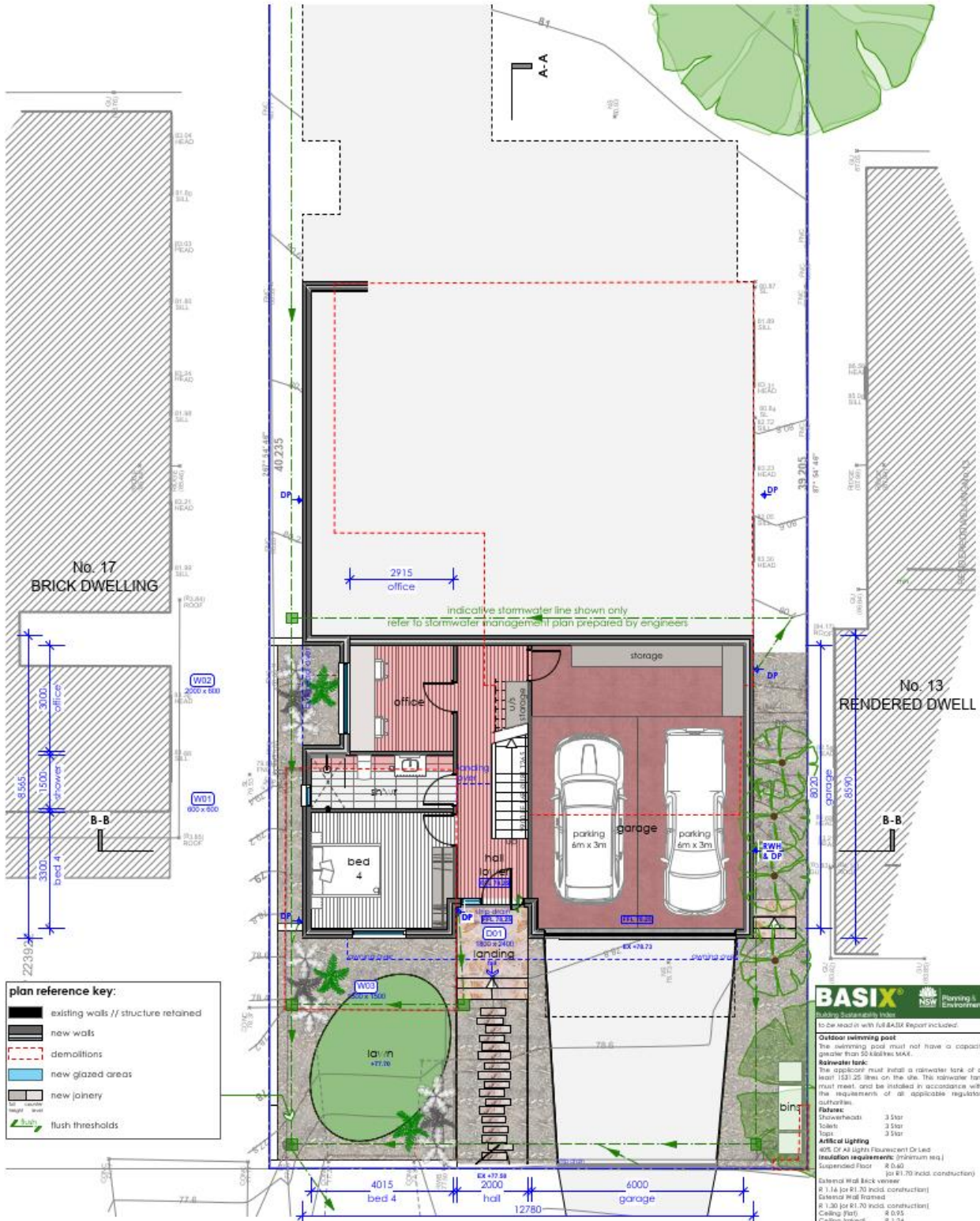


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 BUILDING DESIGNER
 accreditation no. 483
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BASIX NSW Planning & Environment
 BASIX Report included:
Outdoor swimming pool:
 The swimming pool must not have a capacity greater than 50 kilolitres (KL).
Rainwater tank:
 The applicant must install a rainwater tank of an least 1331.25 litres on the site. This rainwater tank must meet and be installed in accordance with the requirements of all applicable regulatory authorities.
Paints:
 Showerheads 3 Star
 Toilets 3 Star
 Taps 3 Star
Artificial lighting:
 40% of all lights fluorescent or led
Insulation requirements: (minimum req.)
 Suspended Floor R 0.40 (for R1.70 in-slab construction)
 External Wall Back view R 1.1 (for R1.70 in-slab construction)
 External Wall Front R 1.30 (for R1.70 in-slab construction)
 Ceiling (flat) R 0.95
 Ceiling (pitched) R 1.24
 Roof 100mm flat stacked blanket
 Pater also to base and rakes in full BASIX Report included
Windows and glazed doors: (minimum req.)
 Standard Aluminium, single clear, (U-value: 1.43, SHGC: 0.75) and
 Standard Aluminium, clear air gap/clear, (U-value: 2.34, SHGC: 0.47)
 Refer also to table and note in full BASIX Report included
Skylights: (minimum req.)
 100% roof E-internal (argon fill) / clear external (or U-value: 2.5, SHGC: 0.45)
Note skylight glazing:
 skylight orientation grouped for BASIX purposes



lower ground floor plan // proposed
Scale: 1:100

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DEVELOPMENT APPLICATION (DA)

address: 15 Southern Cross Way, Allambie Heights, NSW 2010. LOT 8 DP 223922	title: Lower GF Plan // Proposed
client: Wes & Louise Quick	drawn by: JCB scale: 1:100 @ A3
project: Alterations & additions	date: 14/01/2025 issue: (DA)
	dwg. no.: DA//07 Rev. no.: A

RIA1 2024
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BASIX NSW Planning & Environment

Building Specifications table to be read in with full BASIX Report included.

Outdoor swimming pool
 The swimming pool must not have a capacity greater than 50,000 litres.

Rainwater tank:
 The applicant must install a rainwater tank of at least 120,000 litres on the site. The rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.

Artificial Lighting
 40% Of All Lights Fluorescent Or Led
Insulation (minimum req.)
 Suspended Floor: R 0.60 (or R1.70 incl. construction)
 External Wall Back veneer: R 1.14 (or R1.70 incl. construction)
 External Wall Framed: R 1.90 (or R1.70 incl. construction)
 Ceiling (Flat): R 0.55
 Ceiling (Sloped): R 1.24
 Roof: 100mm Full backed blanket
 Refer also to tables and notes in full BASIX Report included

Window and glazed doors (minimum req.)
 Standard Aluminium: Single clear U-value: 7.43, SHGC: 0.75
 and Standard Aluminium: clear or gas/p-clip (U-value: 5.34, SHGC: 0.47)
 Refer also to tables and notes in full BASIX Report included

Skylights (minimum req.)
 Tinted (see 6 Internal Organ Rly) clear external (U-value: 2.5, SHGC: 0.45)

Note skylight grouping:
 skylight orientation grouped for BASIX purposes

GENERAL ROOF PLAN NOTES:
 all guttering, flashing and waterproofing relating to all roofing systems to comply with requirements of the current b.c.a. and relevant Australian standards including as/nzs 3500: 2018 "plumbing and drainage".

all downpipe and overflow spigots to be sized and located to comply with as/nzs 3500: 2018 "plumbing and drainage", provide proprietary leaf guard as selected to all gutters.

STORMWATER MAGEMENT NOTES:
 all pipes to be 100mm a sewer grade upvc
 all pipes to be laid at 1% min grade unless noted otherwise
 all works to be in accordance with local council standards and specification at levels shown to ah

BASIX Building Sustainability Index
 NSW Planning & Environment
 to be read in with full BASIX Report included.

Outdoor swimming pool:
 The swimming pool must not have a capacity greater than 20 kilolitres (kAL).

Rainwater tank:
 The applicant must install a rainwater tank of at least 130L/25 litres on the site. The rainwater tank must meet and be installed in accordance with the requirements of all applicable regulatory authorities.

Fixtures:
 Showers/baths: 3 Star
 Toilets: 3 Star
 Taps: 3 Star

Artificial Lighting:
 40% of All Lights Fluorescent Or Led
Insulation requirements: (minimum req.)
 Suspended Floor: R 0.60
 External Wall Brick veneer (or R1.70 incl. construction)
 R 1.14 (or R1.70 incl. construction)
 External Wall Framed
 R 1.30 (or R1.70 incl. construction)
 Ceiling (flat): R 0.95
 Ceiling (trapez): R 1.24
 Roof
 100mm full backed blanket
 Refer also to tables and notes in full BASIX Report included

Windows and glazed doors: (minimum req.)
 Standard Aluminium, single clear
 U-value: 7.43, SHGC: 0.75) and
 Standard Aluminium, clear/air gap/clear, (U-value: 5.34, SHGC: 0.47)
 Refer also to tables and notes in full BASIX Report included

Skylights: (minimum req.)
 Triple low-E internal argon fill/clear external (or U-value: 2.5, SHGC: 0.45)

Note skylights grouping:
 skylights orientation grouped for BASIX purposes

No. 17 BRICK DWELLING

No. 13 RENDERED DWELLING

plan reference key:

- existing walls // structure retained
- new walls
- demolitions
- new glazed areas
- new joinery
- flush thresholds

roof plan // proposed
 Scale: 1:125

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address: 15 Southern Cross Way, Allambie Heights, NSW 2010. LOT 8 DP 223922	title: Roof Plan // Proposed	drawn by: JOB	scale: 1:125 @ a3
client: Wes & Louise Quick	date: 14/01/2025	issue: (DA)	
project: Alterations & additions	dwg. no.: DA//08	Rev. no.: A	



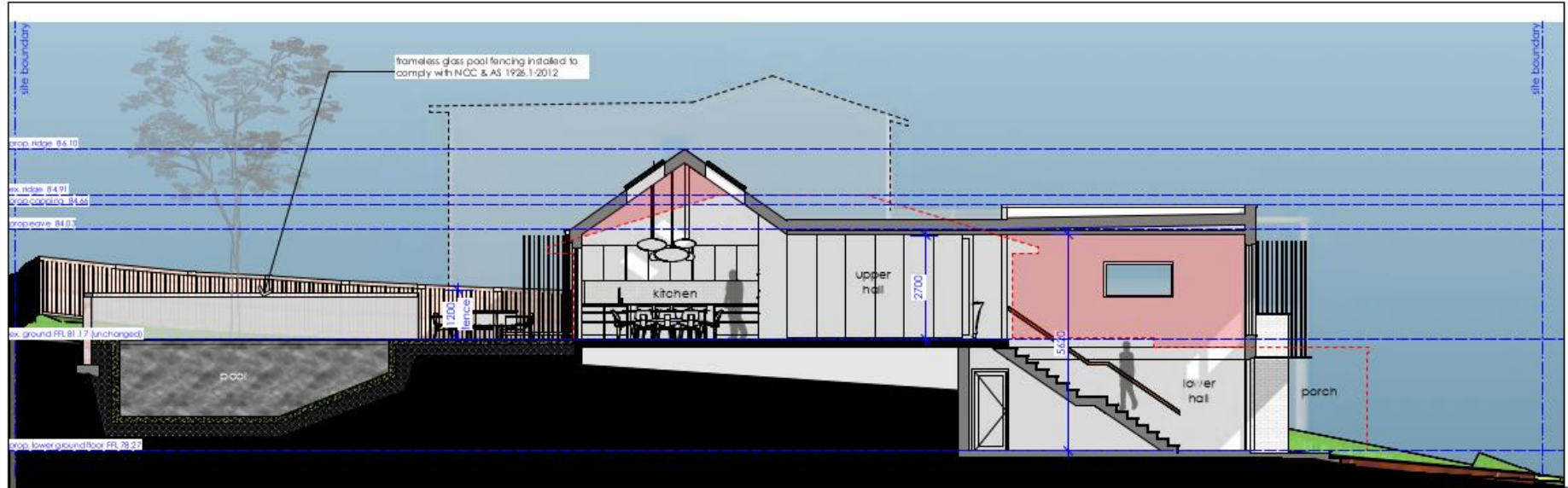
RIAI Architectural Technologist
 2024
 Jim C'Brien
 Principal Designer // Director
 (RIAI Arch. Tech.)
 (Affiliate RIAI)

bdca
 ACCREDITED
 MEMBER NUMBER
 accreditation no: 481

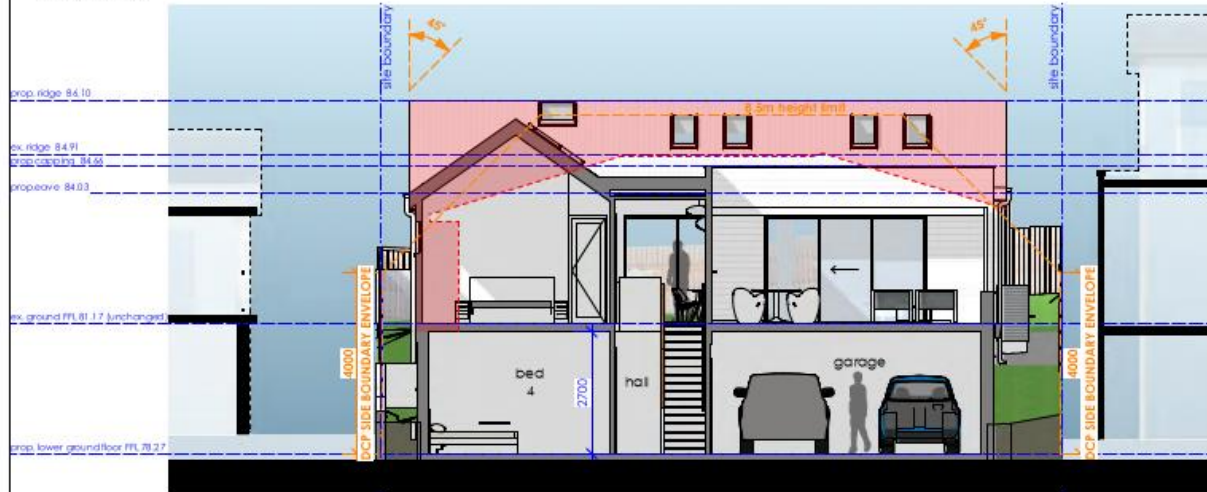
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 BALGOULAH, NSW 2093
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section A-A // proposed
Scale: 1:100



section B - B // proposed
Scale: 1:100

BASIX Planning & Environment

- Building Sustainability Index
to be read in with the BASIX Report included.
- Outdoor swimming pool:**
The swimming pool must not have a capacity greater than 50,000 litres MAX.
- Water saving tank:**
The applicant must install a rainwater tank of at least 100L per litre on the site. The rainwater tank must meet and be installed in accordance with the requirements of all applicable regulatory authorities.
- Fishery:**
Showerheads 35lit
Toilets 35lit
Wash 25lit
- Window glazing:**
40% of all glazing fluorescent or LED
(maximum requirement)
- Walls:**
External Wall: 100mm (or R1.70 inc. construction)
Internal Wall: 100mm (or R1.70 inc. construction)
Ceiling: 100mm (or R1.70 inc. construction)
Caulking: R1.24
Roof: 100mm (or R1.70 inc. construction)
Refer also to table and notes in DA BASIX Report included
- Windows and glass doors:** (minimum eq.)
Standard Aluminium, Single clear
(U-value: 2.5, SHGC: 0.49)
- Roof:**
Standard Aluminium, clear/gap/clear, (U-value: 2.34, SHGC: 0.47)
Refer also to table and notes in DA BASIX Report included
- Skylights:** (minimum eq.)
Refer to table and notes in DA BASIX Report included
(U-value: 2.5, SHGC: 0.49)
note skylight glazing
Skylight orientation grouped for BASIX purposes

elev reference key:

- demolitions
- extent of additions

DEVELOPMENT APPLICATION (DA)

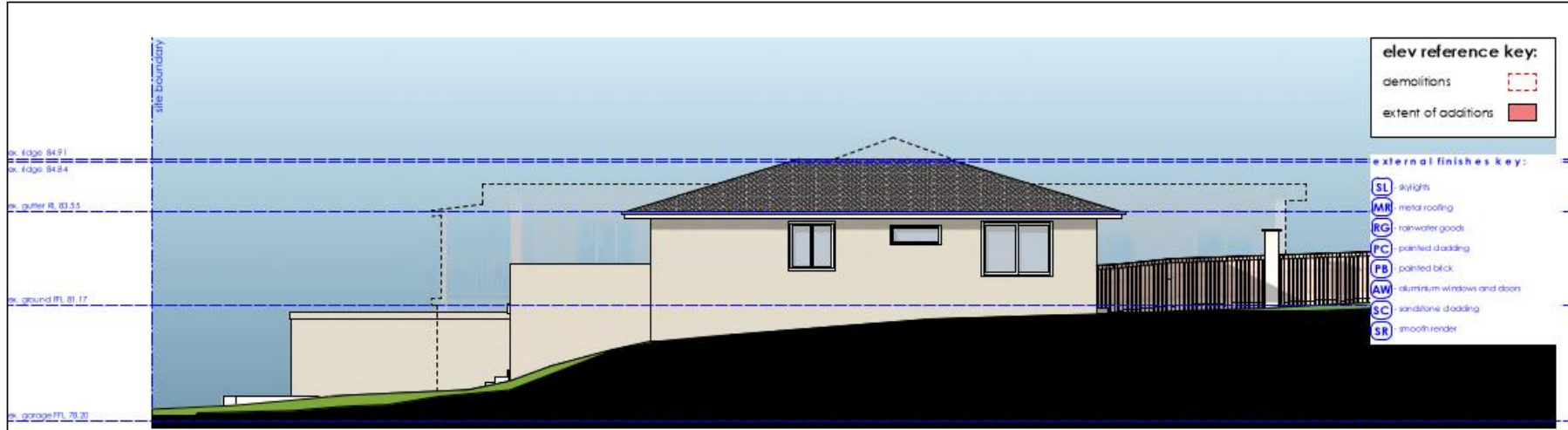
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address: 15 Southern Cross Way, Allambie Heights, NSW 2010. LOT 8 DP 223922	title: Sections // Proposed
client: Wes & Louise Quick	drawn by: JOB
project: Alterations & additions	date: 14/01/2025
	scale: 1:100 @ as
	issue: VIEWTHRU (DA)
	dwg. no.:DA//09
	Rev. no.:A

RIA 2024
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REGISTRATION NO. 0001
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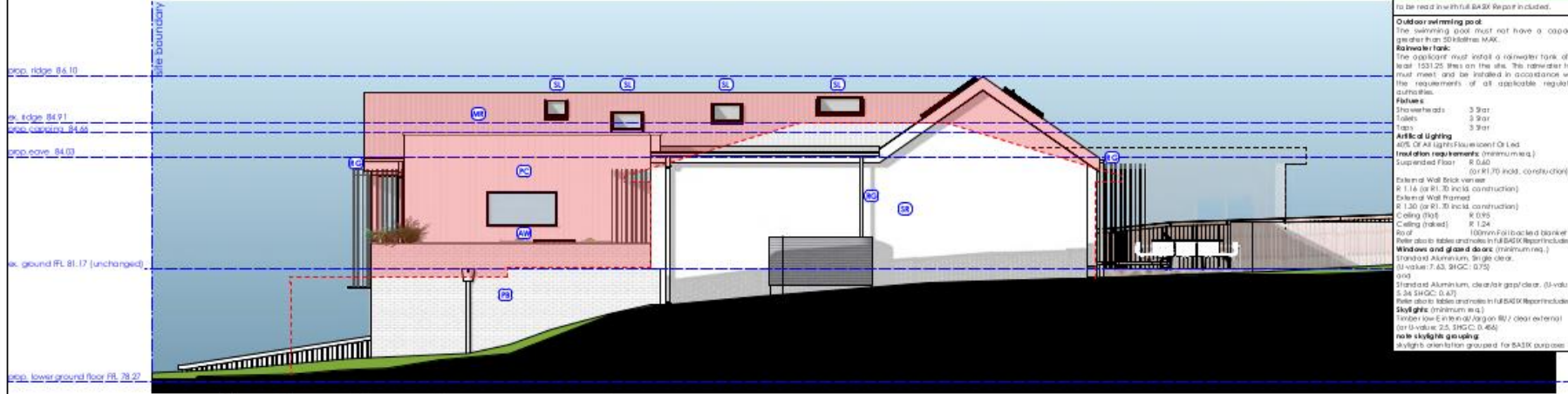
north elevation // existing
Scale: 1:100

elev reference key:

demolitions	
extent of additions	

external finishes key:

SL	skylights
MR	metal roofing
RG	rainwater goods
PC	painted cladding
PB	painted brick
AW	aluminum windows and doors
SC	sandstone cladding
SR	smooth render



north elevation // proposed
Scale: 1:100

BASIX Planning & Environment

to be used in conjunction with BASIX Report included.

Outdoor swimming pool:
The swimming pool must not have a capacity greater than 20 kilolitres (KL).

Rainwater tank:
The applicant must install a rainwater tank of at least 150 litres (l) on the site. The rainwater tank must meet and be installed in accordance with the requirements of all applicable regulatory authorities.

Roofing:
 Thatch: R 3.9 (a)
 Tiles: R 3.9 (a)
 Slates: R 3.9 (a)

Artic of Lighting:
 R 1.4 (or R 1.7) (incl. construction)
 Suspended Floor: R 0.60 (or R 1.0) (incl. construction)

External Wall Brick veneer:
 R 1.14 (or R 1.7) (incl. construction)
 External Wall framed: R 0.85
 R 1.30 (or R 1.7) (incl. construction)
 Ceiling (solid): R 0.85
 Ceiling (slab): R 1.24

Roof of other than tiles and metal:
 100mm FRC (incl. concrete) (incl. construction)

Windows and glass doors:
 Standard Aluminium Single clear: 5.0 (value 7.65 SHGC, 0.75) (incl. construction)
 Standard Aluminium double glass clear: 5.0 (value 5.94 SHGC, 0.47)
 Refer also to tables and notes in full BASIX Report included

Skylights:
 Skylight (maximum area):
 Timber low E in front (on or off clear external) (a) (value 2.5, SHGC 0.46)
 Metal skylight glazing:
 Skylight orientation grouped for BASIX purposes

DEVELOPMENT APPLICATION (DA)

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address: 15 Southern Cross Way, Allambie Heights, NSW 2010. LOT 8 DP 223922	title: Elevations North // Exg. & Prop.	drawn by: JOB	scale: 1:100 @ cd
client: Wes & Louise Quick	date: 14/01/2025	issue: @ viewthru	type: (DA)
project: Alterations & additions	dwg. no.:DA//10	rev. no.:A	

RIA **2024**

Jim O'Brien
Principal Designer / Director
(RIA Arch. Tech.)
(A1/Arch. R.A.A.)

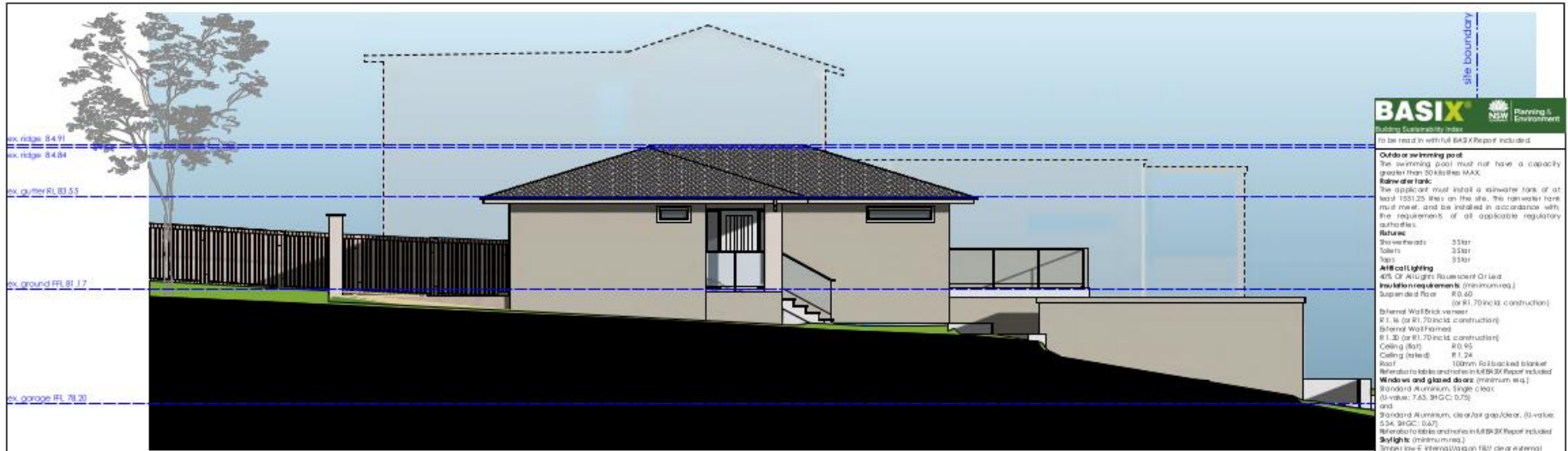
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south elevation // existing
Scale: 1:100

BASIX Building Sustainability Index
 To be read in with full BASIX Report included

Outdoor swimming pool:
 The swimming pool must not have a capacity greater than 50 kilolitres MAX.

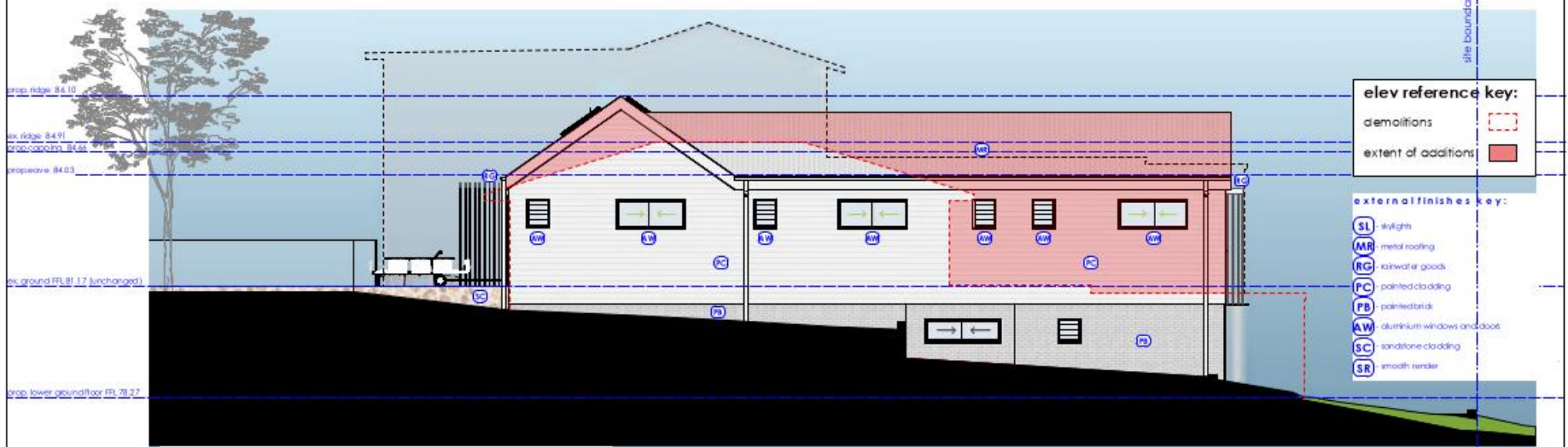
Water saving tank:
 The applicant must install a rainwater tank of at least 100L/25 litres on the site. The rainwater tank must meet, and be installed in accordance with the requirements of all applicable regulatory authorities.

Roof area:
 Three bedrooms 33sqm
 Toilet 33sqm
 Bath 33sqm

Artificial lighting:
 40% of All lights fluorescent Or Led
Roof tiles in requirements: (minimum req.)
 suspended floor R1.00
 (or R1.70 incl. construction)
 External Wall Rock veneer
 R1.5 (or R1.70 incl. construction)
 External Wall Formed
 R1.30 (or R1.70 incl. construction)
 Ceiling (tiles) R1.95
 Ceiling (other) R1.24
 Roof 100mm full back insulation
 Refer to table and notes in L10/25 Report included

Windows and glass doors: (minimum req.)
 Standard Aluminium Single Glaz.
 U-value: 7.65, SHGC: 0.75
 and
 Standard Aluminium clear or gap/leak, (U-value 5.34, SHGC: 0.47)
 Refer to table and notes in L10/25 Report included

Skylights: (minimum req.)
 Single low E internal (U-value on 100 clear or external on 100 clear) U-value: 2.5, SHGC: 0.456
 note skylight grouping
 Skylight ventilation allowed for BASIX purposes



south elevation // proposed
Scale: 1:100

elev reference key:
 demolitions
 extent of additions

external finishes key:
 SL skylights
 MR metal roofing
 RG rainwater goods
 PC painted cladding
 PB painted brick
 AW aluminium windows and doors
 SC sandstone cladding
 SR smooth render

DEVELOPMENT APPLICATION (DA)

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address: 15 Southern Cross Way, Allambie Heights, NSW 2010, LOT 8 DP 223922	site: Elevations South // Exg. & Prop.	scale: 1:100 @ cd
client: Wes & Louise Quick	drawn by: JOB	date: 14/01/2025
project: Alterations & additions	date: 14/01/2025	issue: @ view/thru (DA)
dwg. no.: DA//11	rev. no.: A	

RIA 2024
 Jim O'Brien
 Principal Designer // Director
 (RIA Arch. Tech.)
 (A/150 in R.A.A.)

bdac
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 (A/150 in R.A.A.)

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 8 ALG OULAH, NSW 2093
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East elevation // existing
Scale: 1:100

DEVELOPMENT APPLICATION (DA)

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address:
15 Southern Cross Way, Allambie Heights,
NSW 2010. LOT 8 DP 223922

client: Wes & Louise Quick

project: Alterations & additions

title: Elevations East // Existing

drawn by: JOB

date: 14/01/2025

dwg. no.: DA//12

scale: 1:100 @ a3

issue: @ viewthru

Rev. no.: A

RIA1 Accredited Technologist
2024

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east elevation // proposed
Scale: 1:100

DEVELOPMENT APPLICATION (DA)

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address: 15 Southern Cross Way, Allambie Heights, NSW 2010, LOT 8 DP 223922	title: Elevations East // Proposed	drawn by: JOB	scale: 1:100 @ A1
client: Wes & Louise Quick	date: 14/01/2025	issue: (DA)	dwg. no.: DA//13
project: Alterations & additions	rev. no.: A		

RIA1 Registered Architect
2024

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(RIA1 Arch. Tech.)
(Allstate RAA)

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B: 61 0 20 148 NSW 2093
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No. 1681

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elev reference key:

demolitions [dashed red line]
extent of additions [solid red line]

external finishes key:

- SL skylights
- MR metal roofing
- RC rainwater goods
- PC painted cladding
- PB painted brick
- AW aluminium windows and doors
- SC sandstone cladding
- SR smooth render

BASiX Building Sustainability Index
NSW Planning & Environment

To be read in with full BASiX Report if included.

Outline window pool:
The swimming pool must not have a capacity greater than 50,000 litres water.

Rainwater tank:
The applicant must install a rainwater tank of at least 150,000 litres on the site. The rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.

Fixtures:
Showerheads: 3.9lit
Toilets: 3.9lit
Taps: 3.9lit

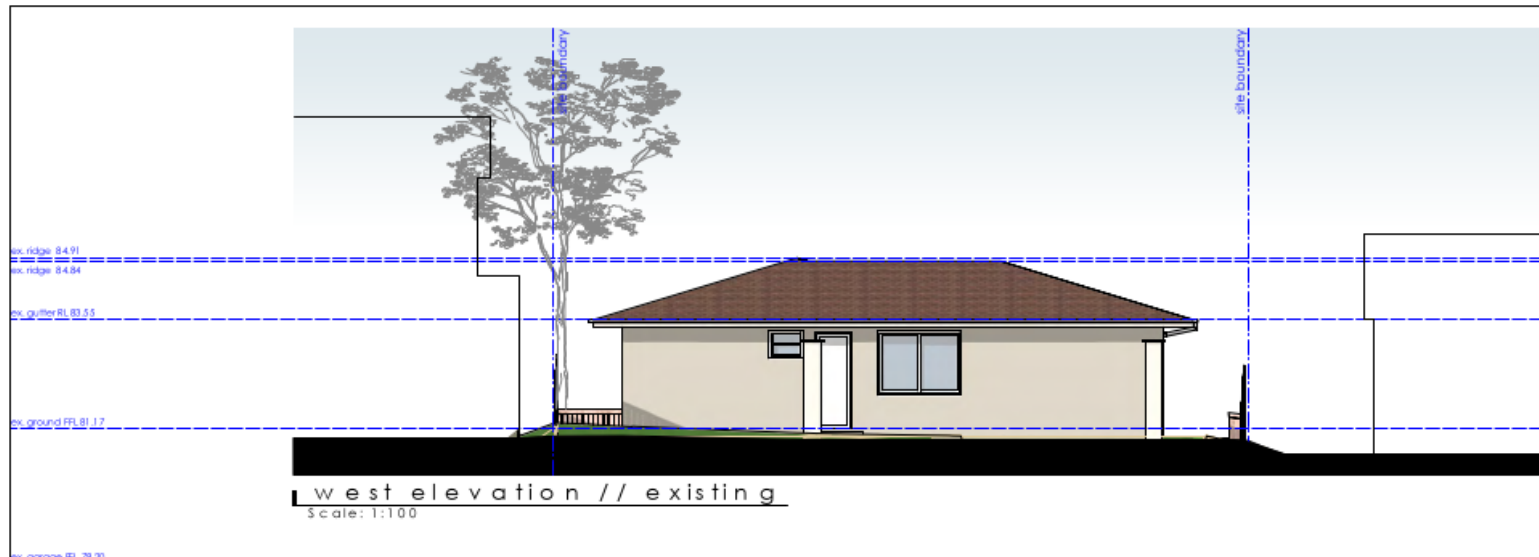
Artificial Lighting:
40% Of All Lights Fluorescent Or Led

Insulation requirements (minimum req.)
Suspended Floor: R3.0 @ 81.70 incl. construction
External Wall Brick veneer: R 1.16 or R1.70 incl. construction
External Wall Framed: R 1.30 or R1.70 incl. construction
Ceiling (flat): R3.0 @
Ceiling (skate): R 1.26
Roof: R3.0 @ Green Path or other thermal mass also takes and notes in full BASiX Report included

Windows and glass doors (minimum req.)
Standard Aluminium, single clear, (U-value: 7.65, SHGC: 0.75) and
Standard Aluminium, clear/low gas/low e, (U-value: 5.34, SHGC: 0.67)
See also table and notes in full BASiX Report included

Skylights (minimum req.)
Tempered or laminated, Argon fill // clear external (U-value: 2.5, SHGC: 0.66)

Note skylight glazing:
Skylight orientation grouped for BASiX purposes



BASIX Planning & Environment

Building Sustainability Index

To be read in with BASIX Report include

Outdoor swimming pool:
The swimming pool must not have a capacity greater than 50 000 litres MAX.

Waterwise tank:
The applicant must install a rainwater tank of at least 55L 25 litres on the site. This rainwater tank must meet, and be installed, in accordance with the requirements of all applicable regulatory authorities.

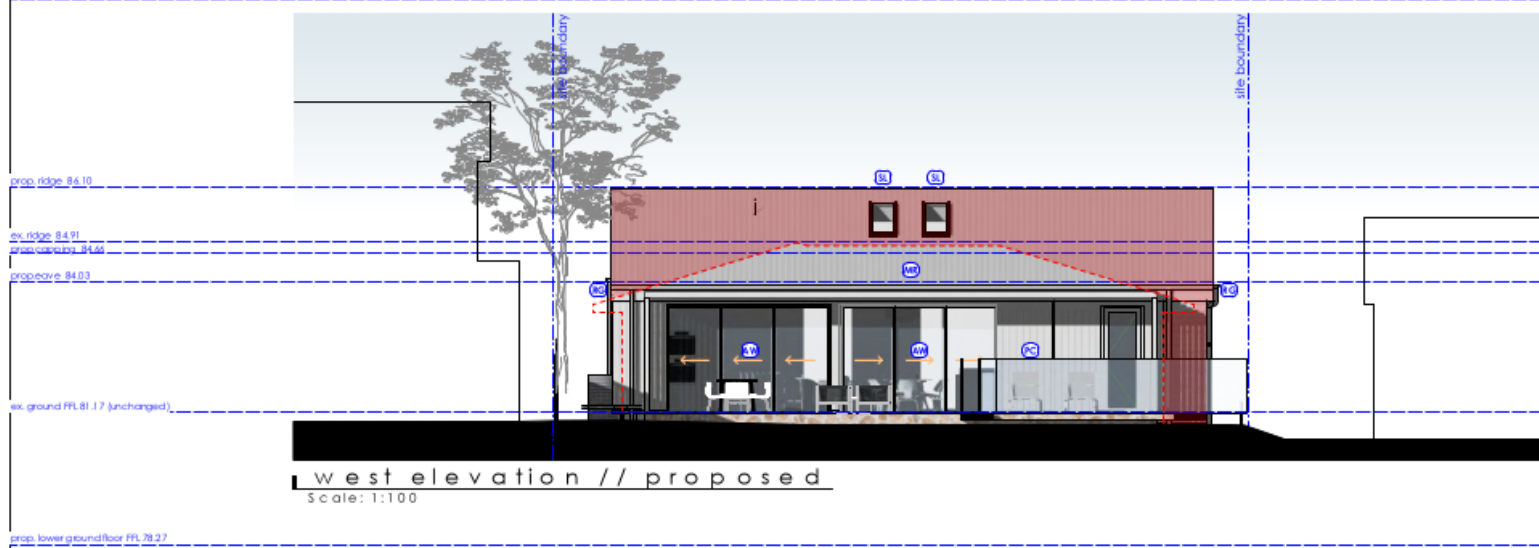
Roofline:
Roofline eave: 350mm
Soffit: 350mm
Top: 350mm

Afficial Lighting
4000K or 5000K Fluorescent Or Led

Insulation requirements: (minimum req.)
Suspended Floor: R 0.60 (or R 1.70 incl. construction)
External Wall Brick veneer: R 1.4 (or R 1.70 incl. construction)
External Wall Frames: R 1.30 (or R 1.70 incl. construction)
Ceiling (flat): R 0.95
Ceiling (pitched): R 1.24
Roof: 100mm Full backed Insulation
Pallets to tables and notes in BASIX Report included

Windows and glass doors: (minimum req.)
Standard Aluminium, Single clear, (U-value: 7.43, SHGC: 0.75) and
Standard Aluminium, clear or gap/acet, (U-value: 5.36, SHGC: 0.47)
Pallets to tables and notes in BASIX Report included

Skylights: (minimum req.)
Single to 4 External (Wagon Wheel) clear external (or U-value: 2.5, SHGC: 0.456)
note skylight grouping:
Skylight orientation grouped for BASIX purposes



elev reference key:

demolitions

extent of additions

external finishes key:

- skylights
- metal roofing
- rainwater goods
- painted cladding
- painted brick
- aluminium windows and doors
- sandstone cladding
- smooth render

DEVELOPMENT APPLICATION (DA)

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address: 15 Southern Cross Way, Allambie Heights, NSW 2010, LOT 8 DP 223922	title: Elevations West // Evg. & Prop.
client: Wes & Louise Quick	drawn by: JOB
project: Alterations & additions	date: 14/01/2025
	scale: 1:100 @ a3
	save: (DA)
	dwg. no.: DA//14
	rev. no.: A

RIA **2024**

Jim O'Brien
Principal Designer // Director
(RIA Arch Tech)
(Affiliate RIAA)

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BUILDING DESIGNERS
(accreditation no. 465)

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BASIX Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A1 77885

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability. If it is built in accordance with the commitments set out below. Terms used in this certificate, or in the comments, have their meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Tuesday, 14 January 2025
To be valid, this certificate must be lodged within 3 months of the date of issue.



BASIX Certificate number A1 77885

page 1/1

Project address	
Project name	ALLAMBE RID
Street address	15 SOUTHERN CROSS - ALLAMBE HEIGHTS 2100
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan DP223622
Lot number	8
Section number	-
Project type	
Dwelling type	Dwelling house (detached)
Type of alteration and addition	The estimated development cost for my renewal on work is \$40,000 or more, and includes a pool (and/or spa).
N/A	N/A
Certificate Prepared by <small>(please complete below submitting to Council or PCA)</small>	
Name / Company Name	VIEWTHRU PTY LTD
ABN (if applicable)	5662006451

BASIX Certificate number ATT 9696

page 8/1

Construction			Show on DA Plans	Show on COCDC Plans & specs	Certifier Check
Insulation requirements					
The applicant must construct the new or altered construction (Roofs, walls, and ceiling/ceiling) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.					
Construction	Additional insulation required (R-value)	Other specifications			
concrete slab on ground floor	nil	N/A			
suspended floor with enclosed subfloor: framed (R0.7)	R0.60 (down) (or R1.30 including construction)	N/A	✓	✓	✓
floor above existing dwelling or building	nil	N/A			
external wall: brick veneer	R1.16 (or R1.70 including construction)				
external wall: form ed (weatherboard, fibre, metal clad)	R1.30 (or R1.70 including construction)				
internal wall: sheath with gypcra plasterboard (R0.36)	nil				
flat ceiling, pitched roof	ceiling: R0.95 (up) roof: foil backed (100mm)	medium solar absorbance 0.475-0.70			
raked ceiling, pitched/skillion roof: framed	ceiling: R1.24 (up) roof: foil backed (100mm)	medium solar absorbance 0.475-0.70			

BASIX Certificate number A1 77885

page 2/1

Pool and Spa			
	Show on DA Plans	Show on COCDC Plans & specs	Certifier Check
Rainwater tank			
The applicant must install a rainwater tank of at least 1531.25 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rainwater runoff from at least 50 square metres of roof area.	✓	✓	✓
The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.	✓	✓	✓
Outdoor swimming pool			
The swimming pool must be outdoors.	✓	✓	✓
The swimming pool must not have a capacity greater than 50 kilolitres.	✓	✓	✓
The swimming pool must have a pool cover.	✓	✓	✓
The applicant must install a pool pump timer for the swimming pool.	✓	✓	✓
The applicant must install the following heating system for the swimming pool that is part of this development solar (electric boosted).	✓	✓	✓

BASIX Certificate number A1 77885

page 3/1

Fixtures and systems			
	Show on DA Plans	Show on COCDC Plans & specs	Certifier Check
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting diode (LED) lamps.		✓	✓
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or a minimum 3 star water rating.		✓	✓

BASIX Certificate number ATT 9696

page 9/1

Glazing requirements			Show on DA Plans	Show on COCDC Plans & specs	Certifier Check
Windows and glazed doors					
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.					
The following requirements must also be satisfied in relation to each window and glazed door:					
Each window or glazed door with standard aluminium or timber frames and single clear or bronze glass may only other match the description, or have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-value and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.			✓	✓	✓
Each window or glazed door with insulated frames, or primarily low-e glass, or double glazing, or bronze or argon-filled glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The descriptions provided for information only. Alternative systems with same glazing U-value and SHGC may be substituted.			✓	✓	✓
For projections described in m line items, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.			✓	✓	✓
Pergolas with polycarbonate roof or steel or aluminium metal clad must have a shading coefficient of less than 0.35.				✓	✓

BASIX Certificate number ATT 9696

page 10/1

Glazing requirements							Show on DA Plans	Show on COCDC Plans & specs	Certifier Check
Windows and glazed doors glazing requirements									
Window number	Orientation	Area of glass including frame (m ²)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type			
W01	S	0.36	0	0	none	standard aluminium, single clear, (or U-value: T63, SHGC: 0.75)			
W02	S	1.2	0	0	sewer verandah pergola/balcony = 900 mm	standard aluminium, single bronze, (or U-value: T 67, SHGC: 0.57)			
W03	E	2.25	0	0	sewer verandah pergola/balcony = 450 mm	standard aluminium, single argon-filled, (or U-value: 0.7, SHGC: 0.47)			
W04	S	1.35	0	0	none	standard aluminium, single clear, (or U-value: T63, SHGC: 0.75)			
W05	S	0.45	0	0	none	standard aluminium, single clear, (or U-value: T63, SHGC: 0.75)			

DEVELOPMENT APPLICATION (DA)

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address:
15 Southern Cross Way, Allamby Heights,
NSW 2010. LOT 8 DP 223922

client: **Wes & Louise Quirk**

project: **Alterations & additions**

title: **BASIX Report - Sht 1**

drawn by: **JOB** scale: @ 4:5

date: **14/01/2025** issue: **(DA)**

dwg. no.: **DA//15** Rev. no.: **A**

RAIA Architectural Technologist
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MEMBER
accreditation no. 4851
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Glazing requirements							Show on DA Plans	Show on COCDC Plans & specs	Certifier Check
Window or number	Orientation	Area of glass including frame (m ²)	Overshado wing height (m)	Overshado wing distance (m)	Shading device	Frame and glass type			
W06	S	0.45	0	0	none	standard aluminium, single clear, (or U-value: T63, SHGC: 0.75)			
W07	S	1.35	0	0	none	standard aluminium, single clear, (or U-value: T63, SHGC: 0.75)			
W08	S	0.45	0	0	none	standard aluminium, single clear, (or U-value: T63, SHGC: 0.75)			
W09	S	0.45	0	0	ever verandah pergolabalcony >=900 mm	standard aluminium, single clear, (or U-value: T63, SHGC: 0.75)			
W10	S	0.45	0	0	none	standard aluminium, clear or paper clear, (U-value: 0.34, SHG-C: 0.67)			

Glazing requirements							Show on DA Plans	Show on COCDC Plans & specs	Certifier Check
Windows and glazed doors glazing requirements									
Window or number	Orientation	Area of glass including frame (m ²)	Overshado wing height (m)	Overshado wing distance (m)	Shading device	Frame and glass type			
W11	N	1.62	0	0	ever verandah pergolabalcony >=900 mm	standard aluminium, single clear, (or U-value: T63, SHGC: 0.75)			
W12	E	4.32	0	0	awning (fixed) >=900 mm	standard aluminium, single clear, (or U-value: T63, SHGC: 0.75)			
W13	N	0.6	0	0	external louvres (adjustable)	standard aluminium, single clear, (or U-value: T63, SHGC: 0.75)			
D01	E	1.2	0	0	ever verandah pergolabalcony >=900 mm	standard aluminium, single clear, (or U-value: T63, SHGC: 0.75)			
D02	W	2.1	0	0	ever verandah pergolabalcony >=900 mm	standard aluminium, single clear, (or U-value: T63, SHGC: 0.75)			

Glazing requirements							Show on DA Plans	Show on COCDC Plans & specs	Certifier Check
Window or number	Orientation	Area of glass including frame (m ²)	Overshado wing height (m)	Overshado wing distance (m)	Shading device	Frame and glass type			
D03	W	6.3	0	0	ever verandah pergolabalcony >=900 mm	standard aluminium, single clear, (or U-value: T63, SHGC: 0.75)			
D04	W	6.6	0	0	ever verandah pergolabalcony >=900 mm	standard aluminium, single clear, (or U-value: T63, SHGC: 0.75)			
W14	E	4.2	0	0	ever verandah pergolabalcony >=450 mm	standard aluminium, single pyrolytic lowe, (U-value: 0.7, SHGC: 0.47)			
D05	E	6.64	0	0	ever verandah pergolabalcony >=900 mm	standard aluminium, single clear, (or U-value: T63, SHGC: 0.75)			

Glazing requirements				Show on DA Plans	Show on COCDC Plans & specs	Certifier Check
Skylights						
The applicant must install the skylights in accordance with the specifications listed in the table below.						
				✓	✓	✓
The following requirements must also be satisfied in relation to each skylight:						
				✓	✓	✓
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.						
				✓	✓	✓
Skylight glazing requirements						
Skylight number	Area of glazing inc. frame (m ²)	Shading device	Frame and glass type			
D1-D3	1.5	no shading	timber, low-E internal argon (louver external, or U-value: 2.9, SHGC: 0.46)			
D5-D	2	no shading	timber, low-E internal argon (louver external, or U-value: 2.9, SHGC: 0.46)			
11-D	1	no shading	timber, low-E internal argon (louver external, or U-value: 2.9, SHGC: 0.46)			

Legend	
In these comments, "applicant" means the person carrying out the development.	
Comments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).	
Comments identified with a ✓ in the "Show on COCDC plans & spec" column must be shown in the plans and specifications accompanying the application for a construction certificate complying development certificate for the proposed development.	
Comments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.	

DEVELOPMENT APPLICATION (DA)

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address:
15 Southern Cross Way, Allambie Heights,
NSW 2010. LOT 8 DP 223922

client: **Wes & Louise Quick**

project: **Alterations & additions**

title: **BASIX Report - Sht 2**

drawn by: **JOB** scale: @ G3

date: **14/01/2025** issue: (DA)

dwg. no.: **DA//16** Rev. no.: **A**

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WINDOW // DOOR SCHEDULE							
IMAGE	ID	Type	Opening Height	Opening Width	Unit Area	Glazing Type	Comments
	W01	louvre	600 mm	600 mm	0.36 m2	REFER TO BASIX	
	W02	louvre	600 mm	2000 mm	1.2 m2	REFER TO BASIX	
	W03	sashless HS	1500 mm	1500 mm	2.25 m2	REFER TO BASIX	
	W04	sashless HS	750 mm	1800 mm	1.35 m2	REFER TO BASIX	
	W05	louvre	750 mm	600 mm	0.45 m2	REFER TO BASIX	
	W06	louvre	750 mm	600 mm	0.45 m2	REFER TO BASIX	
	W07	sashless HS	750 mm	1800 mm	1.35 m2	REFER TO BASIX	
	W08	louvre	750 mm	600 mm	0.45 m2	REFER TO BASIX	
	W09	sashless HS	750 mm	1800 mm	1.35 m2	REFER TO BASIX	
	W10	sashless HS	750 mm	600 mm	0.45 m2	REFER TO BASIX	
	W11	fixed	900 mm	1800 mm	1.62 m2	REFER TO BASIX	
	W12	fixed	2400 mm	1800 mm	4.32 m2	REFER TO BASIX	
	W13	sashless DH	1500 mm	550 mm	0.825 m2	REFER TO BASIX	
	W14	sashless HS	1500 mm	2800 mm	4.2 m2	REFER TO BASIX	

notes:

1. All external glazing units to have aluminium frames as selected unless stated otherwise
2. Window supplier to issue shop drawings for sign off prior to commencement of fabrication
3. Refer to BASIX for glazing spec and shading requirements
4. Dimensions given are nominal and to suit scheduled opening sizes. Contractor to check all dimensions on site before proceeding. Contact VIEW//THRU if dimensions conflict.
5. Refer to Elevations for fixed/openable sashes.
6. Window supplier to include for supply of fly screens to all openable sashes.
7. All Window & door numbers correspond with BASIX reference.
8. All operable windows 2m or more above ground level to be capable of being restricted to 125mm sphere in acc. AS and BCA req.
9. ALL glazing assemblies to comply with Bush Fire Report recommendations, certification to be issued prior to commencement of fabrication where applicable

BASIX Planning & Environment

Public Consultation Table

To be read in with FURBASIX Report included.

Outdoor swimming pool
The swimming pool must not have a capacity greater than 20 kilolitre MAX.

Rainwater tank
The applicant must install a rainwater tank of at least 150L/25 litres on the site. The rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.

Fixtures
Showerheads 3.9lit
Toilets 3.9lit
Taps 3.9lit

Artificial lighting
40% Of All lights Fluorescent Or Led

Insulation requirements (minimum req.)
Suspended Floor R 0.60 (or R1.70 incl. construction)
External Wall Brick veneer R 1.16 (or R1.70 incl. construction)
External Wall Braced R 1.30 (or R1.70 incl. construction)
Ceiling (flat) R 0.95
Ceiling (sloped) R 1.24
Roof 100mm Full backed blanket
Refer also to tables and notes in FURBASIX Report included

Windows and glass doors (minimum req.)
Standard Aluminium, single clear, (i) value 2.45 SHGC 0.75 and
Standard Aluminium, clear or gas clear, (i) value 2.36 SHGC 0.49
Refer also to tables and notes in FURBASIX Report included

Daylight (minimum req.)
Tender to E in term (d) organ B1 / clear external (or (i) value 25 SHGC 0.456)
note daylight grouping
daylight orientation grouped for BASIX purposes.

DEVELOPMENT APPLICATION (DA)

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address:
15 Southern Cross Way, Allambie Heights,
NSW 2010. LOT 8 DP 223922

client: **Wes & Louise Quick**

project: **Alterations & additions**

title: **Ext. Window Schedule**

drawn by: **JOB** scale: @ 4:5

date: **14/01/2025** issue: **(DA)**

dwg. no.: **DA//17** Rev. no.: **A**

RAI Architectural Technologist 2024

Jim O'Brien
Principal Designer // Director
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DOOR SCHEDULE

IMAGE	ID	Type	Opening Height	Opening Width	Unit Area	Glazing Type	No. Doors	Comments
	D01	hinged door sidelight fixed	2400 mm	1800 mm	4.32 m ²	REFER TO BASIX	1	
	D02		2360 mm	900 mm	2.124 m ²	REFER TO BASIX	1	
	D03	sliding centre opening	2400 mm	3450 mm	8.28 m ²	REFER TO BASIX	3	
	D04	cavity sliding	2400 mm	3589 mm	8.614 m ²	REFER TO BASIX		
	D05	sliding centre opening	2400 mm	3600 mm	8.64 m ²	REFER TO BASIX	1	

notes:

- All external glazing units to have aluminium frames as selected unless stated otherwise
- Window supplier to issue shop drawings for sign off prior to commencement of fabrication
- Refer to BASIX for glazing spec and shading requirements
- Dimensions given are nominal and to suit scheduled opening sizes. Contractor to check all dimensions on site before proceeding. Contact VIEW//THRU if dimensions conflict.
- Refer to Elevation for fixed/openable sashes.
- Window supplier to include for supply of fly screens to all openable sashes.
- All window & door numbers correspond with BASIX reference.
- All operable windows 2m or more above ground level to be capable of being restricted to 125mm sphere in acc. AS and BCA req.
- All glazing assemblies to comply with Bush Fire Report recommendations, certification to be issued prior to commencement of fabrication where applicable

external finishes schedule



SL SKYLIGHTS
Velux - Colour - RAL 7043 Grey



RG RAINWATER GOODS
'Colorbond - Dover White' or similar



PB PAINTED BRICK
'Colorbond - Dover White' or similar



SC SANDSTONE CLADDING



MR METAL ROOFING
Colour - Wallaby (or similar)



PC PAINTED CLADDING
'Colorbond - Dover White' or similar



AW ALUMINIUM WINDOW AND EXTERNAL DOOR FRAMES
'Colorbond - Dover White' or similar



SR SMOOTH RENDER
Color - eg. Dover White or similar

external finishes key:

- SL** - skylights
- MR** - metal roofing
- RG** - rainwater goods
- PC** - painted cladding
- PB** - painted brick
- AW** - aluminium windows and doors
- SC** - sandstone cladding
- SR** - smooth render

BASIX [®] Planning & Environment	
BASIX Sustainable Index	
To be read in with BASIX Report included	
Outdoor swimming pool	
The swimming pool must not have a capacity greater than 30 kilolitres (KL).	
Rainwater tank	
The applicant must install a rainwater tank of at least 120L/25 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	
Roof area:	
Showers:	35sq
Tubs:	35sq
Spas:	35sq
Artificial lighting	
45% of All lights Fluorescent Or led	
in addition requirements (minimum req.)	
Suspended Floor:	R 0.00
	(or R 1.70 incl. construction)
External Wall Brick veneer	
R 1.16 (or R1.70 incl. construction)	
External Wall Render	
R 1.30 (or R1.70 incl. construction)	
Ceiling (flat):	R 0.00
Ceiling (vaulted):	R 1.24
Roof:	100mm Full backed blanket
Water penetrates and notes in BASIX Report included	
Windows and glazed doors (minimum req.)	
Standard Aluminium, single clear.	
(U-value: 7.48, SHGC: 0.75)	
and:	
Standard Aluminium, clear or gap (at least (U-value: 5.54, SHGC: 0.67)	
Refer also to tables and notes in BASIX Report included	
Skylights (minimum req.)	
Refer also to tables and notes in BASIX Report included	
(or U-value: 2.5, SHGC: 0.64)	
note skylight grouping:	
skylight orientation grouped for BASIX purposes.	

DEVELOPMENT APPLICATION (DA)

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address:
15 Southern Cross Way, Allambie Heights,
NSW 2010. LOT 8 DP 223922

client: Wes & Louise Quirk

project: Alterations & additions

title: Ext. Door & Finishes Schedule

drawn by: JOB

date: 14/01/2025

dwg. no.: DA//18

scale: @ a3

issue: @ view//thru

(DA)

Rev. no.: A

RIAI
2024

Architectural Technologist

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(Austral. R.I.A.A.)

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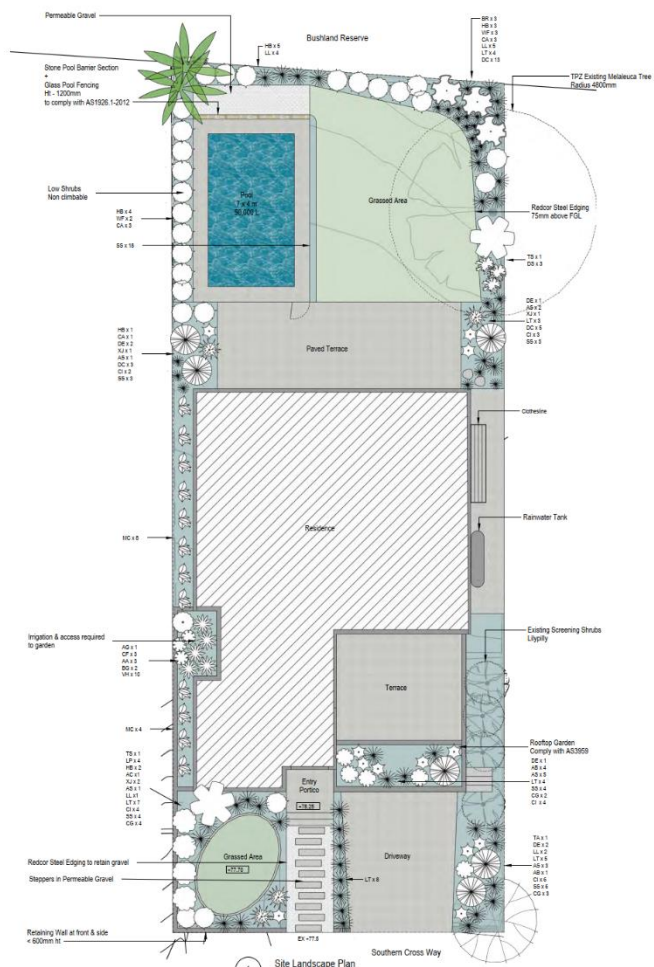
BALO OWLAH, NSW 2093
VIEWTHRU PTY LTD (A VIEWTHRU ACN 620184 531)

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Appendix 2 – Proposed Landscape Plan ex Diamantina Design



Surface Legend



Landscape Calculations

Plant Legend

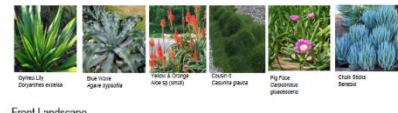
Plant Symbol	Plant Code	Common Name	Botanical Name	Mature Height	Pot Size	Quantity	Note	
REAR	AC	Parrotia Palm	Adiantum species	10m	400mm	2	Native	
	TS	Shady Lady Yellies	Taxiopsis glaberrima	2.5m	300mm	1	Native	
	DE	Opium Lily	Oryzanthus sp.	1.5m	300mm	3	Native	
	BR	Scraggy Banksia	Banksia sp.	2.5m	300mm	3	Native	
	HS	Honey Sun	Opuntia sp.	0.9m	200mm	13/7	Native	
	KJ	Grass Tree	Xanthorrhoea sp.	2m	300mm	2	Native	
	DS	Spiny Rock Orchid	Dactyloctenium sp.	0.4m	200mm	3	Native	
	LT	Iron Rush	Lomandra sp.	0.9m	200mm	9/7	Native	
	DC	Blue Iris	Doronicum sp.	0.6m	140mm	21	Native	
	CI	Coastal Iris	Diuris sp.	0.1m	140mm	5/24	Native + Exotic	
VP	Wax Lily	Patersonia sp.	Vine	200mm	7	Native		
SIDE	AS	Native Ginger	Alpinia sp.	2m	200mm	1	Native	
	PF	Pine Damson	Coniochaete sp.	2m	300mm	3	Exotic	
	AA	Blue Star Fern	Asplenium sp.	10m	300mm	5/3	Native	
	SL	Blue Star Fern	Asplenium sp.	1m	200mm	13	Native	
	DC	Blue Iris	Doronicum sp.	0.6m	140mm	17	Native	
	VP	Wax Lily	Patersonia sp.	Ground Cover	140mm	10	Ground Cover	
	FRONT	TA	Lambton	Thalictrum sp.	8m	400mm	1	Exotic
		TS	Shady Lady Yellies	Taxiopsis glaberrima	2.5m	300mm	1	Native
		DE	Opium Lily	Oryzanthus sp.	1.5m	300mm	3	Native
		DS	Spiny Rock Orchid	Dactyloctenium sp.	2m	200mm	4	Native
HS		Honey Sun	Opuntia sp.	0.9m	200mm	2/12	Native	
KJ		Grass Tree	Xanthorrhoea sp.	1.5m	300mm	2	Native	
AS		Native Ginger	Alpinia sp.	0.6m	300mm	4	Exotic	
AS		Native Ginger	Alpinia sp.	0.9m	200mm	4/5	Exotic	
LT		Iron Rush	Lomandra sp.	0.9m	200mm	18/10	Native + Exotic	
DC		Blue Iris	Doronicum sp.	Ground Cover	Ground Cover	9/14/14	Native + Exotic	

Plant Images

Side Landscape



Rooftop Landscape



Front Landscape



Rear Landscape

