



# ACTION PLANS

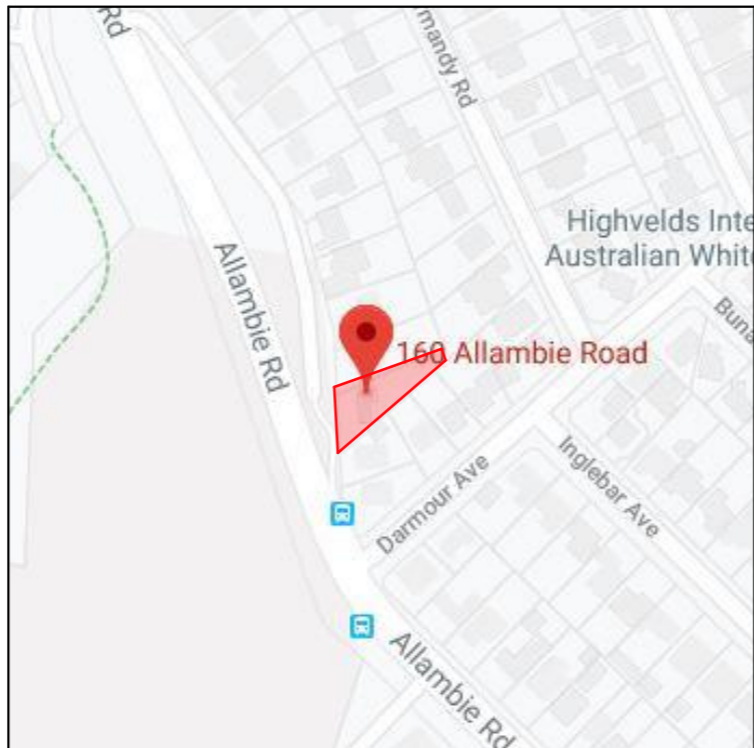
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## DEVELOPMENT APPLICATION

These plans are for Development Approval only.

This is a **summary** of the **minimum** specifications in 'Planning for Bushfire Protection 2006' as amended in 2010 and 'AS 3959 2009 – Construction of buildings in bushfire-prone areas' which are recommended in this report. It is included as a courtesy, is a guide only, and may not be complete. In addition, the contents of the documents from which this information was extracted may have changed between the dates of preparation of this report, and its use or application. Specifications in other documents such as the Building Code of Australia (BCA) may apply. It is the user's responsibility to comply with all statutory conditions as well as those specified by the approving authority with particular reference to this report. The appropriate source documents should be consulted to determine the full specifications abbreviated in this table.

		BAL-12.5	BAL-19	BAL-29	BAL-40				
Floor	Slab OK								
	Timber <400mm ag		FRT or lined or enclosed		Non-combustible or FRT or enclosed				
Floor posts	Timber >400mm ag		OK		Enclosed or non-combustible				
			FRT or enclosed		Non-combustible				
External walls		400mm FRT or non-combustible		FRT or non-combustible	Non-combustible				
Windows	Frame		FRT or metal		Metal				
	Screens	Al, Fe or Br mesh on all openable		Fe or Br mesh on all openable, 5mm toughened glass, or shutters	Fe or Br mesh on all, 6mm toughened glass, or shutters				
External doors	Sliding	Safety glass	5mm toughened glass	6mm toughened glass or full mesh	6mm toughened glass plus full mesh or shutter				
	Screens		Al, Fe or Br, if fitted		Fe or Br				
	Timber frames		FRT		Metal only				
	Garage	Lower 400mm FRT or non-combustible		FRT or non-combustible	Non-combustible				
Vents etc	Mesh		Al, Fe or Br mesh 2mm		Fe or Br mesh 2mm				
Roofs	Tiled		Fully sarked (Flammability Index <5)						
	Sheeted Non		-combustible, fully sarked (Flammability Index <5)						
	Rooflights		Non-combustible sleeve/lining, 4mm safety glass		FRL -/30/-				
Verandahs, decks etc	Enclosed	Any supports, <3mm spaced deck, FRT or non-combustible			Any supports, unspaced deck, non-combustible				
	Unenclosed	FRT or non-combustible, <3mm spaced deck			All non-combustible, unspaced deck				
	<300mm to glass	300mm wide FRT or non-combustible		FRT or non-combustible	Non-combustible				
Services		Exposed water & gas pipes to metal							
Ag	Above ground	FRT	Fire Resistant Timber	Al	Aluminium	Fe	Stainless steel	Br	Bronze



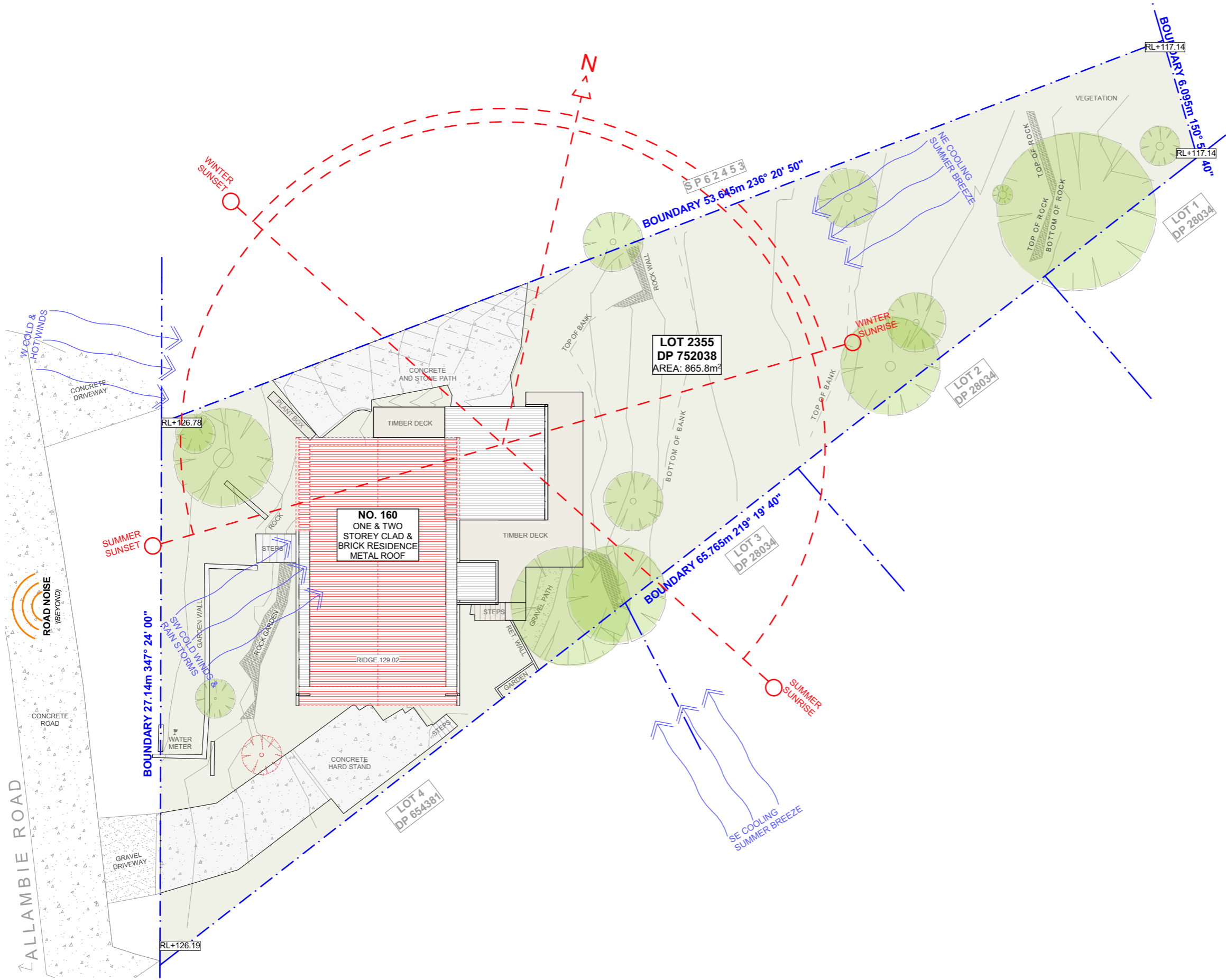
## 160 ALLAMBIE ROAD, ALLAMBIE HEIGHTS, NSW, 2100

ITEM DETAILS	DEVELOPMENT APPLICATION			
ADDRESS	160 ALLAMBIE ROAD, ALLAMBIE HEIGHTS, NSW 2100			
LOT & DP/SP	LOT 2355 DP 752038			
COUNCIL	NORTHERN BEACHES COUNCIL (WARRINGAH)			
SITE AREA	865.8m²			
FRONTAGE	27.14m			
CONTROLS	PERMISSIBLE / REQUIRED	EXISTING	PROPOSED	COMPLIANCE
	m / m² / %	m / m² / %	m / m² / %	
LEP				
LAND ZONING	R2 – LOW DENSITY RESIDENTIAL	R2	R2	YES
MINIMUM LOT SIZE	600m²	865.8m²	UNCHANGED	YES
FLOOR SPACE RATIO	NOT IDENTIFEID	N/A	N/A	N/A
MAXIMUM BUILDING HEIGHT	8.5m	5.346m	8.873m	NO
<b>HAZARDS</b>				
DEVELOPMENT ON SLOPING LAND	LANDSLIP RISK: AREA A – SLOPES LESS THAN 5 DEGREES AREA B – FLANKING SLOPES FROM 5 TO 25 DEGREES			PLEASE READ IN CONJUNCTION WITH THE STATEMENT OF ENVIRONMENTAL EFFECTS, THE GEOTECHNICAL REPORT AND THE BUSHFIRE REPORT
BUSHFIRE	BUSH FIRE PRONE LAND: VEGETATION BUFFER 100m AND 30m			
<b>DCP</b>				
WALL HEIGHT	7.2m	4.940m	6.543m	YES
NUMBER OF STOREYS	N/A	2	UNCHANGED	YES
SIDE BOUNDARY ENVELOPE	4m			YES
SIDE BOUNDARY SETBACKS	0.9m	N: 4.073m S: 1.765m S CARPORT: N/A	N: 3.358m S: 1.742m CARPORT: 1.032m	YES
FRONT BOUNDARY SETBACK	6.5m	BUILDING: 7.455m CARPORT: N/A	B: 6.5m CARPORT: 3.286m	YES
REAR BOUNDARY SETBACK	6.0m	35.585m	UNCHANGED	YES
LANDSCAPE OPEN SPACE	40% (346.32m²)	62.5% (541.22m²)	62% (536.92m²)	YES
PRIVATE OPEN SPACE	60m²	60.18m²	UNCHANGED	YES

### NCC & AS COMPLIANCES SPECIFICATIONS


- EARTHWORKS: METHOD OF EXCAVATION AND FILL - PART 3.1.1 OF NCC
- SURFACE SUBSOIL-STORMWATER DRAINAGE - PART 3.1.2 OF NCC
- TERMITE-RISK MANAGEMENT - PART 3.1.3 OF NCC
- FOOTINGS & SLAB - PART 3.2 OF NCC INCLUDING AS2870
- MASONRY CONSTRUCTION - PART 3.3 OF NCC INCLUDING AS3700
- SUB FLOOR VENTILATION - PART 3.4.1 OF NCC
- FRAMING - PART 3.4 OF NCC
- ROOF, WALL-CLADDING, GUTTERS & DOWNPIPES - PART 3.5 OF NCC
- GLAZING - PART 3.6 OF NCC INCLUDING AS1288
- FIRE SEPARATION - PART 3.7.1 OF NCC
- SMOKE ALARMS - PART 3.7.2 OF NCC
- HEATING APPLIANCES - PART 3.7.3 OF NCC
- WET AREAS-PROTECTION OF WALLS & FLOORS - PART 3.8.1 OF NCC
- MINIMUM ROOF HEIGHTS - PART 3.8.3 OF NCC
- FACILITIES REQUIRED & SANITARY DOOR CONSTRUCTION - PART 3.8.3 OF NCC
- LIGHT: NATURAL AND ARTIFICIAL - PART 3.8.4 OF NCC
- VENTILATION & LOCATION OF TOILETS - PART 3.8.5 OF NCC
- SOUND INSULATION - PART 3.8.6 OF NCC
- STAIR CONSTRUCTION INCLUDING DIMENSIONS - PART 3.9.1 OF NCC
- BALUSTRADES & OTHER BARRIERS - PART 3.9.2 OF NCC
- FENCING & OTHER PROVISIONS - REGS & AS1926
- DEMOLITION WORKS - AS2601-1991 THE DEMOLITION OF STRUCTURES.
- ALL WATERPROOF MEMBRANES TO COMPLY WITH WITH AS 3740-2004
- ALL PLUMBING & DRAINAGE WORK TO COMPLY WITH AS 3500
- SITE CLASSIFICATION AS TO AS 2870
- ALL PLASTERBOARD WORK TO COMPLY WITH AS 2588-1998
- ALL STRUCTURAL STEEL WORK TO COMPLY WITH WITH AS 4100 & AS 1554
- ALL CONCRETE WORK TO COMPLY WITH AS 3600
- ALL ROOF SHEETING WORK TO COMPLY WITH AS 1562-1992
- ALL SKYLIGHTS TO COMPLY WITH WITH AS 4285-2007
- ALL CERAMIC TILING TO COMPLY WITH AS 3958.1-2007 & 3958.2-1992
- ALL GLAZING ASSEMBLIES TO COMPLY WITH AS2047 & 1288
- ALL TIMBER RETAINING WALLS ARE TO COMPLY WITH AS 1720.1-2010, AS 1720.2-2006, AS 1720.4-2006, AS 1170.1-1989 & AS 1170.4-1993
- ALL RETAINING WALLS ARE TO COMPLY WITH 3700 - 2011 & AS 3600 -2001
- ALL CONSTRUCTION TO COMPLY TO AS3959- 1991

SHEET NUMBER	SHEET NAME	DATE PUBLISHED
DA00	COVER	3/02/2020
DA01	SITE ANALYSIS	3/02/2020
DA02	SITE / ROOF / SEDIMENT EROSION / WASTE MANAGEMENT / STORMWATER CONCEPT PLAN	3/02/2020
DA03	EXISTING LOWER GROUND FLOOR PLAN	3/02/2020
DA04	EXISTING GROUND FLOOR PLAN	3/02/2020
DA05	PROPOSED LOWER GROUND FLOOR PLAN	3/02/2020
DA06	PROPOSED GROUND FLOOR PLAN	3/02/2020
DA07	PROPOSED FIRST FLOOR PLAN	3/02/2020
DA08	NORTH ELEVATION	3/02/2020
DA09	EAST ELEVATION	3/02/2020
DA10	SOUTH ELEVATION	3/02/2020
DA11	WEST ELEVATION	3/02/2020
DA12	LONG SECTION	3/02/2020
DA13	CROSS SECTION	3/02/2020
DA14	CARPORT PLAN & CROSS SECTION	3/02/2020
DA15	CARPORT LONG SECTION	3/02/2020
DA16	AREA CALCULATIONS	3/02/2020
DA17	SAMPLE BOARD	3/02/2020
DA18	WINTER SOLSTICE 9 AM	3/02/2020
DA19	WINTER SOLSTICE 12 PM	3/02/2020
DA20	WINTER SOLSTICE 3 PM	3/02/2020
DA21	HEIGHT NON-COMPLIANT MODEL	3/02/2020
DA22	BASIX COMMITMENTS	3/02/2020



1 SITE ANALYSIS 1:200

NOTE: ALL DEMOLISHED ELEMENTS TO ENG. SPECIFICATIONS AND AS. 2601 - 2001



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### LEGEND

SOFT LANDSCAPE

HARD LANDSCAPE

PROPOSED

EXISTING

DEMOLISHED

EX. EXISTING

DP. DOWNPIPE

PROP. PROPOSED

DP. DOWNPIPE

T.P.Z. TREE PROTECTION ZONE

**CLIENT**  
AMIT & BIANCA  
CHAKRABORTY

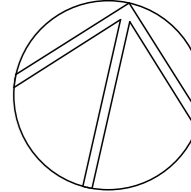
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NSW, 2100

**DRAWING NO.**  
DA01

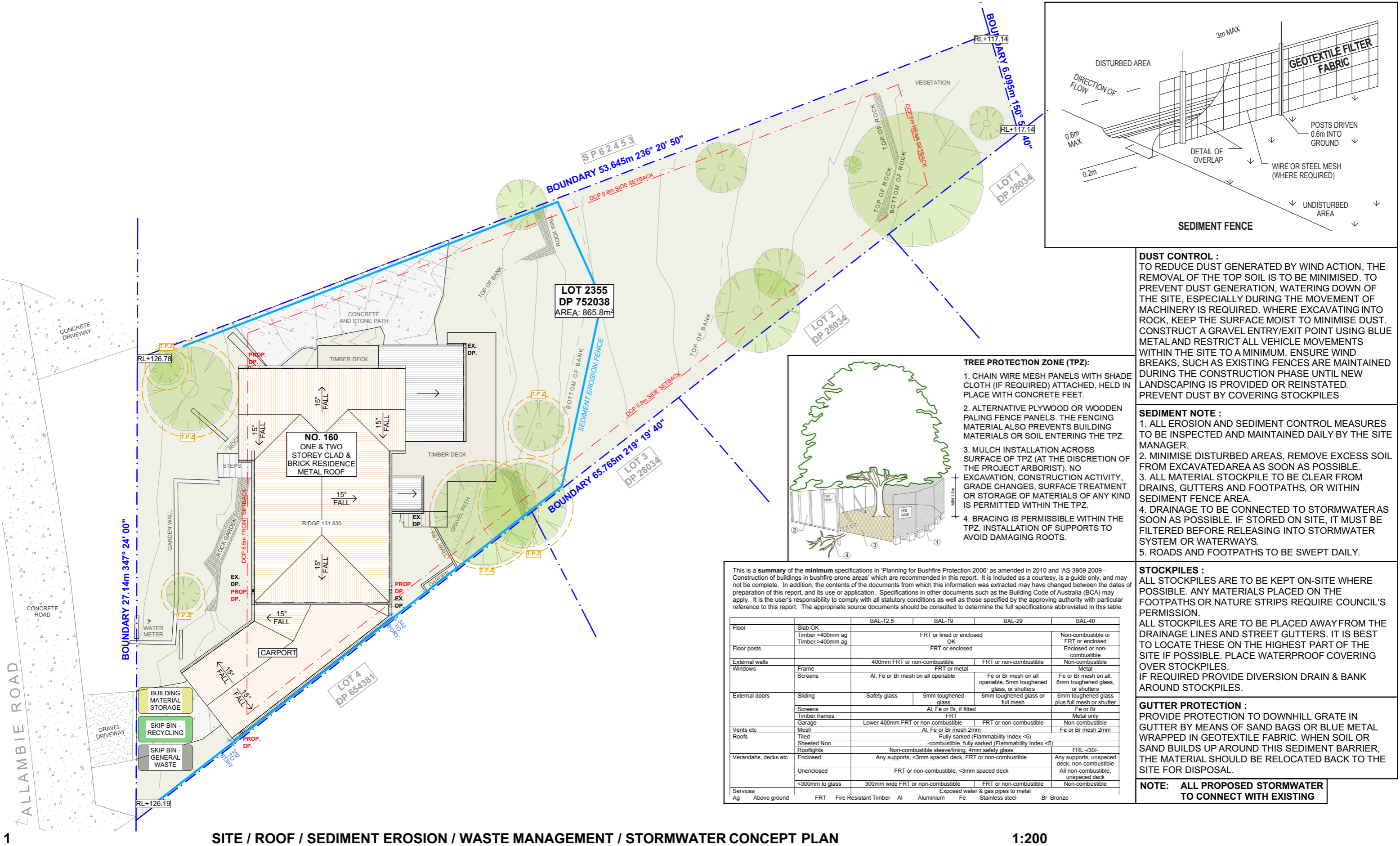
**DATE**  
Monday, 3 February  
2020

**DRAWING NAME**  
SITE ANALYSIS

**SCALE**  
1:200 @A3







1

SITE / ROOF / SEDIMENT EROSION / WASTE MANAGEMENT / STORMWATER CONCEPT PLAN

1:200

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SOFT LANDSCAPE  
HARD LANDSCAPE  
PROPOSED  
EXISTING  
DEMOLISHED

EX. EXISTING  
DP. DOWNPIPE  
PROP. PROPOSED  
DP. DOWNPIPE  
T.P.Z. TREE PROTECTION ZONE

**CLIENT**  
AMIT & BIANCA CHAKRABORTY

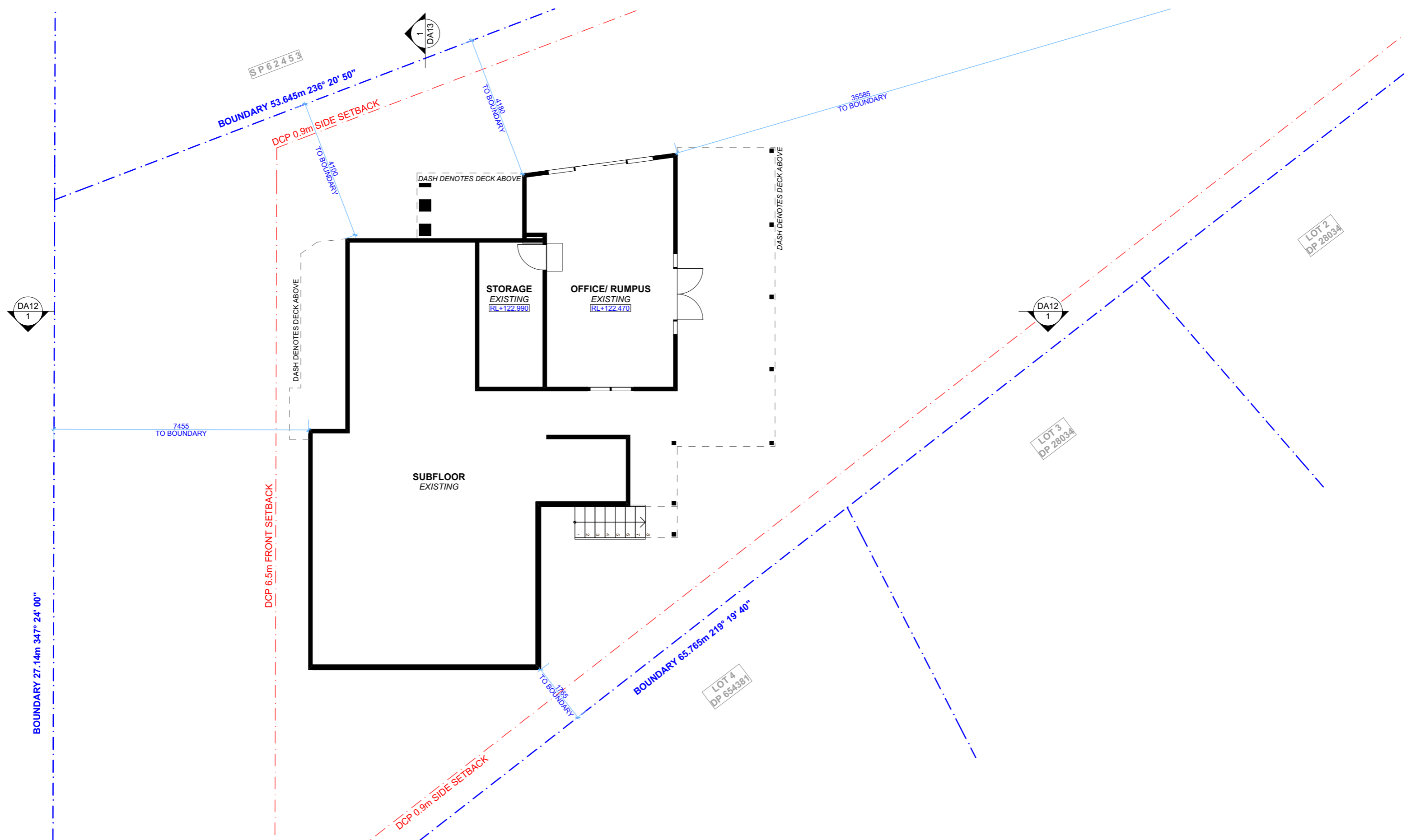
**PROJECT ADDRESS**  
160 ALLAMBIE ROAD, ALLAMBIE HEIGHTS, NSW, 2100

**DRAWING NO.**  
DA02

**DATE**  
Monday, 3 February 2020

**DRAWING NAME**  
SITE / ROOF / SEDIMENT EROSION / WASTE MANAGEMENT / STORMWATER CONCEPT PLAN

**SCALE**  
1:200 @A3




1

EXISTING LOWER GROUND FLOOR PLAN

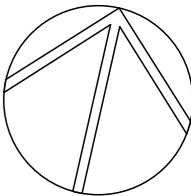
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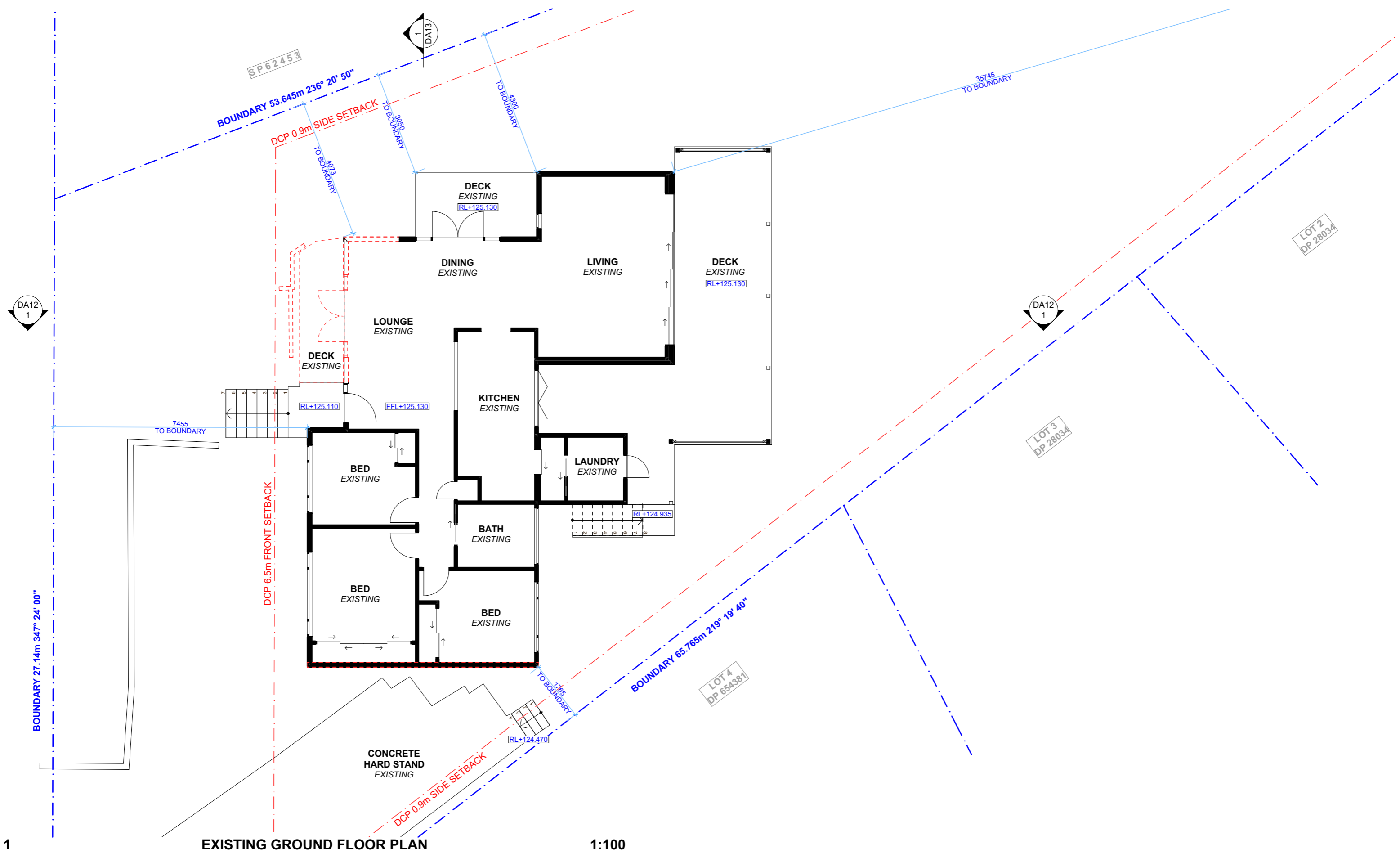
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LEGEND

EXISTING

PROPOSED

DEMOLISHED

CLIENT

AMIT & BIANCA  
CHAKRABORTY

PROJECT ADDRESS

160 ALLAMBIE ROAD,  
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NSW, 2100

DRAWING NO.

DA04

DATE

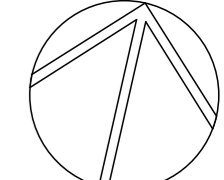
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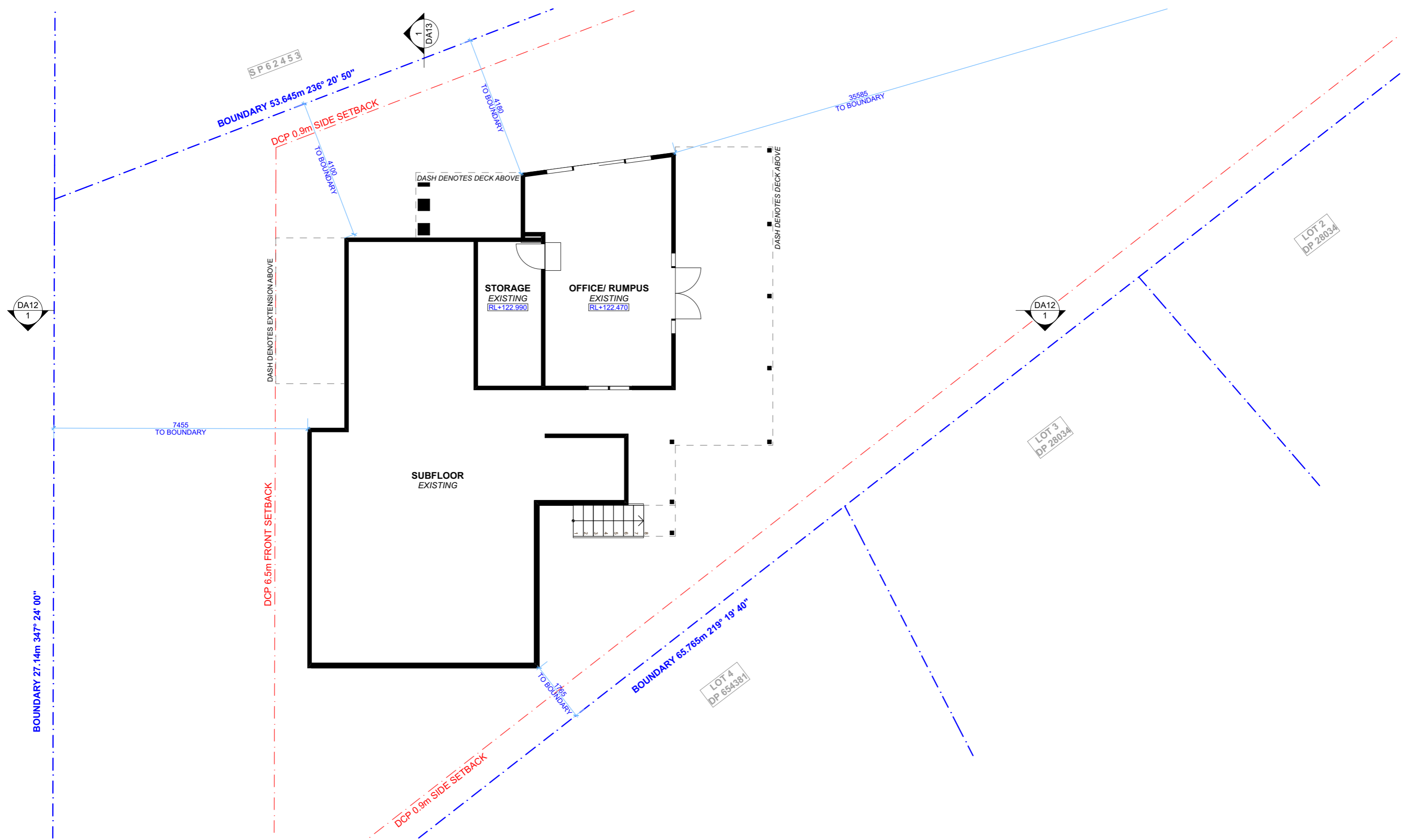
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EXISTING GROUND FLOOR  
PLAN

SCALE

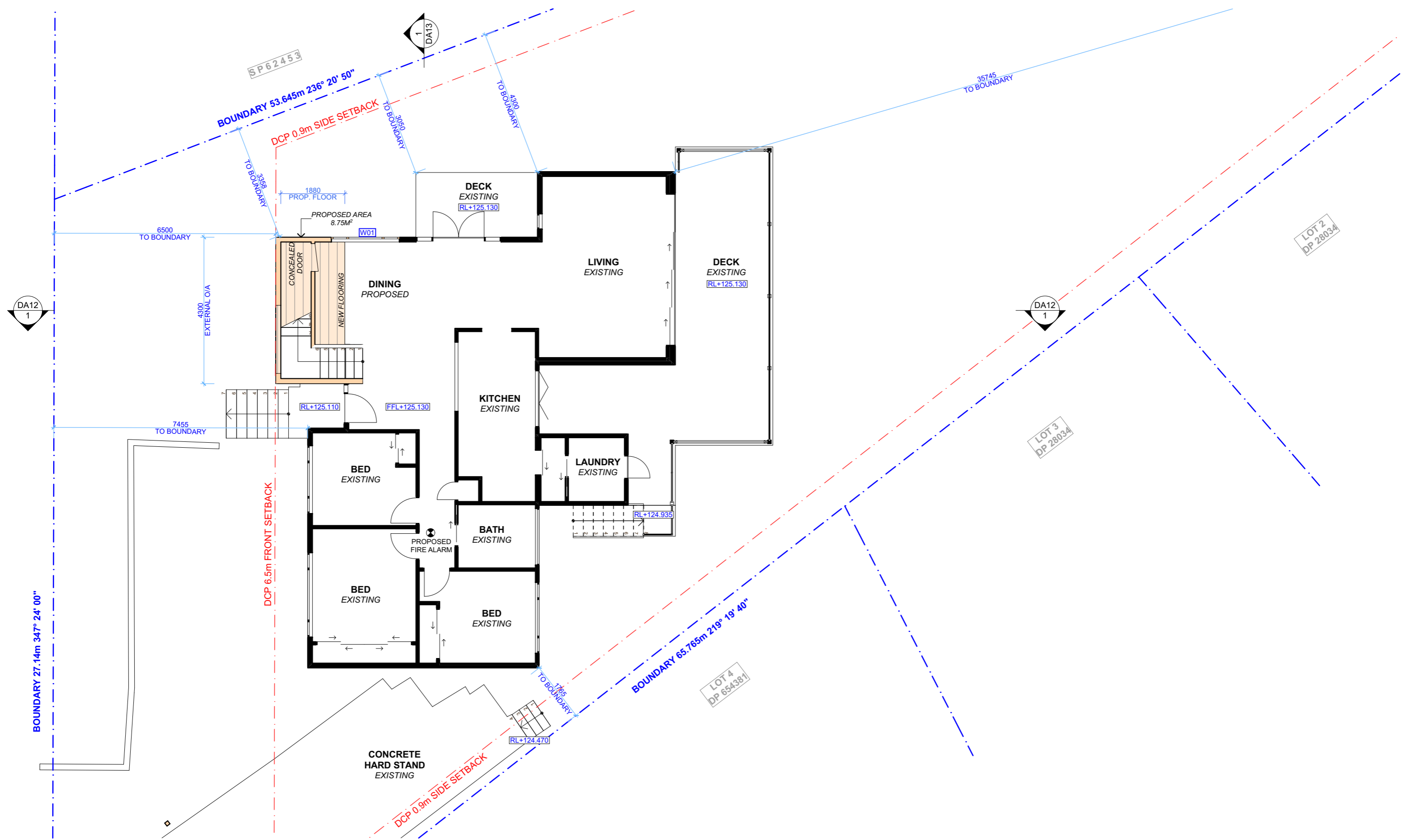
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1 PROPOSED LOWER GROUND FLOOR PLAN 1:100

NOTE: NO PROPOSED CHANGES TO THIS LEVEL



1 **PROPOSED GROUND FLOOR PLAN** 1:100

NOTE: SMOKE ALARMS TO COMPLY WITH PART 3.7.2 OF NCC. PLEASE REFERENCE BUSHFIRE NOTE ON PAGE DA02



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**LEGEND**

- EXISTING
- PROPOSED
- DEMOLISHED

**CLIENT**

AMIT & BIANCA CHAKRABORTY

**PROJECT ADDRESS**

160 ALLAMBIE ROAD,  
ALLAMBIE HEIGHTS,  
NSW, 2100

**DRAWING NO.**

**DA06**

**DATE**

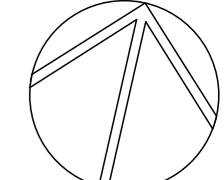
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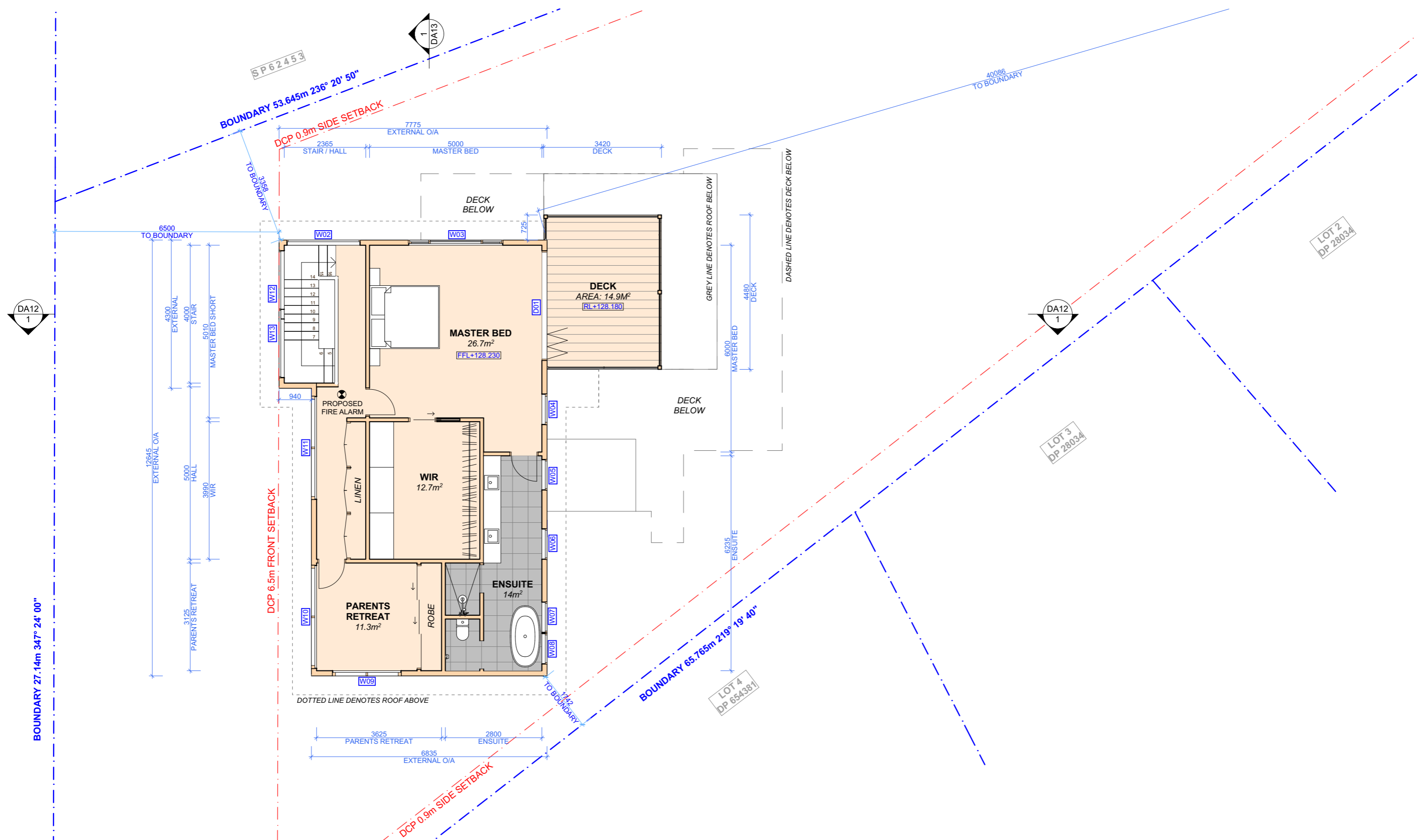
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PROPOSED GROUND FLOOR PLAN

**SCALE**


1:100 @A3





1 PROPOSED FIRST FLOOR PLAN 1:100

NOTE: SMOKE ALARMS TO COMPLY WITH PART 3.7.2 OF NCC. PLEASE REFERENCE BUSHFIRE NOTE ON PAGE DA02



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DA07

**DATE**

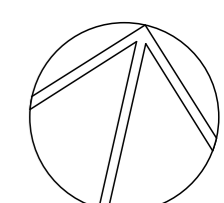
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**DRAWING NAME**

PROPOSED FIRST FLOOR PLAN

**SCALE**

@A3



NOTE: PLEASE REFERENCE BUSHFIRE NOTE ON PAGE DA02



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DA08

DATE

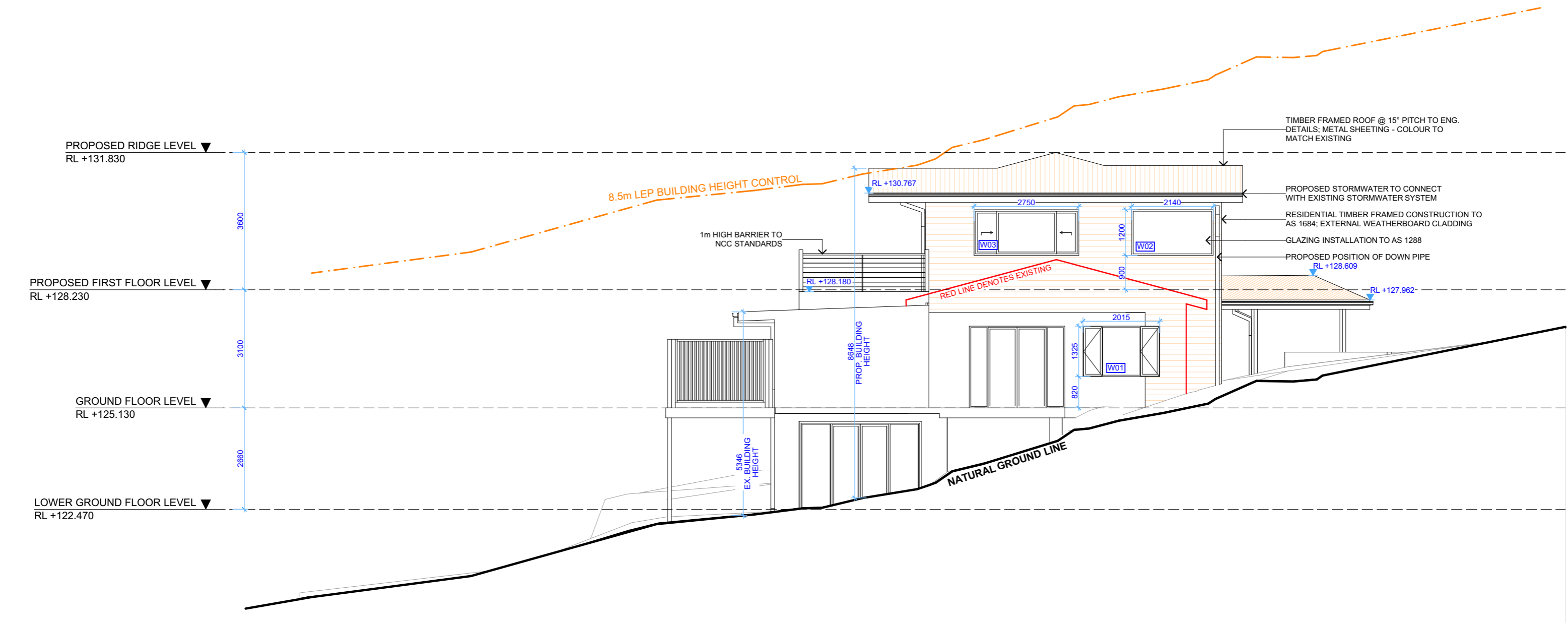
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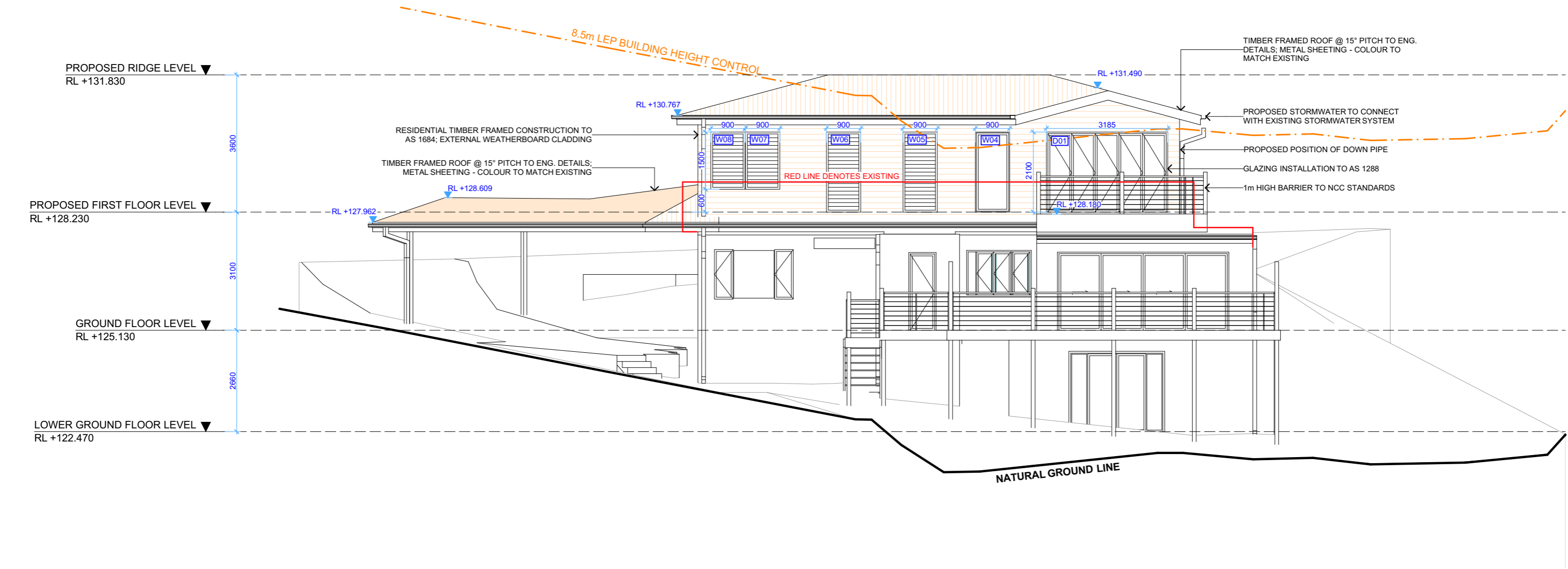
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NORTH ELEVATION

SCALE

1:100 @A3





1

EAST ELEVATION

1:100

NOTE: PLEASE REFERENCE BUSHFIRE NOTE ON PAGE DA02



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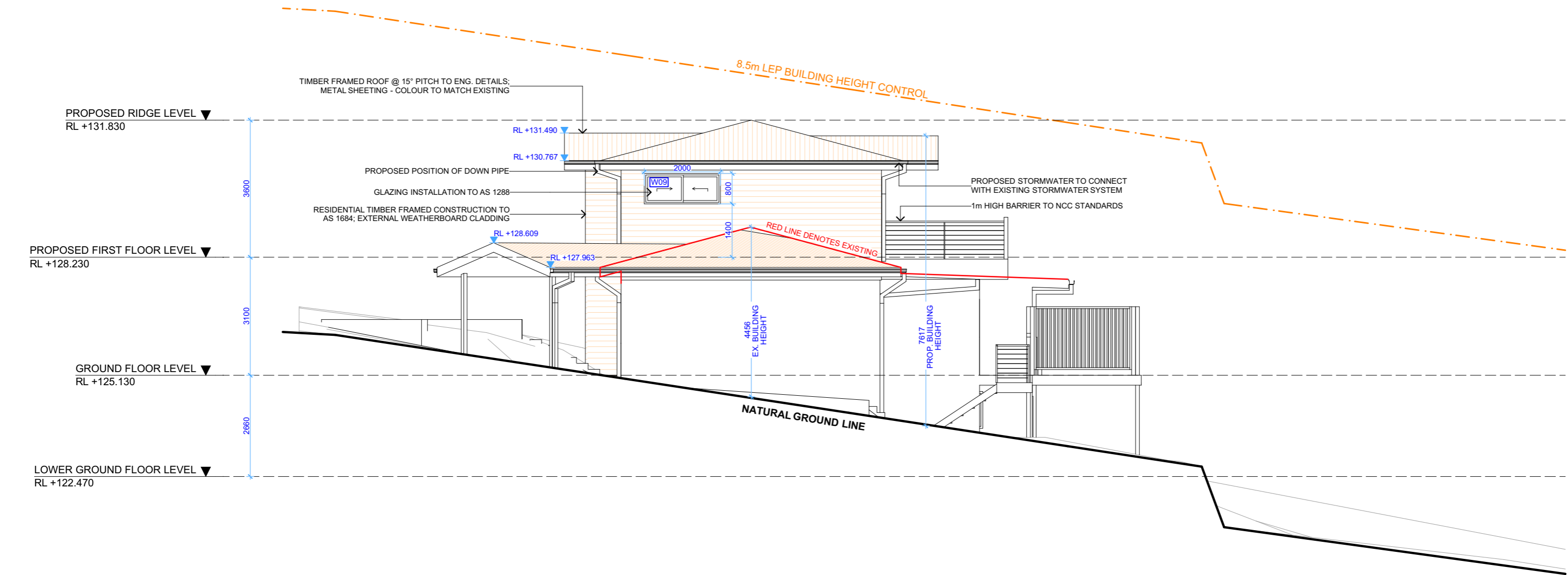
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DRAWING NAME

EAST ELEVATION

SCALE

1:100 @A3



1

SOUTH ELEVATION

1:100

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CHAKRABORTY

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160 ALLAMBIE ROAD,  
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DA10

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DRAWING NAME

SOUTH ELEVATION

SCALE

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DA11

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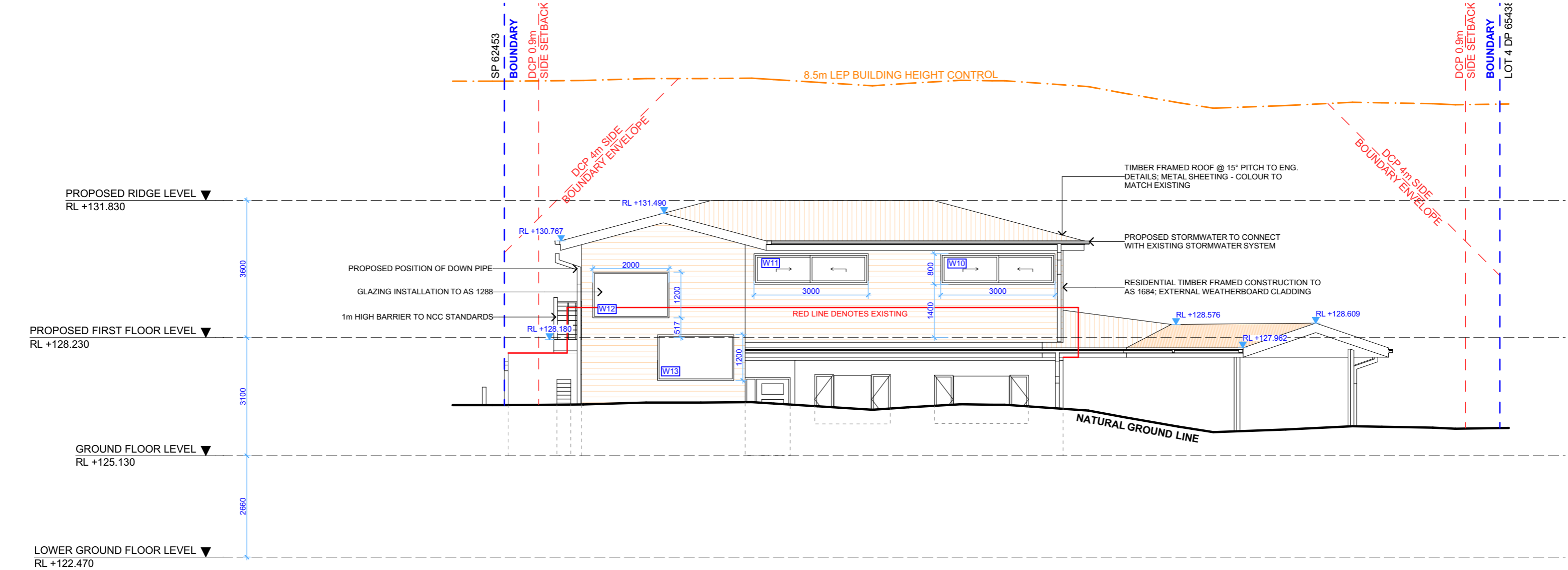
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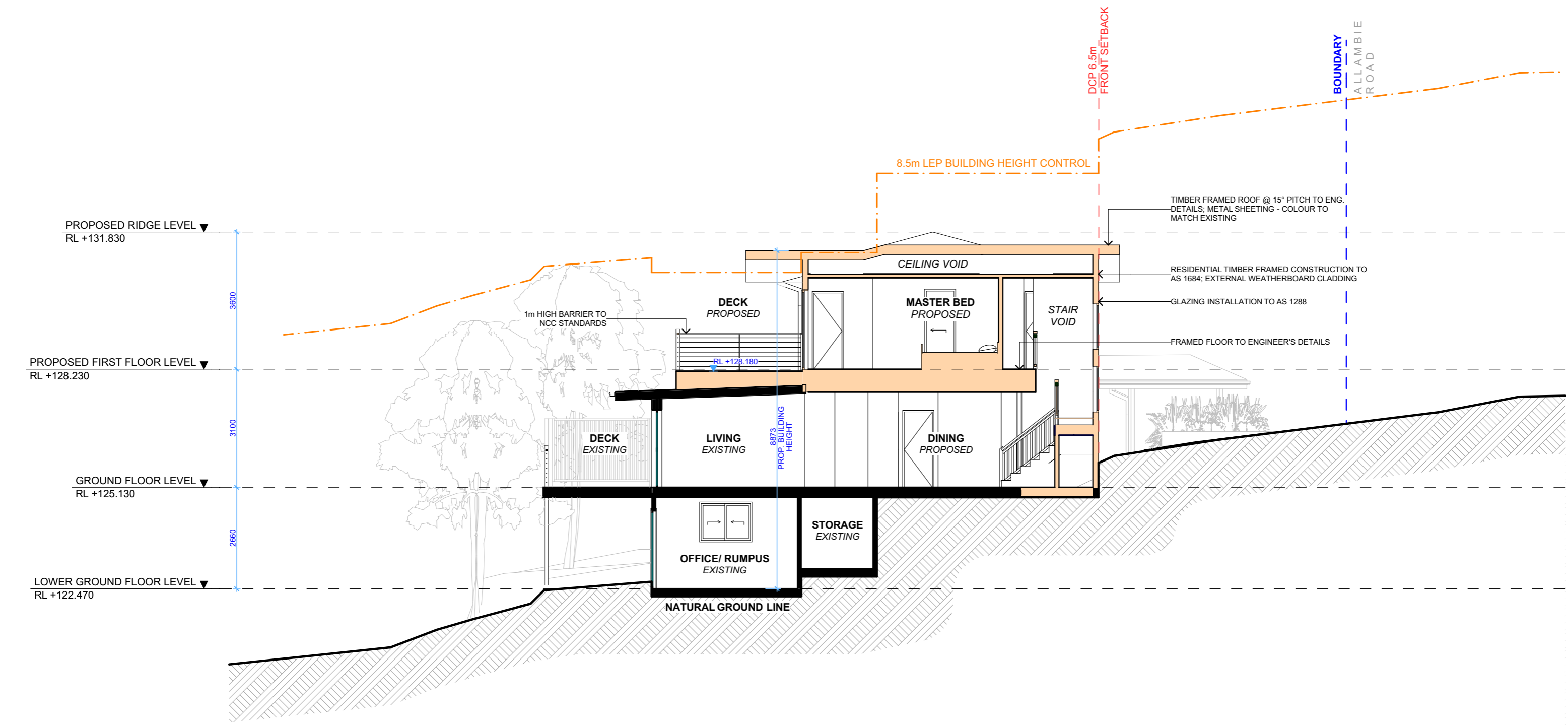
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WEST ELEVATION

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1

LONG SECTION

1:100

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LEGEND

PROPOSED

EXISTING

DEMOLISHED

CLIENT

AMIT & BIANCA CHAKRABORTY

PROJECT ADDRESS

160 ALLAMBIE ROAD,  
ALLAMBIE HEIGHTS,  
NSW, 2100

DRAWING NO.

DA12

DATE

Monday, 3 February 2020

DRAWING NAME

LONG SECTION

SCALE

1:100 @A3

NOTE: PLEASE REFERENCE BUSHFIRE NOTE ON PAGE DA02

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**LEGEND**

PROPOSED  
EXISTING  
DEMOLISHED

**CLIENT**

AMIT & BIANCA  
CHAKRABORTY

**PROJECT ADDRESS**

160 ALLAMBIE ROAD,  
ALLAMBIE HEIGHTS,  
NSW, 2100

**DRAWING NO.****DA13****DATE**

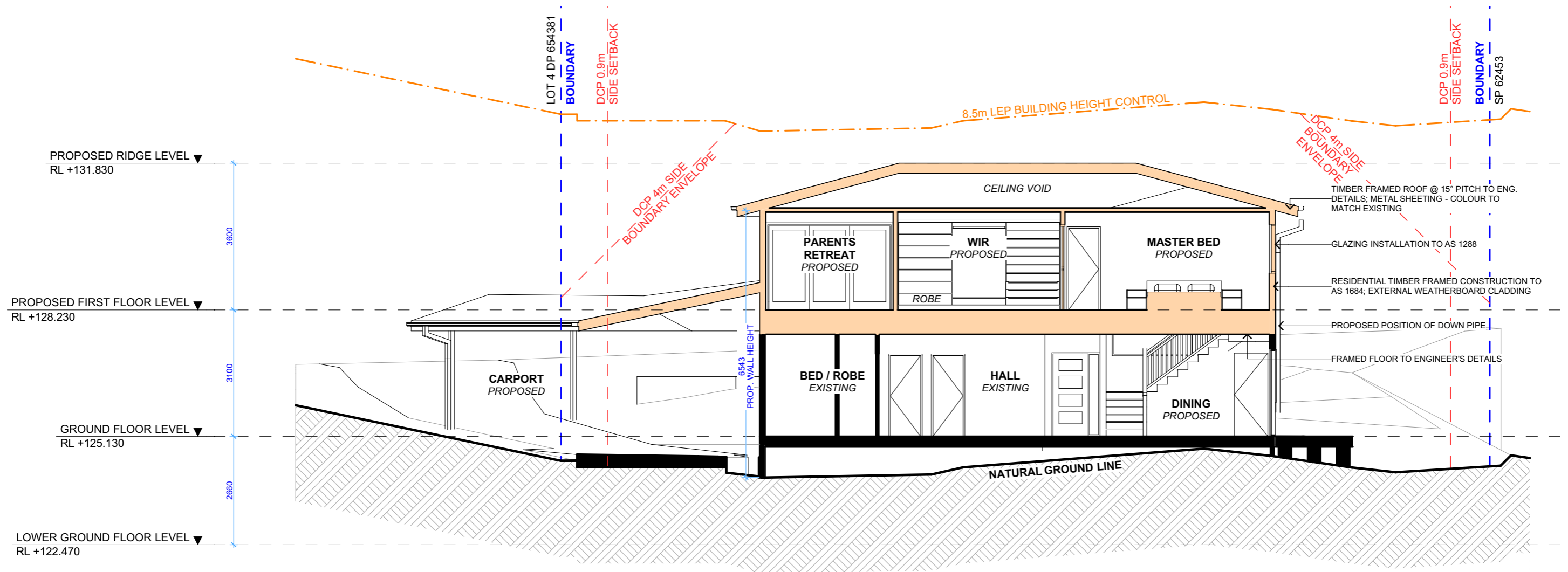
Monday, 3 February  
2020

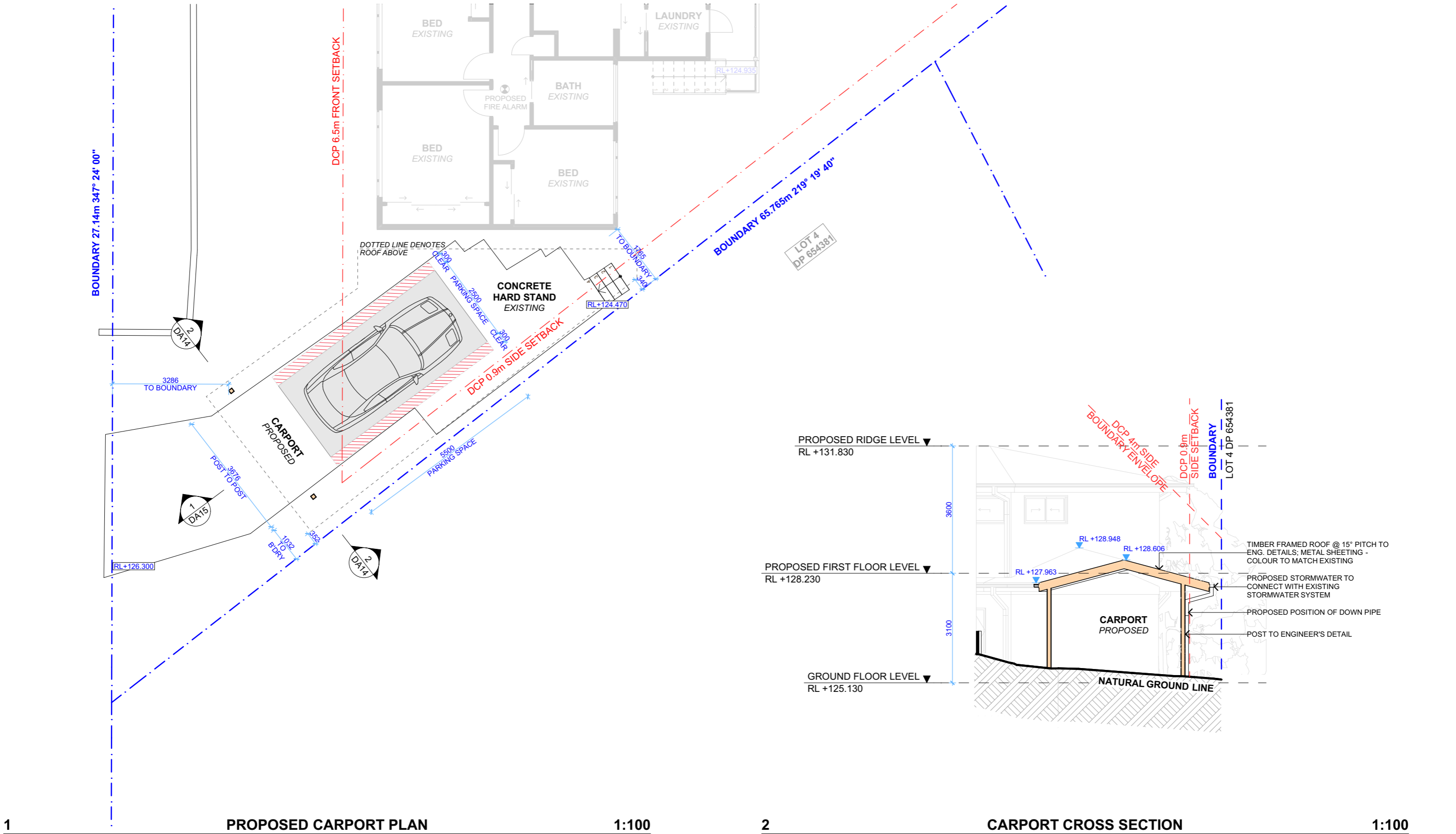
**DRAWING NAME**

CROSS SECTION


**SCALE**

1:100 @A3





NOTE: PLEASE REFERENCE BUSHFIRE NOTE ON PAGE DA02



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**LEGEND**  

PROPOSED

EXISTING

DEMOLISHED

**CLIENT**  
AMIT & BIANCA  
CHAKRABORTY

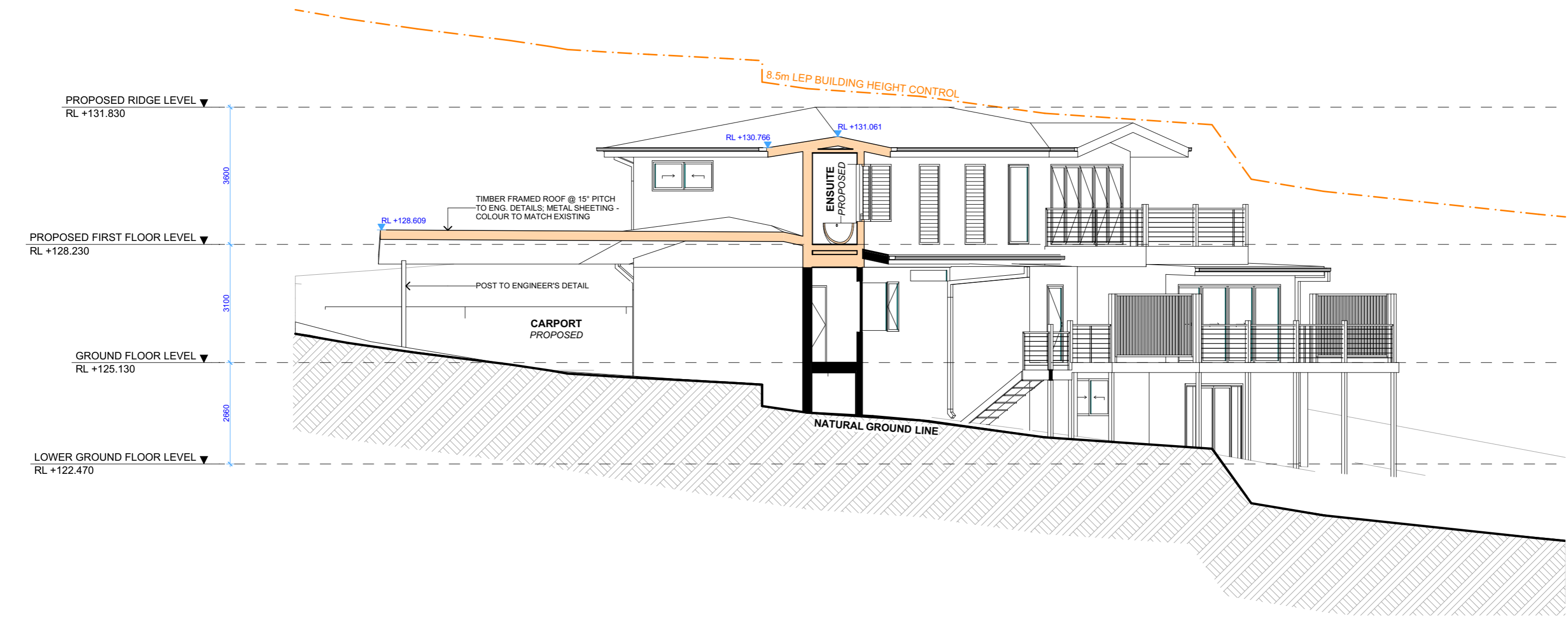
**PROJECT ADDRESS**  
160 ALLAMBIE ROAD,  
ALLAMBIE HEIGHTS,  
NSW, 2100

**DRAWING NO.**  
**DA14**

**DATE**  
Monday, 3 February  
2020

**DRAWING NAME**  
CARPORT PLAN & CROSS  
SECTION

**SCALE**  
1:100 @A3




1

CARPORT LONG SECTIONS

1:100

NOTE: PLEASE REFERENCE BUSHFIRE NOTE ON PAGE DA02



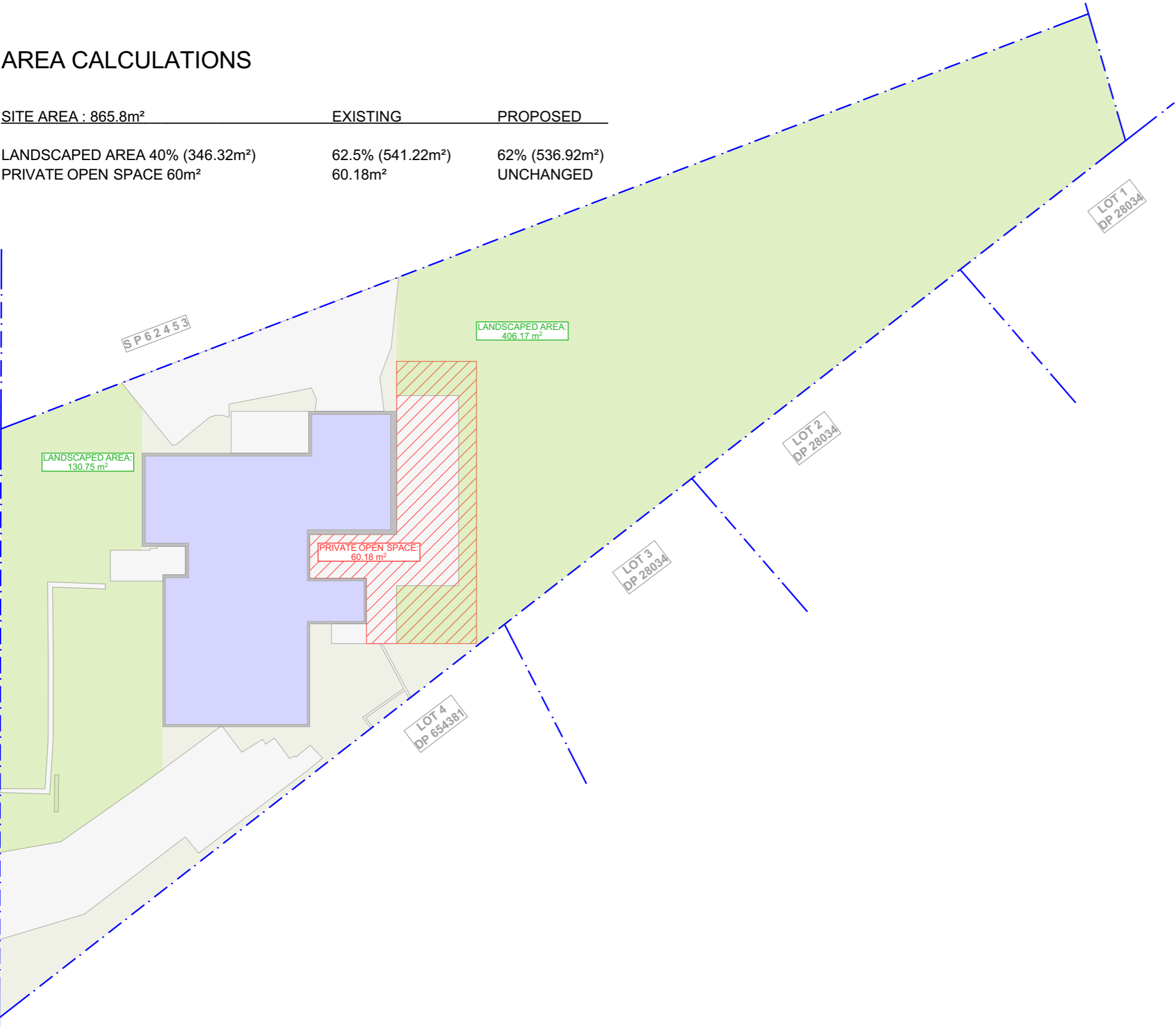
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REV.	DATE	COMMENTS	DRWN	NOTES
A	030220	DA DOCUMENTATION	EAS	<div>LEGEND</div> <div><div>PROPOSED</div><div>EXISTING</div><div>DEMOLISHED</div></div> <div>CLIENT</div> <div>AMIT &amp; BIANCA CHAKRABORTY</div> <div>PROJECT ADDRESS</div> <div>160 ALLAMBIE ROAD, ALLAMBIE HEIGHTS, NSW, 2100</div> <div>DRAWING NO.</div> <div>DA15</div> <div>DATE</div> <div>Monday, 3 February 2020</div> <div>DRAWING NAME</div> <div>CARPORT LONG SECTION</div> <div>SCALE</div> <div>1:100 @A3</div>

AREA CALCULATIONS

SITE AREA : 865.8m <sup>2</sup>	EXISTING	PROPOSED
LANDSCAPED AREA 40% (346.32m <sup>2</sup> )	62.5% (541.22m <sup>2</sup> )	62% (536.92m <sup>2</sup> )
PRIVATE OPEN SPACE 60m <sup>2</sup>	60.18m <sup>2</sup>	UNCHANGED



PROPOSED AREA CALCULATION

1:200

1



( 1 ) COLOURBOND METAL ROOF  
COLOUR TO MATCH EXISTING



( 2 ) TIMBER DECKING  
COLOUR TO MATCH EXISTING




( 3 ) EXTERNAL CLADDING  
COLOUR TO MATCH EXISTING



( 4 ) ALUMINIUM FRAMED WINDOW  
COLOUR TO MATCH EXISTING

SAMPLE BOARD

NOTE: PLEASE REFERENCE BUSHFIRE NOTE ON PAGE DA02



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LEGEND

CLIENT  
AMIT & BIANCA  
CHAKRABORTY

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160 ALLAMBIE ROAD,  
ALLAMBIE HEIGHTS,  
NSW, 2100

DRAWING NO.  
**DA17**

DATE  
Monday, 3 February  
2020

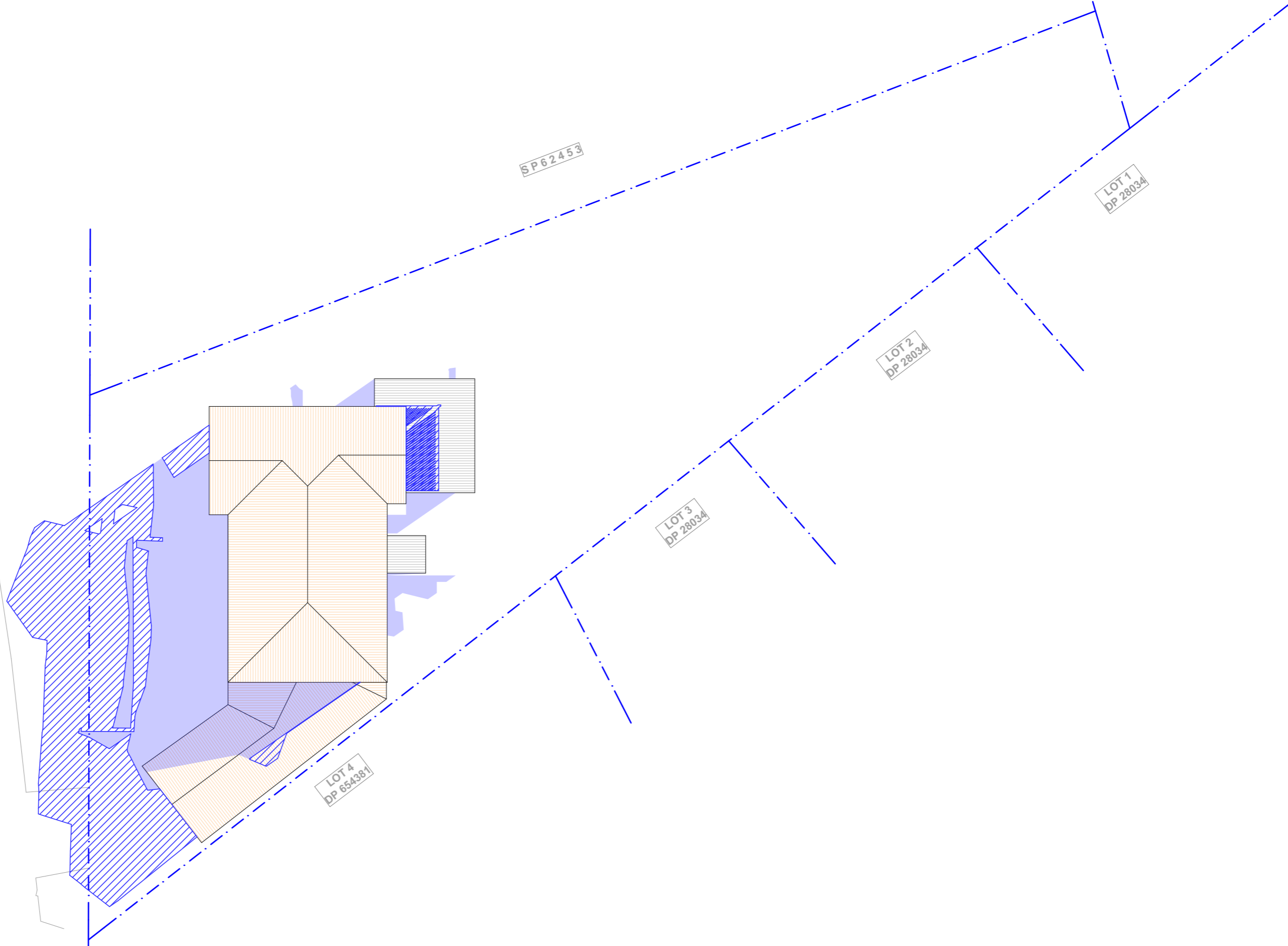
DRAWING NAME  
SAMPLE BOARD

SCALE  
@A3

ALLAMBIE ROAD

WINTER SOLSTICE 9AM

1:200





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LEGEND	
	EXISTING SHADOWS
	PROPOSED SHADOWS

**CLIENT**  
AMIT & BIANCA  
CHAKRABORTY

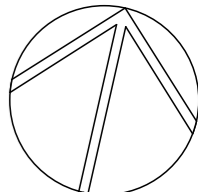
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160 ALLAMBIE ROAD,  
ALLAMBIE HEIGHTS,  
NSW, 2100

**DRAWING NO.**  
**DA18**

**DATE**  
Monday, 3 February  
2020

**DRAWING NAME**  
WINTER SOLSTICE 9 AM

**SCALE**  
1:200 @A3



ALLAMBIE ROAD

WINTER SOLSTICE 12PM

1:200

REV.	DATE	COMMENTS	DRWN
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**LEGEND**

EXISTING SHADOWS

PROPOSED SHADOWS

**CLIENT**  
AMIT & BIANCA  
CHAKRABORTY

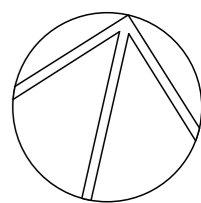
**PROJECT ADDRESS**  
160 ALLAMBIE ROAD,  
ALLAMBIE HEIGHTS,  
NSW, 2100

**DRAWING NO.**  
**DA19**

**DATE**  
Monday, 3 February  
2020

**DRAWING NAME**  
WINTER SOLSTICE 12 PM

**SCALE**  
1:200 @A3



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ALLAMBIE ROAD

WINTER SOLSTICE 3PM



1:200



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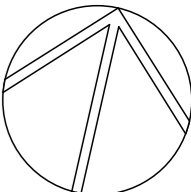
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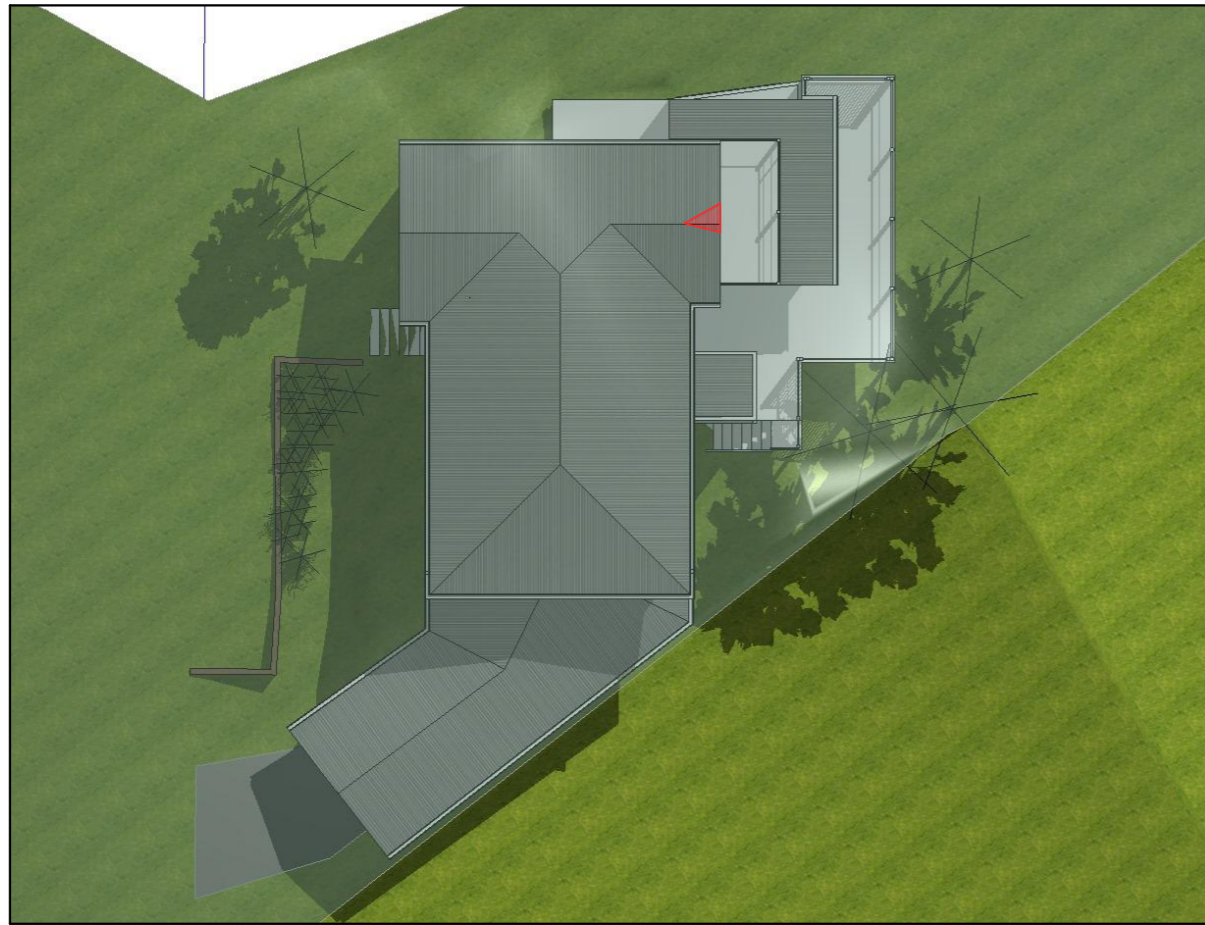
LEGEND	
	EXISTING SHADOWS
	PROPOSED SHADOWS

**CLIENT**  
AMIT & BIANCA  
CHAKRABORTY  
  
**PROJECT ADDRESS**  
160 ALLAMBIE ROAD,  
ALLAMBIE HEIGHTS,  
NSW, 2100

**DRAWING NO.**  
**DA20**  
  
**DATE**  
Monday, 3 February  
2020

**DRAWING NAME**  
WINTER SOLSTICE 3 PM  
  
**SCALE**  
1:200 @A3





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### LEGEND

■ DENOTES HEIGHT NON - COMPLIANT ROOF

### CLIENT

AMIT & BIANCA  
CHAKRABORTY

### PROJECT ADDRESS

160 ALLAMBIE ROAD,  
ALLAMBIE HEIGHTS,  
NSW, 2100

### DRAWING NO.

**DA21**

### DATE

Monday, 3 February  
2020

### DRAWING NAME

HEIGHT NON-COMPLIANT  
MODEL

### SCALE

@A3

Alterations and Additions

Certificate number: A368890\_03

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary  
Date of issue: Monday, 03, February 2020  
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	160 Allambie Road, Allambie Heights_03
Street address	160 Allambie Road Allambie Heights 2100
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 752038
Lot number	2355
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

<b>Certificate Prepared by</b> (please complete before submitting to Council or PCA)
Name / Company Name: Action Plans
ABN (if applicable): 17118297587

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements			
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.	✓	✓	✓
Construction	Additional insulation required (R-value)	Other specifications	
suspended floor with open subfloor: framed (R0.7).	R0.8 (down) (or R1.50 including construction)		
suspended floor with enclosed subfloor: framed (R0.7).	R0.60 (down) (or R1.30 including construction)		
floor above existing dwelling or building.	nil		
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)		
flat ceiling, pitched roof	ceiling: R3.00 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)	

Glazing requirements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors								
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.						✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:							✓	✓
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.							✓	✓
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.							✓	✓
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.						✓	✓	✓
For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.						✓	✓	✓
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.							✓	✓
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.							✓	✓
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.						✓	✓	✓
Windows and glazed doors glazing requirements								
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type		
			Height (m)	Distance (m)				
W1	N	2.66	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)		
W2	N	2.56	0	0	projection/height above sill ratio >=0.36	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W3	N	3.3	0	0	projection/height above sill ratio >=0.36	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W4	E	1.89	0	0	projection/height above sill ratio >=0.23	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)		
W5	E	1.89	2.7	5.9	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)		
W6	E	1.89	2.7	5.9	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)		
W7	E	1.35	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)		
W8	E	1.35	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)		
W9	S	1.6	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W10	W	2.4	0	0	projection/height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W11	W	2.4	0	0	projection/height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W12	W	2.4	3.4	3.2	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W13	W	2.4	5.09	3.2	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
D1	E	6.68	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.



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REV.	DATE	COMMENTS	DRWN
A	030220	DA DOCUMENTATION	EAS

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All errors and omissions are to be verified by the Builder/Contractor and referred to the designer prior to the commencement of works.  
All window & door dimensions, orientation, glazing materials, opening types, frame types are to be confirmed by a suitably qualified person prior to the ordering of any such materials are to take place.  
U value takes precedence over glazing type/colour in all cases.  
all new glazing must meet the BASIX specified frame and glass type, *OR* meet the certified U value and SHGC value.

**CLIENT**  
AMIT & BIANCA  
CHAKRABORTY

**PROJECT ADDRESS**  
160 ALLAMBIE ROAD,  
ALLAMBIE HEIGHTS,  
NSW, 2100

**DRAWING NO.**  
DA22

**DATE**  
Monday, 3 February  
2020

**DRAWING NAME**  
BASIX COMMITMENTS