

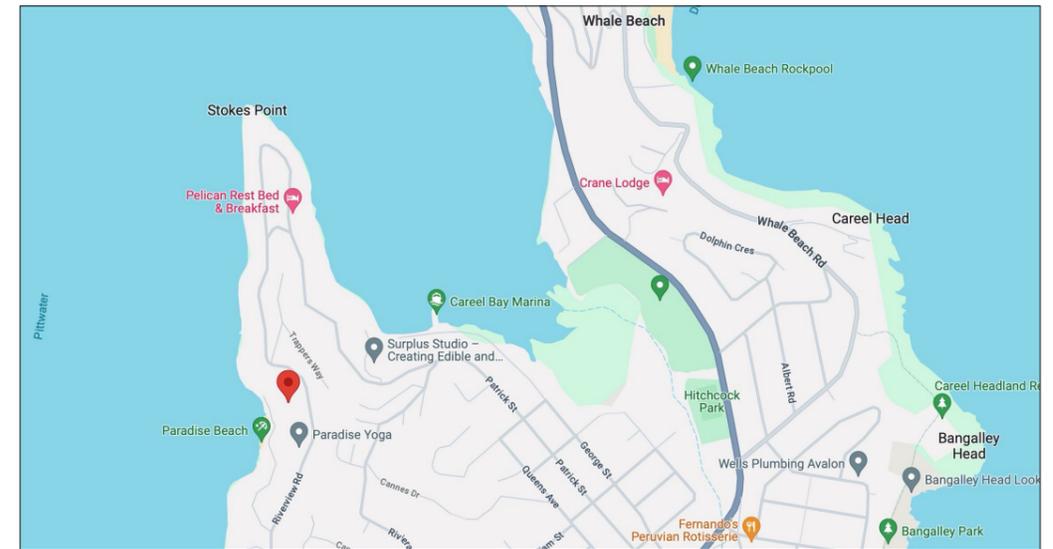
FOR DA APPLICATION

CABANA, POOL & LANDSCAPE WORKS

99 RIVERVIEW ROAD, AVALON BEACH NSW 2107

DRAWING LIST

SHEET NO.	SHEET TITLE	REVISION	DATE
L/00	COVER SHEET	A	06.11.24
L/01	SITE PLAN & SITE ANALYSIS PLAN	A	06.11.24
L/02	LANDSCAPE MASTER PLAN	A	06.11.24
L/03	SECTION AA (1:200)	A	06.11.24
L/04	SECTION AA (1:100)	A	06.11.24
L/05	SECTION BB	A	06.11.24
L/06	SECTION CC	A	06.11.24
L/07	NORTH ELEVATION	A	06.11.24
L/08	SOUTH ELEVATION	A	06.11.24
L/09	WEST ELEVATION	A	06.11.24
L/10	3D IMAGES	A	06.11.24
L/11	COLOURS & MATERIALS SCHEDULE	A	06.11.24
L/12	AREA CALCULATIONS PLAN	A	06.11.24
L/13	SEDIMENT & EROSION CONTROL PLAN	A	06.11.24
L/14	STORMWATER CONCEPT PLAN	A	06.11.24
L/15	WASTE MANAGEMENT PLAN	A	06.11.24
L/16	CUT/FILL PLAN	A	06.11.24
L/17	BASIX COMMITMENTS	A	06.11.24



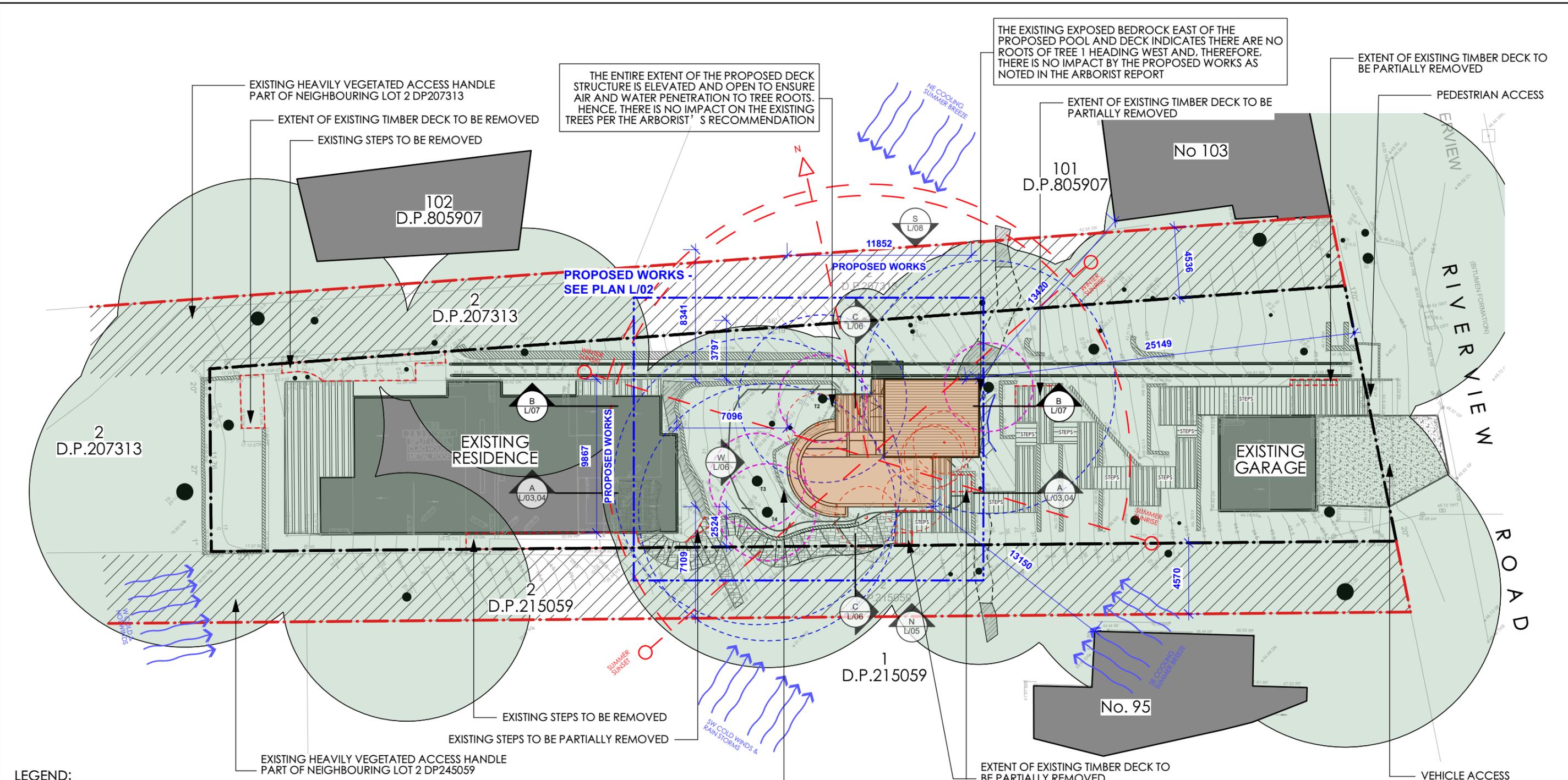
LOCATION MAP (FONT: GOOGLE MAPS)



SATELLITE VIEW (FONT: GOOGLE MAPS)

NOTE:
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 REFER TO ARBORICULTURE IMPACT ASSESSMENT & SITE-SPECIFIC PLAN OF
 MANAGEMENT PREPARED BY 'GROWING MY WAY' TREE CONSULTANTS

Notes: 1. All dimensions and levels shall be verified by Contractor on site prior to commencement of work. 2. Do not scale from drawings. 3. If in doubt contact Landscape Architect. 4. This design is copyright and shall not be copied, utilised or reproduced in any way without prior written permission of A Total Concept Landscape Architects . 5. This plan has been prepared for DA purposes only. 6. All Building Works shall be installed to Structural Engineers detail				Drawing: Cover Sheet Address: No. 99 Riverview Road, Avalon Beach NSW 2107 Project: Cabana, Pool & Landscape Works Client: Vic & Clare Cherikoff		A Total Concept Landscape Architects & Swimming Pool Designers 65 West Street, North Sydney NSW 2060 T: (02) 9957 5122 E: design@atotalconcept.com.au www.atotalconcept.com.au 		Status SCALE - NTS @ A3  Drawn By: JRS Dwg Date: 25.03.24 Checked By: JRS Plot Date: 20/11/24 CAD File Name: 241106_Cherikoff_D A.vrx		Project No. Cherikoff Drawing No. Rev # L/00 A OF 18	
No.	Date	Revision	By								
A	6/11/24	ISSUE FOR DA SUBMISSION	CV								



LEGEND:

- EXISTING LEVELS (GREY)
- CADASTRAL BOUNDARY
- EXISTING TIMBER DECK TO BE RETAINED
- EXISTING TIMBER STAIRS TO BE RETAINED
- EXISTING RETAINING WALL TO BE RETAINED AND ADJUSTED AS REQUIRED
- NEIGHBOURING ACCESS HANDLE AREA & BOUNDARY
- EXTENT OF EXISTING EXPOSED BEDROCK TO BE RETAINED (APPROXIMATE LOCATION)
- EXISTING TREE TO BE RETAINED
- EXISTING PALM TREES (EXEMPT SPECIES) TO BE REMOVED AS PER ARBORIST REPORT
- STRUCTURAL ROOT ZONE. REFER ARBORIST REPORT
- TREE PROTECTION ZONE. REFER ARBORIST REPORT
- EXISTING FLAGGING STEPS TO BE RETAINED
- EXISTING ROCK OUTCROP TO BE RETAINED (APPROXIMATE LOCATION)
- PROPOSED 1200mm HIGH SWIMMING POOL SAFETY FENCE/BALUSTRADE
- PROPOSED WORKS
- EXISTING STRUCTURES TO BE REMOVED

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NOTE:
- ALL DIMENSIONS ARE NOMINAL

Drawing:
Site Plan & Site Analysis Plan

Address:
No. 99 Riverview Road, Avalon Beach NSW 2107

Project:
Cabana, Pool & Landscape Works

Client:
Vic & Clare Cherikoff

NOTE:
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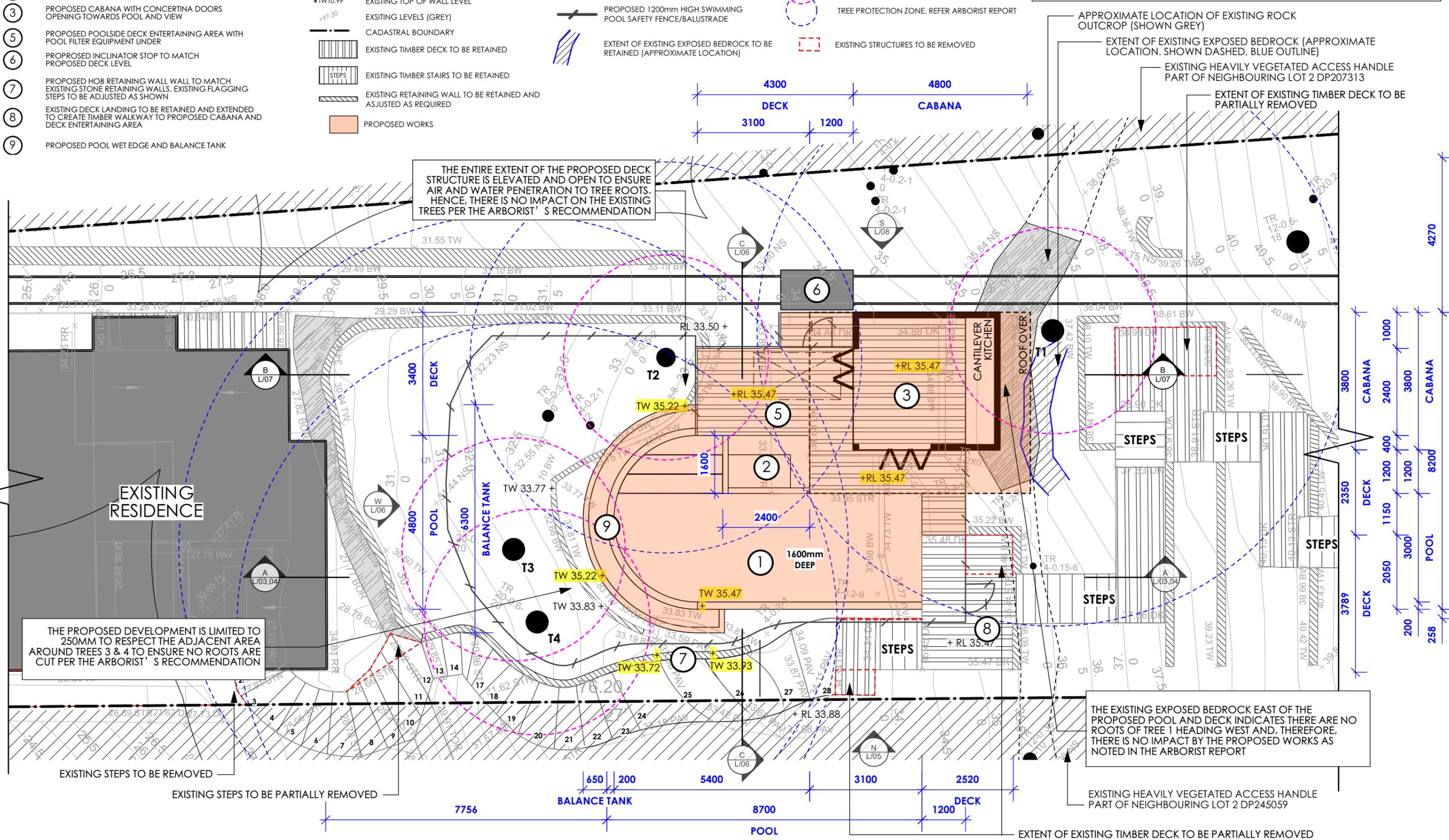
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<p>A Total Concept Landscape Architects & Swimming Pool Designers</p> <p>65 West Street, North Sydney NSW 2060 T: (02) 9957 5122 E: design@atotalconcept.com.au www.atotalconcept.com.au</p> <p>atc a total concept landscape architects & swimming pool designers</p>	<p>Status</p> <p>SCALE - 1:250 @ A3</p> <p>Drawn By: JRS Checked By: JRS CAD File Name: 241104_Cherikoff_D A.vwx</p>	<p>Project No.</p> <p>Cherikoff</p> <p>Drawing No. Rev # L/01 A OF 18</p>
	<p>Dwg Date: 25.03.24 Plot Date: 20/11/24</p>	

LEGEND:

- ① PROPOSED SWIMMING POOL
 - ② PROPOSED INTEGRATED SPA
 - ③ PROPOSED CABANA WITH CONCERTINA DOORS OPENING TOWARDS POOL AND VIEW
 - ⑤ PROPOSED POOLSIDE DECK ENTERTAINING AREA WITH POOL FILTER EQUIPMENT UNDER
 - ⑥ PROPOSED INCLINATOR STOP TO MATCH PROPOSED DECK LEVEL
 - ⑦ PROPOSED HOB RETAINING WALL WALL TO MATCH EXISTING STONE RETAINING WALLS. EXISTING FLAGGING STEPS TO BE ADJUSTED AS SHOWN
 - ⑧ EXISTING DECK LANDING TO BE RETAINED AND EXTENDED TO CREATE TIMBER WALKWAY TO PROPOSED CABANA AND DECK ENTERTAINING AREA
 - ⑨ PROPOSED POOL WET EDGE AND BALANCE TANK
- +RL10.23 PROPOSED FINISHED GROUND LEVEL
 - +TW10.99 PROPOSED TOP OF WALL LEVEL
 - +RL10.23 EXISTING FINISHED GROUND LEVEL
 - +TW10.99 EXISTING TOP OF WALL LEVEL
 - EXISTING LEVELS (GREY)
 - CADASTRAL BOUNDARY
 - EXISTING TIMBER DECK TO BE RETAINED
 - EXISTING TIMBER STAIRS TO BE RETAINED
 - EXISTING RETAINING WALL TO BE RETAINED AND ASJUSTED AS REQUIRED
 - PROPOSED WORKS
- EXISTING FLAGGING STEPS TO BE RETAINED
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 - PROPOSED 1200mm HIGH SWIMMING POOL SAFETY FENCE/BALUSTRADE
 - EXTENT OF EXISTING EXPOSED BEDROCK TO BE RETAINED (APPROXIMATE LOCATION)
- EXISTING TREE TO BE RETAINED
 - STRUCTURAL ROOT ZONE. REFER ARBORIST REPORT
 - TREE PROTECTION ZONE. REFER ARBORIST REPORT
 - EXISTING STRUCTURES TO BE REMOVED

NOTE:
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Drawing:
Landscape Master Plan
Address:
No. 99 Riverview Road, Avalon Beach NSW 2107
Project:
Cabana, Pool & Landscape Works
Client:
Vic & Clare Cherikoff

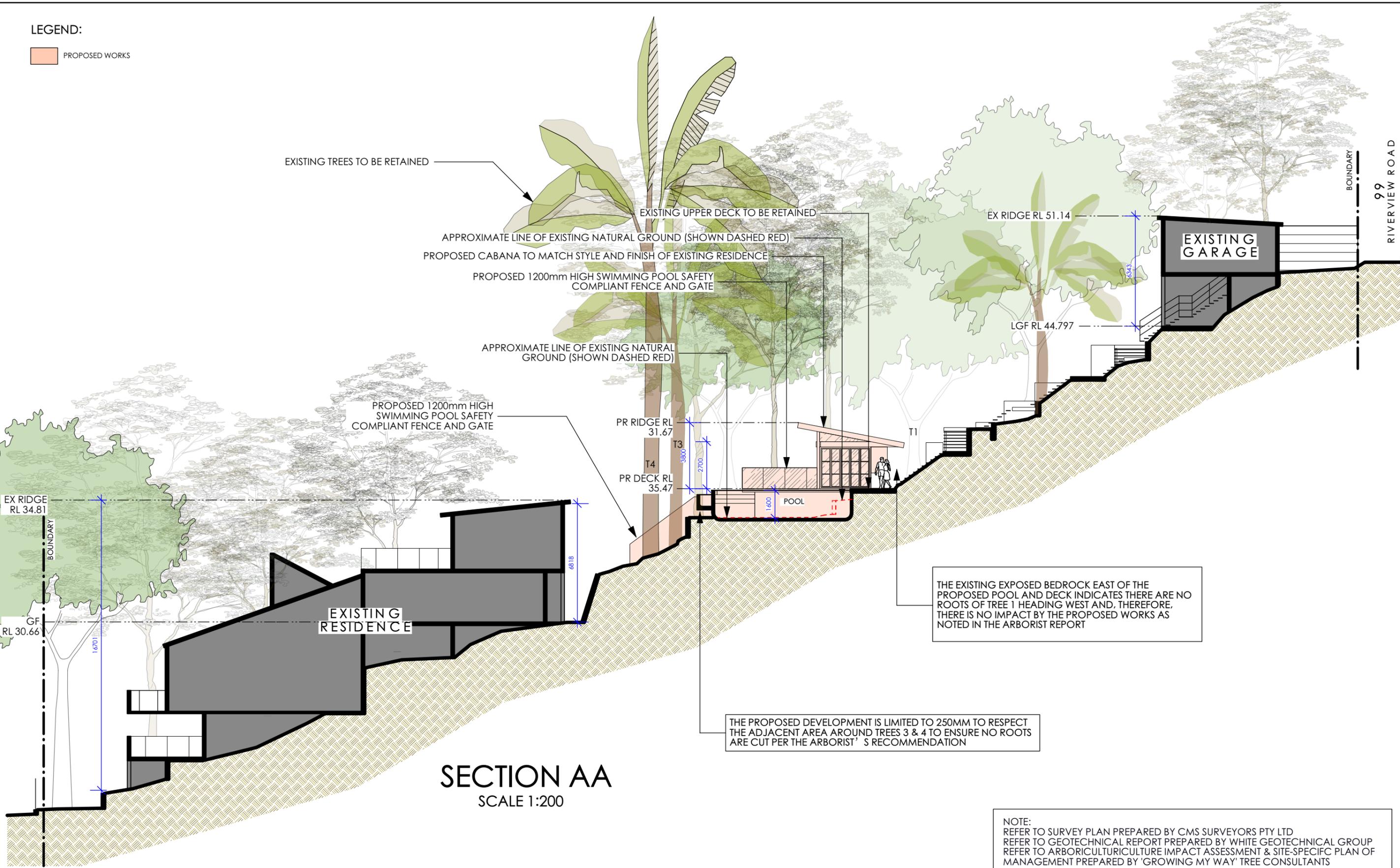
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Status
SCALE - 1:100 @ A3
Drawn By: JER
Checked By: JRS
CAD File Name: 241106_Cherikoff_D
Dwg Date: 04.07.24
Plot Date: 20/11/24

Project No.
Cherikoff
Drawing No. Rev #
L/02 A
OF 18

LEGEND:

PROPOSED WORKS



SECTION AA
SCALE 1:200

THE EXISTING EXPOSED BEDROCK EAST OF THE PROPOSED POOL AND DECK INDICATES THERE ARE NO ROOTS OF TREE 1 HEADING WEST AND, THEREFORE, THERE IS NO IMPACT BY THE PROPOSED WORKS AS NOTED IN THE ARBORIST REPORT

THE PROPOSED DEVELOPMENT IS LIMITED TO 250MM TO RESPECT THE ADJACENT AREA AROUND TREES 3 & 4 TO ENSURE NO ROOTS ARE CUT PER THE ARBORIST'S RECOMMENDATION

NOTE:
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Drawing:
Sections
Address:
No. 99 Riverview Road, Avalon Beach NSW 2107
Project:
Cabana, Pool & Landscape Works
Client:
Vic & Clare Cherikoff

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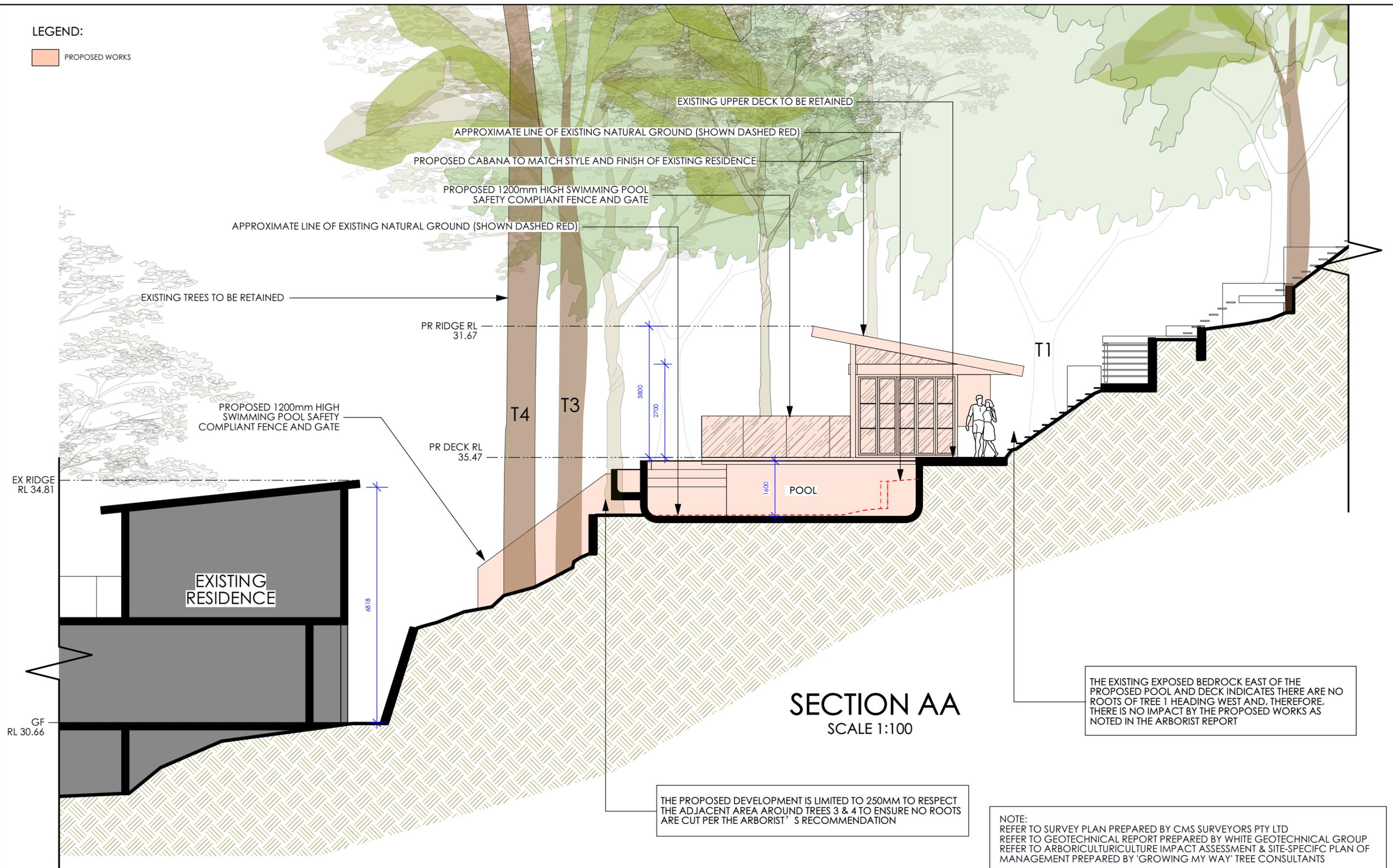
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Drawn By CV Dwg Date: 09.07.24
Checked By JRS Plot Date: 20/11/24
CAD File Name 241106_Cherikoff_D A.rvt

Project No.
Cherikoff
Drawing No. Rev #
L/03 A
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No.	Date	Revision	By
A	6/11/24	ISSUE FOR DA SUBMISSION	CV

LEGEND:

PROPOSED WORKS



SECTION AA
SCALE 1:100

THE EXISTING EXPOSED BEDROCK EAST OF THE PROPOSED POOL AND DECK INDICATES THERE ARE NO ROOTS OF TREE 1 HEADING WEST AND, THEREFORE, THERE IS NO IMPACT BY THE PROPOSED WORKS AS NOTED IN THE ARBORIST REPORT

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Address:
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Project:
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Client:
Vic & Clare Cherikoff

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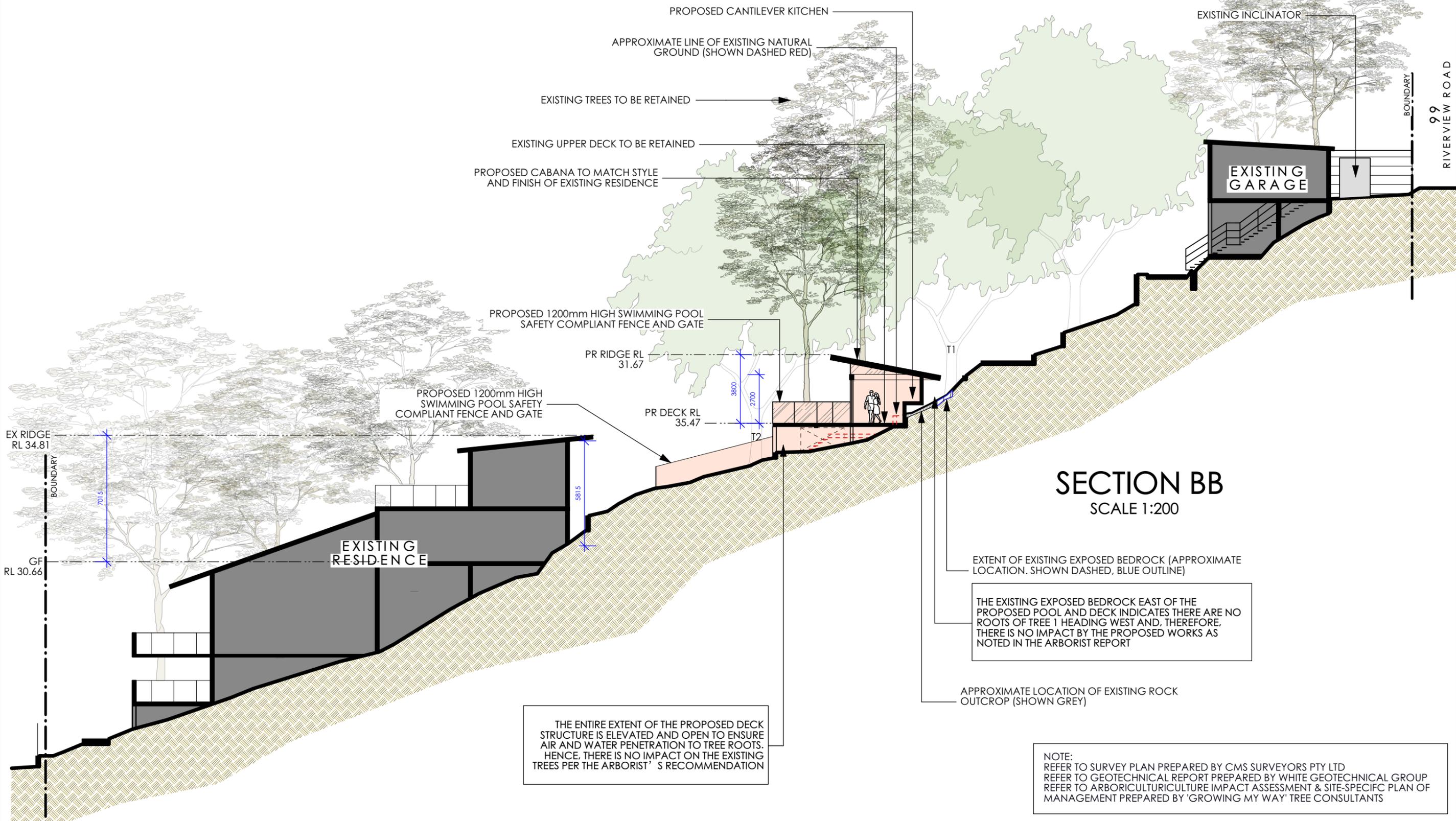
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SCALE - 1:100 @ A3
Drawn By CV Dwg Date: 09.07.24
Checked By JRS Plot Date: 20/11/24
CAD File Name 241104_Cherikoff_D A.rvt

Project No.
Cherikoff
Drawing No. Rev #
L/04 A
OF 18

No.	Date	Revision	By
A	6/11/24	ISSUE FOR DA SUBMISSION	CV

LEGEND:

PROPOSED WORKS



SECTION BB
SCALE 1:200

EXTENT OF EXISTING EXPOSED BEDROCK (APPROXIMATE LOCATION, SHOWN DASHED, BLUE OUTLINE)

THE EXISTING EXPOSED BEDROCK EAST OF THE PROPOSED POOL AND DECK INDICATES THERE ARE NO ROOTS OF TREE 1 HEADING WEST AND, THEREFORE, THERE IS NO IMPACT BY THE PROPOSED WORKS AS NOTED IN THE ARBORIST REPORT

APPROXIMATE LOCATION OF EXISTING ROCK OUTCROP (SHOWN GREY)

THE ENTIRE EXTENT OF THE PROPOSED DECK STRUCTURE IS ELEVATED AND OPEN TO ENSURE AIR AND WATER PENETRATION TO TREE ROOTS. HENCE, THERE IS NO IMPACT ON THE EXISTING TREES PER THE ARBORIST'S RECOMMENDATION

NOTE:
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Drawing:
Sections
Address:
No. 99 Riverview Road, Avalon Beach NSW 2107
Project:
Cabana, Pool & Landscape Works
Client:
Vic & Clare Cherikoff

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Checked By JRS Plot Date: 20/11/24
CAD File Name 241106_Cherikoff_D A.rvt

Project No.
Cherikoff
Drawing No. Rev #
L/05 A
OF 18

No.	Date	Revision	By
A	6/11/24	ISSUE FOR DA SUBMISSION	CV

LEGEND:

PROPOSED WORKS

PROPOSED CABANA TO MATCH STYLE AND FINISH OF EXISTING RESIDENCE

NEIGHBOURING PROPERTY No. 103

PROPOSED 1200mm HIGH SWIMMING POOL SAFETY COMPLIANT FENCE AND GATE

ACCESS HANDLE PART OF NEIGHBOURING LOT 2 D.P.207313

PR RIDGE RL 31.67

PR DECK RL 35.47

APPROXIMATE LINE OF EXISTING NATURAL GROUND

THE ENTIRE EXTENT OF THE PROPOSED DECK STRUCTURE IS ELEVATED AND OPEN TO ENSURE AIR AND WATER PENETRATION TO TREE ROOTS. HENCE, THERE IS NO IMPACT ON THE EXISTING TREES PER THE ARBORIST'S RECOMMENDATION

SECTION CC
SCALE 1:100

ACCESS HANDLE PART OF NEIGHBOURING LOT 2 D.P.215059

NEIGHBOURING PROPERTY No. 95

EXISTING FLAGGING STEPS TO BE RETAINED

EXISTING TREES TO BE RETAINED

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Project No.

Cherikoff

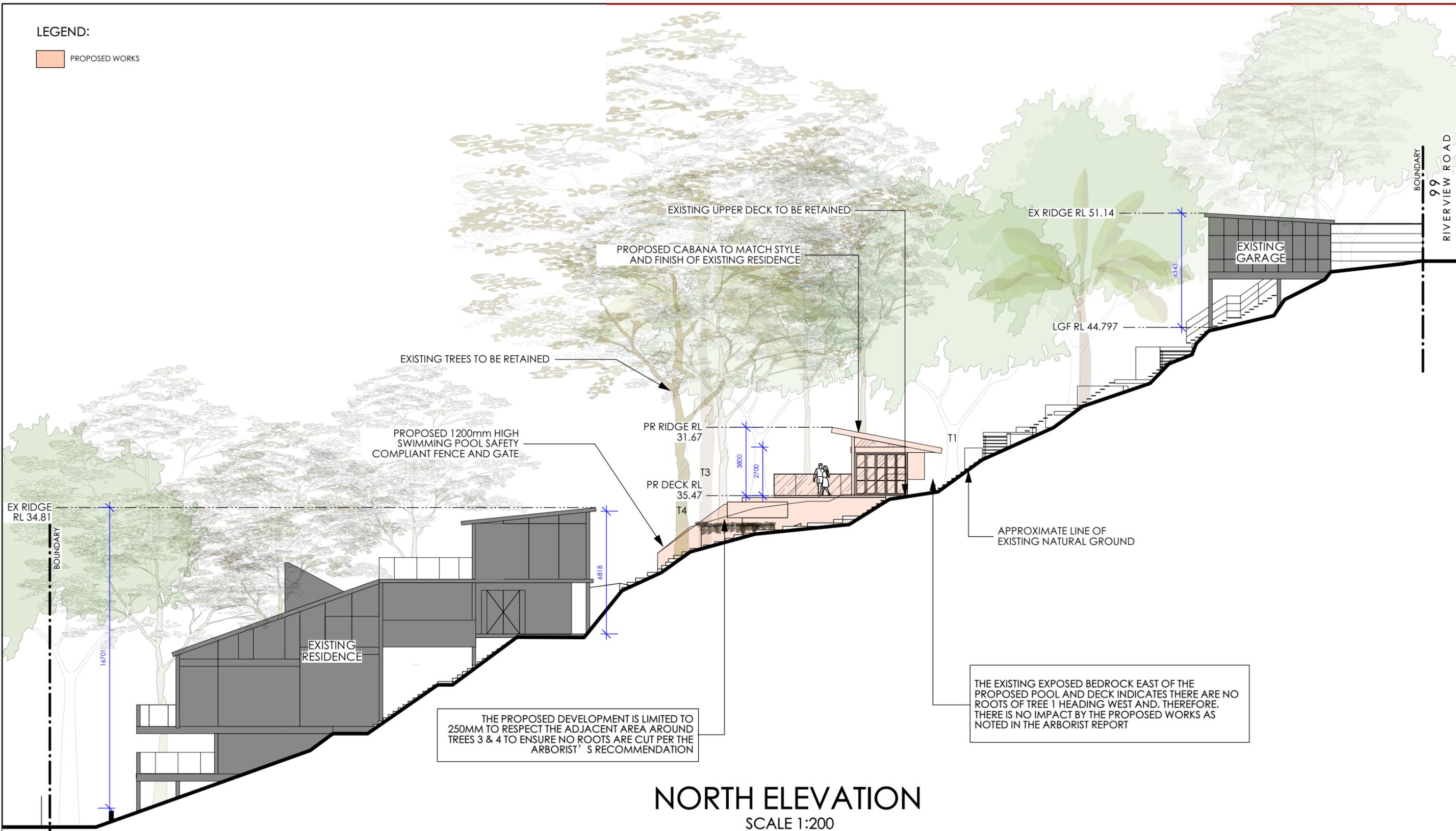
Drawing No. Rev #

L/06 A
OF 18

No.	Date	Revision	By
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LEGEND:

PROPOSED WORKS



NORTH ELEVATION
SCALE 1:200

THE EXISTING EXPOSED BEDROCK EAST OF THE PROPOSED POOL AND DECK INDICATES THERE ARE NO ROOTS OF TREE 1 HEADING WEST AND, THEREFORE, THERE IS NO IMPACT BY THE PROPOSED WORKS AS NOTED IN THE ARBORIST REPORT

THE PROPOSED DEVELOPMENT IS LIMITED TO 250MM TO RESPECT THE ADJACENT AREA AROUND TREES 3 & 4 TO ENSURE NO ROOTS ARE CUT PER THE ARBORIST'S RECOMMENDATION

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Drawing:
North Elevation
Address:
No. 99 Riverview Road, Avalon Beach NSW 2107
Project:
Cabana, Pool & Landscape Works
Client:
Vic & Clare Cherikoff

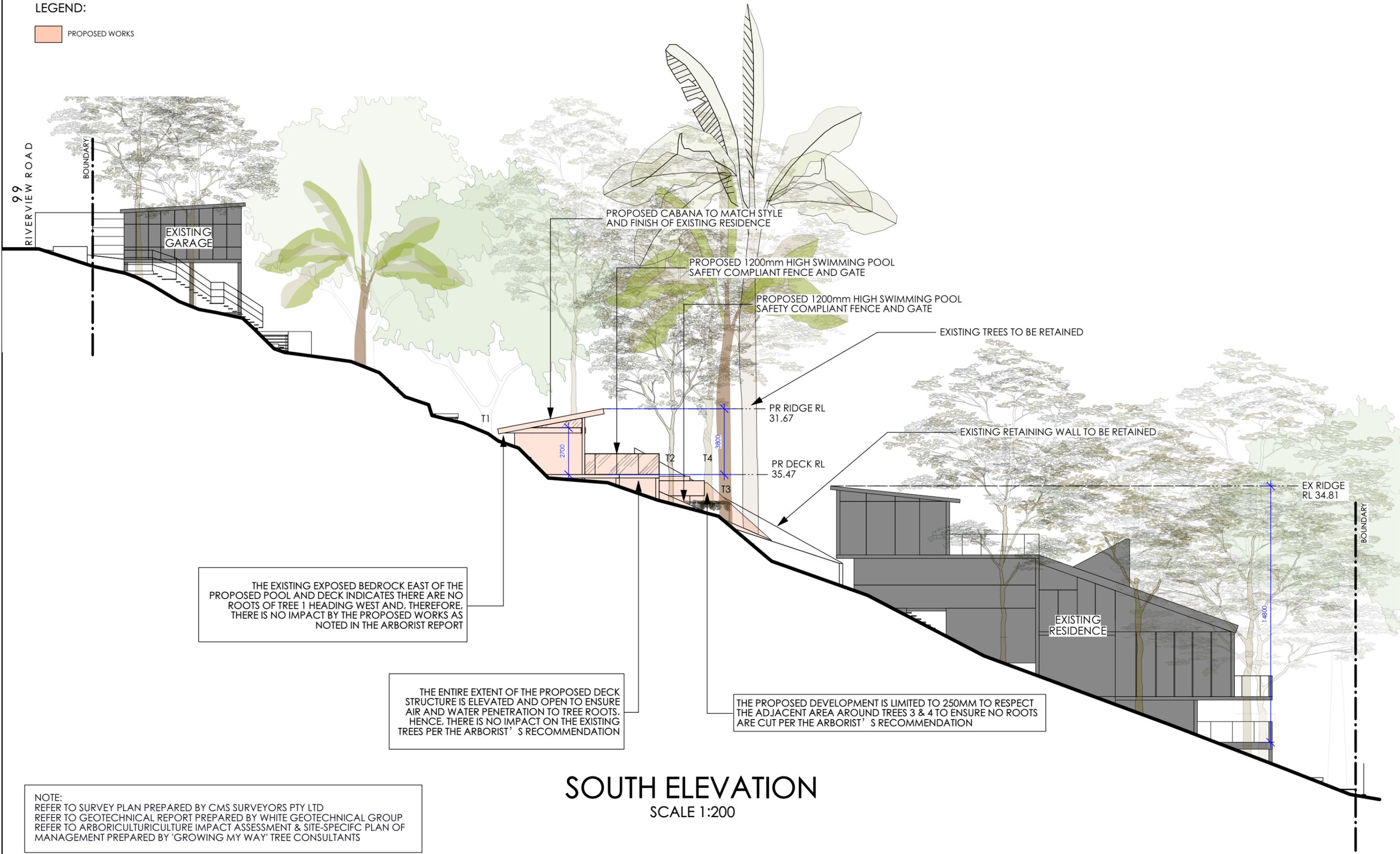
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Project No.
Cherikoff
Drawing No. Rev #
L/07 A
OF 18

LEGEND:

PROPOSED WORKS



SOUTH ELEVATION
SCALE 1:200

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Drawing:
South Elevation
Address:
No. 99 Riverview Road, Avalon Beach NSW 2107
Project:
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Client:
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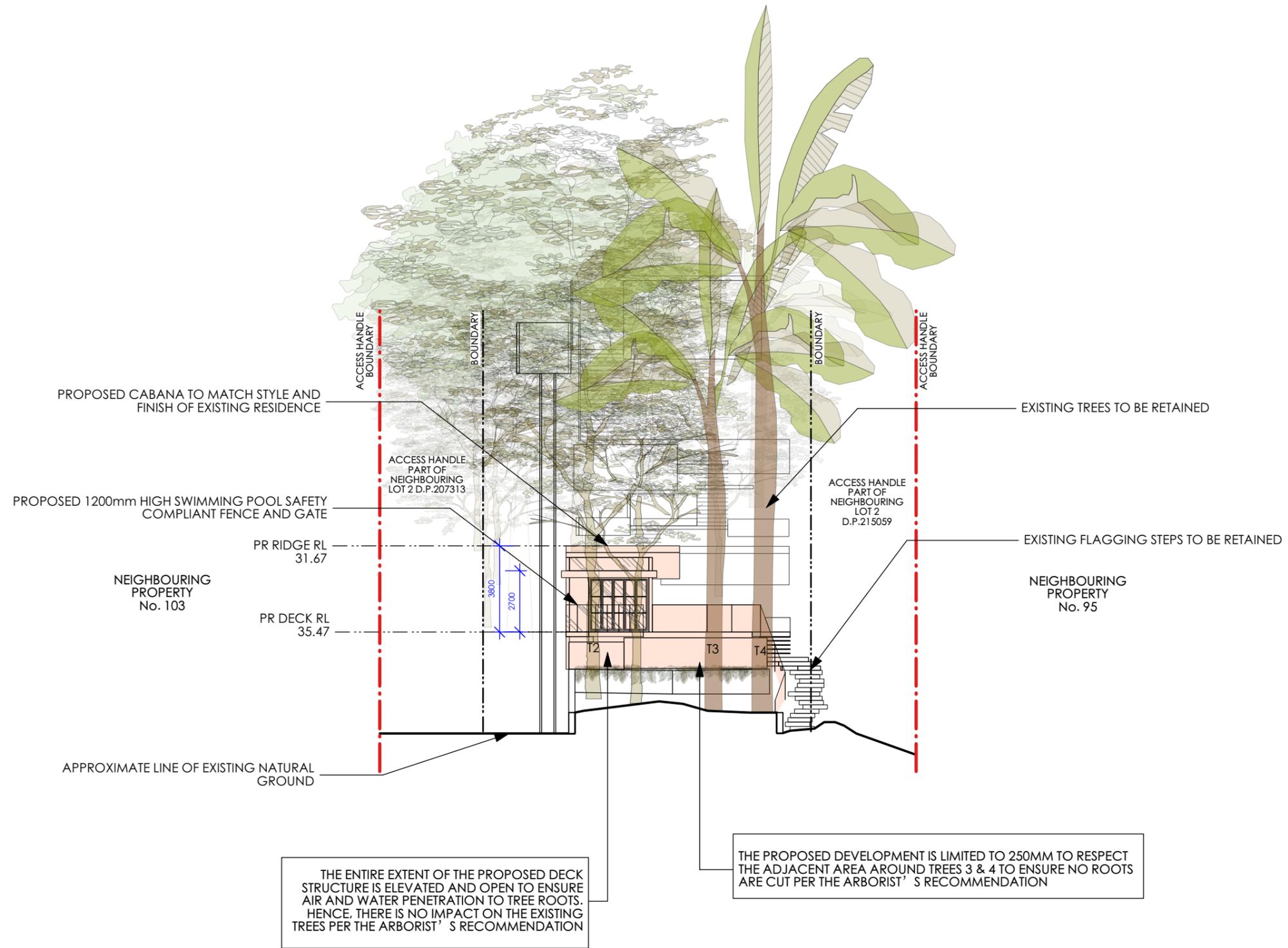
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Drawn By CV Dwg Date: 09.07.24
Checked By JRS Plot Date: 20/11/24
CAD File Name 241104_Cherikoff_D A.rvt

Project No.
Cherikoff
Drawing No. Rev #
L/08 A
OF 18

No.	Date	Revision	By
A	6/11/24	ISSUE FOR DA SUBMISSION	CV

LEGEND:

PROPOSED WORKS



WEST ELEVATION

SCALE 1:200

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Drawing:
West Elevation
 Address:
No. 99 Riverview Road, Avalon Beach NSW 2107
 Project:
Cabana, Pool & Landscape Works
 Client:
Vic & Clare Cherikoff

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L/09 A
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NOTE:
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Drawing:
3D Images
 Address:
 No. 99 Riverview Road, Avalon Beach NSW 2107
 Project:
 Cabana, Pool & Landscape Works
 Client:
 Vic & Clare Cherikoff

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 Drawn By CV Dwg Date: 09.07.24
 Checked By JRS Plot Date: 20/11/24
 CAD File Name 241106_Cherikoff_D A.rvt

Project No.
Cherikoff
 Drawing No. Rev #
L/10 A
OF 18

No.	Date	Revision	By
A	6/11/24	ISSUE FOR DA SUBMISSION	CV

LEGEND:

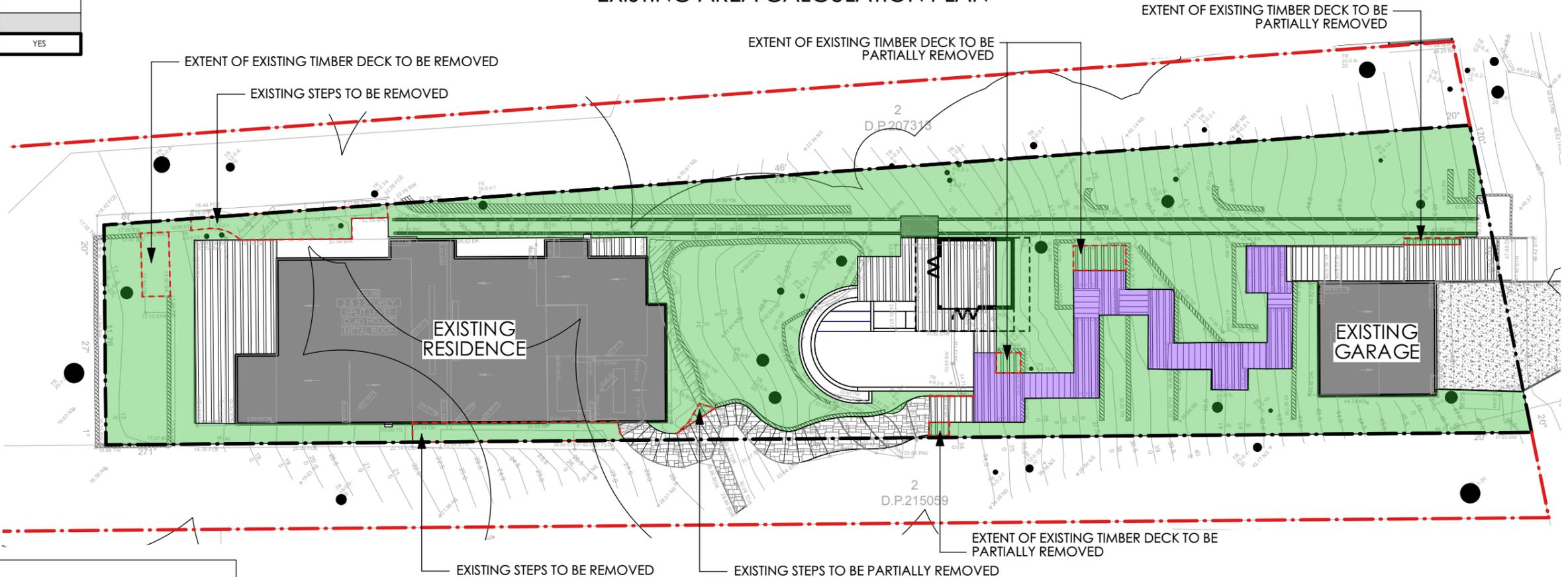
- EXISTING BUILDINGS
- LANDSCAPED AREAS
- PERVIOUS DECK AND STAIRS INCLUDED AS LANDSCAPED AREA
- NEIGHBOURING ACCESS HANDLE BOUNDARY
- EXISTING LEVELS (GREY)
- CADASTRAL BOUNDARY
- EXISTING STRUCTURES TO BE REMOVED

LANDSCAPED AREA TABLE:

SITE AREA = 1057m ²			
	AREA (%)	AREA (m ²)	COMPLIANCE
LANDSCAPED AREA			
MINIMUM LANDSCAPED AREA	60%	634.2 m ²	
EXISTING LANDSCAPED AREA	55.5%	586.6 m ²	
EXISTING PERVIOUS DECK	6%	63.42 m ²	
EXISTING TOTAL LANDSCAPED AREA	61.5%	650.02 m²	YES
PROPOSED LANDSCAPED AREA	54%	580.9 m ²	
PROPOSED PERVIOUS DECK	6%	63.42 m ²	
PROPOSED TOTAL LANDSCAPED AREA	61%	644.32 m²	YES



EXISTING AREA CALCULATION PLAN



PROPOSED AREA CALCULATION PLAN

NOTE:
 REFER TO SURVEY PLAN PREPARED BY CMS SURVEYORS PTY LTD
 REFER TO GEOTECHNICAL REPORT PREPARED BY WHITE GEOTECHNICAL GROUP
 REFER TO ARBORICULTURE IMPACT ASSESSMENT & SITE-SPECIFIC PLAN OF MANAGEMENT PREPARED BY 'GROWING MY WAY' TREE CONSULTANTS

- Notes:**
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 2. Do not scale from drawings.
 3. If in doubt contact Landscape Architect.
 4. This design is copyright and shall not be copied, utilised or reproduced in any way without prior written permission of **A Total Concept Landscape Architects**.
 5. This plan has been prepared for DA purposes only.
 6. All Building Works shall be installed to Structural Engineers detail.

NOTE:
 - ALL DIMENSIONS ARE NOMINAL

Drawing:
Area Calculations Plan
 Address:
 No. 99 Riverview Road, Avalon Beach NSW 2107
 Project:
 Cabana, Pool & Landscape Works
 Client:
 Vic & Clare Cherikoff

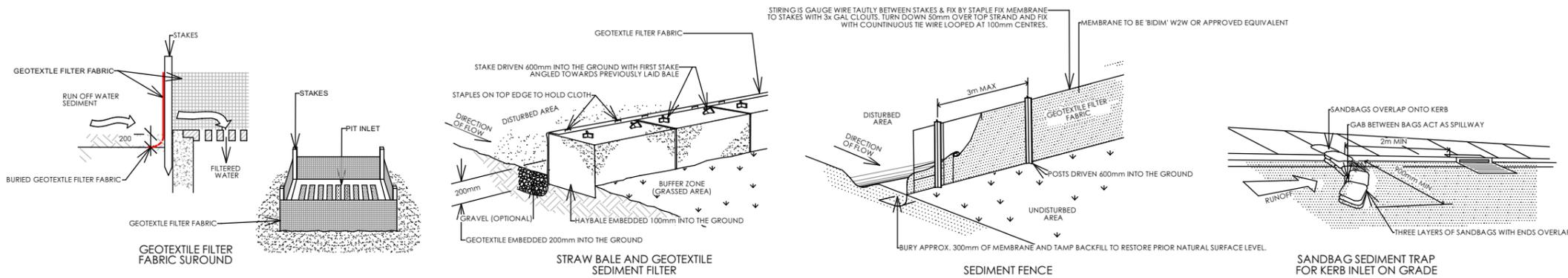
A Total Concept Landscape Architects & Swimming Pool Designers
 65 West Street, North Sydney NSW 2060
 T: (02) 9957 5122 E: design@atotalconcept.com.au
 www.atotalconcept.com.au

Status
 SCALE - 1:250 @ A3
 Drawn By: JER
 Checked By: JRS
 CAD File Name: 241104_Cherikoff_D
 Dwg Date: 25.03.24
 Plot Date: 20/11/24

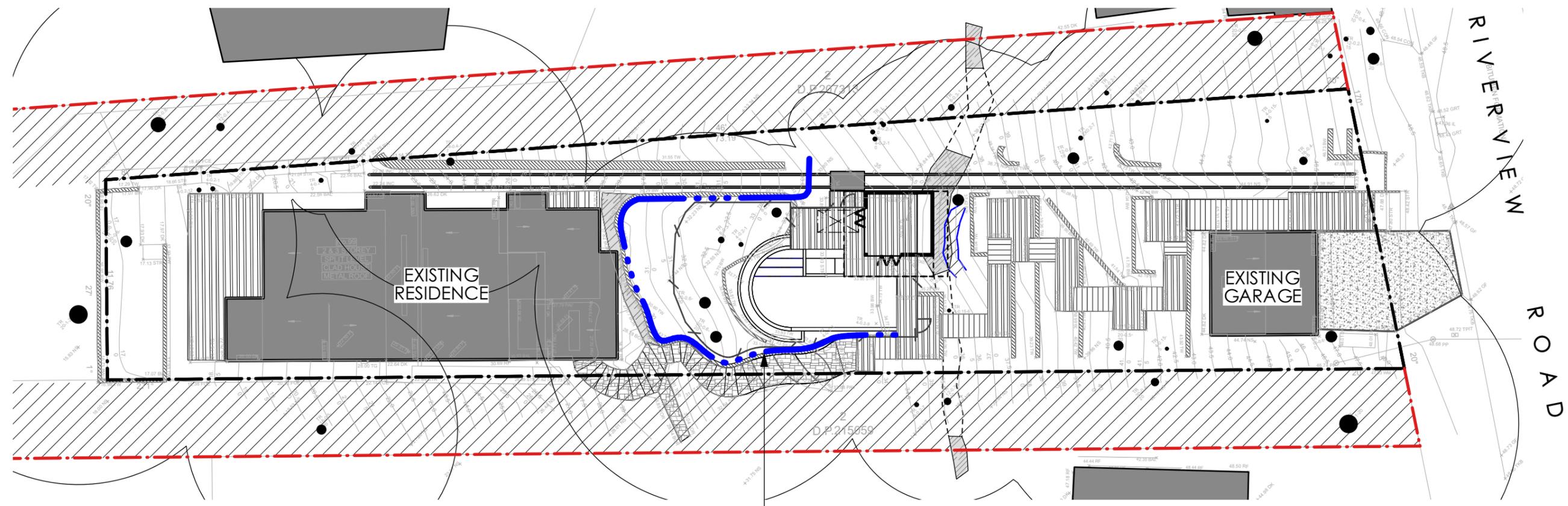


Project No.
Cherikoff
 Drawing No. Rev #
L/12 A
 OF 18

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- GENERAL NOTES:**
1. ALL WORK SHALL BE GENERALLY CARRIED OUT IN ACCORDANCE WITH:
 - A. LOCAL AUTHORITY REQUIREMENTS
 - B. EPA REQUIREMENTS
 - C. NSW DEPARTMENT OF HOUSING MANUAL
 2. MAINTAIN THE EROSION CONTROL DEVICES TO THE SATISFACTION OF THE SUPERINTENDENT AND THE LOCAL AUTHORITY.
 3. WHEN STORMWATER PITS ARE CONSTRUCTED, PREVENT SITE RUNOFF ENTERING UNLESS SILT FENCES ARE ERECTED AROUND PITS.
 4. CONTRACTOR IS TO ENSURE ALL EROSION & SEDIMENTATION CONTROL DEVICES ARE MAINTAINED IN GOOD WORKING ORDER AND OPERATE EFFECTIVELY. REPAIRS AND/OR MAINTENANCE SHALL BE UNDERTAKEN AS REQUIRED, PARTICULARLY FOLLOWING STORM EVENTS.
 5. CLEAN BEHIND FENCE EACH MAJOR STORM OR OTHERWISE AS DIRECTED AND REMOVE ALL SILT FROM THE SITE.
 6. SILT FENCE IS TO BE INSTALLED & APPROVED BY COUNCIL'S SUPERVISING ENGINEERS BEFORE OVERBURDEN IS REMOVED. THIS FENCE MAY REQUIRE REPLACEMENT AT TIMES IF LOCATED WITHIN OR NEARBY CONSTRUCTION ZONES.
 6. 'BIDIM' W2W IS SUPPLIED BY GEOFABRICS AUST. P/L



- LEGEND:**
- EXISTING FLAGGING STEPS TO BE RETAINED
 - EXISTING ROCK OUTCROP TO BE RETAINED (APPROXIMATE LOCATION)
 - PROPOSED 1200mm HIGH SWIMMING POOL SAFETY FENCE/BALUSTRADE
 - EXTENT OF EXISTING EXPOSED BEDROCK TO BE RETAINED (APPROXIMATE LOCATION)
 - CADASTRAL BOUNDARY
 - EXISTING TIMBER DECK TO BE RETAINED
 - STEPS
 - EXISTING TIMBER STAIRS TO BE RETAINED
 - EXISTING RETAINING WALL TO BE RETAINED AND ASJUSTED AS REQUIRED
 - NEIGHBOURING ACCESS HANDLE AREA & BOUNDARY
 - PROPOSED SEDIMENTATION FENCING

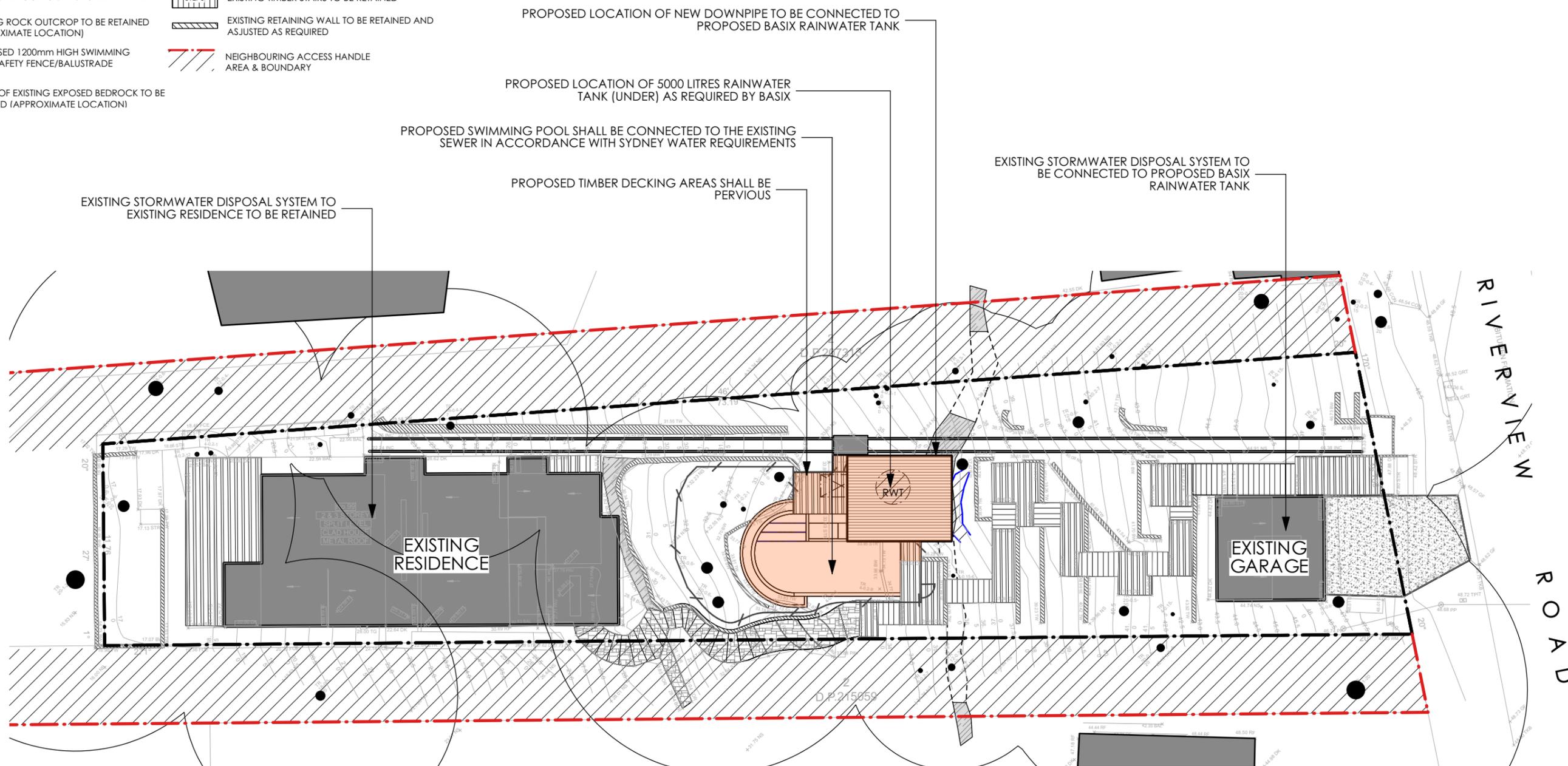
APPROXIMATE LOCATION OF SEDIMENTATION FENCING OR ALTERNATIVE MITIGATION MEASURE (AS INDICATED ABOVE) INSTALLED DURING CONSTRUCTION (SHOWN DASHED BLUE)

NOTE:
 REFER TO SURVEY PLAN PREPARED BY CMS SURVEYORS PTY LTD
 REFER TO GEOTECHNICAL REPORT PREPARED BY WHITE GEOTECHNICAL GROUP
 REFER TO ARBORICULTURE IMPACT ASSESSMENT & SITE-SPECIFIC PLAN OF MANAGEMENT PREPARED BY 'GROWING MY WAY' TREE CONSULTANTS

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No.	Date	Revision	By	Drawing Date: 25.03.24 Plot Date: 20/11/24 CAD File Name: 241104_Cherikoff_D A.vrx			

LEGEND:

-  PROPOSED WORKS
-  EXISTING FLAGGING STEPS TO BE RETAINED
-  EXISTING ROCK OUTCROP TO BE RETAINED (APPROXIMATE LOCATION)
-  PROPOSED 1200mm HIGH SWIMMING POOL SAFETY FENCE/BALUSTRADE
-  EXTENT OF EXISTING EXPOSED BEDROCK TO BE RETAINED (APPROXIMATE LOCATION)
-  CADASTRAL BOUNDARY
-  EXISTING TIMBER DECK TO BE RETAINED
-  EXISTING TIMBER STAIRS TO BE RETAINED
-  EXISTING RETAINING WALL TO BE RETAINED AND ASJUSTED AS REQUIRED
-  NEIGHBOURING ACCESS HANDLE AREA & BOUNDARY



NOTE:
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No.	Date	Revision	By
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NOTE:
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Drawing:
Stormwater Concept Plan
 Address:
 No. 99 Riverview Road, Avalon Beach NSW 2107
 Project:
 Cabana, Pool & Landscape Works
 Client:
 Vic & Clare Cherikoff

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Status

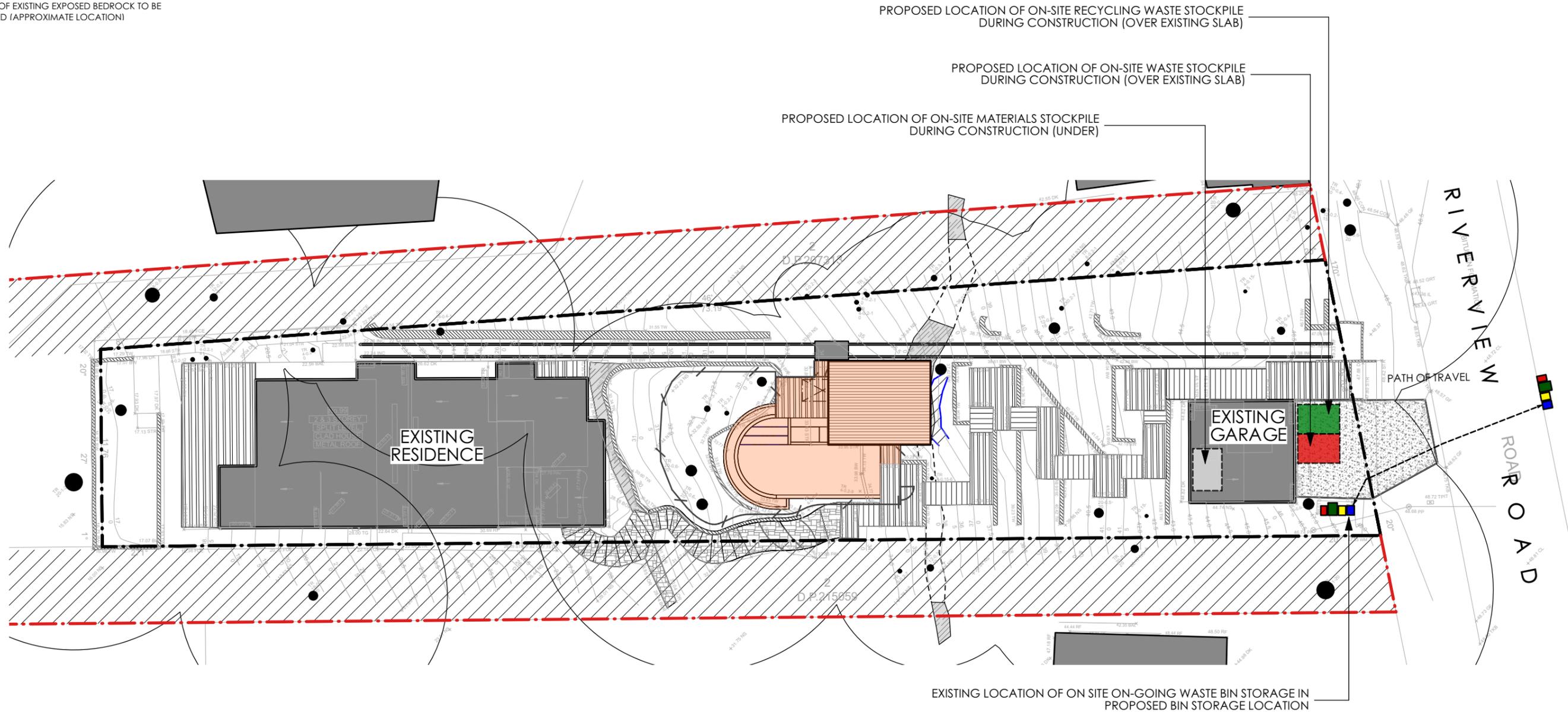
SCALE - 1:250 @ A3

Drawn By: JER Dwg Date: 25.03.24
 Checked By: JRS Plot Date: 20/11/24
 CAD File Name: 241104_Cherikoff_D A.rvt

Project No.
Cherikoff
 Drawing No. Rev #
L/14 A
 OF 18

LEGEND:

-  PROPOSED WORKS
-  EXISTING FLAGGING STEPS TO BE RETAINED
-  EXISTING ROCK OUTCROP TO BE RETAINED (APPROXIMATE LOCATION)
-  PROPOSED 1200mm HIGH SWIMMING POOL SAFETY FENCE/BALUSTRADE
-  EXTENT OF EXISTING EXPOSED BEDROCK TO BE RETAINED (APPROXIMATE LOCATION)
-  CADASTRAL BOUNDARY
-  EXISTING TIMBER DECK TO BE RETAINED
-  EXISTING TIMBER STAIRS TO BE RETAINED
-  EXISTING RETAINING WALL TO BE RETAINED AND AS JUSTIFIED AS REQUIRED
-  NEIGHBOURING ACCESS HANDLE AREA & BOUNDARY



NOTE:
 REFER TO SURVEY PLAN PREPARED BY CMS SURVEYORS PTY LTD
 REFER TO GEOTECHNICAL REPORT PREPARED BY WHITE GEOTECHNICAL GROUP
 REFER TO ARBORICULTURE IMPACT ASSESSMENT & SITE-SPECIFIC PLAN OF MANAGEMENT PREPARED BY 'GROWING MY WAY' TREE CONSULTANTS

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Drawing:
Waste Management Site Plan

Address:
No. 99 Riverview Road, Avalon Beach NSW 2107

Project:
Cabana, Pool & Landscape Works

Client:
Vic & Clare Cherikoff

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Status

SCALE - 1:250 @ A3

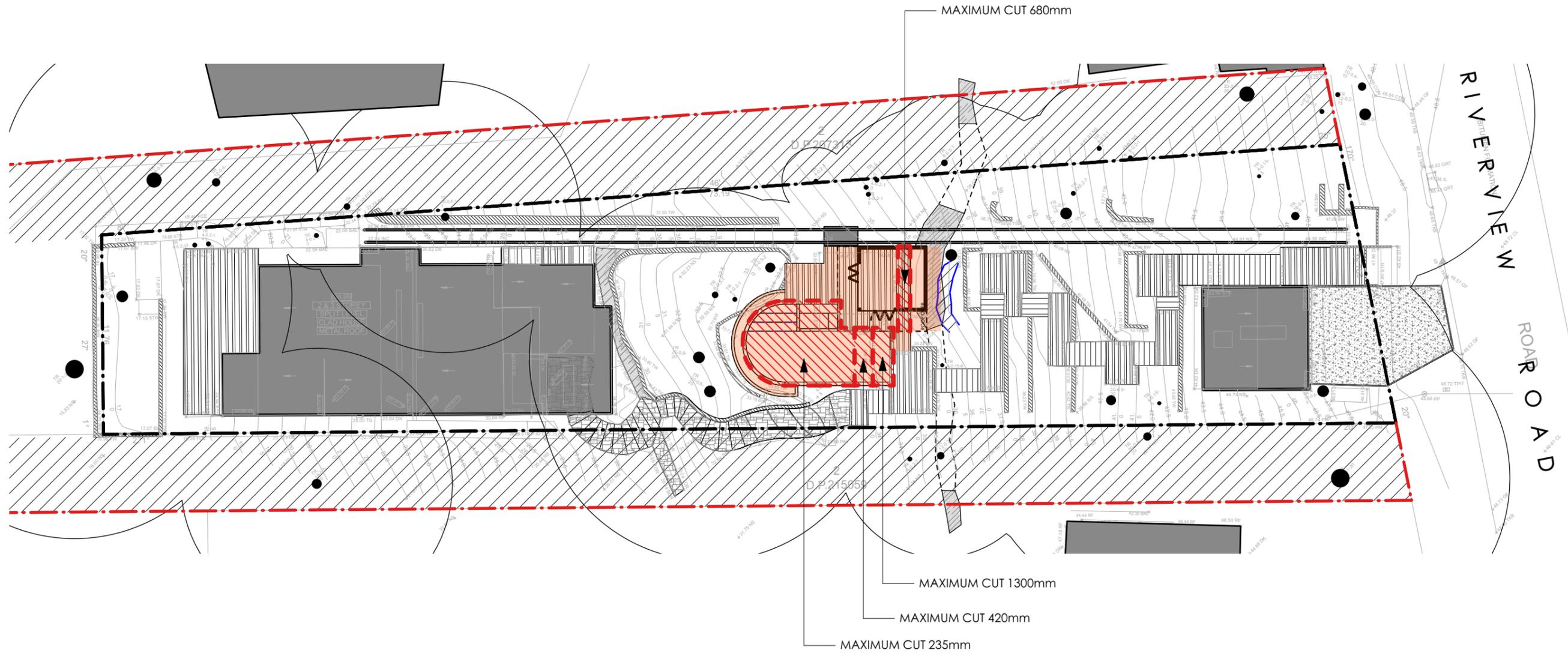
Drawn By: ER Dwg Date: 25.03.24
 Checked By: JRS Plot Date: 20/11/24
 CAD File Name: 241104_Cherikoff_D A.vrx

Project No.
Cherikoff

Drawing No. Rev #
L/15 A
OF 18

LEGEND:

-  PROPOSED WORKS
-  EXISTING FLAGGING STEPS TO BE RETAINED
-  EXISTING ROCK OUTCROP TO BE RETAINED (APPROXIMATE LOCATION)
-  PROPOSED 1200mm HIGH SWIMMING POOL SAFETY FENCE/BALUSTRADE
-  EXTENT OF EXISTING EXPOSED BEDROCK TO BE RETAINED (APPROXIMATE LOCATION)
-  CADASTRAL BOUNDARY
-  EXISTING TIMBER DECK TO BE RETAINED
-  EXISTING TIMBER STAIRS TO BE RETAINED
-  EXISTING RETAINING WALL TO BE RETAINED AND ASJUSTED AS REQUIRED
-  PROPOSED CUT



NOTE:
 REFER TO SURVEY PLAN PREPARED BY CMS SURVEYORS PTY LTD
 REFER TO GEOTECHNICAL REPORT PREPARED BY WHITE GEOTECHNICAL GROUP
 REFER TO ARBORICULTURE IMPACT ASSESSMENT & SITE-SPECIFIC PLAN OF MANAGEMENT PREPARED BY 'GROWING MY WAY' TREE CONSULTANTS

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A	6/11/24	ISSUE FOR DA SUBMISSION	CV

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**NOTE:
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Drawing:
Cut/Fill Plan

Address:
No. 99 Riverview Road, Avalon Beach NSW 2107

Project:
Cabana, Pool & Landscape Works

Client:
Vic & Clare Cherikoff

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SCALE - 1:250 @ A3

Drawn By: JER
 Checked By: JRS
 CAD File Name: 241104_Cherikoff_D A.rvt

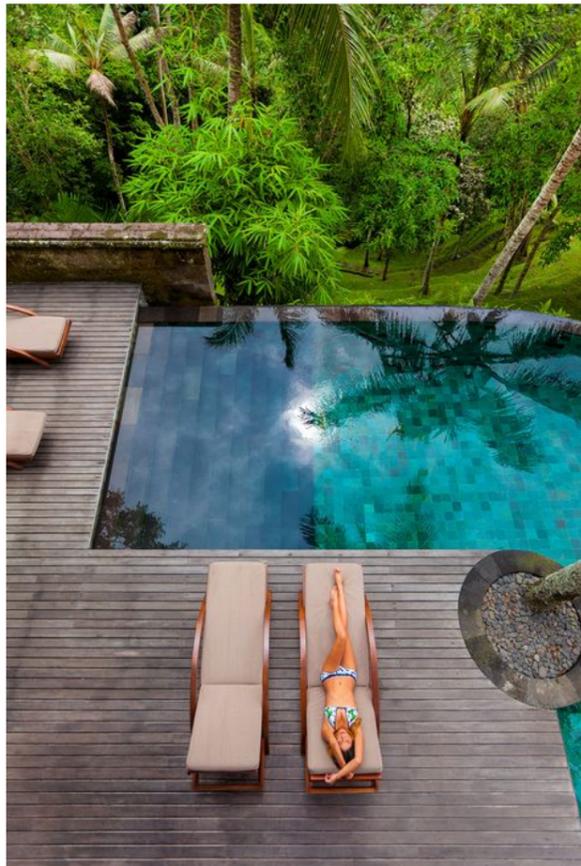
Dwg Date: 25.03.24
 Plot Date: 20/11/24

Project No.

Cherikoff

Drawing No. Rev #

L/16 A
OF 18



CONCERTINA DOORS

PROPOSED CABANA WITH CONCERTINA DOORS TO MATCH STYLE AND FINISH OF EXISTING RESIDENCE



EXISTING HOUSE

PROPOSED SWIMMING POOL AND INTEGRATED SPA

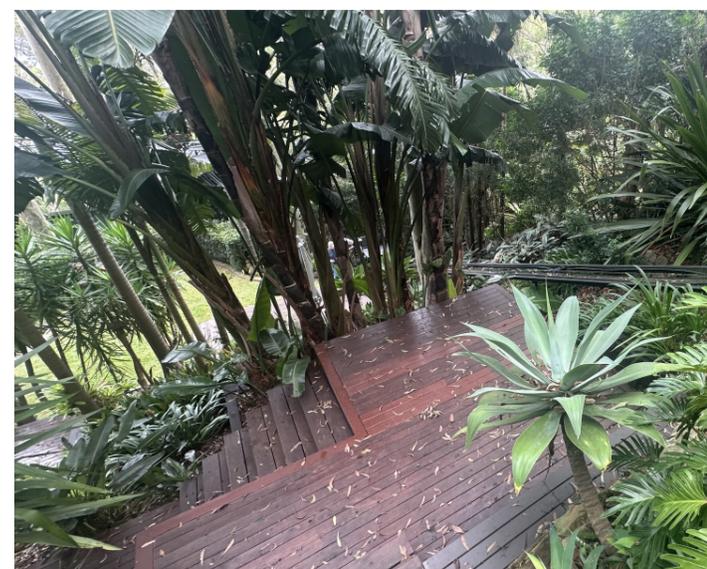


DARK COLOUR

PROPOSED POOL, WET EDGE AND BALANCE TANK WALL TO BE RENDERED IN DARK COLOUR TO MATCH EXISTING RESIDENCE



PROPOSED 1200mm HIGH BLACK ALUMINIUM SWIMMING POOL SAFETY FENCE/BALUSTRADE



PROPOSED TIMBER DECK TO MATCH EXISTING TIMBER DECK



PROPOSED HOB RETAINING WALL TO MATCH EXISTING STONE RETAINING WALLS

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Drawing:

Colours & Materials Schedule

Address:
No. 99 Riverview Road, Avalon Beach NSW 2107

Project:
Cabana, Pool & Landscape Works

Client:
Vic & Clare Cherikoff

A Total Concept Landscape Architects & Swimming Pool Designers

65 West Street, North Sydney NSW 2060
T: (02) 9957 5122 E: design@atotalconcept.com.au
www.atotalconcept.com.au



Status

SCALE - NTS @ A3

Drawn By: JRS Dwg Date: 25.03.24
Checked By: JRS Plot Date: 20/11/24
CAD File Name: 241106_Cherikoff_D A.rvt

Project No.

Cherikoff

Drawing No. Rev #

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No.	Date	Revision	By
A	6/11/24	ISSUE FOR DA SUBMISSION	CV

Alterations and Additions

Certificate number: A1771854

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Wednesday, 06 November 2024
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project address	
Project name	Pool and Landscape Works
Street address	99 RIVERVIEW Road AVALON BEACH 2107
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan DP207313
Lot number	1
Section number	-
Project type	
Dwelling type	Dwelling house (detached)
Type of alteration and addition	The estimated development cost for my renovation work is \$50,000 or more, and includes a pool (and/or spa).
N/A	N/A
Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name:	Storwall Pty Ltd
ABN (if applicable):	

Pool and Spa	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Rainwater tank			
The applicant must install a rainwater tank of at least 4462.5 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rainwater runoff from at least 64 square metres of roof area.		✓	✓
The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool and outdoor spa.		✓	✓
Outdoor swimming pool			
The swimming pool must be outdoors.	✓	✓	✓
The swimming pool must not have a capacity greater than 41.31 kilolitres.	✓	✓	✓
The swimming pool must have a pool cover.		✓	✓
The applicant must install a pool pump timer for the swimming pool.		✓	✓
The applicant must install the following heating system for the swimming pool that is part of this development: gas.		✓	✓
Outdoor spa			
The spa must not have a capacity greater than 4.6 kilolitres.	✓	✓	✓
The spa must have a spa cover.		✓	✓

Legend	
In these commitments, "applicant" means the person carrying out the development.	
Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).	
Commitments identified with a ✓ in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.	
Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.	

Pool and Spa	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
The applicant must install a spa pump timer.		✓	✓
The applicant must install the following heating system for the outdoor spa that is part of this development: gas.		✓	✓

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓

No.	Date	Revision	By
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6. All Building Works shall be installed to Structural Engineers detail

Drawing:
BASIX Commitments
Address:
No. 99 Riverview Road, Avalon Beach NSW 2107
Project:
Cabana, Pool & Landscape Works
Client:
Vic & Clare Cherikoff

A Total Concept Landscape Architects & Swimming Pool Designers
65 West Street, North Sydney NSW 2060
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Status
SCALE - NTS @ A3
Drawn By: JER
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CAD File Name: 241106_Cherikoff_D
Dwg Date: 25.03.24
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Project No.
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