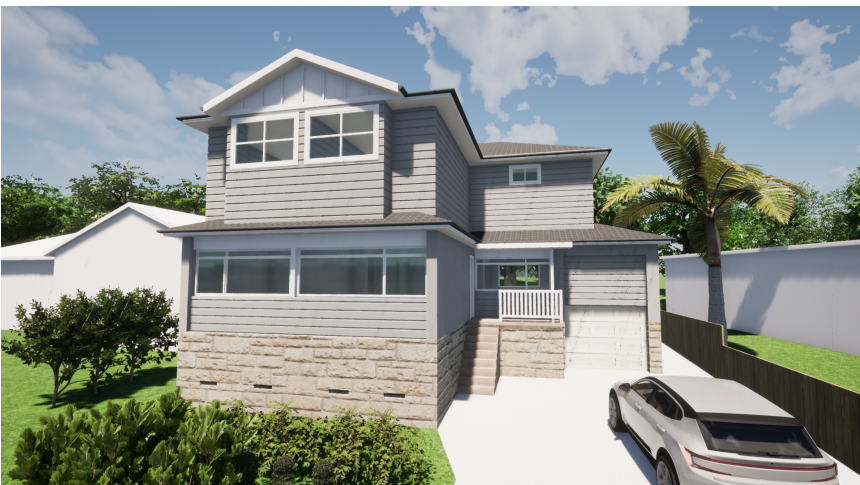
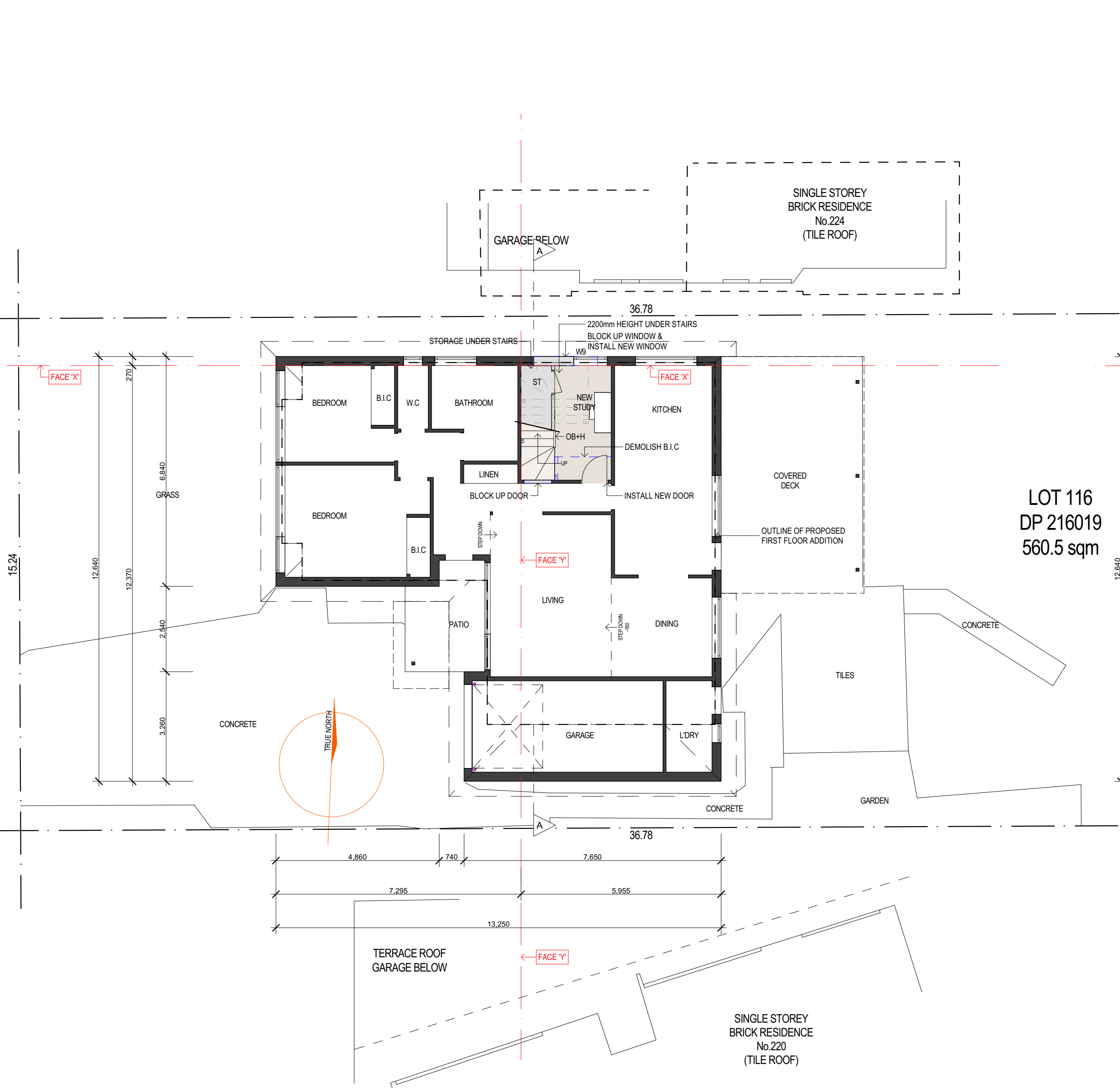


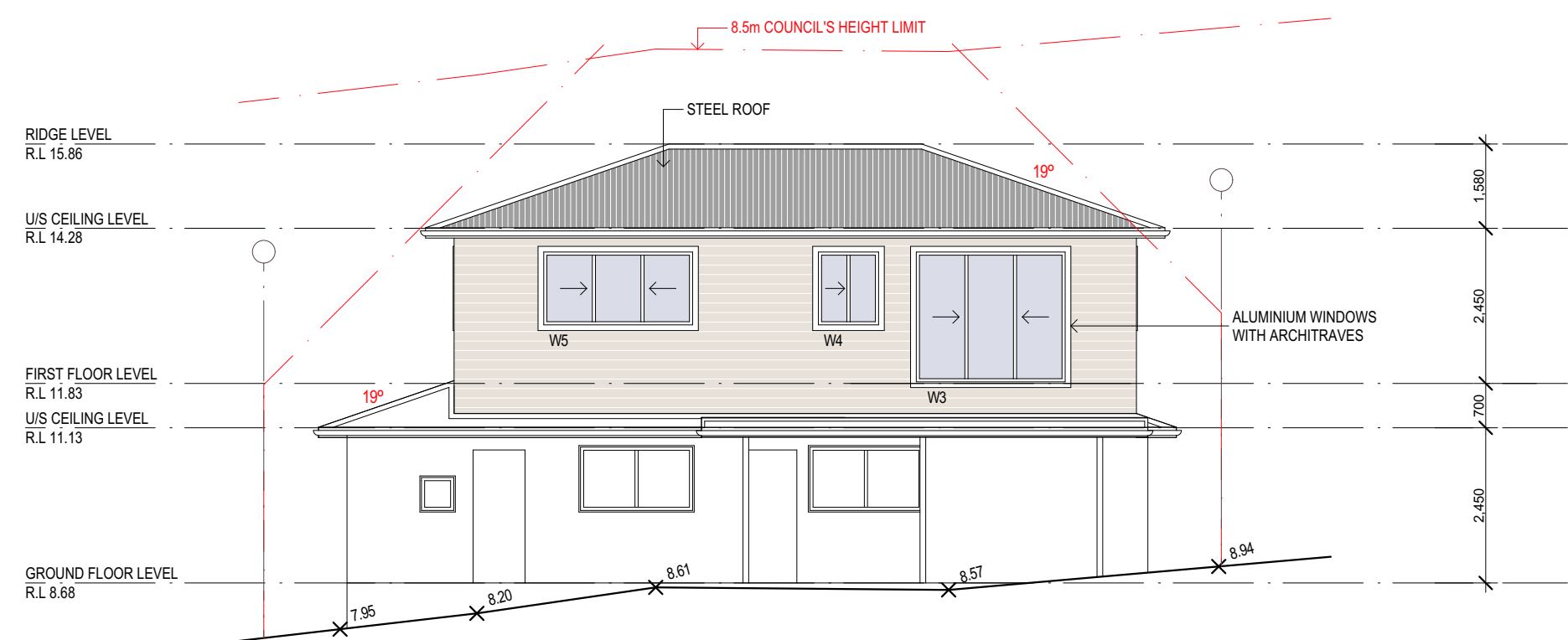
LEGEND & GENERAL NOTES	
VAR.	VARIATION
O.T.A	OWNER TO ADVISE BUILDER
90P	90 x 90 TIMBER POST
S.L.	SKY LIGHT
SHW	SHOWER ENCLOSURE
V	VANITY UNIT
WC	TOILET SUITE (WATER CLOSET)
B/C	BUILT IN CUPBOARD
ST	STORE
COS	TO BE CHECKED ON SITE
OPT.	OPTION
OB.H	OPEN BALUSTRADE AND HANDRAIL
DP	DOWNPIPE
DPAS	DOWNPIPE AND SPREADER
NOTE 1	ALL DIMENSIONS ARE SUBJECT TO AMENDMENT AFTER A CHECK MEASURE
ON SITE.	
CONSTRUCTION LEVELS SUBCONTRACTOR TO ENSURE THAT ALL CONSTRUCTION LEVELS MARKED ON PLAN TO BE STRICTLY COMPLIED WITH	
SUBCONTRACTOR TO CONFIRM DA LEVELS COMPLIANCE WITH TM HOOKS BEFORE FINALISING FLOOR STRUCTURE	



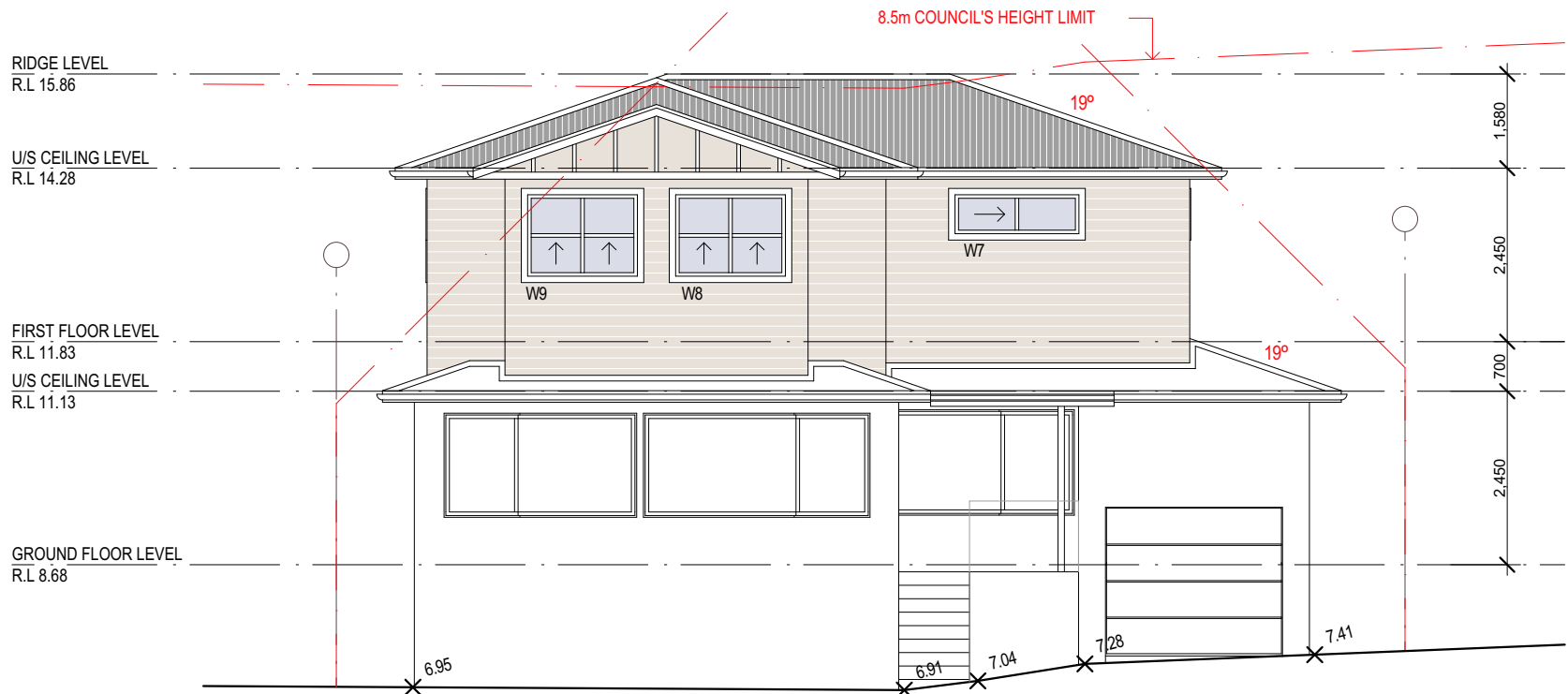
ARTIST'S IMPRESSION
FOR ILLUSTRATION PURPOSES ONLY, NOT
TO BE READ AS A WORKING DRAWING



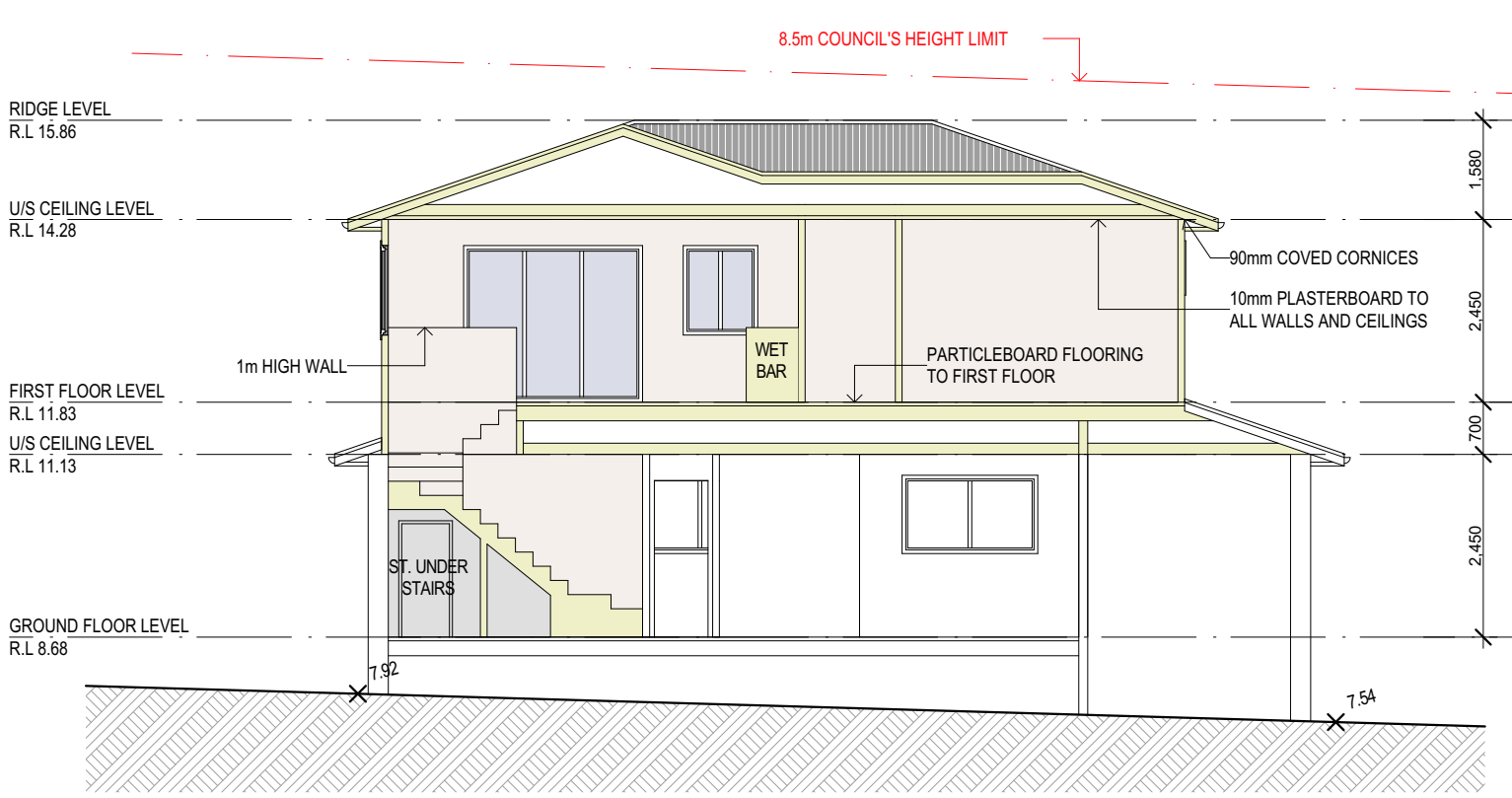
LOT 116
DP 216019
560.5 sqm



EAST ELEVATION



WEST ELEVATION



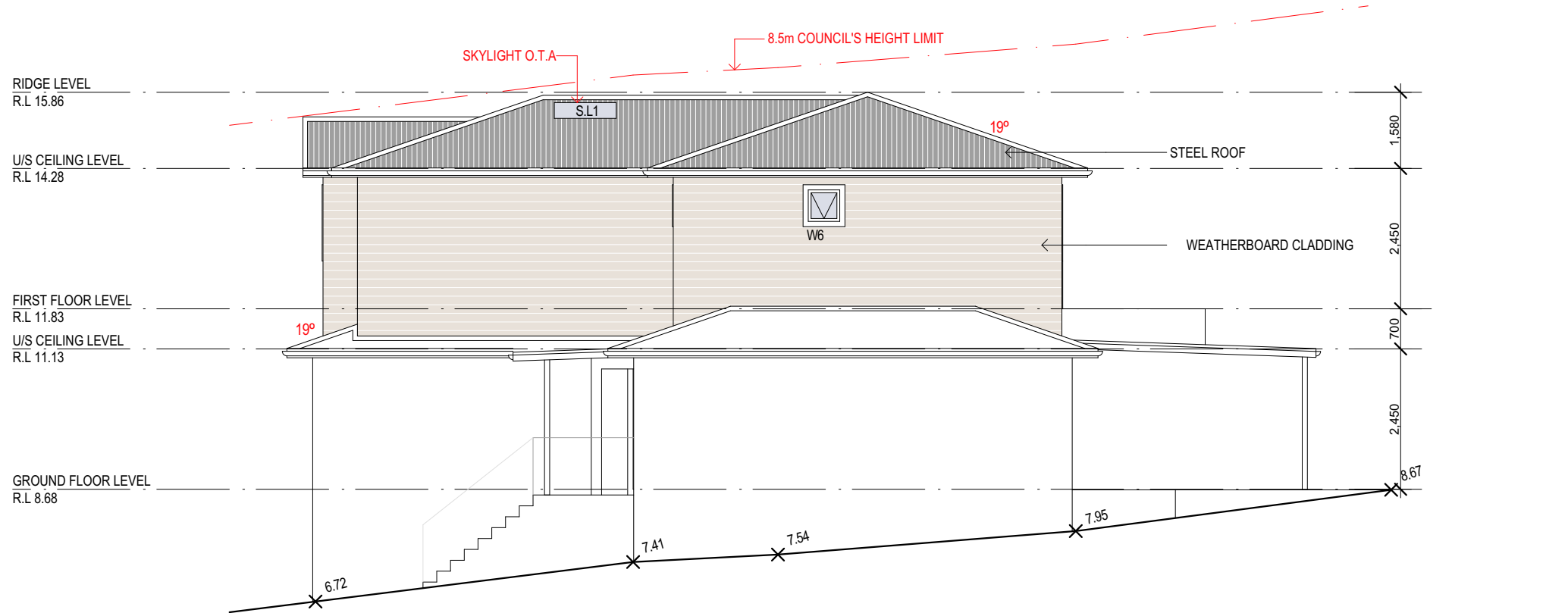
SECTION A-A

BASIC REQUIREMENTS	
- 40% NEW LIGHTING TO BE FLUORESCENT, COMPACT FLUORESCENT, OR LED.	
- BATHRM FIXTURES TO BE 3 STAR OR GREATER WATER RATING.	
- EXTERNAL WALL TO HAVE R170 OR GREATER INSULATION	
- FLAT CEILING, PITCHED ROOF TO HAVE R0.45 OR GREATER, FOIL BACKED BLANKET (100mm)	
- SKYLIGHT S.L1 TO HAVE NO GREATER U-VALUE OF 6.21 AND SOLAR HEAT GAIN COEFFICIENT OF 0.88	
- IMPROVED ALUMINUM WINDOWS NO GREATER THAN U-VALUE OF 6.44 AND SHGC OF 0.75	
- 90MM W6, W7 AND W8 TO HAVE PYRO LOW-E GLASS (NO GREATER THAN U-VALUE OF 4.48 AND SHGC OF 0.46)	

OPEN SPACE CALCULATIONS	
SITE AREA	560.5 sqm
GROSS FLOOR AREA	237.9 sqm
EXIST. IMPERVIOUS AREA	287.9 sqm 51%
PROPOSED IMPERVIOUS AREA	287.9 sqm 51%
EXIST. LANDSCAPED AREA	272.6 sqm 49%
PROPOSED LANDSCAPED AREA	272.6 sqm 49%
NO CHANGE TO EXISTING FOOTPRINT OR LANDSCAPE	
EXIST FLOOR SPACE	118.9 sqm 0.21:1
PROPOSED FLOOR SPACE	237.9 sqm 0.42:1

FRAMING NOTES.	
ROOF PITCH	NEW: 19° EXISTING 19° TO BE CHECKED
FRAME HEIGHT	2450mm
EAVE OVERHANGS	450mm
EXTERNAL DOOR AND WINDOW HEAD HEIGHT	2100mm TO LINE UP
INTERNAL DOOR	2110mm
B.I.C DOOR	2130mm TO LINE UP
DOOR AND WINDOW NBS	90mm MM UNLESS OTHERWISE NOTED
FRAME AND TRUSS CENTRES	600mm
DOOR STUD OPENINGS	880mm WIDE UNLESS OTHERWISE NOTED

NORTH ELEVATION



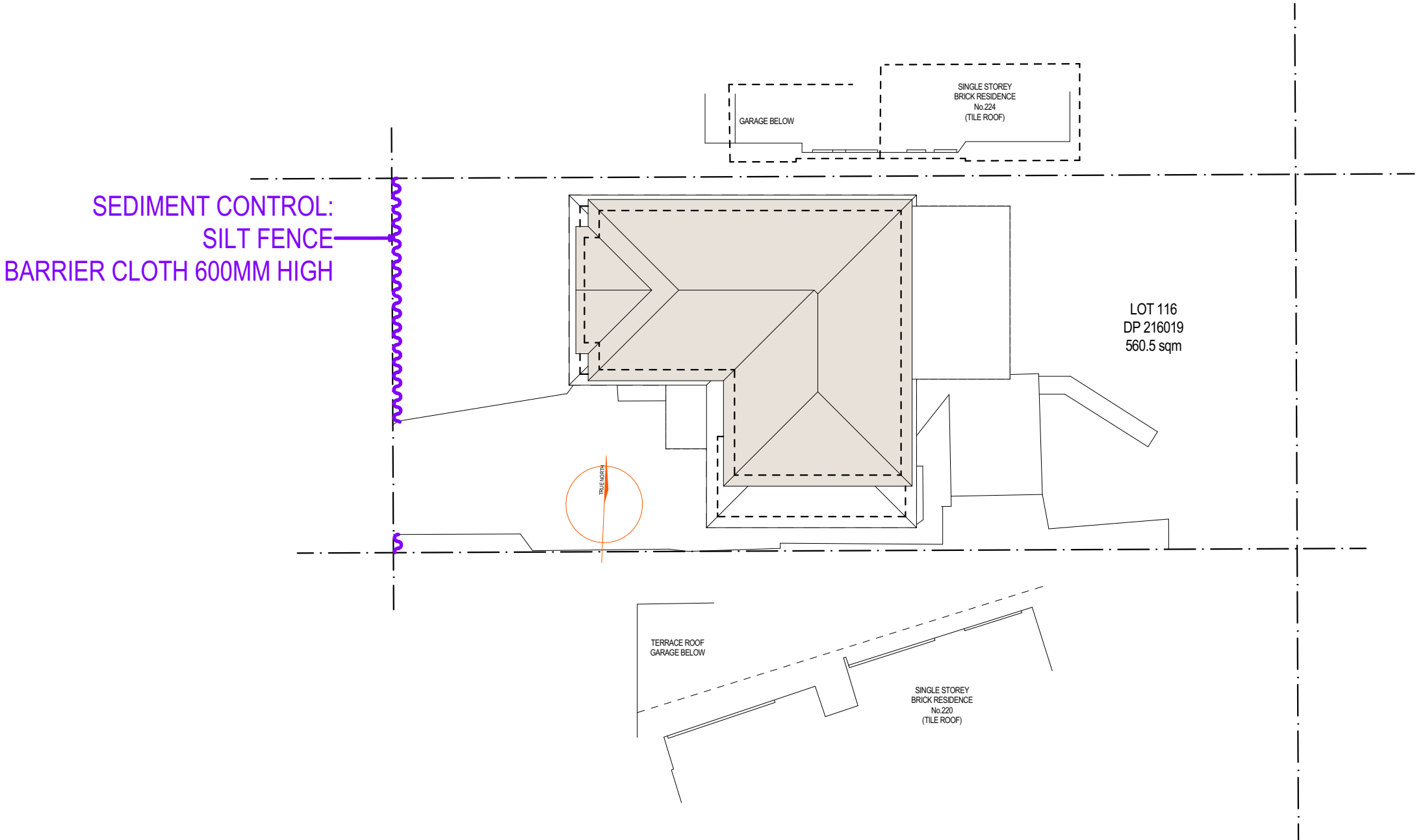
SOUTH ELEVATION

PLAN REVIEW 2	EMAIL DATE	00/00/00	B	FOR COUNCIL	3/05/21	GL
PLAN REVIEW 1	EMAIL DATE	16/04/21	A	FOR PLAN MEETING	23/04/21	GL
PROJECT TITLE			NO.	REVISION	DATE	BY
Proposed Additions at: 222 South Creek Road, Wheeler Heights NSW 2097			SCALE:	1:100	DATE:	16/04/21
			DRAWN BY:	GL	CHECKED:	CW
			TITLE:	PLANS, ELEVATIONS AND SECTIONS		
			DRAWING NO.	0335 DA 1	ISSUE	B

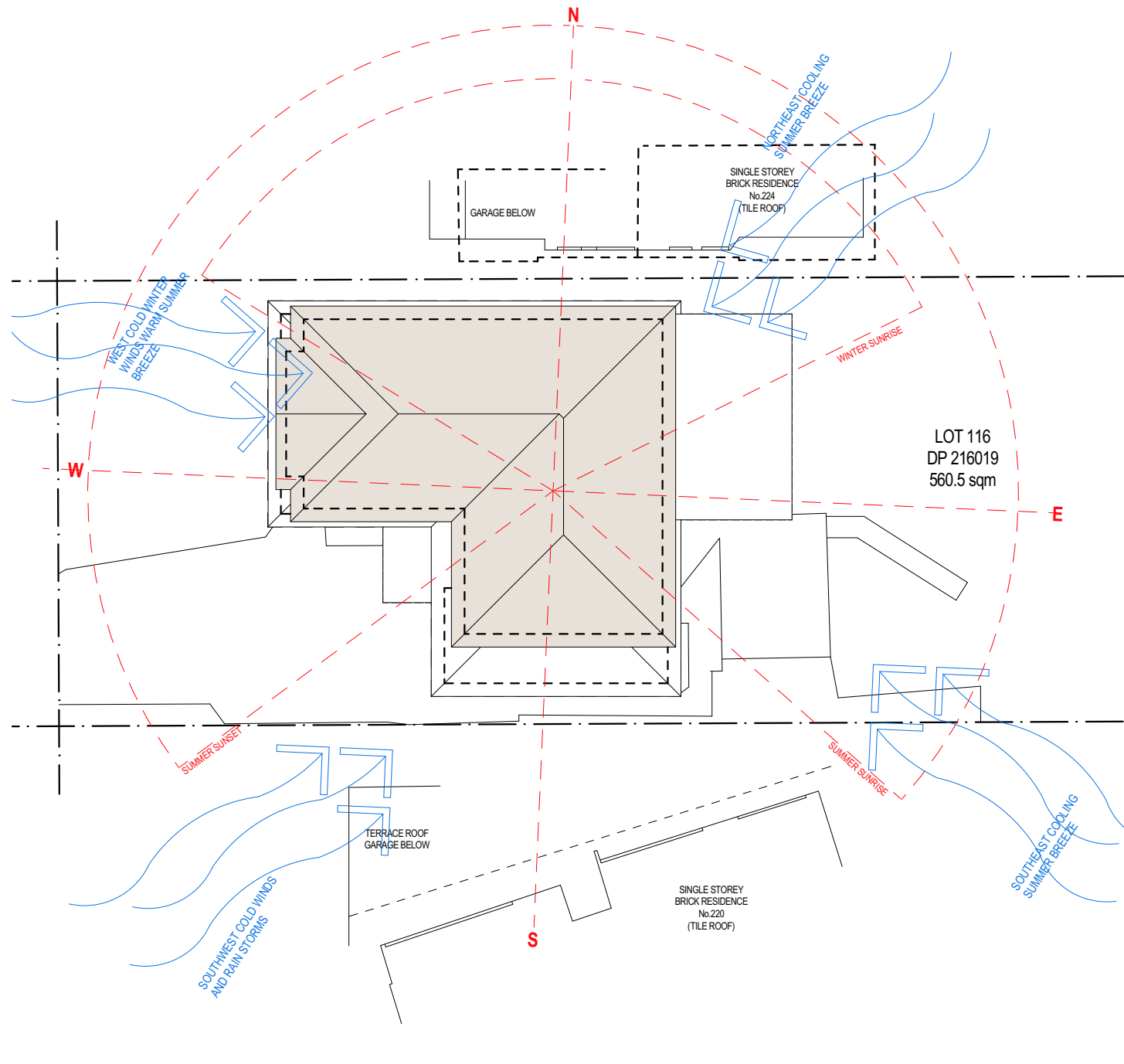
ADD-STYLE HOME ADDITIONS
Upstairs & On Ground Specialists

5/19 CONDOMINE ST MANLY VALE 2093
PHONE: (02) 9907 8055
EMAIL: info@addstyle.com.au

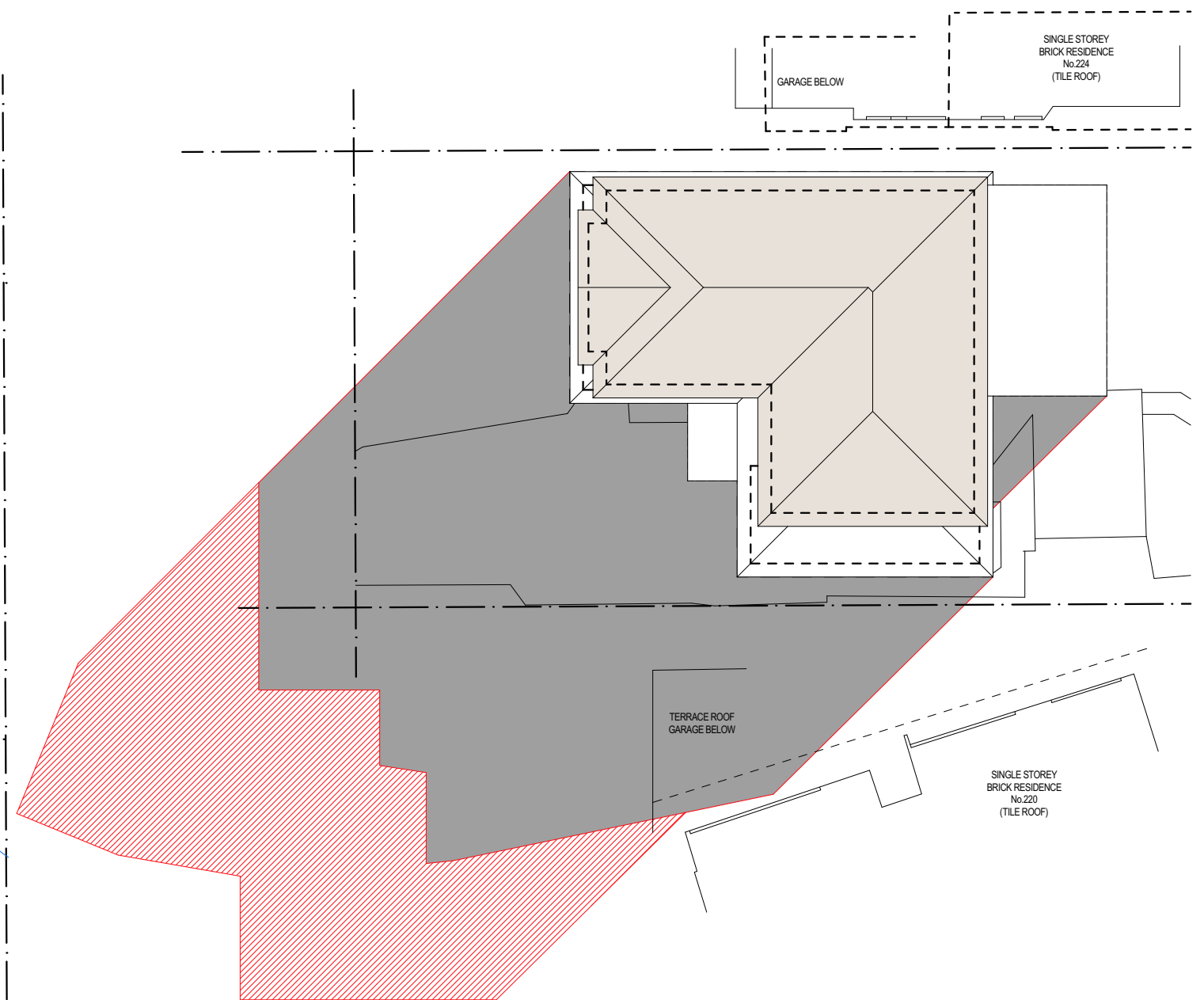
ADD-STYLE HOME ADDITIONS



PROJECT ADDRESS		DRAWING TITLE		DRAWING NO.		ISSUE					
222 South Creek Road, Wheeler Heights NSW 2097		Sediment and Erosion Control Plan		0335 DA 1		A					
DATE		4/05/2021						A	FOR COUNCIL	04/05/21	GL
SCALE		DRAWN		CHECKED				NO.	REVISION	DATE	BY
1:200		GL		CW							



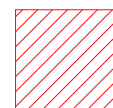
SITE ANALYSIS & WASTE MANAGEMENT PLAN



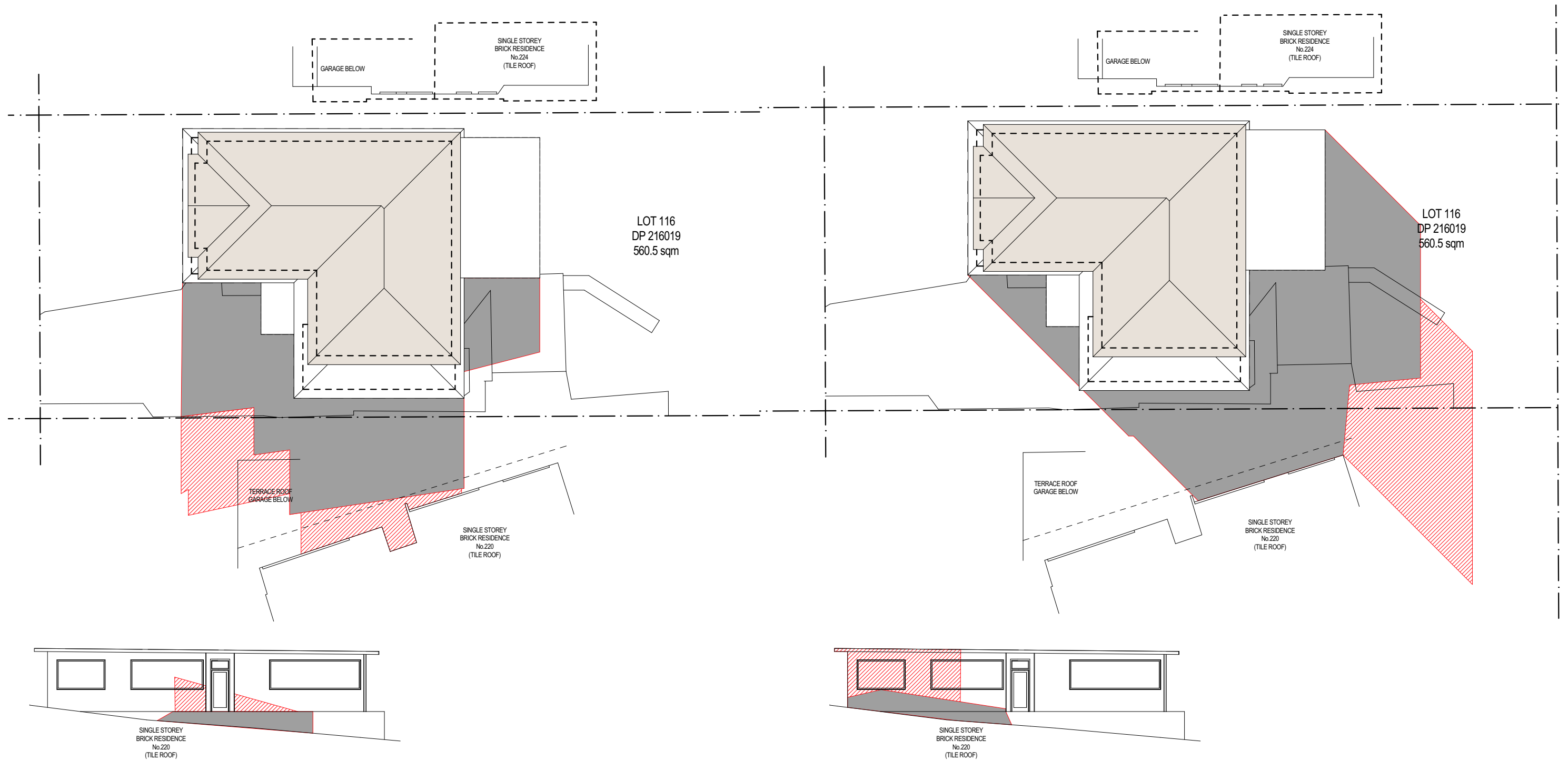
SHADOW DIAGRAM JUNE 21st AT 9am



EXISTING SHADOWS



NEW SHADOWS

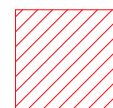


SHADOW DIAGRAM JUNE 21st AT 12pm

SHADOW DIAGRAM JUNE 21st AT 3pm



EXISTING SHADOWS



NEW SHADOWS