

**Statement of Environmental Effects [SEE]
Unit 1, 48a Queenscliff Road, Queenscliff
for Margaret and Stephen Stanton**

Scope of Changes

This S4.55(2) Application (formerly S96.2) seeks Council approval to modify DA Consent DA2018/0823 issued by Council on 02 October 2018. This consent was based on architectural drawings prepared by Day Bukh Architects.

This application requests minor modifications to the following two categories of work:

1. *Internal modifications:* relocation of the shower, ensuite, WIR, laundry as well as modifications to the general bedroom layout. We also propose to install a structural steel support beam in lieu of a previously approved blade wall.

Why are we proposing these changes? One major reason for the changes is that we need the shower and ensuite waste water to be efficiently connected to the existing sewer system. The approved DA has a shower located in the south-east corner of the main bedroom. Problem - there is no sewer service near this location. Providing sewer service to this location is impractical, if not impossible (the owner does not own the space below their unit). Accordingly, when we undertook a detailed study of the existing building services, the opportunity to tap into the existing sewer lines dramatically narrowed our possible location of the various plumbing fixtures including the shower. The internal modifications proposed in this S4.55(2) simply respond to the reality of the building services.

2. *External modifications:*

2a. We propose to change the alignment of the external glazed door providing access from Bedroom 1 to the external Balcony (shown on the attached drawing S4.55-01 as nD01.1). As a result, approx 2.9m² will be added as internal space to the apartment. Accordingly, 2.9m² will be lost from the Balcony. It is the author's view that this minor additional floor space will not be perceived from any external viewing point.

The reason that we are proposing this change is that a straight external wall/door will provide a far greater sense of space and design clarity to Bedroom 1. It is simply a better design outcome (especially when the shower has been moved due to the plumbing issues).

Furthermore, we believe that by moving the shower from its DA location, a benefit will be experienced by neighbours who may not want to see the owners enjoying their morning shower. The proposed design provides no potential 'unfortunate' viewing incidents by neighbours of the Unit 1 owners. By 'neighbours' we mean other people in the apartment block, neighbours to the apartment block, as well as the public who enjoy Queenscliff beach.

2b. as a result of the proposed change to door nD01.1, we further propose to alter door nD01.2. We propose that nD01.2 visually match the existing door it replaces, albeit being approx 570mm narrower.

Effect of Proposed Changes

PrestonPeterson is of the view that the changes proposed in this S4.55(2) application have no environmental effect over the effects already considered reasonable by way of Council's approval of DA2018/0823. In short:

- there will be no additional shadows cast over neighbours
- there will be no further overlooking of neighbours or the loss of any privacy for neighbours
- there is no increase in the bulk or scale of the proposed works
- there will be no additional natural resources used in the works
- there will be no additional negative effects on any flora or fauna
- there will be no negative effects on neighbours

We do see that there will be some minor positive effects of the proposed changes:

- a more resolved design outcome for the owners of Unit 1 (less chance of further changes in future)
- shower not exposed causing privacy issues for neighbours viewing at Unit 1
- ease of execution (utilising existing building services) means less waste during building
- ease of execution (utilising existing building services) means less interruption to neighbours

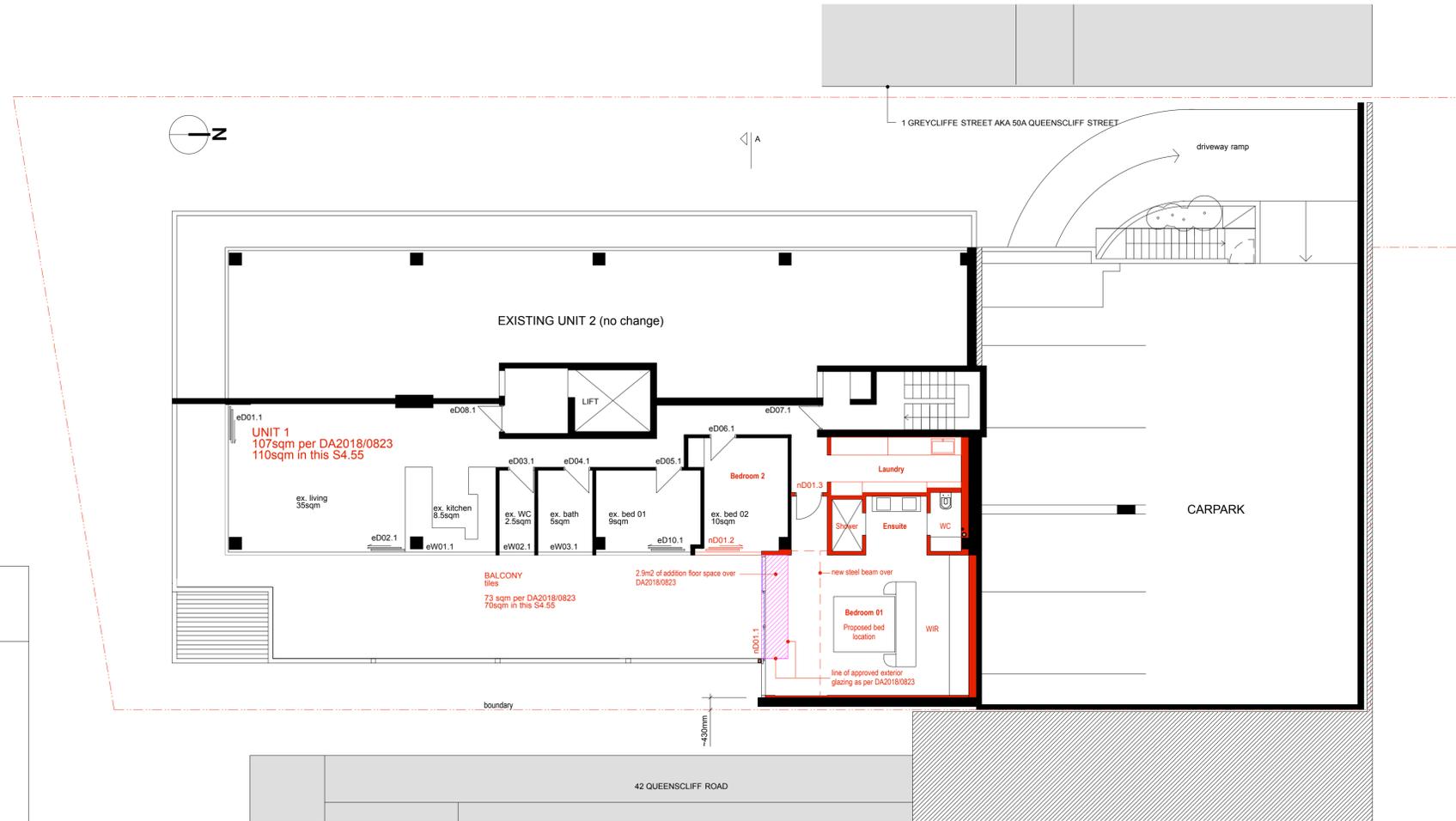
Summary

The applicant believes that the proposed changes contained in this S4.55(2) resolve a number of practical considerations that may not have been evident when preparing the DA. We would not expect the DA to have fully considered the practicalities of existing sewer lines etc when forming the 'blue sky' of design possibilities. Whilst undertaking the detailed design of Unit 1, we have been forced to conform with in-situ realities.

Whilst conceiving the revised design, the applicant has considered the effects of the changes on the neighbours, the valuable natural environment and the general public. Of course no action is without reaction. Every cause dances with effect. However, we believe that we have considered the effects and sought to minimise these effects.

We request that Council support the amendments shown in the attached documents.

Authors for PrestonPeterson
Jacinta Preston - Designer
Jonathon Peterson - Architect NSW Registration # 4776



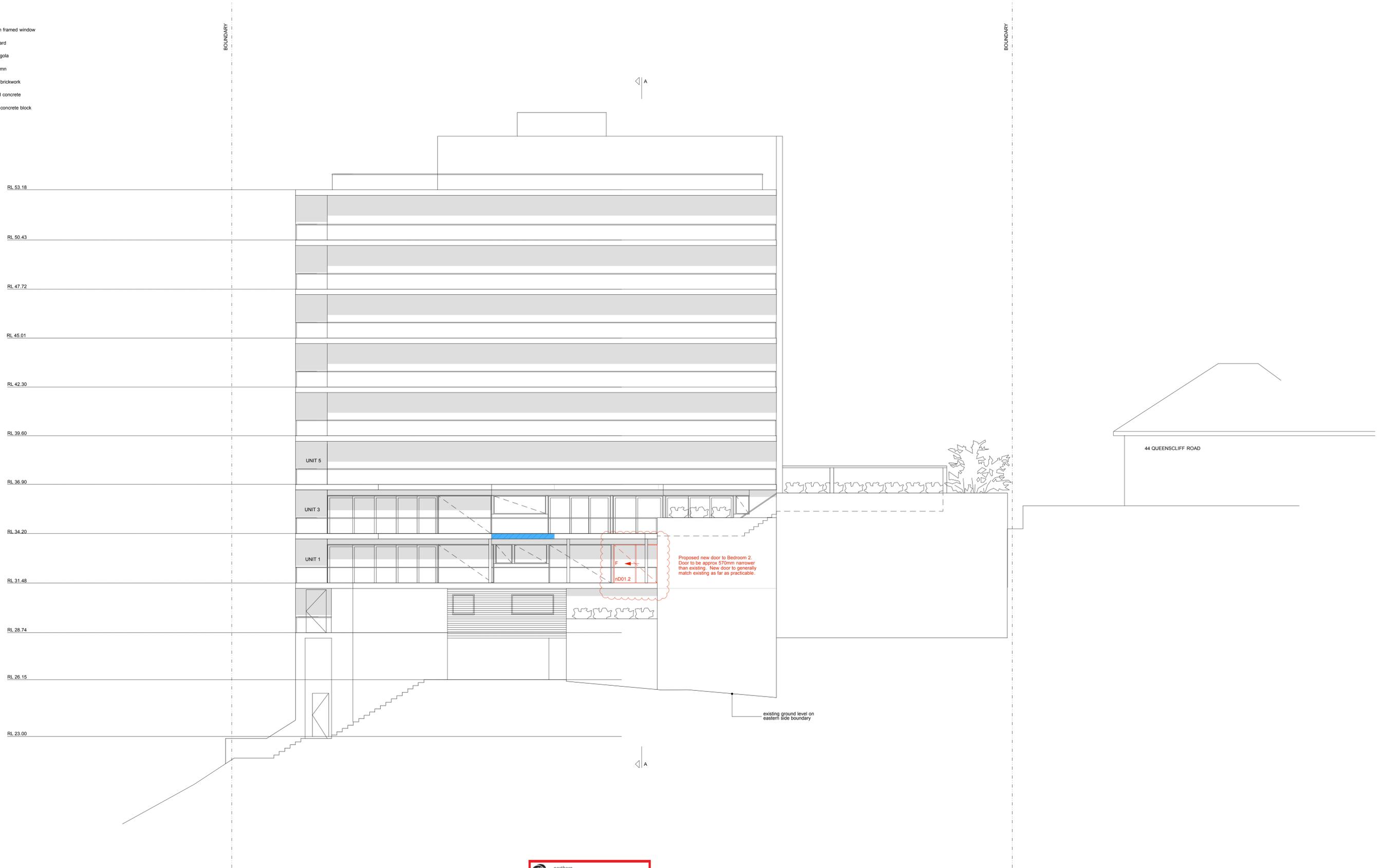
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THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

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- afg aluminium framed window
- pb plasterboard
- per metal pergola
- sc steel column
- rbr rendered brickwork
- rc reinforced concrete
- rcb rendered concrete block





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These drawings have been based on the DA Drawings prepared by Day Bukh Architect. The CAD files were kindly supplied by Architect Matt Day specifically for the purpose of preparing this Section 4.55 Application. We acknowledge and thank Day Bukh Architects for their assistance.



PrestonPeterson
 STUDIO 4, 104 VICTORIA AVE, CHATSWOOD, 2067
 e-mail: hello@prestonpeterson.com.au
 ph: 0422 863 913
 registered architect: Jonathon Peterson no. 5776

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Project:	48a Queenscliff Road, Queenscliff
Client:	Margaret & Stephen Stanton
Job no.:	STAN01

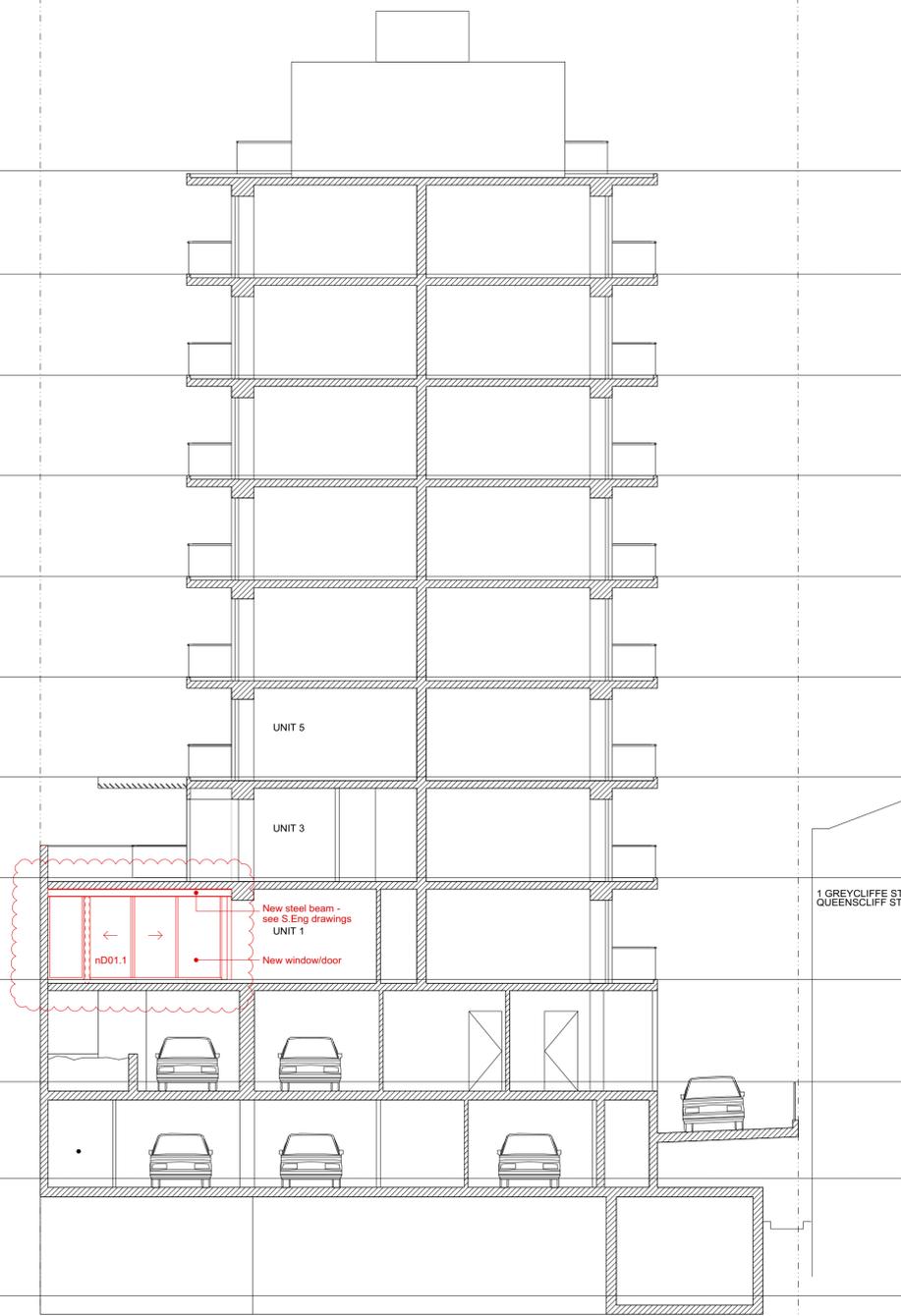
drawing:	Proposed South-East Elevation
drawn by:	JDP
checked by:	JLP

S4.55(2) 300.01
 scale: 1 : 100 @ A1 Date: 07.08.2019

afg aluminium framed window
 pb plasterboard
 per metal pergola
 sc steel column
 rbr rendered brickwork
 rc reinforced concrete
 rcb rendered concrete block

RL 53.18
 RL 50.43
 RL 47.72
 RL 45.01
 RL 42.30
 RL 39.60
 RL 36.90
 RL 34.20
 RL 31.48
 RL 28.74
 RL 26.15
 RL 23.00

42 QUEENSLIFF ROAD



PROPOSED SECTION A-A

1 GREYCLIFFE STREET AKA 50A QUEENSLIFF STREET

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PrestonPeterson
 STUDIO 4, 104 VICTORIA AVE, CHATSWOOD, 2067
 email: hello@prestonpeterson.com.au
 ph: 0402 063 913
 registered architect: Jonathon Peterson no. 5776

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Project: 48a Queenscliff Road, Queenscliff
 Client: Margaret & Stephen Stanton
 Job no.: STAN01

drawing: Proposed Section A-A & South-West Elevation
 drawn by: JDP checked by: JLP

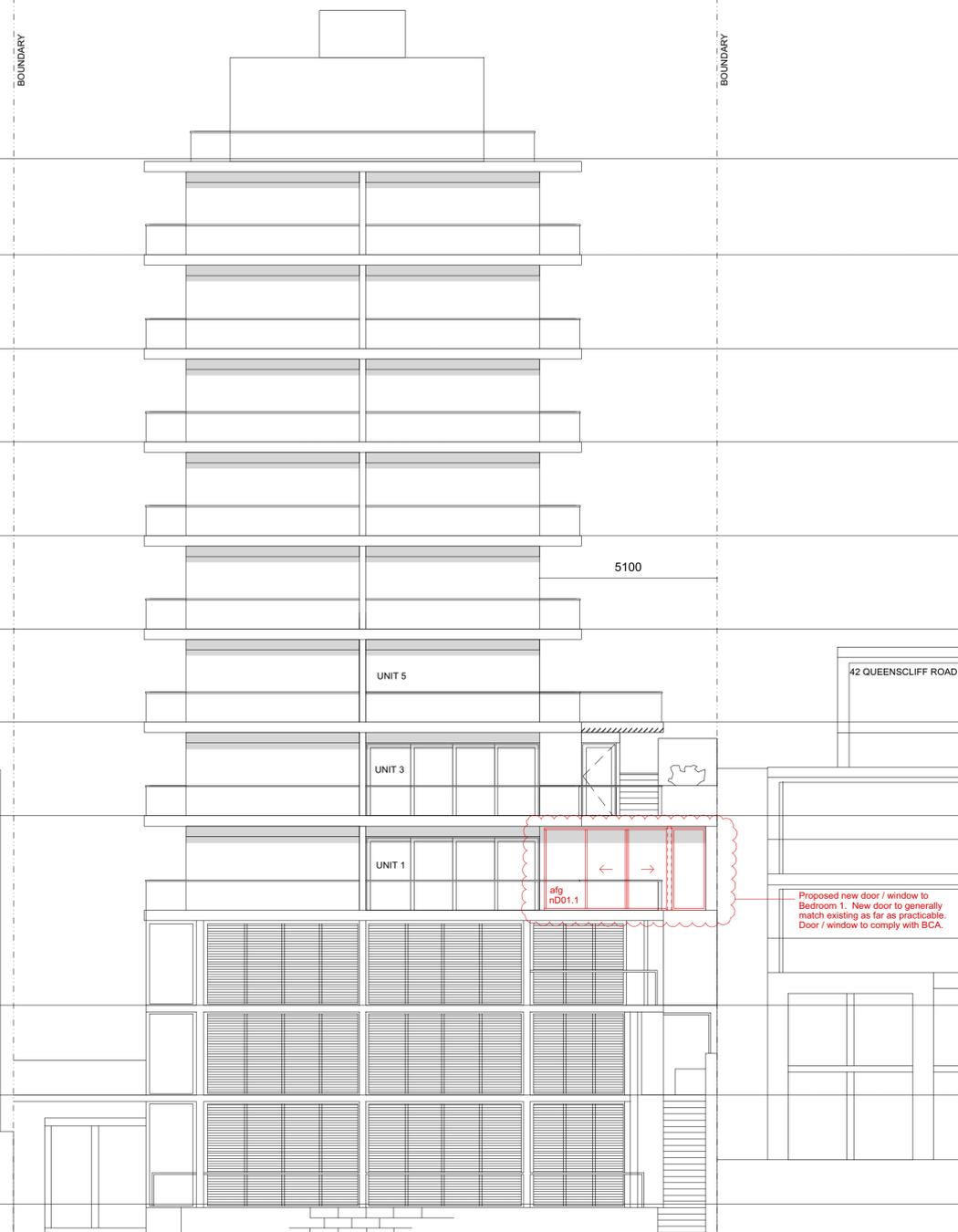
S4.55(2) **400.01**
 scale: 1: 100 @ A1 Date: 07.08.2019

RL 53.18
 RL 50.43
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 RL 42.30
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 RL 23.00

1 GREYCLIFFE STREET AKA 50A QUEENSLIFF STREET

1A GREYCLIFFE STREET

BOUNDARY

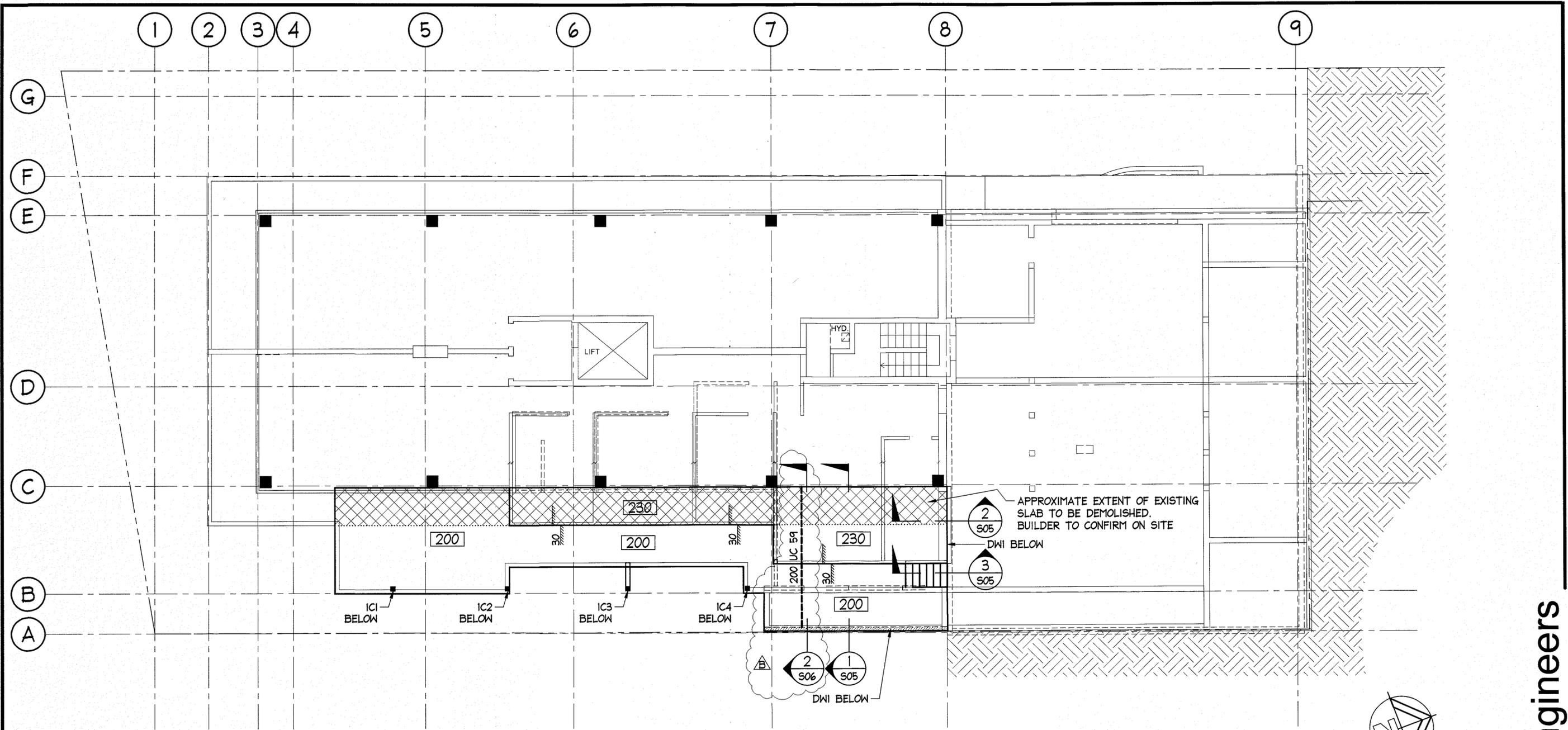


PROPOSED SOUTH-WEST ELEVATION

PHOTOGRAPH SHOWING LOCATION WHERE NEW DOOR IS PROPOSED



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UNIT 3 - SLAB PLAN

SCALE = 1 : 100

NOTES:

1. FINISHES, FLASHING AND WATERPROOF MEMBRANES AS PER ARCHITECTS DETAILS
2. FINISHED FLOOR LEVELS (FFL) AND THICKNESS OF FLOOR FINISH TO BE CONFIRMED WITH ARCHITECT.
3. ANY REINFORCED CONCRETE SLAB THAT IS DESIGNED IN ACCORDANCE WITH AUSTRALIAN STANDARDS IS SUSCEPTIBLE TO SHRINKAGE CRACKING DUE TO THE NATURE OF THE HYDRATION PROCESS INVOLVED IN CURING. A CERTAIN LEVEL OF CRACKING IS THEREFORE CONSIDERED ACCEPTABLE IN THE STANDARDS. CONSEQUENTLY IF A CRACK FREE SURFACE IS NECESSARY THEN A PROPRIETARY TOPPING SYSTEM SHOULD BE CONSIDERED.
4. CAST IN-SITU SLABS TO BE POLISHED:
ALLOW ADDITIONAL THICKNESS IN SLAB AND EXTRA COVER TO REINFORCEMENT TO SUIT REAMING DEPTH FOR POLISHING (APPROXIMATE 10 to 15mm REAMING DEPTH). REAMING DEPTH AND EXTENT OF POLISHED CONCRETE TO BE CONFIRMED WITH ARCHITECT.


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NOTES:

CONCRETE STRENGTH
INTERNAL SLABS:
 f'c = 40 MPa., 550 MICROSTRAIN, COVER = 30 mm
EXTERNAL SLABS:
 f'c = 40 MPa., 550 MICROSTRAIN, COVER = 45 mm

LEGEND:

- 200 200mm THICK SUSPENDED SLAB
- 230 230mm THICK SUSPENDED SLAB

MEMBER SCHEDULE:

COLUMNS:
 IC1, IC2, IC4 - 89x89x6 SHS
 IC3 - 125x125x9 SHS or 150x150x5 SHS

NOTES:

ALL STEELWORK CORROSION PROTECTION SHALL BE IN ACCORDANCE TO REQUIREMENTS OF THE CURRENT NCC BUILDING CODE OF AUSTRALIA IN PARTICULAR SECTION 3.4.4.2 AND TABLE 3.4.4.2 AND AS 4100. A FINAL SPECIFICATION OF A PROPRIETARY TYPE COATING SYSTEM SHALL BE PREPARED TO EITHER:
 AS/NZS 2312.1 - PART 1 - PAINT COATINGS
 AS/NZS 2312.2 - PART 2 - HOT-DIP GALVANIZING.
 NOTE: NORTHERN BEACHES CONSULTING ENGINEERS CAN LEND ASSISTANCE TO THE PROJECT SPECIFIER ON STEELWORK PROTECTION BUT DO NOT WARRANT OR CERTIFY THE DURABILITY OF ANY STEELWORK BY PROPRIETARY PAINT COATING SYSTEMS OR HOT-DIPPED GALVANIZING.

NOTES:

1. ALL DIMENSIONS TO BE VERIFIED ON SITE BY BUILDER BEFORE COMMENCING WITH WORK.
2. FOR GENERAL NOTES REFER TO DRAWING NUMBER: S01.

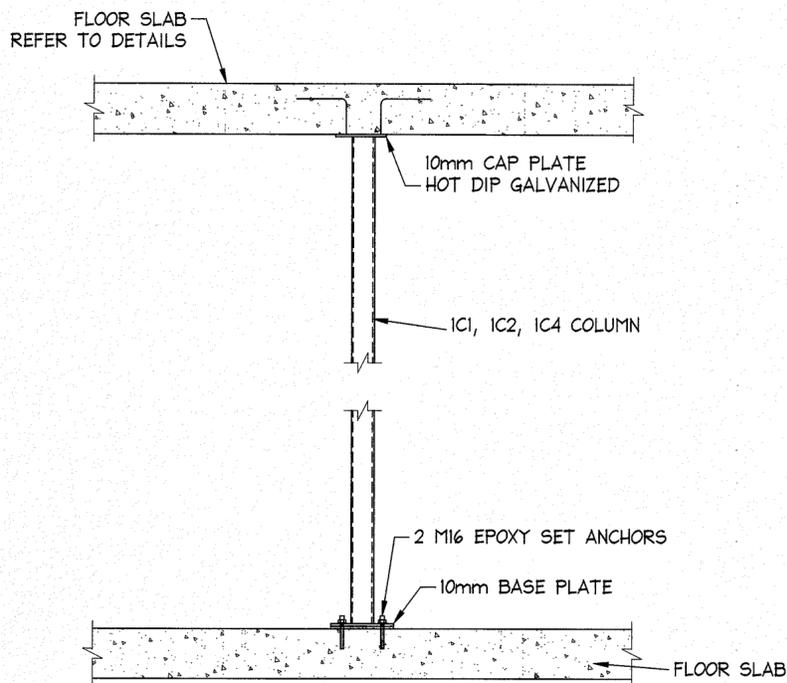
ISSUED FOR CONSTRUCTION

IF IN DOUBT ASK

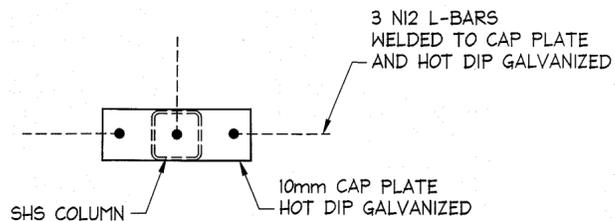
A2

		DOCUMENT CERTIFICATION		NB Consulting Engineers		Architect: Architectural Projects Pty Ltd		Project: ALTERATIONS AND ADDITIONS		Date: Oct 2018		Design: N.C.		Drawn: Paul R Bruce AMIEAust.		
		Date: 5/1/19 Stewart McGeady B.E.(Civil), MIEAust, P.Eng (Director NB Consulting Engineers)		STRUCTURAL - CIVIL - STORMWATER - REMEDIAL A.C.N. 076 121 816 A.B.N. 24 076 121 816 Sydney: Ph: (02) 9984 7000 Fax: (02) 9984 7444 Suite 207, 30 Fisher Road Dee Why N.S.W. 2099 Gold Coast: Ph: (07) 5631 4744 Unit 8, 1726 Gold Coast Highway Burleigh Heads QLD 4220 E: nb@nbconsulting.com.au W: www.nbconsulting.com.au		Client: Strata Plan 4129		Drawing Title: UNIT 3 SLAB PLAN		Job No: 180986		Drawing No: S02		Issue: B		
Date:	Issue:	Description:	By:	Review:												

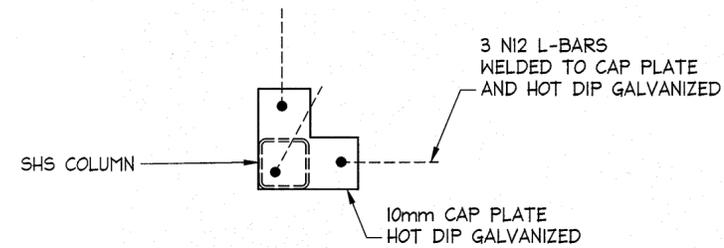
NB Consulting Engineers



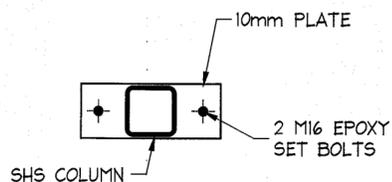
IC1, IC2, IC4 TYPICAL COLUMN ELEVATION
SUPPORTING CONCRETE SLAB
NOT TO SCALE



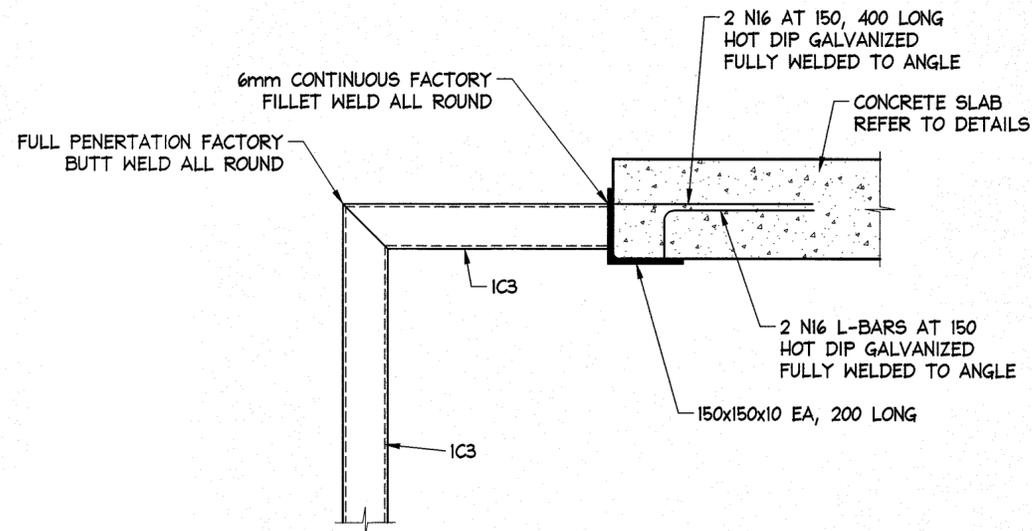
COLUMN IC1
TYPICAL COLUMN CAP PLATE DETAIL
SCALE = 1 : 10



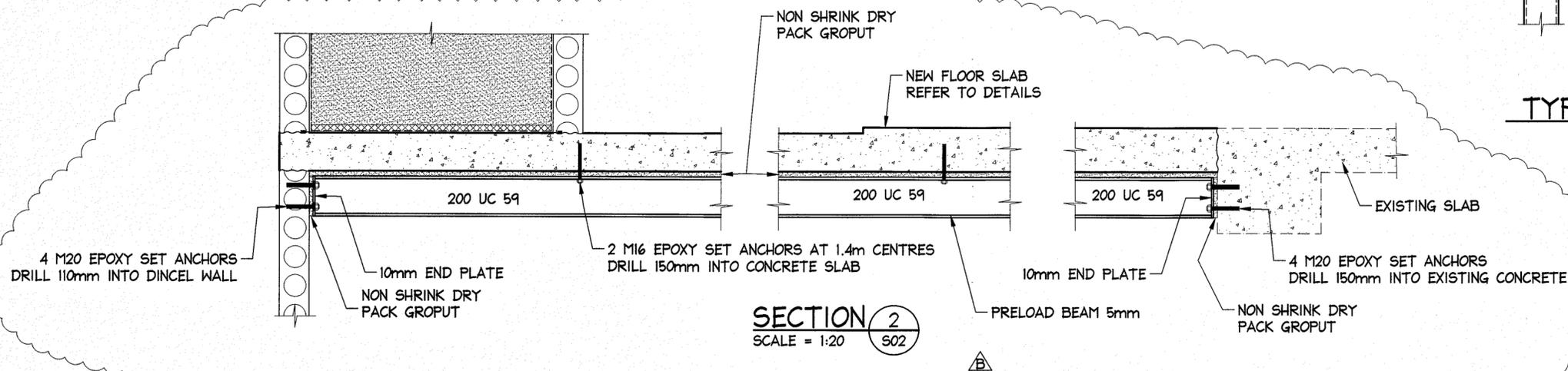
COLUMNS IC2, IC4
TYPICAL COLUMN CAP PLATE DETAIL
SCALE = 1 : 10



COLUMNS IC1, IC2, IC3, IC4
TYPICAL BASE PLATE DETAILS
NOT TO SCALE



COLUMN IC3
TYPICAL TOP OF COLUMN DETAILS
NOT TO SCALE



SECTION 2
SCALE = 1:20

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NOTE: POUR JOINTS
SCABBLE FACE OF FIRST POUR CONCRETE AND APPLY EPOXY BONDING AGENT BEFORE NEXT CONCRETE POUR.
ALL STARTER BARS THRU POUR JOINTS TO BE HOT DIP GALVANIZED U.N.O.

NOTE:
ALL LAPS IN REINFORCEMENT TO BE AS FOLLOWS:
N12 BARS = 500mm LAP
N16 BARS = 650mm LAP
N20 BARS = 800mm LAP
N24 BARS = 1000mm LAP
N28 BARS = 1150mm LAP

ALL SLAB REINFORCEMENT TO BE N12 AT 200 EACH WAY TOP AND BOTTOM UNLESS NOTED OTHERWISE

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- FOR GENERAL NOTES REFER TO DRAWING NUMBER: S01.

ISSUED FOR CONSTRUCTION

IF IN DOUBT ASK

A2

DOCUMENT CERTIFICATION		NB Consulting Engineers STRUCTURAL - CIVIL - STORMWATER - REMEDIAL A.C.N. 078 121 818 A.B.N. 24 078 121 818 Sydney: Ph: (02) 9984 7000 Fax: (02) 9984 7444 Suite 207, 30 Fisher Road Dee Why N.S.W. 2099 Gold Coast: Ph: (07) 5631 4744 Unit 8, 1726 Gold Coast Highway Burleigh Heads QLD 4220 E: nb@nbconsulting.com.au W: www.nbconsulting.com.au	Architect:	Project:	Date:	Design:	Drawn:		
Date:	Issue:		Description:	By:	Review:	Architectural Projects Pty Ltd	ALTERATIONS AND ADDITIONS 48A Queenscliff Road Queenscliff N.S.W. 2096	Oct 2018	N.C.
03.04.2019	B	ISSUED FOR CONSTRUCTION - DETAIL ADDED	P.R.B.	-	Client:	Drawing Title:	Job No:	Drawing No:	Issue:
10.10.2018	A	ISSUED FOR CONSTRUCTION	P.R.B.	-	Strata Plan 4129	UNIT 3 SLAB DETAILS SHEET 2	180986	S06	B

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