

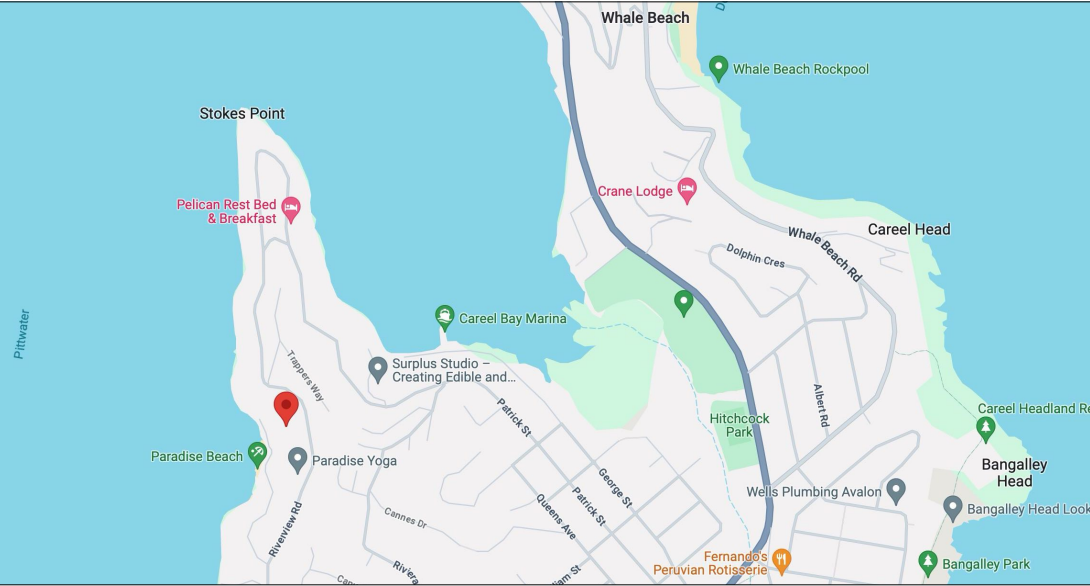
FOR DA APPLICATION

CABANA, POOL & LANDSCAPE WORKS

99 RIVERVIEW ROAD, AVALON BEACH NSW 2107

DRAWING LIST

SHEET NO.	SHEET TITLE	REVISION	DATE
L/00	COVER SHEET	A	06.11.24
L/01	SITE PLAN & SITE ANALYSIS PLAN	A	06.11.24
L/02	LANDSCAPE MASTER PLAN	A	06.11.24
L/03	SECTION AA (1:200)	A	06.11.24
L/04	SECTION AA (1:100)	A	06.11.24
L/05	SECTION BB	A	06.11.24
L/06	SECTION CC	A	06.11.24
L/07	NORTH ELEVATION	A	06.11.24
L/08	SOUTH ELEVATION	A	06.11.24
L/09	WEST ELEVATION	A	06.11.24
L/10	3D IMAGES	A	06.11.24
L/11	COLOURS & MATERIALS SCHEDULE	A	06.11.24
L/12	AREA CALCULATIONS PLAN	A	06.11.24
L/13	SEDIMENT & EROSION CONTROL PLAN	A	06.11.24
L/14	STORMWATER CONCEPT PLAN	A	06.11.24
L/15	WASTE MANAGEMENT PLAN	A	06.11.24
L/16	CUT/FILL PLAN	A	06.11.24
L/17	BASIX COMMITMENTS	A	06.11.24



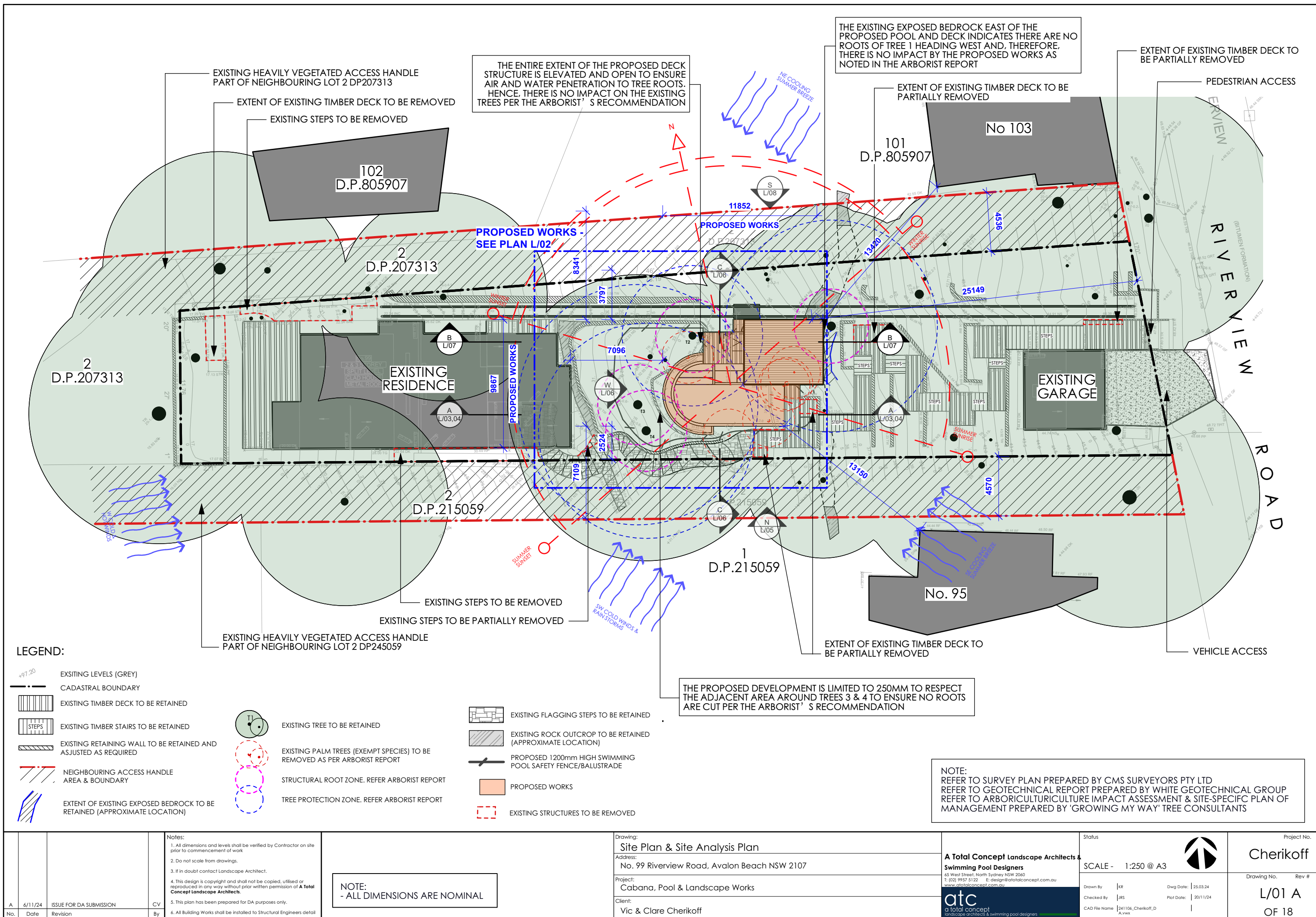
LOCATION MAP (FONT: GOOGLE MAPS)



SATELLITE VIEW (FONT: GOOGLE MAPS)

NOTE:
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REFER TO GEOTECHNICAL REPORT PREPARED BY WHITE GEOTECHNICAL GROUP
REFER TO ARBORICULTURE IMPACT ASSESSMENT & SITE-SPECIFIC PLAN OF MANAGEMENT PREPARED BY 'GROWING MY WAY' TREE CONSULTANTS

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A	6/11/24	ISSUE FOR DA SUBMISSION	CV				
No.	Date	Revision	By				



LEGEND:

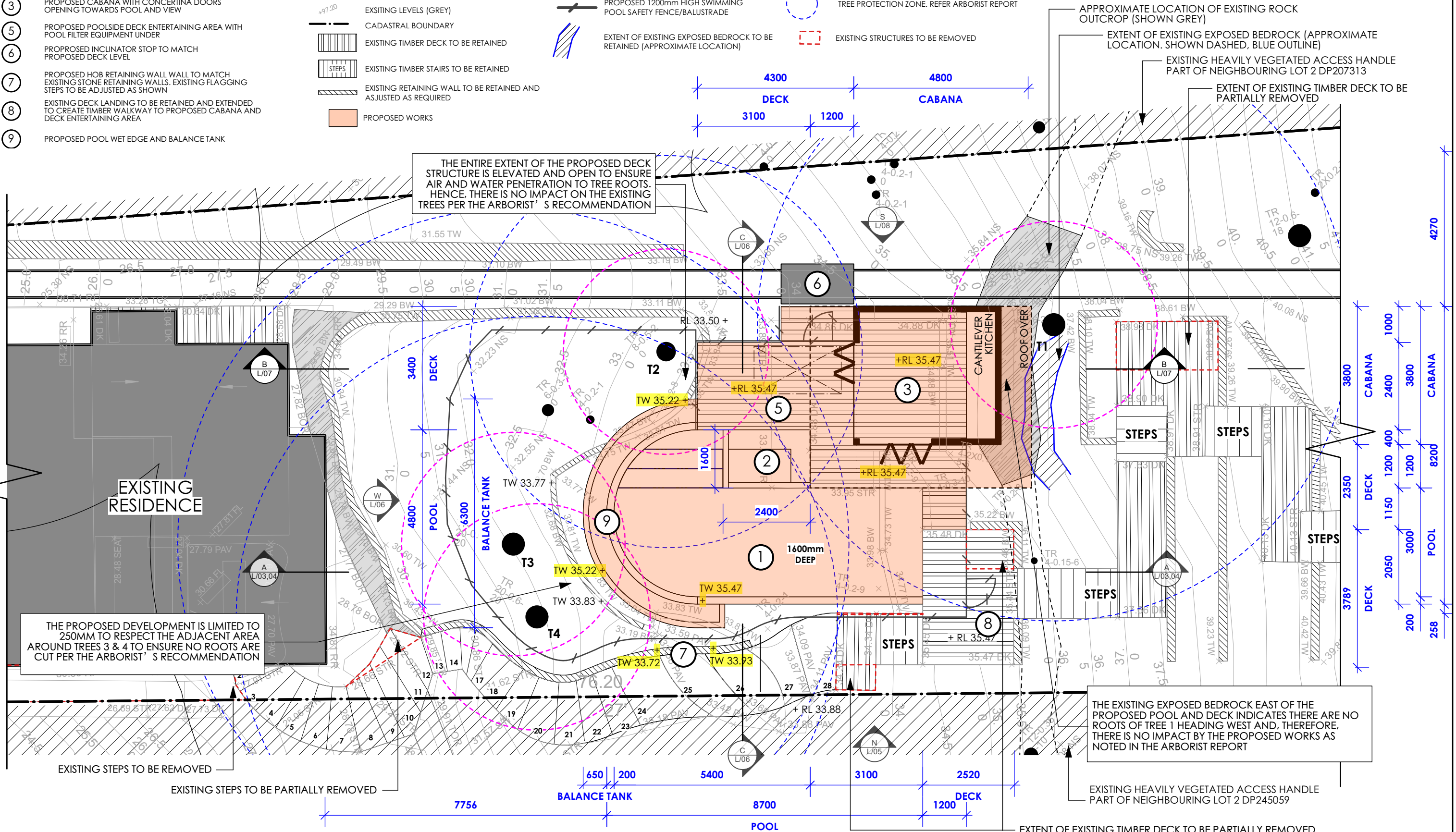
- 1 PROPOSED SWIMMING POOL
- 2 PROPOSED INTEGRATED SPA
- 3 PROPOSED CABANA WITH CONCERTINA DOORS OPENING TOWARDS POOL AND VIEW
- 5 PROPOSED POOLSIDE DECK ENTERTAINING AREA WITH POOL FILTER EQUIPMENT UNDER
- 6 PROPOSED INCLINATOR STOP TO MATCH PROPOSED DECK LEVEL
- 7 PROPOSED HOB RETAINING WALL WALL TO MATCH EXISTING STONE RETAINING WALLS. EXISTING FLAGGING STEPS TO BE ADJUSTED AS SHOWN
- 8 EXISTING DECK LANDING TO BE RETAINED AND EXTENDED TO CREATE TIMBER WALKWAY TO PROPOSED CABANA AND DECK ENTERTAINING AREA
- 9 PROPOSED POOL WET EDGE AND BALANCE TANK

- +RL10.23 PROPOSED FINISHED GROUND LEVEL
 +TW10.99 PROPOSED TOP OF WALL LEVEL
 +RL10.23 EXISTING FINISHED GROUND LEVEL
 +TW10.99 EXISTING TOP OF WALL LEVEL
 +91.20 EXSITING LEVELS (GREY)
 --- CADASTRAL BOUNDARY
 [Hatched Box] EXISTING TIMBER DECK TO BE RETAINED
 [Stairs Symbol] EXISTING TIMBER STAIRS TO BE RETAINED
 [Hatched Box] EXISTING RETAINING WALL TO BE RETAINED AND ASJUSTED AS REQUIRED
 [Orange Box] PROPOSED WORKS

- [Flagging Symbol] EXISTING FLAGGING STEPS TO BE RETAINED
 [Rock Symbol] EXISTING ROCK OUTCROP TO BE RETAINED (APPROXIMATE LOCATION)
 [Fence Symbol] PROPOSED 1200mm HIGH SWIMMING POOL SAFETY FENCE/BALUSTRADE
 [Bedrock Symbol] EXTENT OF EXISTING EXPOSED BEDROCK TO BE RETAINED (APPROXIMATE LOCATION)

- [Tree Symbol] EXISTING TREE TO BE RETAINED
 [Dashed Circle] STRUCTURAL ROOT ZONE. REFER ARBORIST REPORT
 [Dashed Circle] TREE PROTECTION ZONE. REFER ARBORIST REPORT
 [Red Dashed Box] EXISTING STRUCTURES TO BE REMOVED

NOTE:
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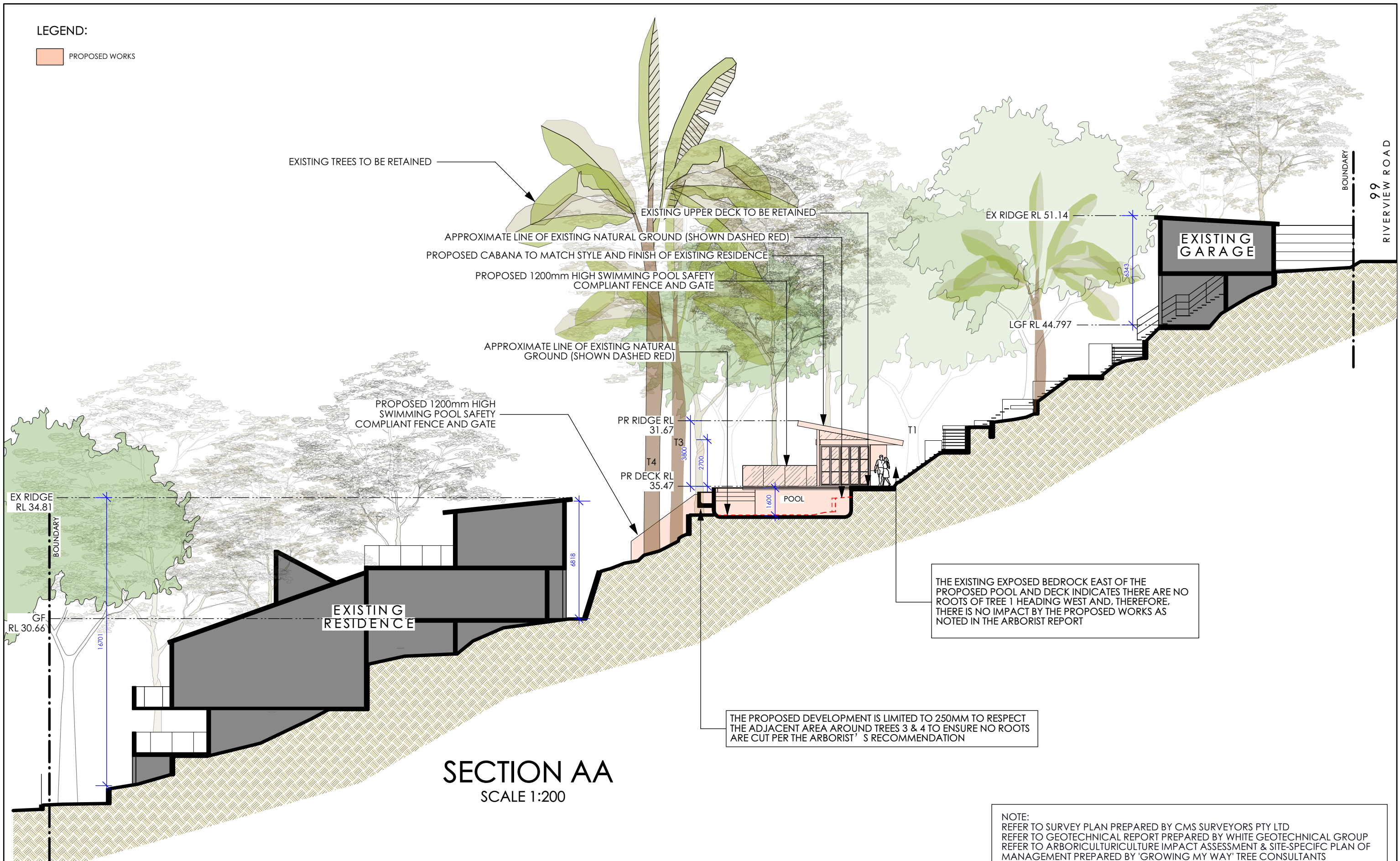
Drawing:
 Landscape Master Plan
 Address:
 No. 99 Riverview Road, Avalon Beach NSW 2107
 Project:
 Cabana, Pool & Landscape Works
 Client:
 Vic & Clare Cherikoff

A Total Concept Landscape Architects & Swimming Pool Designers
 65 West Street, North Sydney NSW 2060
 T: (02) 9957 5122 E: design@atotalconcept.com.au
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Status
 SCALE - 1:100 @ A3
 Drawn By: JCR
 Checked By: JRS
 CAD File Name: 241106_Cherikoff_D
 Dwg Date: 04.07.24
 Plot Date: 20/11/24
 Project No.
 Cherikoff
 Drawing No.
 L/02 A
 Rev #
 OF 18

LEGEND:

PROPOSED WORKS



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Drawing:
Sections

Address:
No. 99 Riverview Road, Avalon Beach NSW 2107

Project:
Cabana, Pool & Landscape Works

Client:
Vic & Clare Cherikoff

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Drawn By CV Dwg Date: 09.07.24

Checked By JRS Plot Date: 20/11/24

CAD File Name 241106_Cherikoff_D A.vrx

Project No.

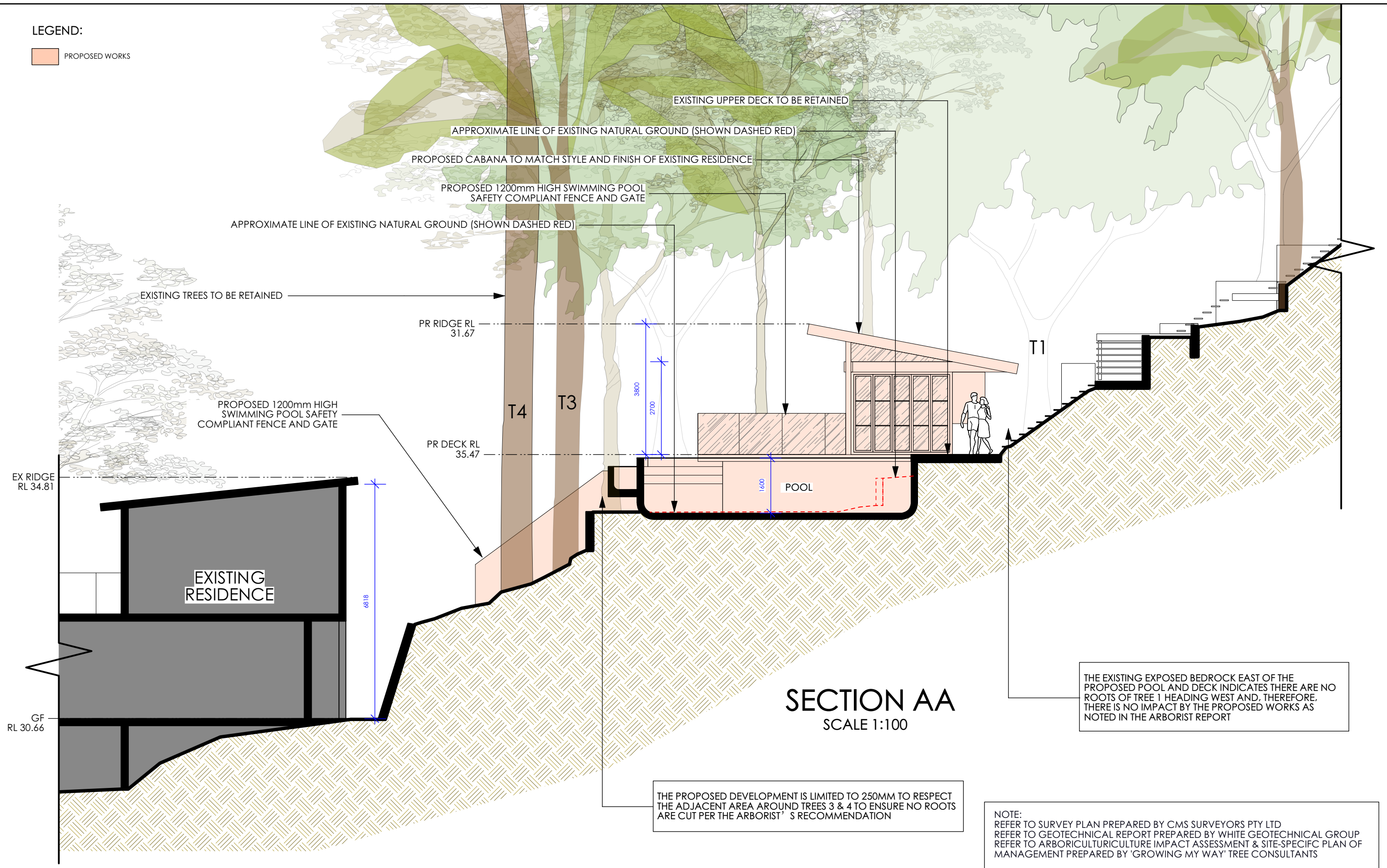
Cherikoff

Drawing No. Rev #

L/03 A

OF 18

LEGEND:
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Drawing:
Sections

Address:
No. 99 Riverview Road, Avalon Beach NSW 2107

Project:
Cabana, Pool & Landscape Works

Client:
Vic & Clare Cherikoff

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Status

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Drawn By CV Dwg Date: 09.07.24

Checked By JRS Plot Date: 20/11/24

CAD File Name 241106_Cherikoff_D A.svx

Project No.

Cherikoff

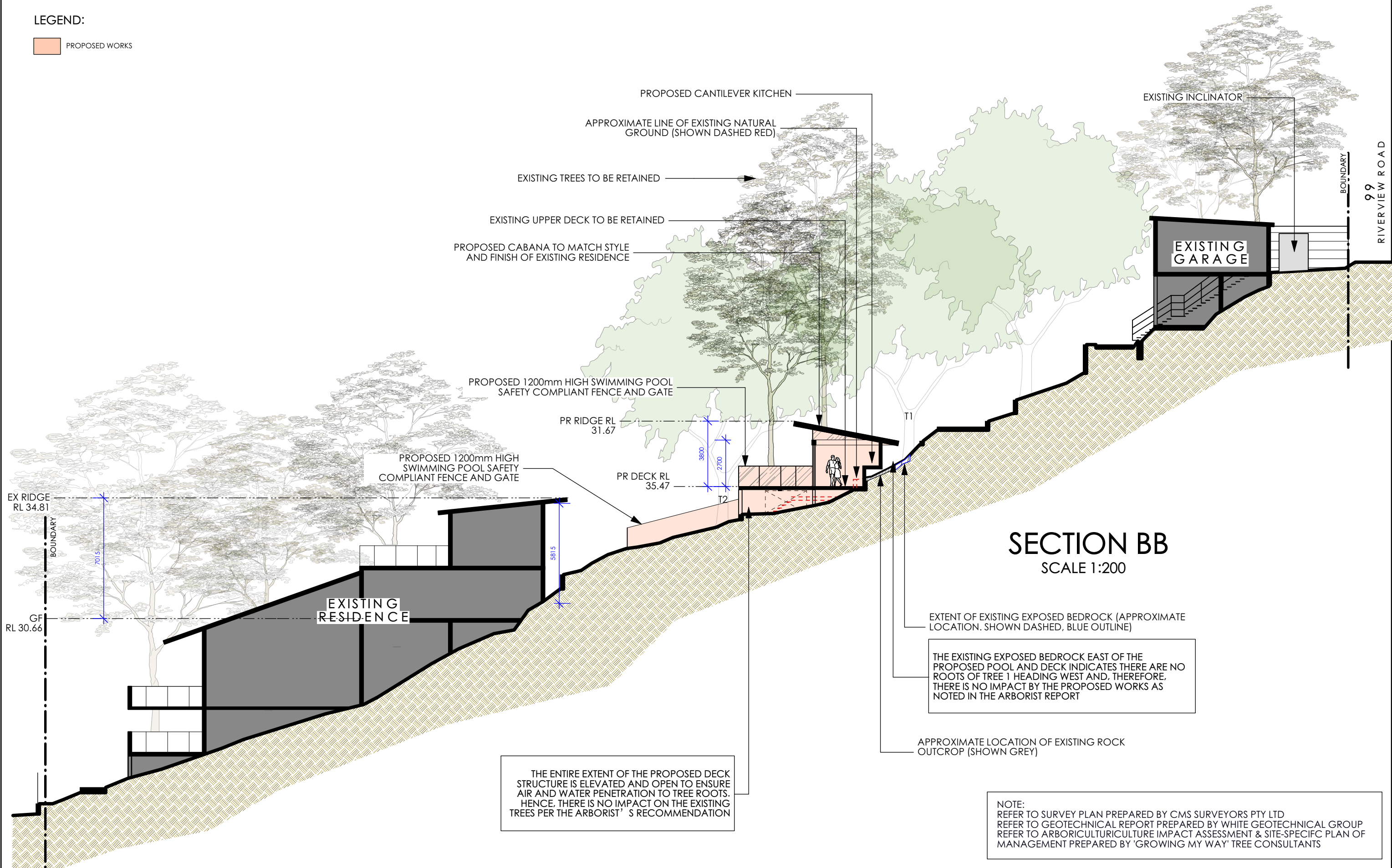
Drawing No. Rev #

L/04 A

OF 18

LEGEND:

PROPOSED WORKS



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Drawing:
Sections

Address:
No. 99 Riverview Road, Avalon Beach NSW 2107

Project:
Cabana, Pool & Landscape Works

Client:
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Drawn By CV Dwg Date: 09.07.24

Checked By JRS Plot Date: 20/11/24

CAD File Name 241106_Cherikoff_D A.svx

Project No.

Cherikoff

Drawing No. Rev #

L/05 A

OF 18

LEGEND:

PROPOSED WORKS

PROPOSED CABANA TO MATCH STYLE
AND FINISH OF EXISTING RESIDENCE

NEIGHBOURING
PROPERTY
No. 103

PROPOSED 1200mm HIGH
SWIMMING POOL SAFETY
COMPLIANT FENCE AND GATE

ACCESS HANDLE
PART OF
NEIGHBOURING
LOT 2 D.P.207313

PR RIDGE RL
31.67

3800

2700

PR DECK RL
35.47

APPROXIMATE LINE OF EXISTING
NATURAL GROUND

THE ENTIRE EXTENT OF THE PROPOSED DECK
STRUCTURE IS ELEVATED AND OPEN TO ENSURE
AIR AND WATER PENETRATION TO TREE ROOTS.
HENCE, THERE IS NO IMPACT ON THE EXISTING
TREES PER THE ARBORIST' S RECOMMENDATION

SECTION CC

SCALE 1:100

ACCESS HANDLE
PART OF
NEIGHBOURING
LOT 2
D.P.215059

NEIGHBOURING
PROPERTY
No. 95

EXISTING TREES TO BE RETAINED

EXISTING FLAGGING STEPS TO BE RETAINED

NOTE:
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MANAGEMENT PREPARED BY 'GROWING MY WAY' TREE CONSULTANTS

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Drawing:

Sections

Address:
No. 99 Riverview Road, Avalon Beach NSW 2107

Project:
Cabana, Pool & Landscape Works

Client:
Vic & Clare Cherikoff

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Drawn By CV Dwg Date: 09.07.24
Checked By JRS Plot Date: 20/11/24
CAD File Name 241106_Cherikoff_D A.svx

Project No.

Cherikoff

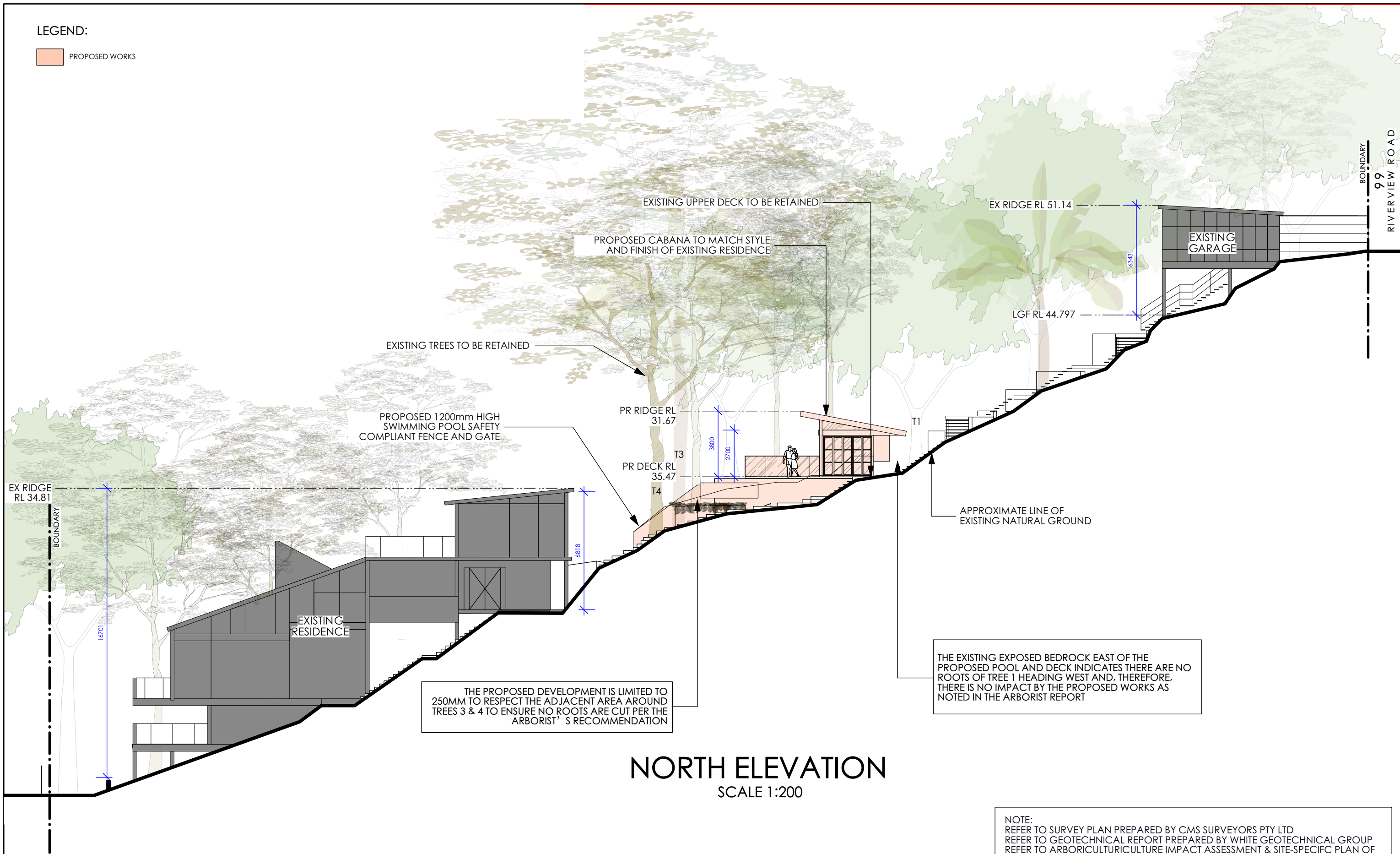
Drawing No. Rev #

L/06 A
OF 18

A	6/11/24	ISSUE FOR DA SUBMISSION	CV
No.	Date	Revision	By

LEGEND:

PROPOSED WORKS



NORTH ELEVATION

SCALE 1:200

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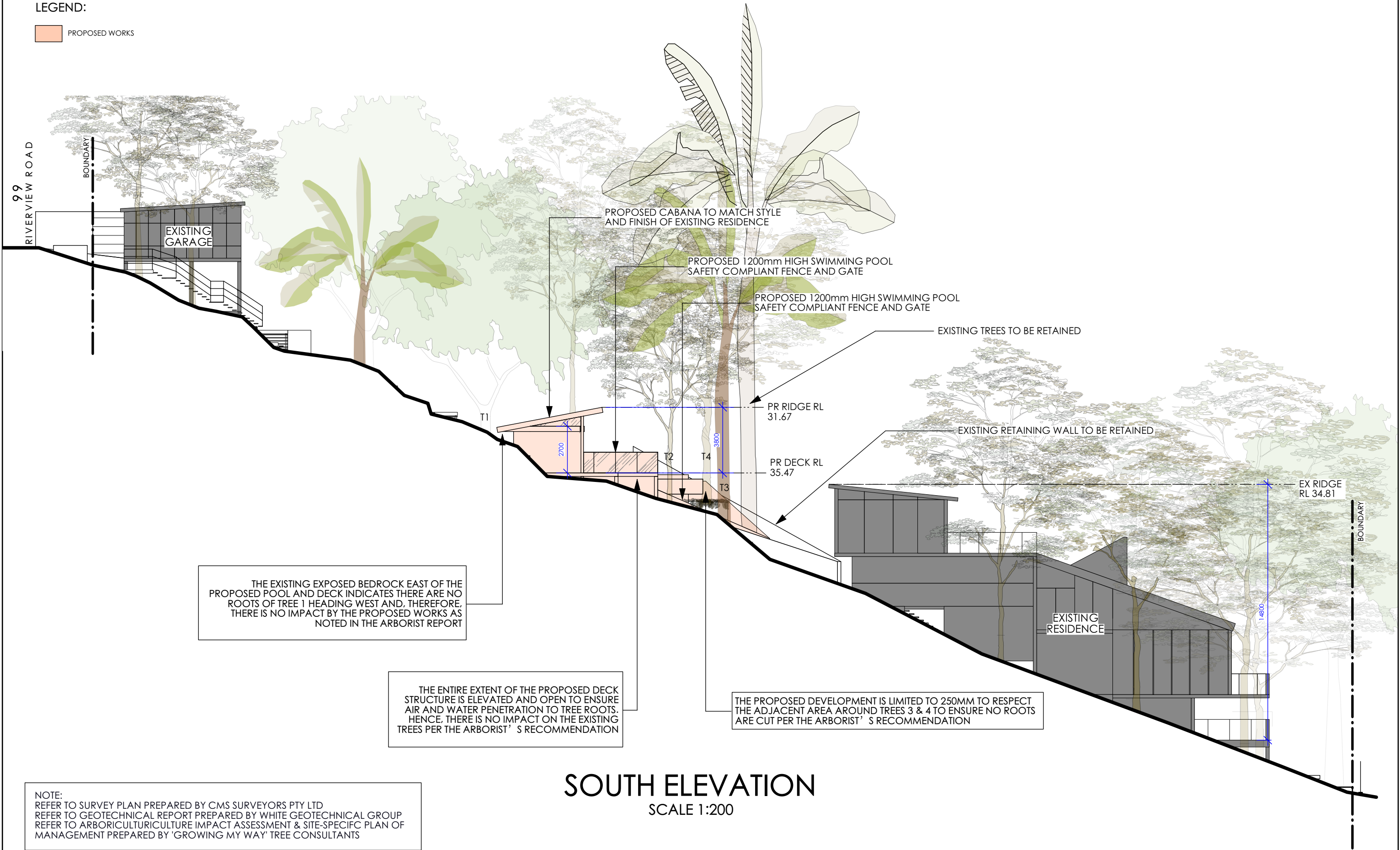
Drawing:	North Elevation
Address:	No. 99 Riverview Road, Avalon Beach NSW 2107
Project:	Cabana, Pool & Landscape Works
Client:	Vic & Clare Cherikoff

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65 West Street, North Sydney NSW 2060
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Status	SCALE - 1:200 @ A3
Drawn By	CV
Checked By	JRS
CAD File Name	241106_Cherikoff_D
	A:\work
Dwg Date	09.07.24
Plot Date	20/11/24

Project No.
Cherikoff
Drawing No. Rev #
L/07 A
OF 18

LEGEND:
PROPOSED WORKS



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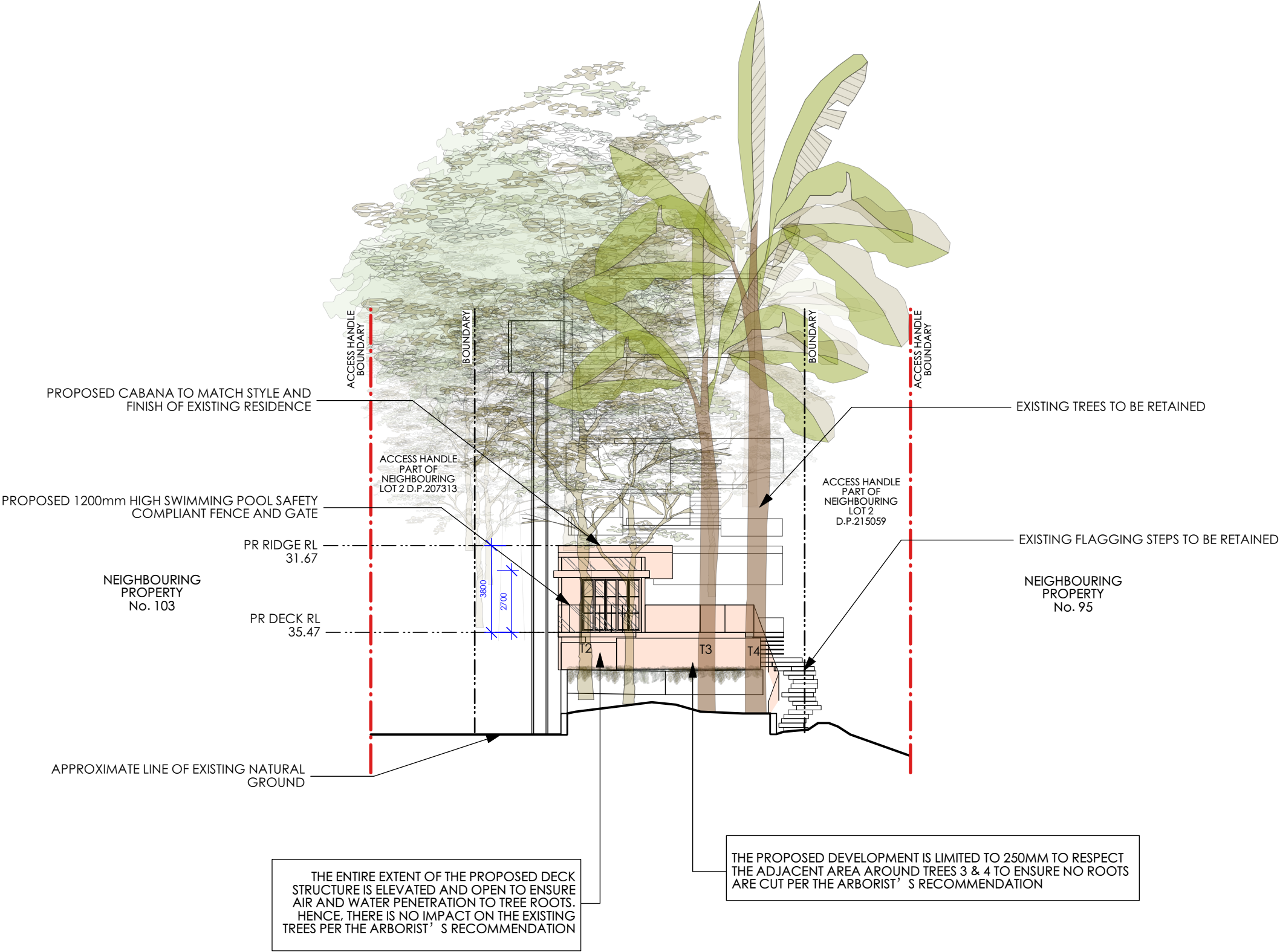
SOUTH ELEVATION

SCALE 1:200

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A	6/11/24	ISSUE FOR DA SUBMISSION	CV	NOTE: - ALL DIMENSIONS ARE NOMINAL					
No.	Date	Revision	By						

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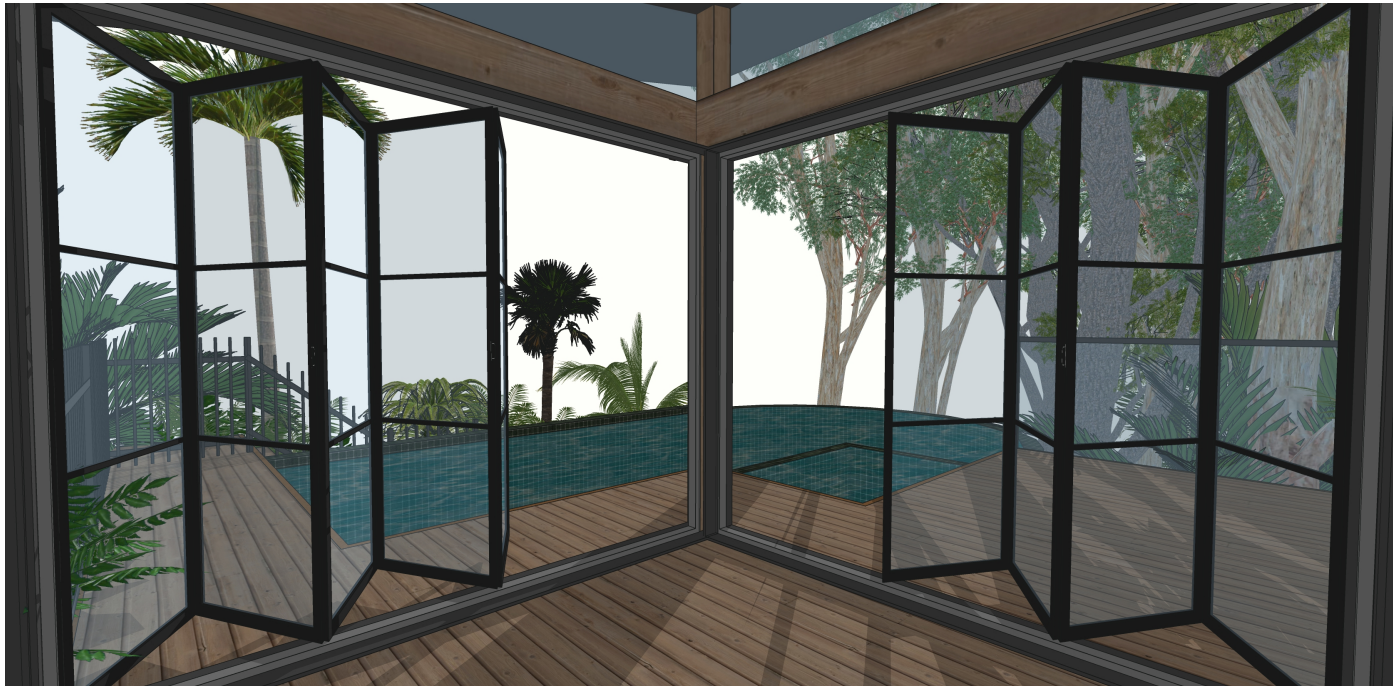
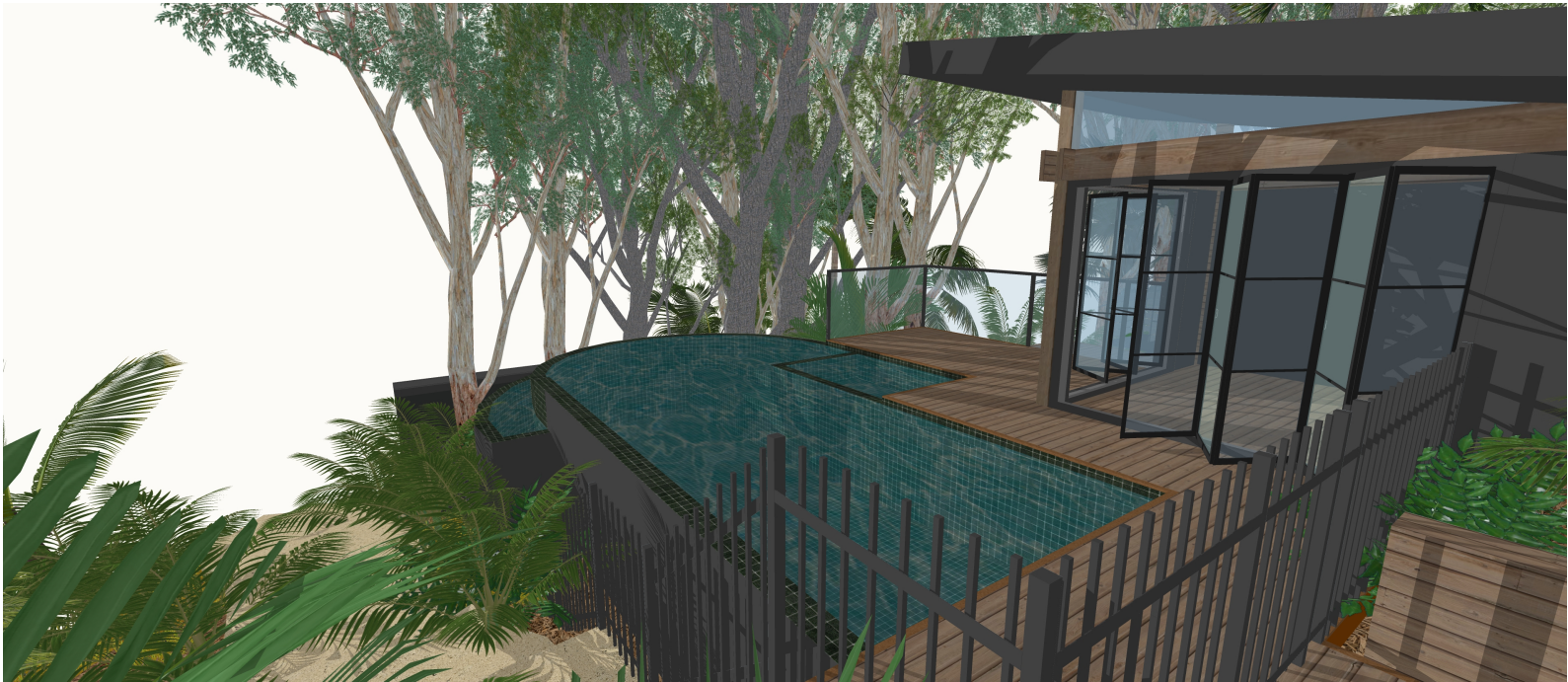
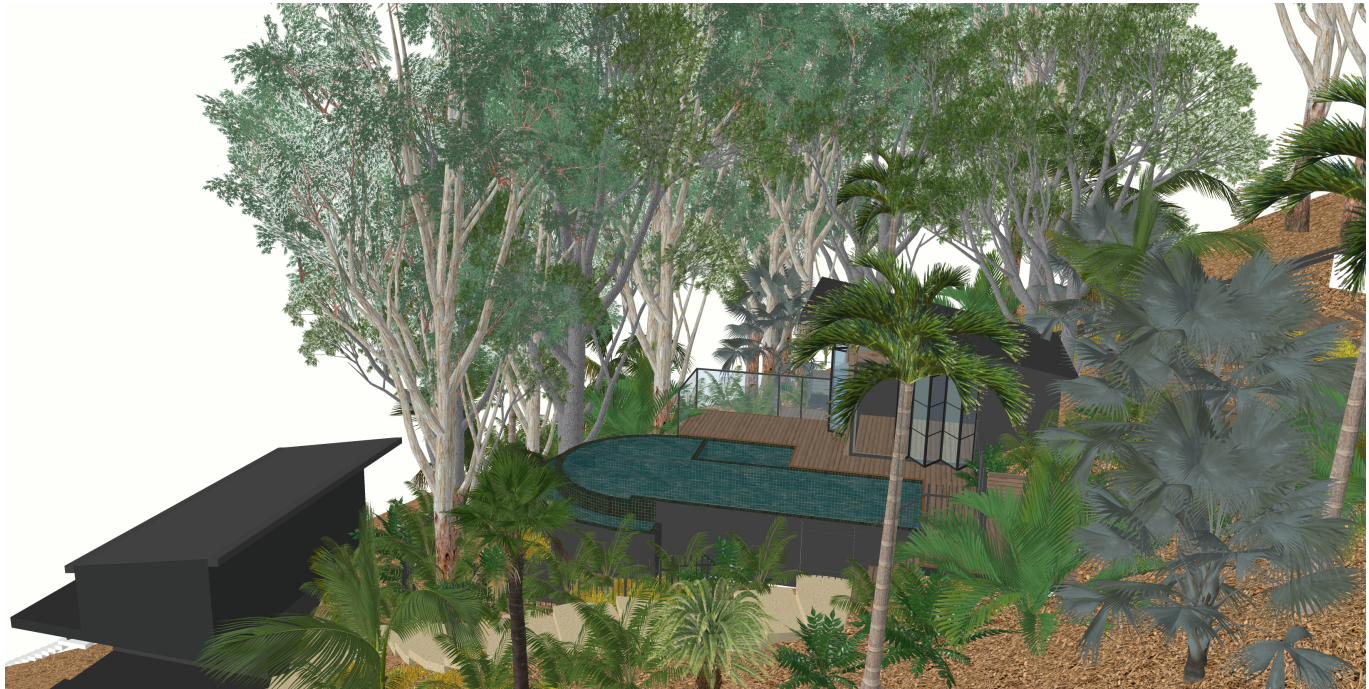
PROPOSED WORKS



WEST ELEVATION
SCALE 1:200

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A	6/11/24	ISSUE FOR DA SUBMISSION	CV	NOTE: - ALL DIMENSIONS ARE NOMINAL					
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A	6/11/24	ISSUE FOR DA SUBMISSION	CV	NOTE: - IMAGES ARE DIAGRAMMATIC ONLY					
No.	Date	Revision	By						

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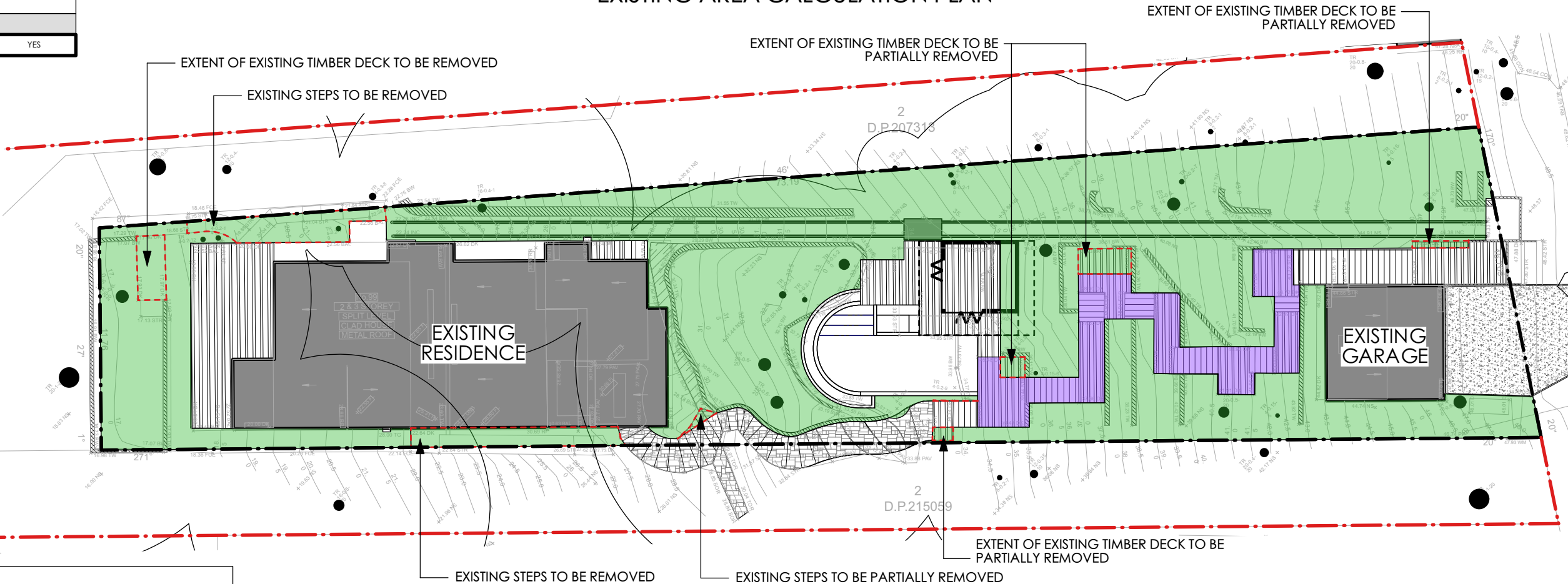
- EXISTING BUILDINGS
- LANDSCAPED AREAS
- PERVIOUS DECK AND STAIRS INCLUDED AS LANDSCAPED AREA
- NEIGHBOURING ACCESS HANDLE BOUNDARY
- EXISTING LEVELS (GREY)
- CADASTRAL BOUNDARY
- EXISTING STRUCTURES TO BE REMOVED

LANDSCAPED AREA TABLE:

SITE AREA = 1057m2			
	AREA (%)	AREA (m2)	COMPLIANCE
LANDSCAPED AREA			
MINIMUM LANDSCAPED AREA	60%	634.2 m2	
EXISTING LANDSCAPED AREA	55.5%	586.6 m2	
EXISTING PERVIOUS DECK	6%	63.42 m2	
EXISTING TOTAL LANDSCAPED AREA	61.5%	650.02 m2	YES
PROPOSED LANDSCAPED AREA	54%	580.9 m2	
PROPOSED PERVIOUS DECK	6%	63.42 m2	
PROPOSED TOTAL LANDSCAPED AREA	61%	644.32 m2	YES



EXISTING AREA CALCULATION PLAN



PROPOSED AREA CALCULATION PLAN

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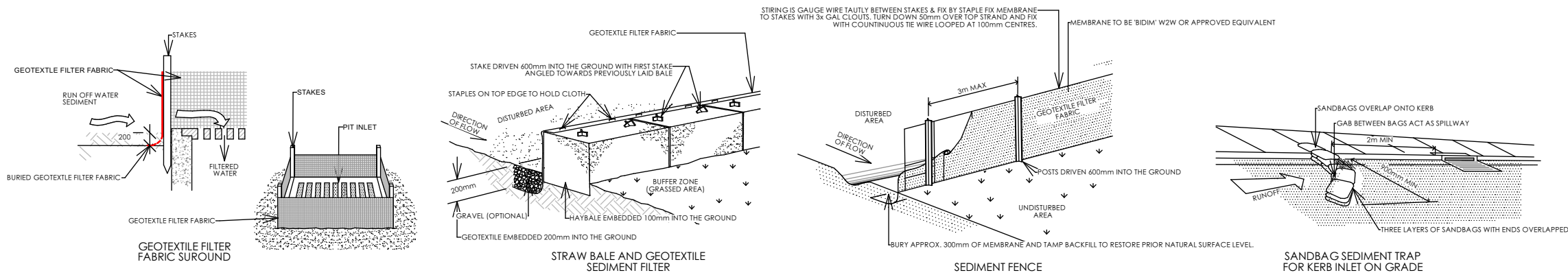
Drawing:
Area Calculations Plan
Address:
No. 99 Riverview Road, Avalon Beach NSW 2107
Project:
Cabana, Pool & Landscape Works
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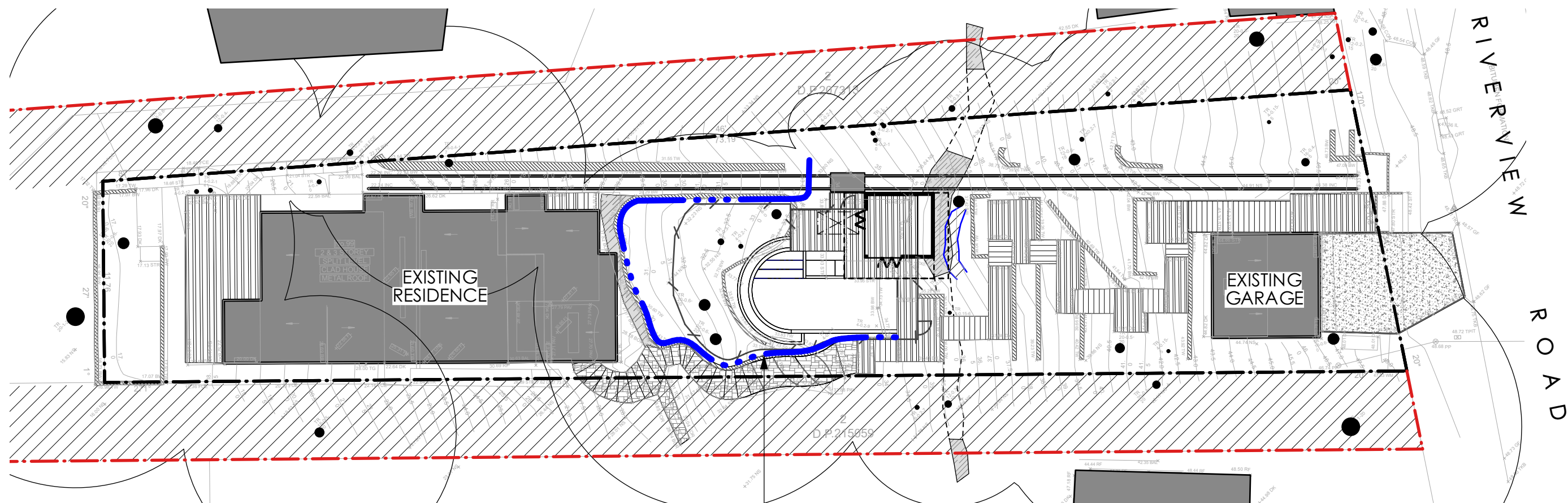
Status
SCALE - 1:250 @ A3
Drawn By: KCR
Checked By: JRS
CAD File Name: 241104_Cherikoff_D
Dwg Date: 25.03.24
Plot Date: 20/11/24



Project No.
Cherikoff
Drawing No. Rev #
L/12 A
OF 18



- GENERAL NOTES:
1. ALL WORK SHALL BE GENERALLY CARRIED OUT IN ACCORDANCE WITH:
 - A. LOCAL AUTHORITY REQUIREMENTS
 - B. EPA REQUIREMENTS
 - C. NSW DEPARTMENT OF HOUSING MANUAL
 2. MAINTAIN THE EROSION CONTROL DEVICES TO THE SATISFACTION OF THE SUPERINTENDENT AND THE LOCAL AUTHORITY.
 3. WHEN STORMWATER PITS ARE CONSTRUCTED, PREVENT SITE RUNOFF ENTERING UNLESS SILT FENCES ARE ERECTED AROUND PITS.
 4. CONTRACTOR IS TO ENSURE ALL EROSION & SEDIMENTATION CONTROL DEVICES ARE MAINTAINED IN GOOD WORKING ORDER AND OPERATE EFFECTIVELY. REPAIRS AND/OR MAINTENANCE SHALL BE UNDERTAKEN AS REQUIRED, PARTICULARLY FOLLOWING STORM EVENTS.
 5. CLEAN BEHIND FENCE EACH MAJOR STORM OR OTHERWISE AS DIRECTED AND REMOVE ALL SILT FROM THE SITE.
 6. SILT FENCE IS TO BE INSTALLED & APPROVED BY COUNCIL'S SUPERVISING ENGINEERS BEFORE OVERBURDEN IS REMOVED. THIS FENCE MAY REQUIRE REPLACEMENT AT TIMES IF LOCATED WITHIN OR NEARBY CONSTRUCTION ZONES.
 6. 'BIDIM' W2W IS SUPPLIED BY GEOFABRICS AUST. P/L



- LEGEND:
- EXISTING FLAGGING STEPS TO BE RETAINED
 - EXISTING ROCK OUTCROP TO BE RETAINED (APPROXIMATE LOCATION)
 - PROPOSED 1200mm HIGH SWIMMING POOL SAFETY FENCE/BALUSTRADE
 - EXTENT OF EXISTING EXPOSED BEDROCK TO BE RETAINED (APPROXIMATE LOCATION)
 - CADASTRAL BOUNDARY
 - EXISTING TIMBER DECK TO BE RETAINED
 - EXISTING TIMBER STAIRS TO BE RETAINED
 - EXISTING RETAINING WALL TO BE RETAINED AND ADJUSTED AS REQUIRED
 - NEIGHBOURING ACCESS HANDLE AREA & BOUNDARY
 - PROPOSED SEDIMENTATION FENCING

APPROXIMATE LOCATION OF SEDIMENTATION FENCING OR ALTERNATIVE MITIGATION MEASURE (AS INDICATED ABOVE) INSTALLED DURING CONSTRUCTION (SHOWN DASHED BLUE)

NOTE:
REFER TO SURVEY PLAN PREPARED BY CMS SURVEYORS PTY LTD
REFER TO GEOTECHNICAL REPORT PREPARED BY WHITE GEOTECHNICAL GROUP
REFER TO ARBORICULTURE CULTURE IMPACT ASSESSMENT & SITE-SPECIFIC PLAN OF MANAGEMENT PREPARED BY 'GROWING MY WAY' TREE CONSULTANTS

Notes:
1. All dimensions and levels shall be verified by Contractor on site prior to commencement of work.
2. Do not scale from drawings.
3. If in doubt contact Landscape Architect.
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5. This plan has been prepared for DA purposes only.
6. All Building Works shall be installed to Structural Engineers detail

NOTE:
- ALL DIMENSIONS ARE NOMINAL

Drawing:
Sediment & Erosion Control Plan
Address:
No. 99 Riverview Road, Avalon Beach NSW 2107
Project:
Cabana, Pool & Landscape Works
Client:
Vic & Clare Cherikoff

A Total Concept Landscape Architects & Swimming Pool Designers
65 West Street, North Sydney NSW 2060
T: (02) 9957 5122 E: design@atotalconcept.com.au
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landscape architects & swimming pool designers

Status
SCALE - 1:250 @ A3
Drawn By: KR
Checked By: JRS
CAD File Name: 241106_Cherikoff_D
Dwg Date: 25.03.24
Plot Date: 20/11/24

Project No.
Cherikoff
Drawing No. Rev #
L/13 A
OF 18

LEGEND:

- PROPOSED WORKS

EXISTING FLAGGING STEPS TO BE RETAINED

EXISTING ROCK OUTCROP TO BE RETAINED (APPROXIMATE LOCATION)

PROPOSED 1200mm HIGH SWIMMING POOL SAFETY FENCE/BALUSTRADE

EXTENT OF EXISTING EXPOSED BEDROCK TO BE RETAINED (APPROXIMATE LOCATION)

CADASTRAL BOUNDARY

EXISTING TIMBER DECK TO BE RETAINED

EXISTING TIMBER STAIRS TO BE RETAINED

EXISTING RETAINING WALL TO BE RETAINED AND AS JUSTED AS REQUIRED

NEIGHBOURING ACCESS HANDLE AREA & BOUNDARY
- PROPOSED LOCATION OF NEW DOWNPIPE TO BE CONNECTED TO PROPOSED BASIX RAINWATER TANK
- PROPOSED LOCATION OF 5000 LITRES RAINWATER TANK (UNDER) AS REQUIRED BY BASIX
- PROPOSED SWIMMING POOL SHALL BE CONNECTED TO THE EXISTING SEWER IN ACCORDANCE WITH SYDNEY WATER REQUIREMENTS
- PROPOSED TIMBER DECKING AREAS SHALL BE PERVIOUS
- EXISTING STORMWATER DISPOSAL SYSTEM TO BE CONNECTED TO PROPOSED BASIX RAINWATER TANK
- EXISTING STORMWATER DISPOSAL SYSTEM TO EXISTING RESIDENCE TO BE RETAINED
-
- NOTE:
REFER TO SURVEY PLAN PREPARED BY CMS SURVEYORS PTY LTD
REFER TO GEOTECHNICAL REPORT PREPARED BY WHITE GEOTECHNICAL GROUP
REFER TO ARBORICULTURE IMPACT ASSESSMENT & SITE-SPECIFIC PLAN OF MANAGEMENT PREPARED BY 'GROWING MY WAY' TREE CONSULTANTS
- Notes:

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 - This design is copyright and shall not be copied, utilised or reproduced in any way without prior written permission of **A Total Concept Landscape Architects**.
 - This plan has been prepared for DA purposes only.
 - All Building Works shall be installed to Structural Engineers detail
- NOTE:
- ALL DIMENSIONS ARE NOMINAL
- Drawing:
Stormwater Concept Plan
Address:
No. 99 Riverview Road, Avalon Beach NSW 2107
Project:
Cabana, Pool & Landscape Works
Client:
Vic & Clare Cherikoff
- A Total Concept Landscape Architects & Swimming Pool Designers**
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- Status
SCALE - 1:250 @ A3
Drawn By: JCR
Checked By: JRS
CAD File Name: 241106_Cherikoff_D A.vrx
Dwg Date: 25.03.24
Plot Date: 20/11/24
-
- Project No.
Cherikoff
Drawing No. Rev #
L/14 A
OF 18

LEGEND:

PROPOSED WORKS

EXISTING FLAGGING STEPS TO BE RETAINED

EXISTING ROCK OUTCROP TO BE RETAINED (APPROXIMATE LOCATION)

PROPOSED 1200mm HIGH SWIMMING POOL SAFETY FENCE/BALUSTRADE

EXTENT OF EXISTING EXPOSED BEDROCK TO BE RETAINED (APPROXIMATE LOCATION)

CADASTRAL BOUNDARY

EXISTING TIMBER DECK TO BE RETAINED

EXISTING TIMBER STAIRS TO BE RETAINED

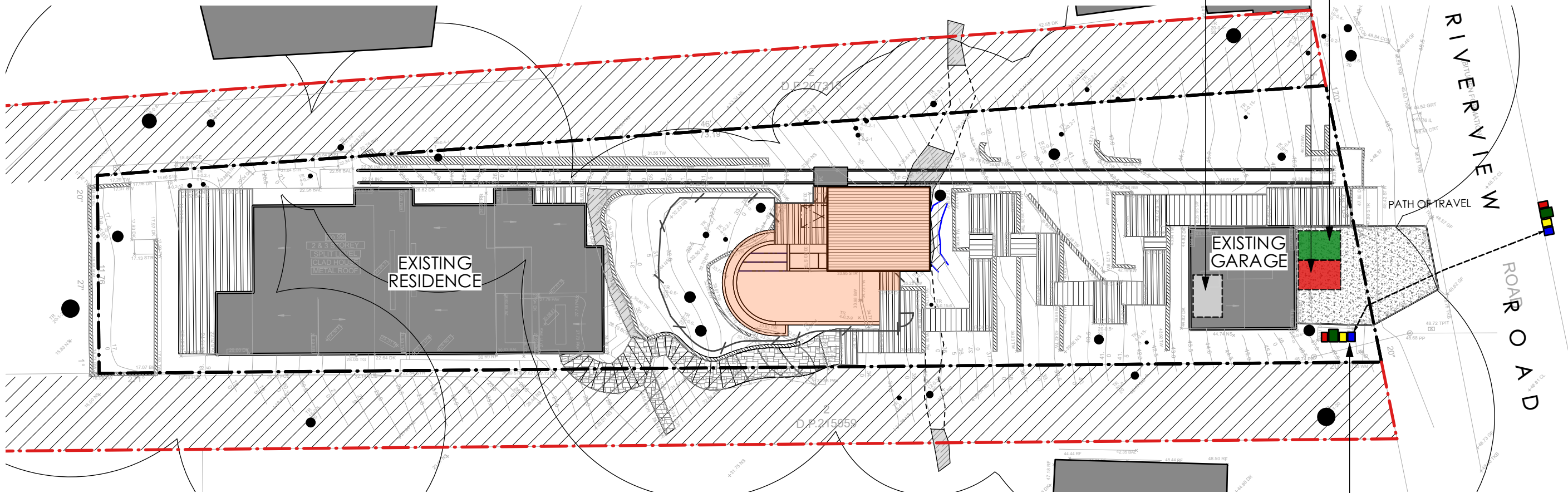
EXISTING RETAINING WALL TO BE RETAINED AND AS JUSTED AS REQUIRED

NEIGHBOURING ACCESS HANDLE AREA & BOUNDARY

PROPOSED LOCATION OF ON-SITE RECYCLING WASTE STOCKPILE DURING CONSTRUCTION (OVER EXISTING SLAB)

PROPOSED LOCATION OF ON-SITE WASTE STOCKPILE DURING CONSTRUCTION (OVER EXISTING SLAB)

PROPOSED LOCATION OF ON-SITE MATERIALS STOCKPILE DURING CONSTRUCTION (UNDER)



EXISTING LOCATION OF ON SITE ON-GOING WASTE BIN STORAGE IN PROPOSED BIN STORAGE LOCATION

NOTE:
REFER TO SURVEY PLAN PREPARED BY CMS SURVEYORS PTY LTD
REFER TO GEOTECHNICAL REPORT PREPARED BY WHITE GEOTECHNICAL GROUP
REFER TO ARBORICULTURE IMPACT ASSESSMENT & SITE-SPECIFIC PLAN OF MANAGEMENT PREPARED BY 'GROWING MY WAY' TREE CONSULTANTS

Notes:			
1. All dimensions and levels shall be verified by Contractor on site prior to commencement of work.			
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5. This plan has been prepared for DA purposes only.			
6. All Building Works shall be installed to Structural Engineers detail			

NOTE:
- ALL DIMENSIONS ARE NOMINAL


Drawing:	Waste Management Site Plan
Address:	No. 99 Riverview Road, Avalon Beach NSW 2107
Project:	Cabana, Pool & Landscape Works
Client:	Vic & Clare Cherikoff

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65 West Street, North Sydney NSW 2060
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Status	SCALE - 1:250 @ A3	
Drawn By	JCR	Dwg Date: 25.03.24
Checked By	JRS	Plot Date: 20/11/24
CAD File Name	241106_Cherikoff_D	

Project No.	Cherikoff	
Drawing No.	Rev #	
L/15 A		
OF 18		

PROPOSED WORKS

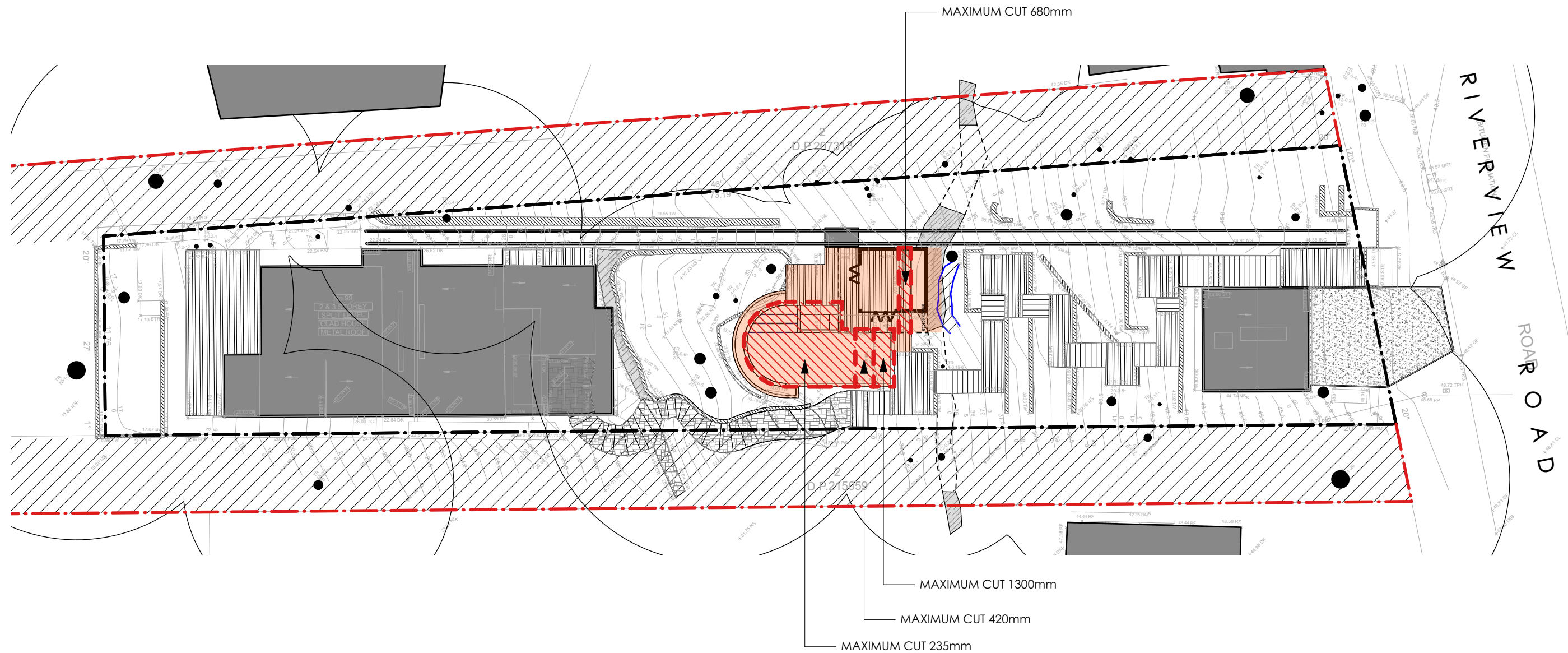
 EXISTING TIMBER DECK TO BE RETAINED

 EXISTING RETAINING WALL TO BE RETAINED AND
ASJUSTED AS REQUIRED

PROPOSED CUT

PROPOSED 1200mm HIGH SWIMMING
POOL SAFETY FENCE/BALUSTRADE

EXTENT OF EXISTING EXPOSED BEDROCK TO BE
RETAINED (APPROXIMATE LOCATION)



NOTE:
REFER TO SURVEY PLAN PREPARED BY CMS SURVEYORS PTY LTD
REFER TO GEOTECHNICAL REPORT PREPARED BY WHITE GEOTECHNICAL GROUP
REFER TO ARBORICULTURE IMPACT ASSESSMENT & SITE-SPECIFIC PLAN OF
MANAGEMENT PREPARED BY 'GROWING MY WAY' TREE CONSULTANTS

			<div>Notes:</div> <div>1. All dimensions and levels shall be verified by Contractor on site prior to commencement of work.</div> <div>2. Do not scale from drawings.</div> <div>3. If in doubt contact Landscape Architect.</div> <div>4. This design is copyright and shall not be copied, utilised or reproduced in any way without prior written permission of A Total Concept Landscape Architects.</div> <div>5. This plan has been prepared for DA purposes only.</div> <div>6. All Building Works shall be installed to Structural Engineers detail</div>		<div>NOTE: - ALL DIMENSIONS ARE NOMINAL</div>		<div>Drawing:</div> <div>Cut/Fill Plan</div> <div>Address:</div> <div>No. 99 Riverview Road, Avalon Beach NSW 2107</div> <div>Project:</div> <div>Cabana, Pool & Landscape Works</div> <div>Client:</div> <div>Vic & Clare Cherikoff</div>		<div><div><div>A Total Concept Landscape Architects & Swimming Pool Designers</div><div>45 West Street, North Sydney NSW 2060</div><div>T: (02) 9957 5122 E: design@atotalconcept.com.au</div><div>www.atotalconcept.com.au</div></div><div><div>atc</div><div>a total concept</div><div>landscape architects & swimming pool designers</div></div></div>		<div>Status</div> <div>SCALE - 1:250 @ A3</div> <div><div>Drawn By</div><div>Checked By</div><div>CAD File Name</div></div> <div><div>KCR</div><div>JRS</div><div>24x1106_Cherikoff_D A.vww</div></div> <div><div>Dwg Date:</div><div>Plot Date:</div><div></div></div> <div><div>25.03.24</div><div>20/11/24</div><div></div></div>		<div><div>Project No.</div><div>Cherikoff</div><div>Drawing No.</div><div>Rev #</div></div> <div><div>L/16 A</div><div>OF 18</div></div>	
A	6/11/24	ISSUE FOR DA SUBMISSION	CV											
No.	Date	Revision	By											



PROPOSED SWIMMING POOL AND INTEGRATED SPA



PROPOSED CABANA WITH CONCERTINA DOORS TO MATCH STYLE AND FINISH OF EXISTING RESIDENCE



CONCERTINA DOORS



EXISTING HOUSE



DARK COLOUR



PROPOSED 1200mm HIGH BLACK ALUMINIUM SWIMMING POOL SAFETY FENCE/BALUSTRADE



PROPOSED TIMBER DECK TO MATCH EXISTING TIMBER DECK



PROPOSED HOB RETAINING WALL TO MATCH EXISTING STONE RETAINING WALLS

PROPOSED POOL, WET EDGE AND BALANCE TANK WALL TO BE RENDERED IN DARK COLOUR TO MATCH EXISTING RESIDENCE

				Notes:		Drawing:		Status		Project No.	
				1. All dimensions and levels shall be verified by Contractor on site prior to commencement of work.		Colours & Materials Schedule		SCALE - NTS @ A3		Cherikoff	
				2. Do not scale from drawings.		Address:		Drawn By		Dwg Date: 25.03.24	
				3. If in doubt contact Landscape Architect.		No. 99 Riverview Road, Avalon Beach NSW 2107		Checked By		Plot Date: 20/11/24	
				4. This design is copyright and shall not be copied, utilised or reproduced in any way without prior written permission of A Total Concept Landscape Architects .		Project:		CAD File Name		241106_Cherikoff_D A.vwx	
				5. This plan has been prepared for DA purposes only.		Cabana, Pool & Landscape Works		a total concept		L/11 A	
				6. All Building Works shall be installed to Structural Engineers detail		Client:		a total concept		OF 18	
						Vic & Clare Cherikoff		landscape architects & swimming pool designers			
A	6/11/24	ISSUE FOR DA SUBMISSION	CV								
No.	Date	Revision	By								

Alterations and Additions

Certificate number: A1771854

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Wednesday, 06 November 2024
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project address	
Project name	Pool and Landscape Works
Street address	99 RIVERVIEW Road AVALON BEACH 2107
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan DP207313
Lot number	1
Section number	-
Project type	
Dwelling type	Dwelling house (detached)
Type of alteration and addition	The estimated development cost for my renovation work is \$50,000 or more, and includes a pool (and/or spa).
N/A	N/A
Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name: Storwall Pty Ltd	
ABN (if applicable):	

Pool and Spa	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Rainwater tank			
The applicant must install a rainwater tank of at least 4462.5 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✔	✔	✔
The applicant must configure the rainwater tank to collect rainwater runoff from at least 64 square metres of roof area.		✔	✔
The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool and outdoor spa.		✔	✔
Outdoor swimming pool			
The swimming pool must be outdoors.	✔	✔	✔
The swimming pool must not have a capacity greater than 41.31 kilolitres.	✔	✔	✔
The swimming pool must have a pool cover.		✔	✔
The applicant must install a pool pump timer for the swimming pool.		✔	✔
The applicant must install the following heating system for the swimming pool that is part of this development: gas.		✔	✔
Outdoor spa			
The spa must not have a capacity greater than 4.6 kilolitres.	✔	✔	✔
The spa must have a spa cover.		✔	✔

Legend

In these commitments, "applicant" means the person carrying out the development.

Commitments identified with a ✔ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).

Commitments identified with a ✔ in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.

Commitments identified with a ✔ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

Pool and Spa	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
The applicant must install a spa pump timer.		✔	✔
The applicant must install the following heating system for the outdoor spa that is part of this development: gas.		✔	✔

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✔	✔

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A	6/11/24	ISSUE FOR DA SUBMISSION	CV				
No.	Date	Revision	By				