

**Statement of Environmental Effects [SEE]
Unit 1, 48a Queenscliff Road, Queenscliff
for Margaret and Stephen Stanton**

Scope of Changes

This S4.55(2) Application (formerly S96.2) seeks Council approval to modify DA Consent DA2018/0823 issued by Council on 02 October 2018. This consent was based on architectural drawings prepared by Day Bukh Architects.

This application requests minor modifications to the following two categories of work:

1. *Internal modifications:* relocation of the shower, ensuite, WIR, laundry as well as modifications to the general bedroom layout. We also propose to install a structural steel support beam in lieu of a previously approved blade wall.

Why are we proposing these changes? One major reason for the changes is that we need the shower and ensuite waste water to be efficiently connected to the existing sewer system. The approved DA has a shower located in the south-east corner of the main bedroom. Problem - there is no sewer service near this location. Providing sewer service to this location is impractical, if not impossible (the owner does not own the space below their unit). Solution - the proposed changes to the detailed design of the sewer services, provides the opportunity to tap into the existing sewer lines dramatically narrowed our possible location of the various plumbing fixtures including the shower. The internal modifications proposed in this S4.55(2) simply respond to the reality of the building services.

2. External modifications:

- 2a. We propose to change the alignment of the external glazed door providing access from Bedroom 1 to the external Balcony (shown on the attached drawing S4.55-01 as nD01.1). As a result, approx 2.9m² will be added as internal space to the apartment. Accordingly, 2.9m² will be lost from the Balcony. It is the author's view that this minor additional floor space will not be perceived from any external viewing point.

The reason that we are proposing this change is that a straight external wall/door will provide a far greater sense of space and design clarity to Bedroom 1. It is simply a better design outcome (especially when the shower has been moved due to the plumbing issues). Furthermore, we believe that by moving the shower from its DA location, a benefit will be experienced by neighbours who may not want to see the owners enjoying their morning shower. The proposed design provides no potential 'unfortunate' viewing incidents by neighbours of the Unit 1 owners. By 'neighbours' we mean other people in the apartment block, neighbours to the apartment block, as well as the public who enjoy Queenscliff beach.

- 2b. as a result of the proposed change to door nD01.1, we further propose to alter door nD01.2. We propose that nD01.2 visually match the existing door it replaces, albeit being approx 570mm narrower.

Effect of Proposed Changes

Preston Peterson is of the view that the changes proposed in this S4.55(2) application have no environmental effect over the effects already considered reasonable by way of Council's approval of DA2018/0823. In short:

- there will be no additional shadows cast over neighbours
- there will be no further overlooking of neighbours or the loss of any privacy for neighbours
- there is no increase in the bulk or scale of the proposed works
- there will be no additional natural resources used in the works
- there will be not additional negative effects on any flora or fauna
- there will be no negative effects on neighbours

We do see that there will be some minor positive effects of the proposed changes

- a more resolved design outcome for the owners of Unit 1 (less chance of further changes in future)
- shower not exposed causing privacy issues for neighbours viewing at Unit 1
- ease of execution (utilising existing building services) means less waste during building
- ease of execution (utilising existing building services) means less interruption to neighbours

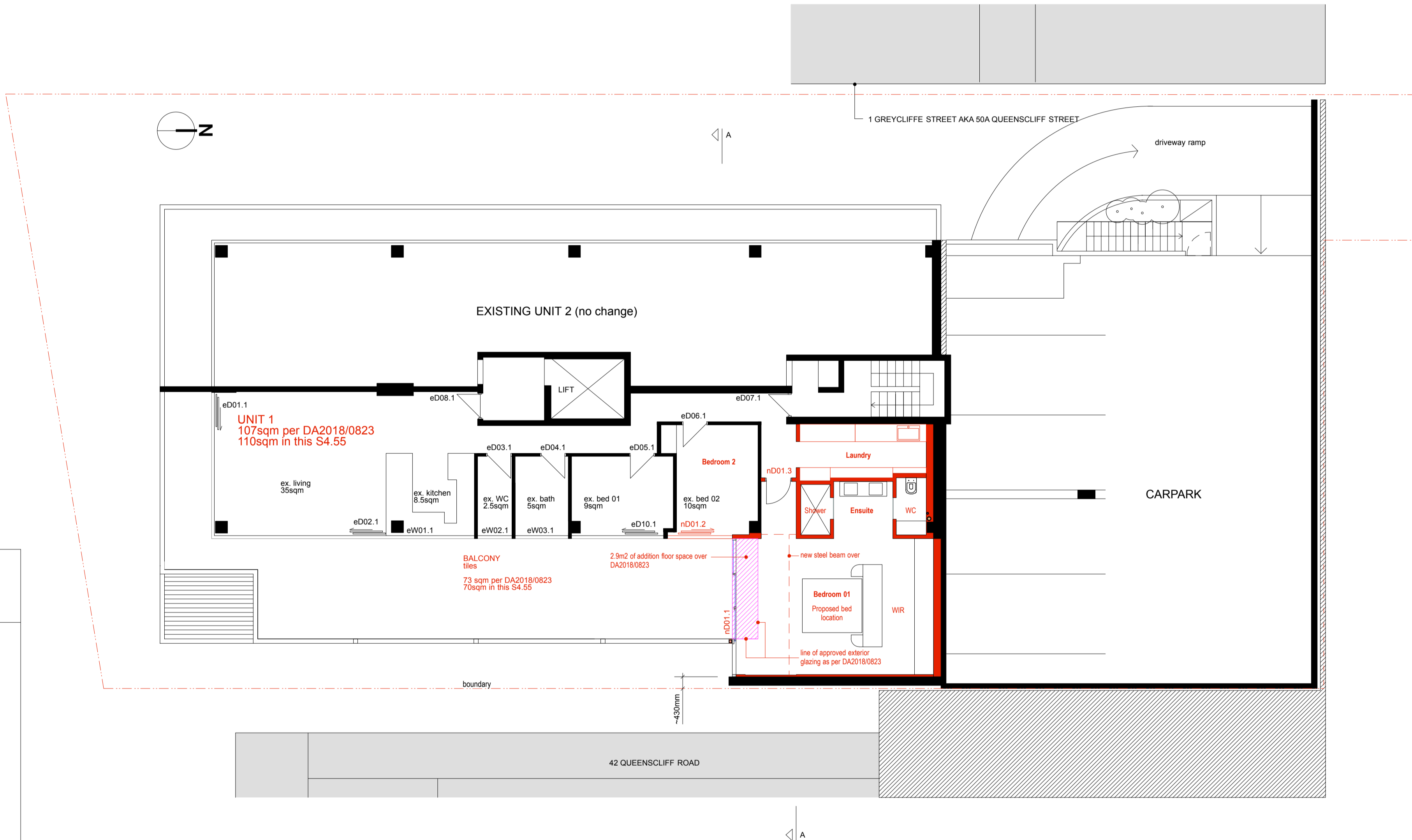
Summary

The applicant believes that the proposed changes contained in this S4.55(2) resolve a number of practical considerations that may not have been evident when preparing the DA. We would not expect the DA to have fully considered the practicalities of existing sewer lines etc when forming the 'blue sky' of design possibilities. Whilst undertaking the detailed design of Unit 1, we have been forced to conform with in-situ realities.

Whilst conceiving the revised design, the applicant has considered the effects of the changes on the neighbours, the valuable natural environment and the general public. Of course no action is without reaction. Every cause dances with effect. However, we believe that we have considered the effects and sought to minimise these effects.

We request that Council support the amendments shown in the attached documents

Authors for PrestonPeterson
Jacinta Preston - Designer
Jonathon Peterson - Architect NSW Registration # 4776



 northern
beaches
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**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

MOD2019/0407

These drawings have been based on the DA Drawings prepared by Day Bukh Architect.
The CAD files were kindly supplied by Architect Matt Day specifically for the purpose of preparing this Section 4.55 Application.
We acknowledge and thank Day Bukh Architects for their assistance.

Preston Peterson
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email : hello@prestonpeterson.com.au
ph : 0402 063 913
registered architect : Jonathon Peterson no. 5776

The proposed building works must comply with all relevant Australian Standards and the Building Code of Australia.

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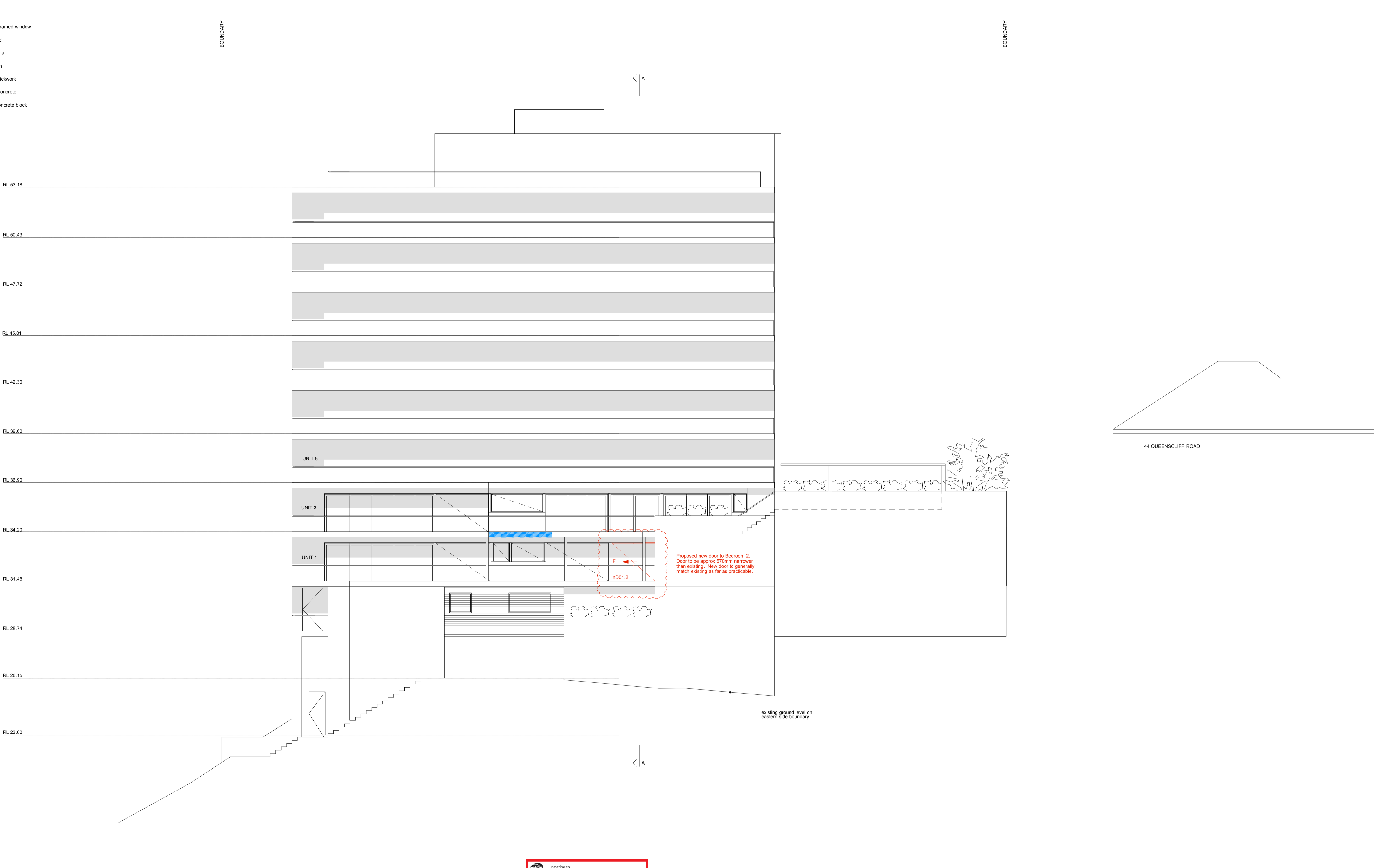
Project:	48a Queenscliff Road, Queenscliff
Client	Margaret & Stephen Stanton
Job no.:	STAN01

drawing:
**Unit 1 Proposed Plan &
Site Location Plan**

drawn by: JDP checked by: JLP

S4.55(2)	200.01
scale: 1 : 100 @ A1	Date: 07.08.2019

- afg aluminium framed window
- pb plasterboard
- per metal pergola
- sc steel column
- rbr rendered brickwork
- rc reinforced concrete
- rcb rendered concrete block

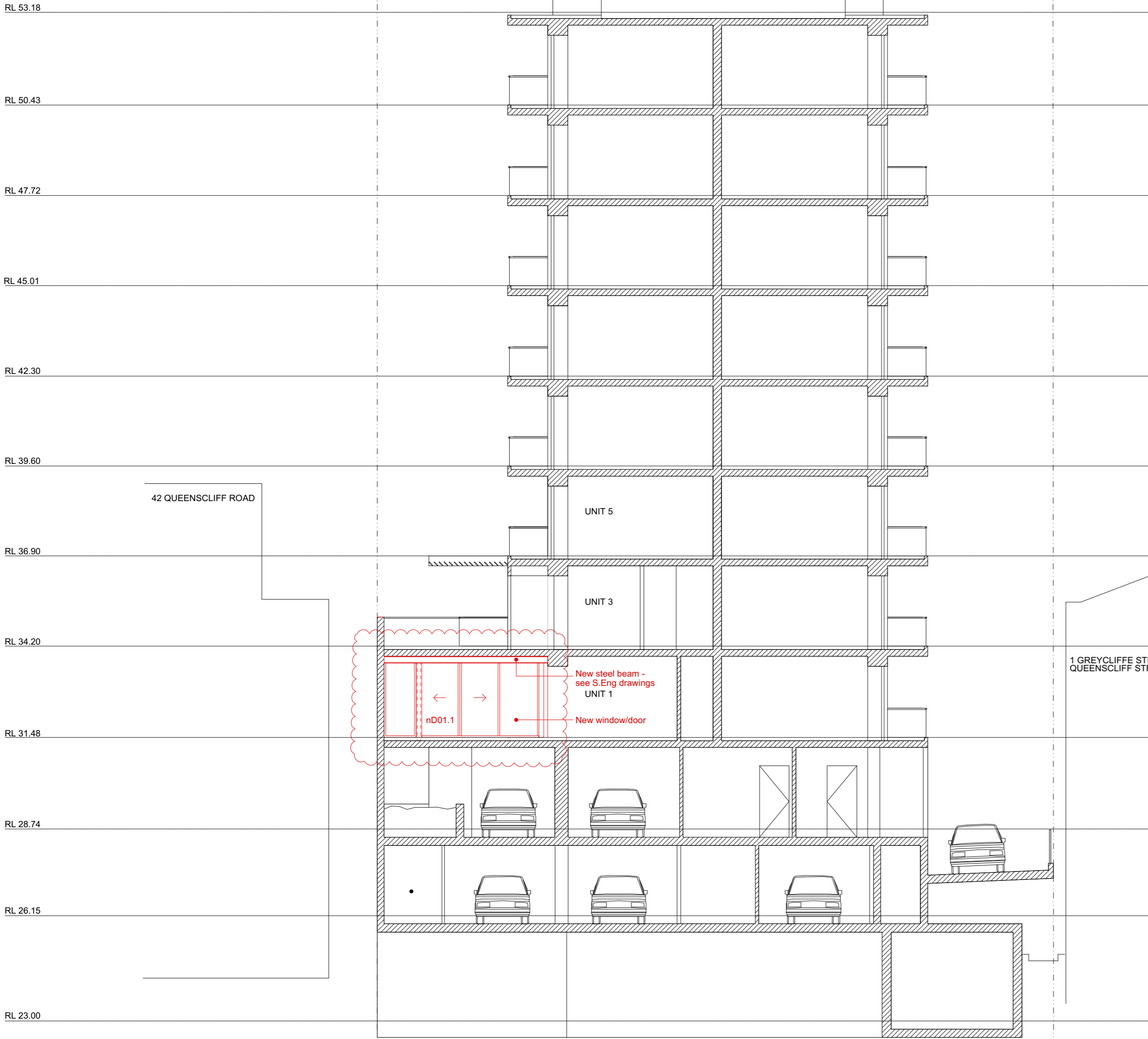


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afg aluminium framed window
pb plasterboard
per metal pergola
sc steel column
rbr rendered brickwork
rc reinforced concrete
rcb rendered concrete block



PROPOSED SECTION A-A



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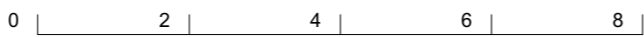


PROPOSED SOUTH-WEST ELEVATION

PHOTOGRAPH SHOWING
LOCATION WHERE NEW
DOOR IS PROPOSED



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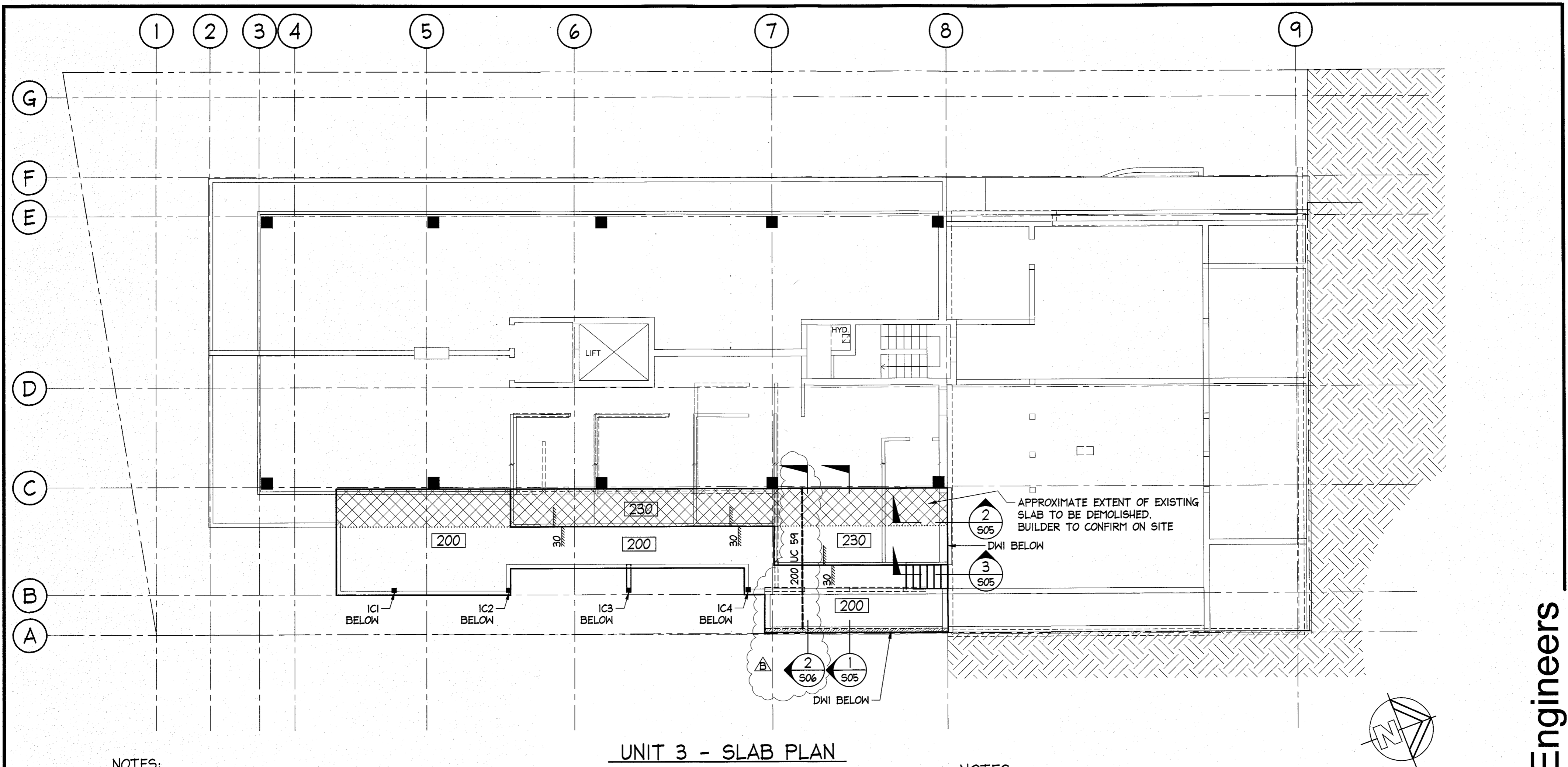
PrestonPeterson
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ph: 0402 063 913
registered architect: Jonathon Peterson no. 5776

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and the Building Code of Australia.
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dimensions prior to the commencement of any work, the preparation of shop
drawings or the fabrication of components.
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Project: 48a Queenscliff Road, Queenscliff
Client: Margaret & Stephen Stanton
Job no.: STAN01

drawing:
Proposed Section A-A &
South-West Elevation
drawn by: JDP checked by: JLP

S4.55(2) 400.01
scale: 1: 100 @ A1
Date: 07.08.2019

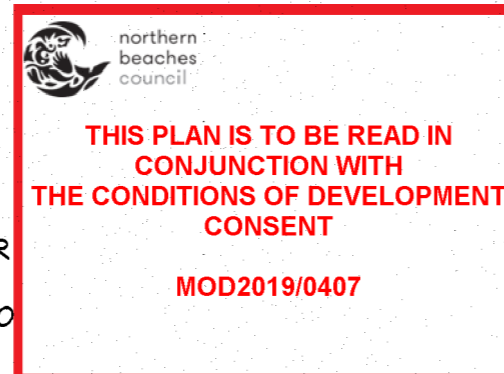


UNIT 3 - SLAB PLAN

SCALE = 1 : 100

NOTES:

1. FINISHES, FLASHING AND WATERPROOF MEMBRANES AS PER ARCHITECTS DETAILS
2. FINISHED FLOOR LEVELS (FFL) AND THICKNESS OF FLOOR FINISH TO BE CONFIRMED WITH ARCHITECT.
3. ANY REINFORCED CONCRETE SLAB THAT IS DESIGNED IN ACCORDANCE WITH AUSTRALIAN STANDARDS IS SUSCEPTIBLE TO SHRINKAGE CRACKING DUE TO THE NATURE OF THE HYDRATION PROCESS INVOLVED IN CURING. A CERTAIN LEVEL OF CRACKING IS THEREFORE CONSIDERED ACCEPTABLE IN THE STANDARDS. CONSEQUENTLY IF A CRACK FREE SURFACE IS NECESSARY THEN A PROPRIETARY TOPPING SYSTEM SHOULD BE CONSIDERED.
4. CAST IN-SITU SLABS TO BE POLISHED:
ALLOW ADDITIONAL THICKNESS IN SLAB AND EXTRA COVER TO REINFORCEMENT TO SUIT REAMING DEPTH FOR POLISHING (APPROXIMATE 10 to 15mm REAMING DEPTH).
REAMING DEPTH AND EXTENT OF POLISHED CONCRETE TO BE CONFIRMED WITH ARCHITECT.



NOTES:

CONCRETE STRENGTH
INTERNAL SLABS:
f'c = 40 MPa., 550 MICROSTRAIN, COVER = 30 mm
EXTERNAL SLABS:
f'c = 40 MPa., 550 MICROSTRAIN, COVER = 45 mm

LEGEND:

- 200 200mm THICK SUSPENDED SLAB
230 230mm THICK SUSPENDED SLAB

MEMBER SCHEDULE:

COLUMNS:
IC1, IC2, IC4 - 89x89x6 SHS
IC3 - 125x125x9 SHS or 150x150x5 SHS

NOTES:

ALL STEELWORK CORROSION PROTECTION SHALL BE IN ACCORDANCE TO REQUIREMENTS OF THE CURRENT NCC BUILDING CODE OF AUSTRALIA IN PARTICULAR SECTION 3.4.4.2 AND TABLE 3.4.4.2 AND AS 4100. A FINAL SPECIFICATION OF A PROPRIETARY TYPE COATING SYSTEM SHALL BE PREPARED TO EITHER:
AS/NZS 2312.1 - PART 1 - PAINT COATINGS
AS/NZS 2312.2 - PART 2 - HOT-DIP GALVANIZING.
NOTE: NORTHERN BEACHES CONSULTING ENGINEERS CAN LEND ASSISTANCE TO THE PROJECT SPECIFIER ON STEELWORK PROTECTION BUT DO NOT WARRANT OR CERTIFY THE DURABILITY OF ANY STEELWORK BY PROPRIETARY PAINT COATING SYSTEMS OR HOT-DIPPED GALVANIZING.

NOTES:

1. ALL DIMENSIONS TO BE VERIFIED ON SITE BY BUILDER BEFORE COMMENCING WITH WORK.
2. FOR GENERAL NOTES REFER TO DRAWING NUMBER: S01.

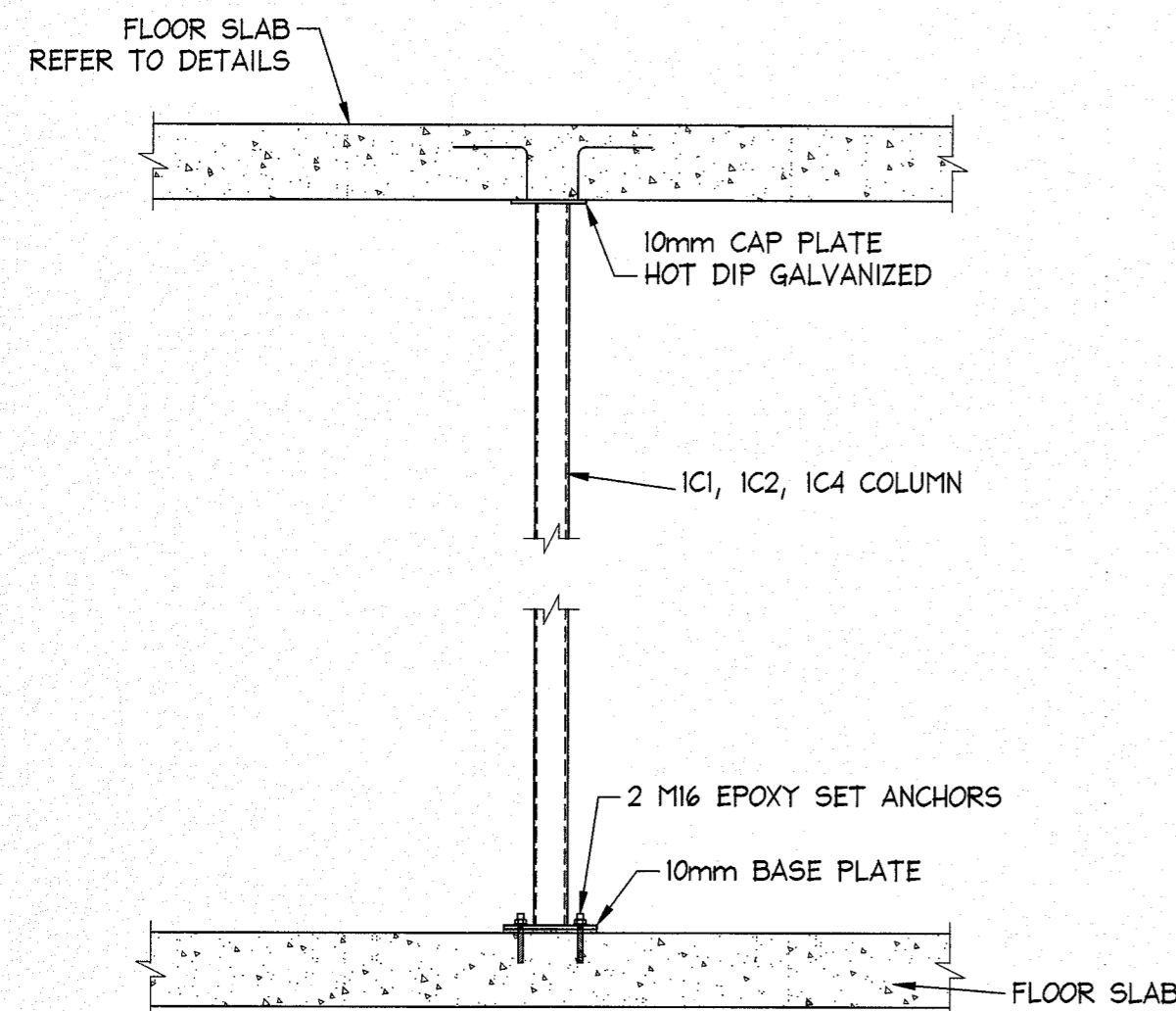
ISSUED FOR CONSTRUCTION

IF IN DOUBT ASK

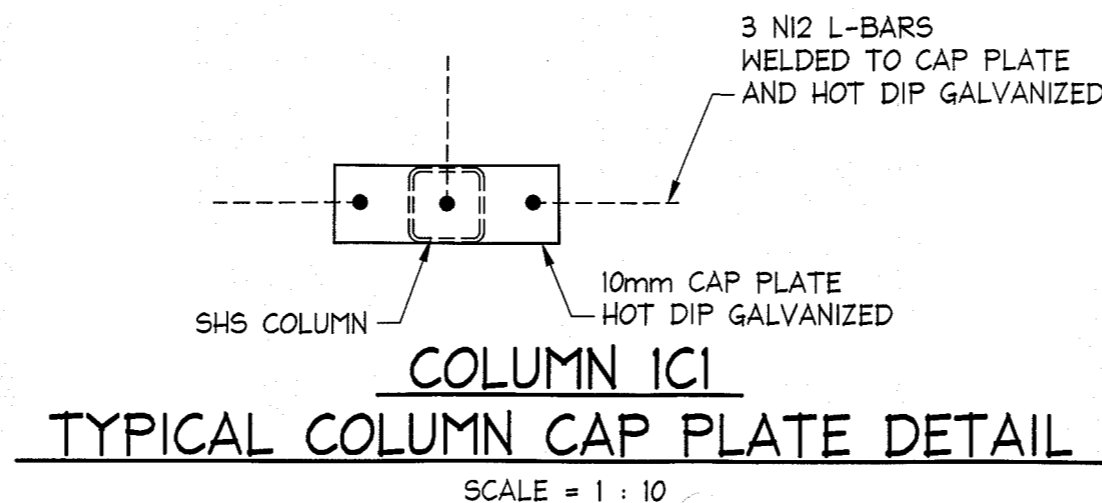
A2

AZ					DOCUMENT CERTIFICATION					NB Consulting Engineers					Architect: Architectural Projects Pty Ltd					Project: ALTERATIONS AND ADDITIONS 48A Queenscliff Road Queenscliff N.S.W. 2096					Date: Oct 2018		Design: N.C.		Drawn: Paul R Bruce AMIEAust.										
					Date: 5/4/19 Stewart McGeady B.E.(Civil), MIEAust, P.Eng (Director NB Consulting Engineers)					Sydney: Ph: (02) 9984 7000 Fax: (02) 9984 7444 Suite 207, 30 Fisher Road Dee Why N.S.W. 2099 Gold Coast: Ph: (07) 5631 4744 Unit 8, 1726 Gold Coast Highway Burleigh Heads QLD 4220 E: nb@nbconsulting.com.au W: www.nbconsulting.com.au					Client: Strata Plan 4129					Drawing Title: UNIT 3 SLAB PLAN					Job No: 180986		Drawing No: S02		Issue: B										
03.04.2019					B					ISSUED FOR CONSTRUCTION - BEAM ADDED					P.R.B. -																								
10.10.2018					A					ISSUED FOR CONSTRUCTION					P.R.B. -																								
Date:					Issue:					Description:					By:					Review:																			

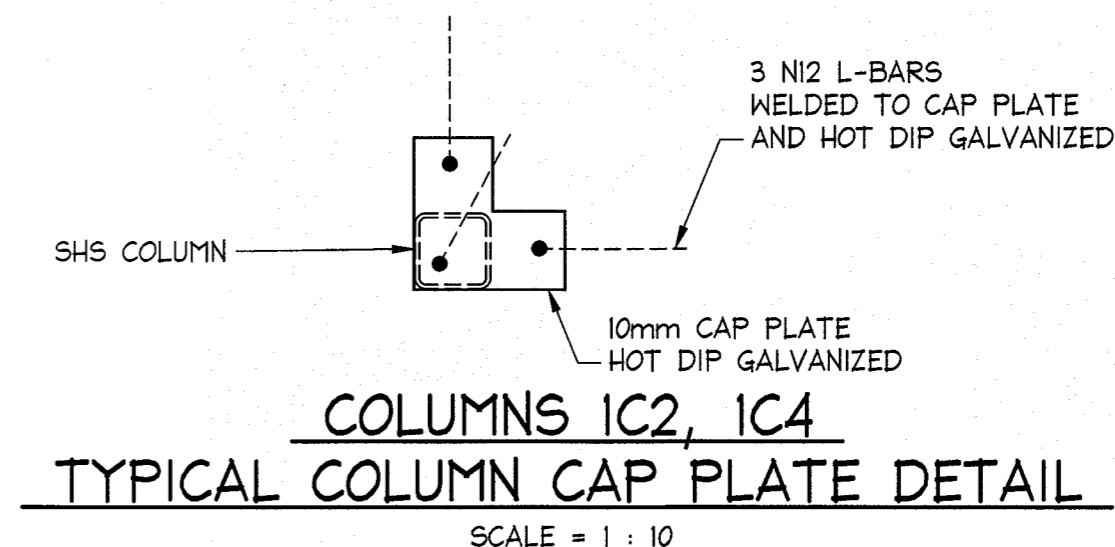
NB Consulting Engineers



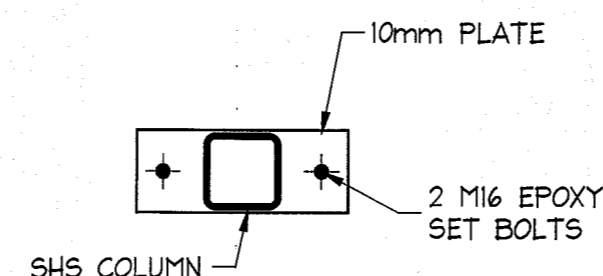
IC1, IC2, IC4 TYPICAL COLUMN ELEVATION
SUPPORTING CONCRETE SLAB
NOT TO SCALE



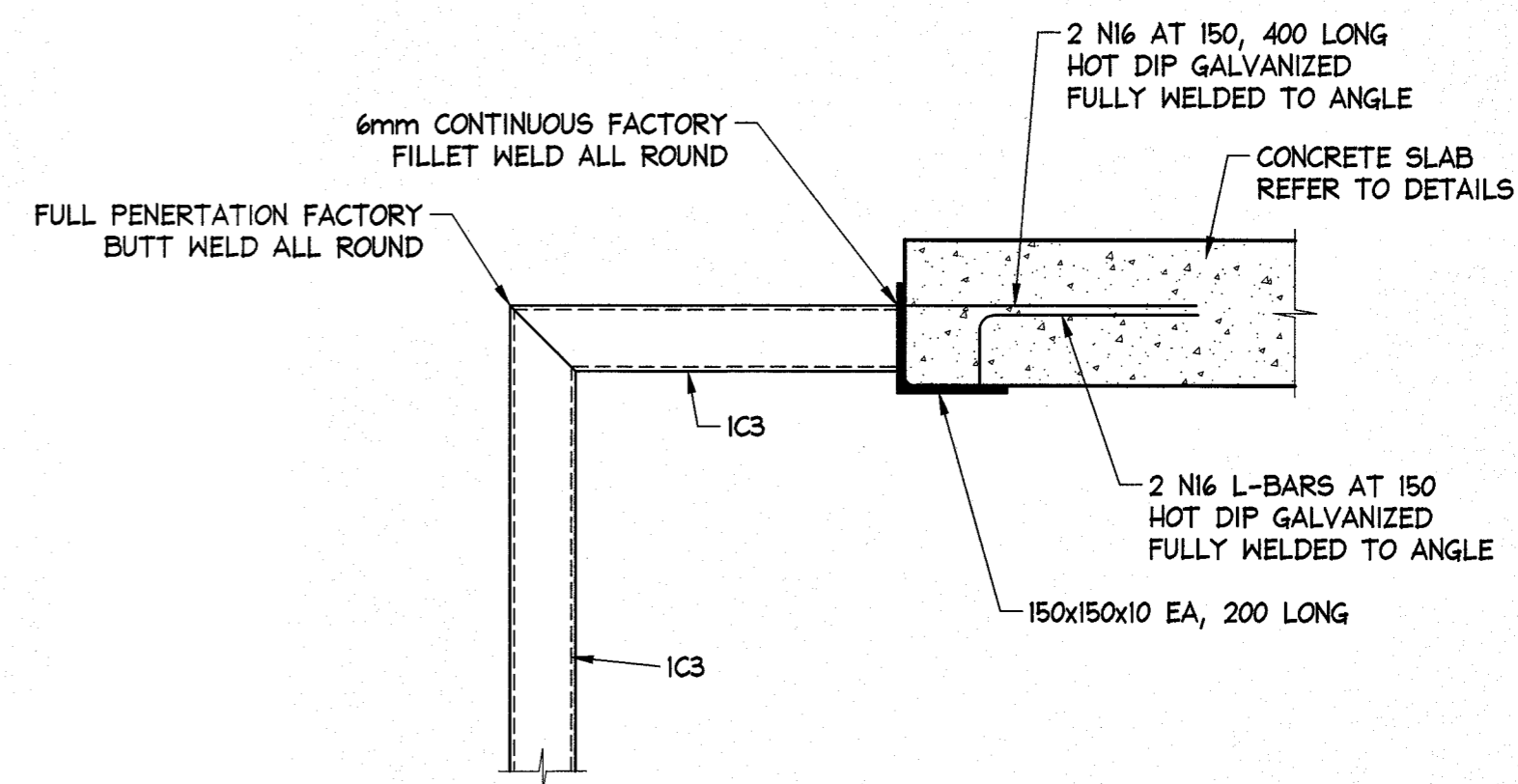
COLUMN IC1
TYPICAL COLUMN CAP PLATE DETAIL
SCALE = 1 : 10



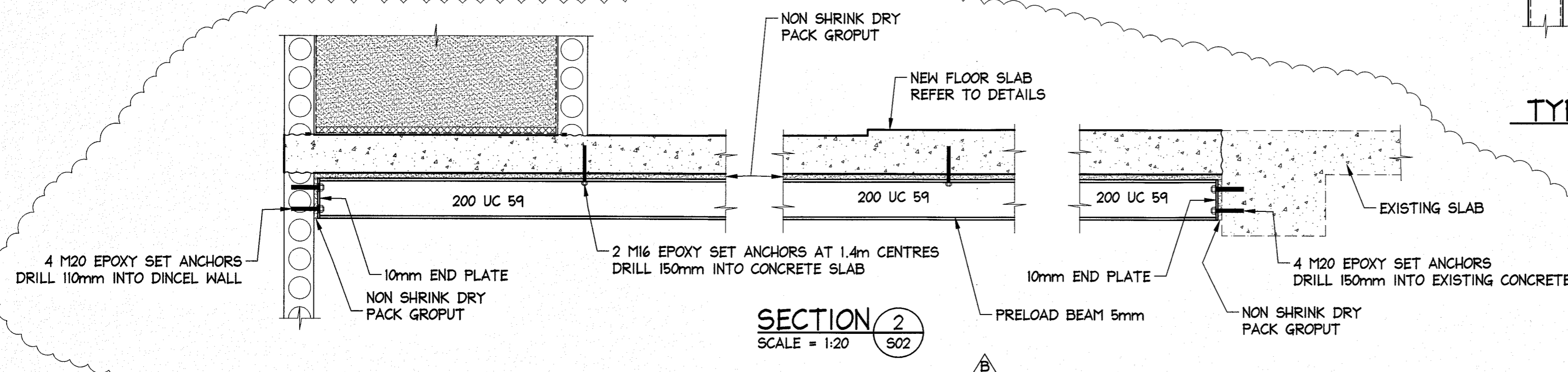
COLUMNS IC2, IC4
TYPICAL COLUMN CAP PLATE DETAIL
SCALE = 1 : 10



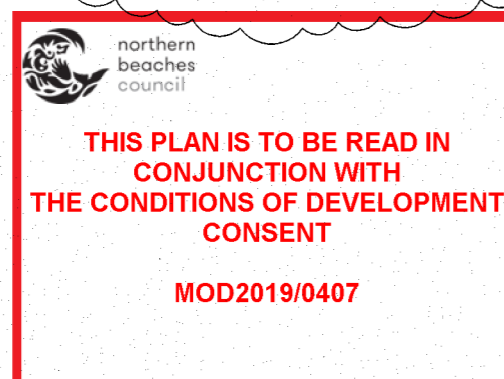
COLUMNS IC1, IC2, IC3, IC4
TYPICAL BASE PLATE DETAILS
NOT TO SCALE



COLUMN IC3
TYPICAL TOP OF COLUMN DETAILS
NOT TO SCALE



SECTION 2/502
SCALE = 1:20



NOTE: POUR JOINTS
SCABBLE FACE OF FIRST POUR CONCRETE AND APPLY EPOXY BONDING AGENT BEFORE NEXT CONCRETE POUR.
ALL STARTER BARS THRU POUR JOINTS TO BE HOT DIP GALVANIZED U.N.O.

NOTE:
ALL LAPS IN REINFORCEMENT TO BE AS FOLLOWS:
N12 BARS = 500mm LAP
N16 BARS = 650mm LAP
N20 BARS = 800mm LAP
N24 BARS = 1000mm LAP
N28 BARS = 1150mm LAP

ALL SLAB REINFORCEMENT TO BE N12 AT 200 EACH WAY TOP AND BOTTOM UNLESS NOTED OTHERWISE

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A2

DOCUMENT CERTIFICATION Date: 5/9/19 Stewart McGeady B.E.(Civil), MIEAust, P.Eng (Director NB Consulting Engineers) The copyright of this drawing remains with Northern Beaches Consulting Engineers Pty Ltd. Trading as NB Consulting Engineers				NB Consulting Engineers STRUCTURAL - CIVIL - STORMWATER - REMEDIAL A.C.N. 078 121 616 A.B.N. 24 078 121 616 Sydney: Ph: (02) 9984 7000 Fax: (02) 9984 7444 Suite 207, 30 Fisher Road Dee Why N.S.W. 2099 Gold Coast: Ph: (07) 5631 4744 Unit 8, 1726 Gold Coast Highway Burleigh Heads QLD 4220 E: nb@nbconsulting.com.au W: www.nbconsulting.com.au		Architect: Architectural Projects Pty Ltd Client: Strata Plan 4129	Project: ALTERATIONS AND ADDITIONS 48A Queenscliff Road Queenscliff N.S.W. 2096 Drawing Title: UNIT 3 SLAB DETAILS SHEET 2	Date: Oct 2018 Design: N.C. Drawn: Paul R Bruce AMIEAust.	Job No: 180986 Drawing No: S06 Issue: B
03.04.2019	B	ISSUED FOR CONSTRUCTION - DETAIL ADDED	P.R.B.	-					
10.10.2018	A	ISSUED FOR CONSTRUCTION	P.R.B.	-					
Date:	Issue:	Description:	By:	Review:					

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