

ABBREVIATIONS

EB - ELECTRICAL BOX
EM - ELECTRICAL METER
GM - GAS METER
H - HYDRANT
R - HYDRANT RECYCLED
KO - KERB OUTLET
LP - LIGHT POLE
LH - LAMP HOLE
MH - MAN HOLE
PP - POWER POLE
SH - SHRUB
SMH - SEWER MAN HOLE
SIO - SEWER INSPECTION OPENING
SV - STOP VALVE
SR - STOP VALVE RECYCLED
SVP - SEWER VENT PIPE
SWP - STORM WATER PIT
T - TREE
TP - TELECOMMUNICATIONS PIT
VER - VERANDAH
WT - WATER TAG
WM - WATER METER
WMR - WATER METER RECYCLED
WC, GC, EC, TC - SERVICE CONDUIT
W/C - WATER CLOSET

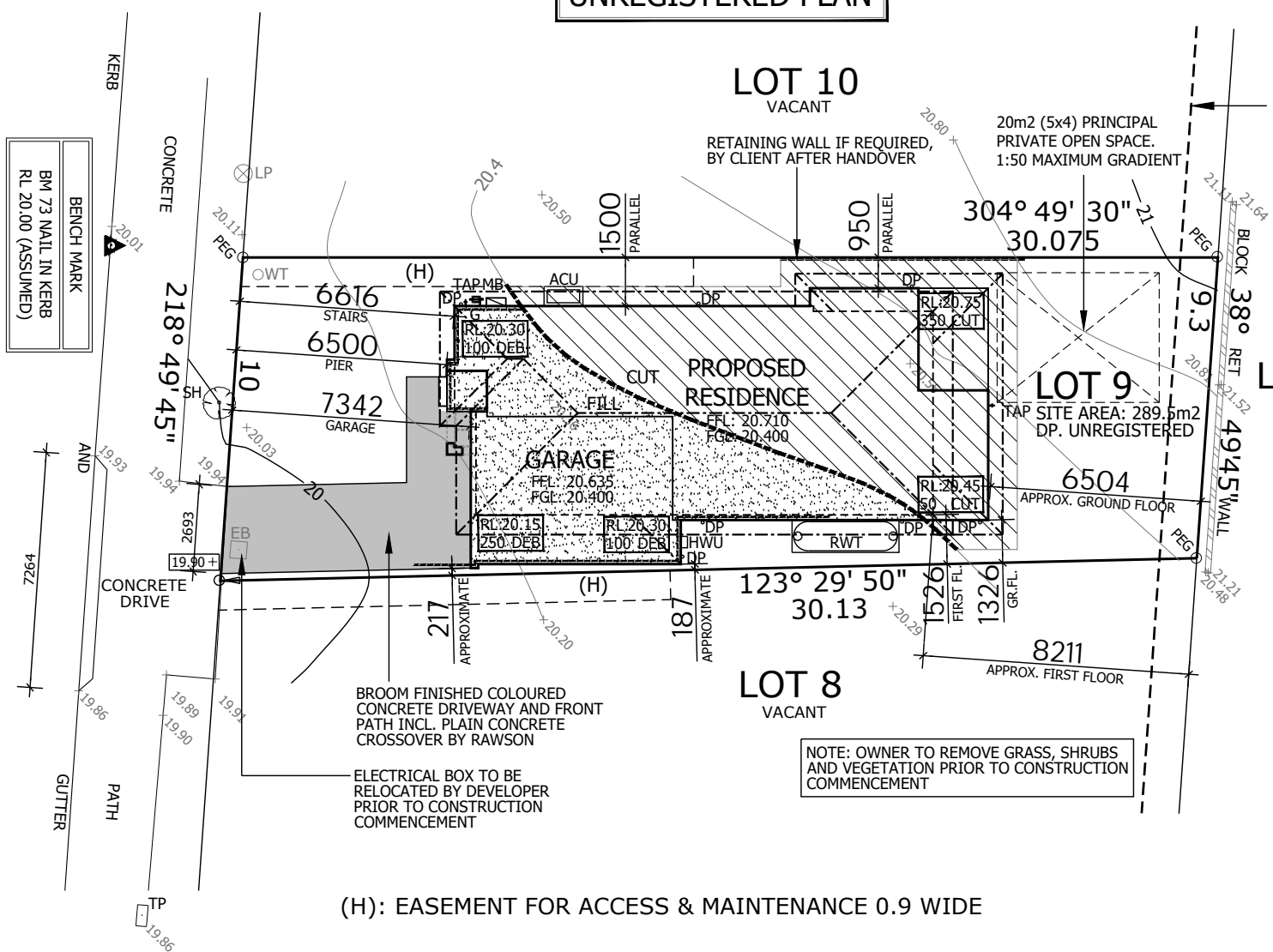


'N2' WIND CATEGORY

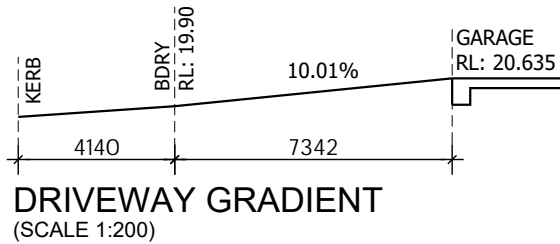
0.60M FALL ACROSS BUILDING ENVELOPE

DRIVEWAY & FRONT PATH TO COMPLY  
WITH AS2890

BUBALO STREET



(H): EASEMENT FOR ACCESS & MAINTENANCE 0.9 WIDE



SITE CALCULATIONS DA

GROUND FLOOR	82.06 m <sup>2</sup>
FIRST FLOOR	92.35 m <sup>2</sup>
TOTAL LIVING AREA	174.41 m <sup>2</sup>
TOTAL LANDSCAPE AREA	105.63 m <sup>2</sup>
LANDSCAPE AREA (%) 4 x 4m	36.49 %
FRONT LANDSCAPE (%)	63.10 %
FLOOR SPACE RATIO	0.60 :1
SITE COVERAGE	41.17 %

NOTES:

PLEASE NOTE: DETAILS SHOWN ON THESE PLANS ARE INTENDED TO BE ACCURATE - HOWEVER INFORMATION WRITTEN INTO INDIVIDUAL CONTRACTS WILL TAKE PRECEDENCE OVER PLANS

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RAWSON HOMES

1 HOMEBUSH BAY DRIVE  
BUILDING F, LEVEL 2, SUITE 1  
RHODES NSW 2138  
TELEPHONE: 02 8765 5500  
FAX : 02 8765 8099  
BUILDER'S LICENCE No. 33493C



CLIENT:  
Mr A. JING-WEI & Miss G. SHU-FEN LIAN

SITE ADDRESS:  
LOT 9, (DP UNREGISTERED)  
BUBALO STREET  
WARRIEWOOD, NSW 2102

HOUSETYPE:  
MODEL: DAVENPORT 24  
FACADE: CLASSIC  
TYPE: GARAGE  
SPECIFICATION: LUX

DRAWING TITLE:  
SITE PLAN

DRAWN BY: DP	DATE DRAWN: 29.08.19	CHECKED BY: QC	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: NORTHERN BEACHES		SCALE: 1:200	
JOB No: A009206	DRWG No.: 02	ISSUE: B	

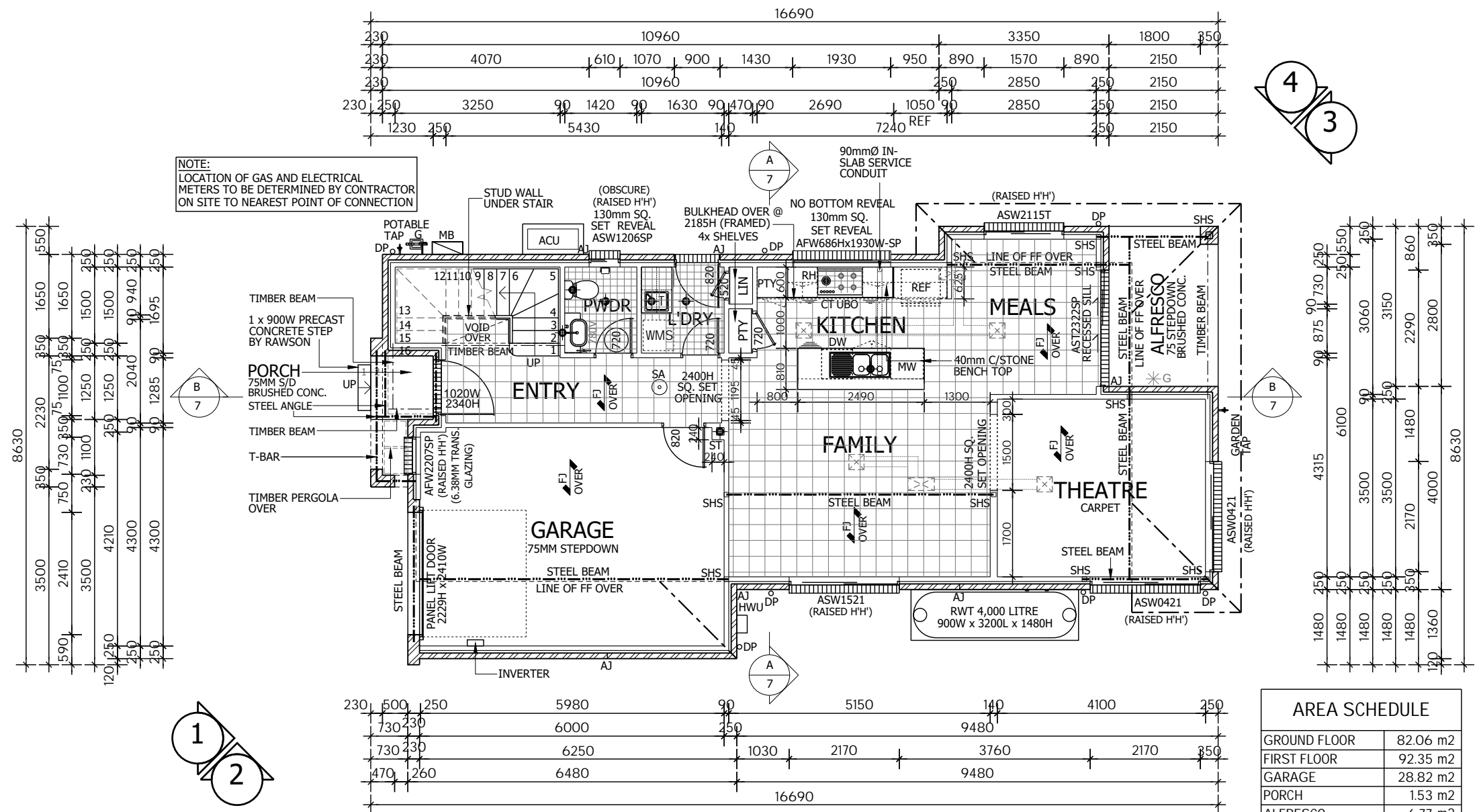
**SPECIAL NOTES:**  
2340 HIGH DOORS TO GROUND FLOOR  
HEIGHT OF SQ SET OPENINGS 2400  
HIGH OR AS SHOWN (EXC. BEDROOM  
ROBES AND DOOR UNDER STAIRS)

720 LIFT OFF HINGE TO WC

AC DUCTING ABOVE

**NOTE:**  
ROOF SPACE TO BE  
VENTILATED BY EAVE VENTS

AC NOTE: POSITIONS OF OUTLETS, RETURN AIR  
AND NUMBER OF DROPPERS IS DETERMINED  
BY AIR CONDITIONING CONTRACTOR



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WARRIEWOOD, NSW 2102

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FACADE: CLASSIC  
TYPE: GARAGE  
SPECIFICATION: LUX

DRAWING TITLE:  
**GROUND FLOOR PLAN**

DRAWN BY: DP  
DATE DRAWN: 29.08.19  
CHECKED BY: QC  
APPROVED FOR CONSTRUCTION:

COUNCIL AREA: NORTHERN BEACHES  
SCALE: 1:100

JOB No: A009206  
DRWG No.: 03  
ISSUE: B

**SPECIAL NOTES:**

2040 HIGH DOORS TO FIRST FLOOR  
HEIGHT OF SQ SET OPENINGS 2150  
HIGH OR AS SHOWN

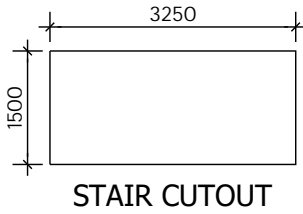
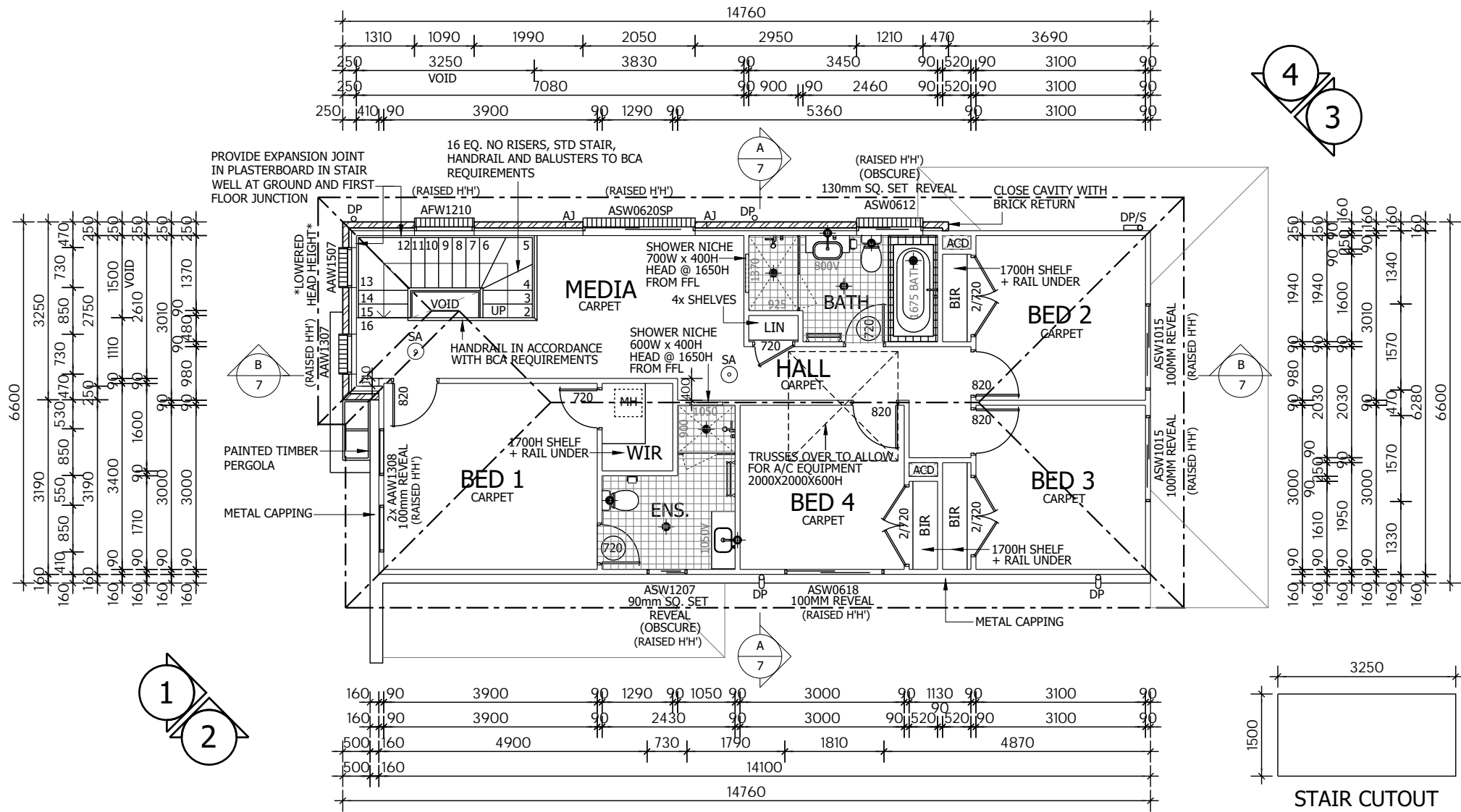
720 LIFT OFF HINGE TO WC

AC DUCTING ABOVE

**NOTE:**

ROOF SPACE TO BE  
VENTILATED BY EAVE VENTS

NOTE: RESTRICTORS TO BE FITTED TO  
ALL 1st FLOOR OPENABLE WINDOWS  
WITH A SILL HEIGHT LESS THAN 1.7m  
ABOVE FFL. IN ACCORDANCE WITH BCA  
CLAUSE 3.9.2.5



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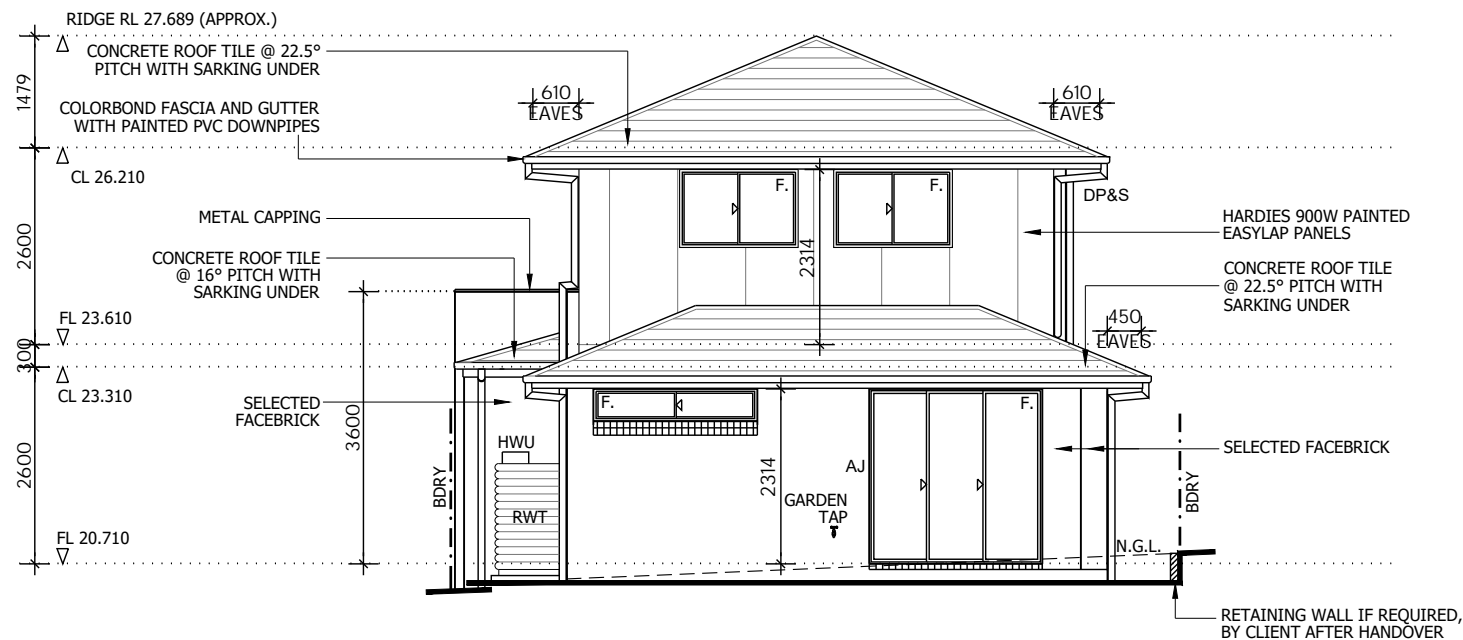
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MODEL: DAVENPORT 24  
FACADE: CLASSIC  
TYPE: GARAGE  
SPECIFICATION: LUX

DRAWING TITLE:  
**FIRST FLOOR PLAN**

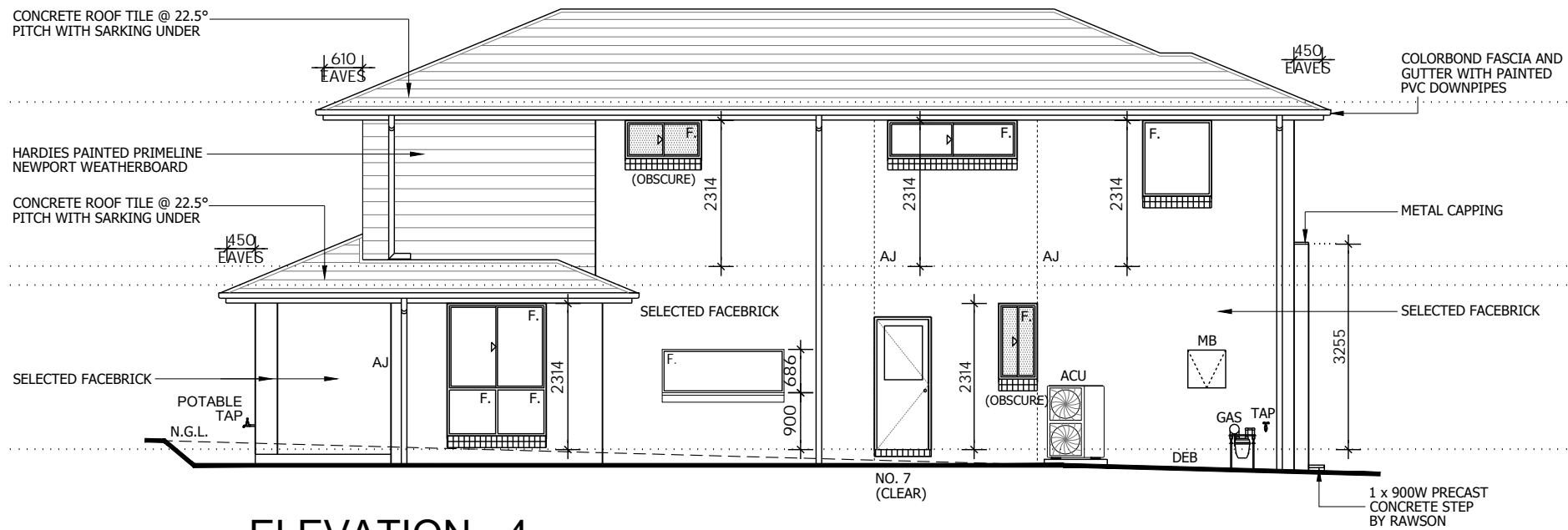
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COUNCIL AREA: NORTHERN BEACHES		SCALE: 1:100	
JOB No: A009206		DRWG No.: 04	ISSUE: B



NOTE:  
NYLON MESH FLYSCREENS TO ALL  
OPENING WINDOWS, SLIDING & STACKER  
DOORS (EXCLUDING HINGED DOORS)



ELEVATION - 3



ELEVATION - 4

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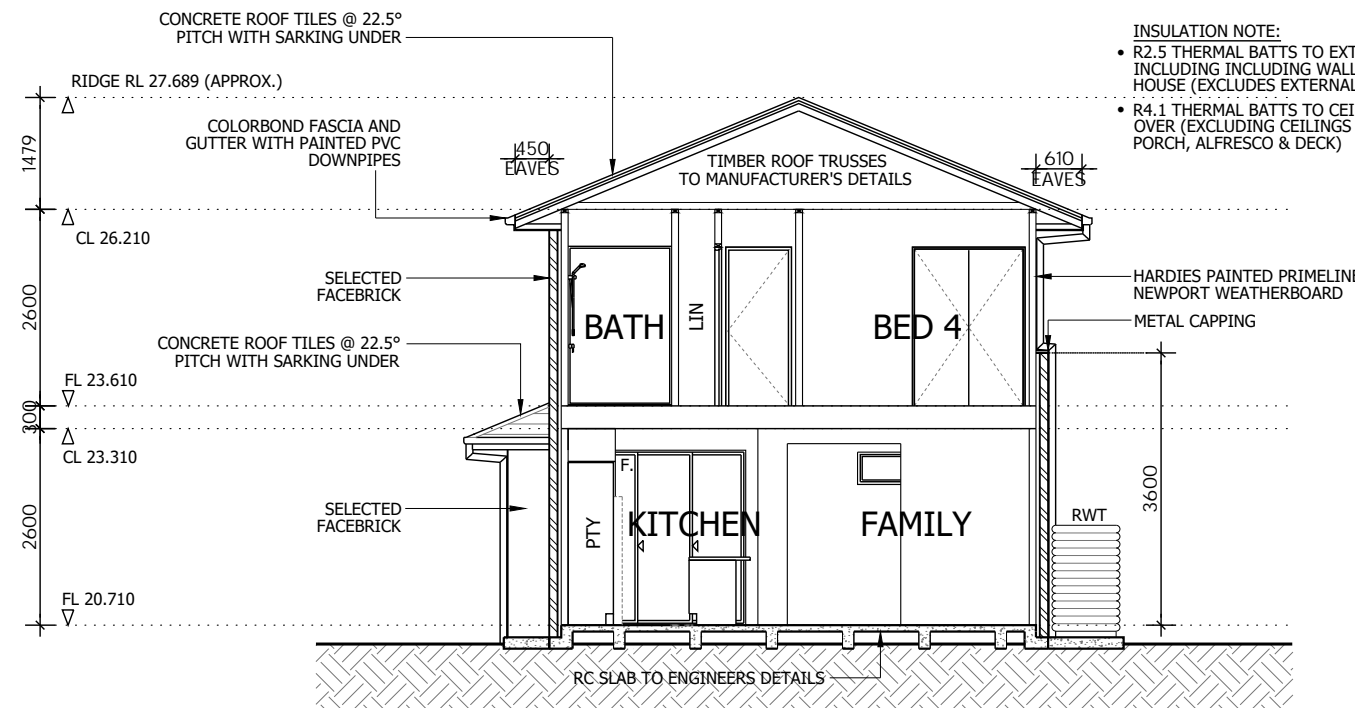
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HOUSETYPE:  
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FACADE: CLASSIC  
TYPE: GARAGE  
SPECIFICATION: LUX

DRAWING TITLE:  
**ELEVATIONS 3 & 4**

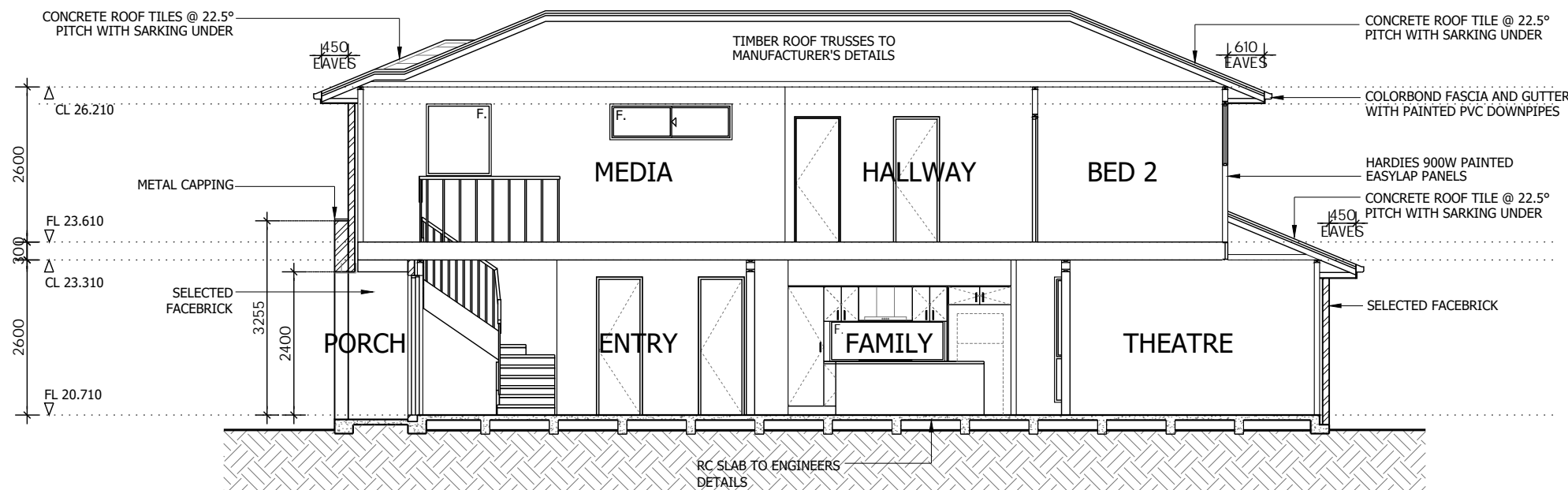
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COUNCIL AREA: NORTHERN BEACHES		SCALE: 1:100	
JOB No: A009206	DRWG No.: 06	ISSUE: B	



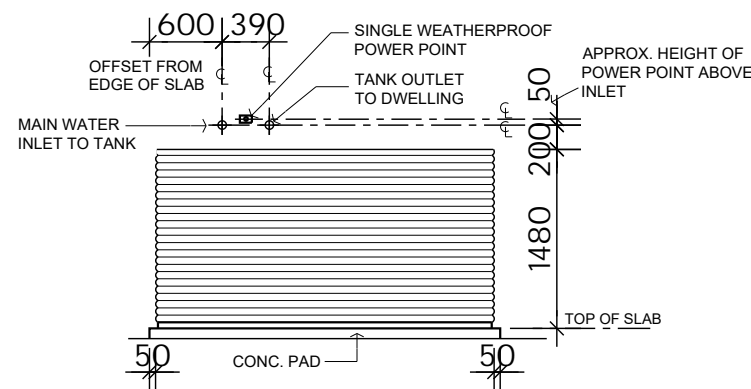
- INSULATION NOTE:
- R2.5 THERMAL BATTS TO EXTERNAL WALLS INCLUDING INCLUDING WALL BETWEEN GARAGE & HOUSE (EXCLUDES EXTERNAL WALLS OF GARAGE)
  - R4.1 THERMAL BATTS TO CEILINGS WITH ROOF OVER (EXCLUDING CEILINGS OVER GARAGE, PORCH, ALFRESCO & DECK)

NOTE:  
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DOORS (EXCLUDING HINGED DOORS)

SECTION A-A



SECTION B-B



RAINWATER TANK DETAIL  
NOT TO SCALE

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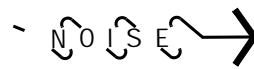
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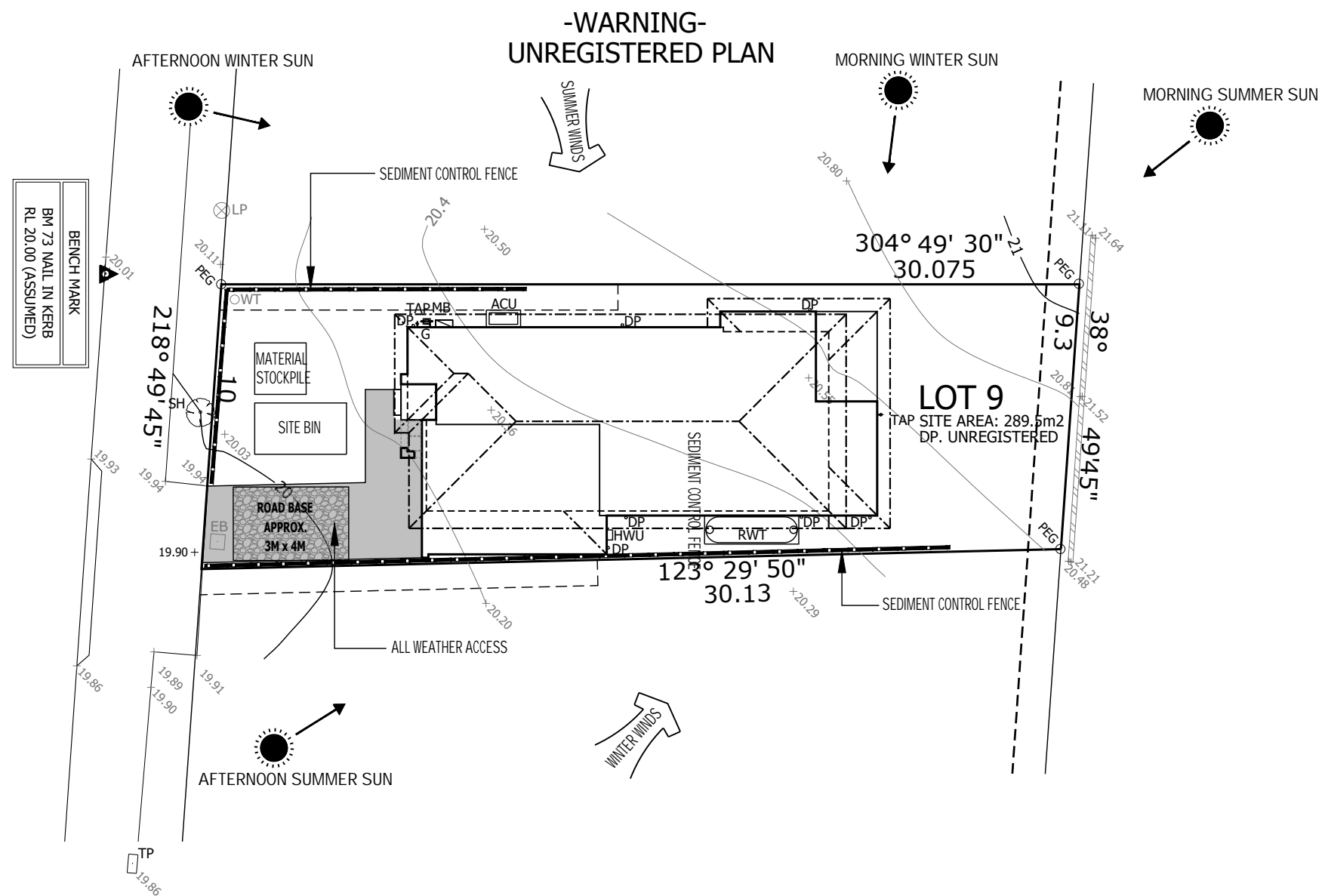
HOUSETYPE:  
MODEL: DAVENPORT 24  
FACADE: CLASSIC  
TYPE: GARAGE  
SPECIFICATION: LUX

DRAWING TITLE:  
**SECTION**

DRAWN BY: DP	DATE DRAWN: 29.08.19	CHECKED BY: QC	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: NORTHERN BEACHES		SCALE: 1:100	
JOB No: A009206	DRWG No.: 07	ISSUE: B	



BUBALO STREET



INSTALL SEDIMENT CONTROL STRUCTURES IN LOCATIONS INDICATED ON THIS DRAWING AND AS OTHERWISE REQUIRED TO CONTROL SEDIMENT DURING ALL EXCAVATIONS AND WHILST AREAS OF THE SITE ARE EXPOSED TO EROSION. REVIEW CONTROL MEASURES AND MAINTAIN STRUCTURES DURING CONSTRUCTION.

**SEDIMENT FENCE DETAIL**

Labels in diagram:

- DISTURBED AREA
- DIRECTION OF FLOW
- 3000 MAX
- GEOTEXTILE FILTER FABRIC (SUPPORTED)
- POSTS DRIVEN 600 INTO GROUND STEEL OR TIMBER
- UNDISTURBED AREA
- 600
- 200

## SEDIMENT FENCE DETAIL

SUITABLE FOR DRAINAGE AREA OF 0.6HA MAX AND  
SLOPE GRADIENT OF 1:2 MAX WITH LENGTH OF 60M MAX



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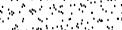
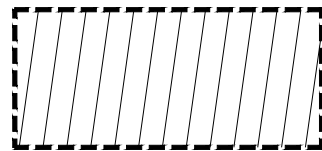
SITE ADDRESS:  
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BUBALO STREET  
WARRIEWOOD, NSW 2102

DRAWING TITLE:  
**SEDIMENT & ANALYSIS**

JOB No:	DRWG No.:	ISSUE:
A009206	10	B



BENCH MARK
BM 73 NAIL IN KERB RL 20.00 (ASSUMED)



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WARRIEWOOD, NSW 2102










HOUSETYPE:	
MODEL:	DAVENPORT 24
FACADE:	CLASSIC
TYPE:	GARAGE
SPECIFICATION:	LUX

DRAWING TITLE:  
**SHADOW DIAGRAM**

DRAWN BY:	DATE DRAWN:	CHECKED BY:	APPROVED FOR CONSTRUCTION:
DP	29.08.19	QC	

COUNCIL AREA:	SCALE:
NORTHERN BEACHES	1:200

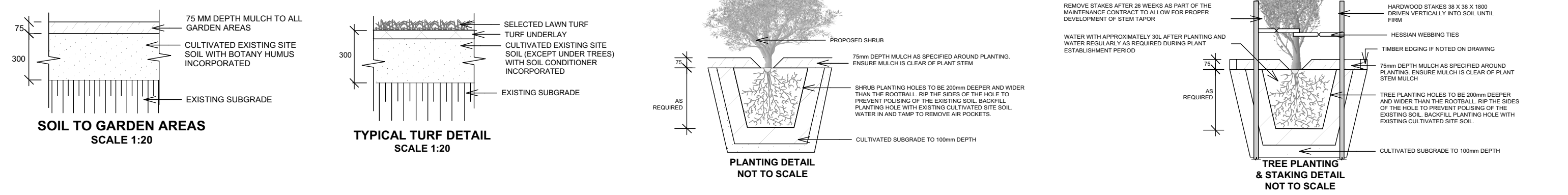
JOB No:	DRWG No.:	ISSUE:
A009206	11	B

	<b>COLOUR CONCRETE</b>
	<b>PLAIN CONCRETE</b>
	<b>LAWN</b>
	<b>FENCING</b>
	<b>DECORATIVE GRAVEL/PEBBLE</b>
	<b>STEPPING STONES IN GRAVEL/PEBBLE</b>
	<b>RETAINING WALL</b>
	<b>EXISTING TREE - RETAIN</b>
	<b>EXISTING TREE - REMOVE</b>



DATE		REVISION	
DRAWING			
LANDSCAPE PLAN			
ADDRESS		DATE	PROJECT #
LOT 9, BUBALO STREET, WARRIEWOOD		30/09/19	RAWSON HOMES
CLIENT		DRAWN	DWG #
MR A JING-WEI & MISS G.SHU-FEN LIAN		SL	L/01
LODGEMENT/COUNCIL		SCALE @ A3	1:200
NORTHERN BEACHES COUNCIL		REVISION A	

LANDSCAPE DETAILS



OUTLINE LANDSCAPE SPECIFICATION

**Tree Protection:** Trees to be retained shall be protected during site works and construction by the erection of solid barricades to the specification of Council. Storage of machinery or materials beneath canopy of trees to be retained shall not be permitted. Changes to soil level and cultivation of soil beneath canopy of trees to be retained shall not be permitted unless under direct supervision of Landscape Architect. Existing trees shall be pruned to Landscape Architects onsite instructions.

**Soil Preparation:** Cultivate to depth of 300mm all proposed lawn & garden areas incorporating minimum 100mm depth of organic clay breaker into existing site soil. Do not cultivate beneath existing trees to be retained. In areas where fill is required gain required shapes & levels using a premium grade soil mix. In areas where excavation is required (if in clay) over excavate as required to allow for installation of 500mm depth of premium grade topsoil mix to garden areas and 300mm depth of premium grade topsoil mix to lawn areas. Undertake all required action to ensure that no rootballs of proposed plants sit in clay wells and that all garden areas and lawn areas drain satisfactorily. Note it is intended that wherever possible existing levels shall not be altered through garden and lawn areas. It is the Contractors responsibility to ensure that the end result of the project is that all lawn and garden areas drain sufficiently (both surface & subsurface), are at required finished levels and have sufficient soil depths to enable lawn and plants to thrive and grow. Should alternative works to those specified be required to achieve the above result, Contractor shall inform Builder at time of Tender and request instructions.

**Lawn Edging and Stepping Stones:**(i) 125 x 25mm approved tanalith impregnated pine edging shall be installed, to lines as indicated on plan and staked with approved stakes at maximum 1500mm centres at ends and changes of direction; stakes shall be nailed to edging with approved galvanised steel nails. Top of edging shall finish flush with surrounding surfaces. Top of stakes shall finish 25mm below top of edging.(ii)Contractor shall install approved bricks on edge on a minimum 100mm deep x 90mm wide concrete footing with brick tor set in, to lines nominated on plan as brick edging. Bricks shall be laid with a nominal 10mm wide approved coloured mortar joint. Bricks needing to be cut shall be done so with clean sharp cuts. Top of edging shall finish flush with surrounding finished surfaces. Approved sandstone stepping stones shall be positioned as indicated on plan on a 25mm river sand bed. Approved sandstone stepping stones shall be positioned as indicated on plan on a 25mm river sand bed.

**Planting:** Purchase plants from an approved nursery. Plants to be healthy & true to type & species. Set out plants to positions indicated on plan. Following approval, plant holes shall be dug approximately twice width and to 100mm deeper than plant rootballs that they are to receive. Base and sides of hole shall be further loosened. Fertiliser, followed by 100mm depth of topsoil mix shall then be placed into base of hole and lightly consolidated. Base of hole shall then be watered. Remove plant container and install plant into hole. Rootball shall be backfilled with surrounding topsoil and topsoil firmed into place. An approved shallow dish shall be formed to contain water around base of stem. Base of stem of plant shall finish flush with finished soil level. Once installed plant shall be thoroughly watered and maintained for the duration of the Contract.

**Staking:** All trees shall be staked using 2 x 38mm x 38mm x 2000mm long hardwood stakes per plant and with hessian webbing ties installed to Landscape Architect's on site instructions.

**Mulching:** Install 75mm depth of 25mm diameter hardwood mulch to all garden areas, coving mulch down around all plant stems & to finish flush with adjacent surfaces.

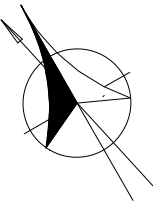
**Turfing:** Prepare for, level & lay cultivated Palmetto Buffalo turves to all areas nominated on plan as being lawn. Roll, water, fertilise, mow & maintain lawns as necessary until completion of maintenance period. At same time make good all existing lawn areas using same lawn type. Lawns in shade shall be over sown with an approved seed mix. Allow to retrim and returf councils nature strip as required.

General Notes:  
1. See Architects drawings for site levels, setbacks and extent of cut and fill.  
2. This plan shall be read in conjunction with the Hydraulic Engineers drawings.  
3. Landscape plan has been drawn to meet the minimum council and developer requirements. Additional landscape works further to minimum requirements have also been proposed on this plan. Any completion of works beyond the minimum requirements will remain at the discretion of the owner.  
4. Levels and dimensions are indicative only and are subject to site conditions.  
5. Requirements for retaining walls including height, position and extent, shall be determined and approved by others.



**BLUEGUM DESIGN**  
Landscape Plans for DA

**BLUEGUM DESIGN SERVICES**  
T: 0435 127 244  
E: info@bluegumdesign.com.au  
W: bluegumdesign.com.au



DATE		REVISION	
DRAWING			
LANDSCAPE DETAILS			
ADDRESS		DATE	PROJECT #
LOT 9, BUBALO STREET, WARRIEWOOD		30/09/19	RAWSON HOMES
CLIENT		DRAWN	
MR A JING-WEI & MISS G.SHU-FEN LIAN		SL	
LODGEMENT/COUNCIL		SCALE @ A3	DWG #
NORTHERN BEACHES COUNCIL		NTS	L/02
			REVISION

**Client Name:** Mr Aaron Jing-Wei & Miss Geraldine Shu-Fen Lian  
**Site Address:** Lot 9, Bubalo Road WARRIEWOOD NSW 2102

### External Materials & Fixtures Selection

#### Bricks

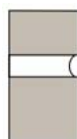
##### Mortar Joints

Off White



##### Mortar Joints

Ironed



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## Roofing

### Main Roof - Concrete/Terracotta Roof Tiles

Atura



### Main Roof - Concrete/Terracotta Roof Tiles

Sambucca



### Ridge Capping

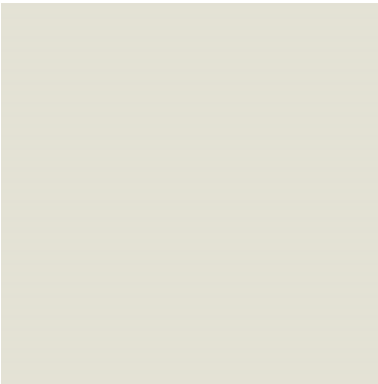
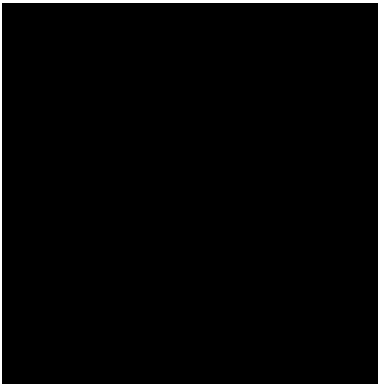
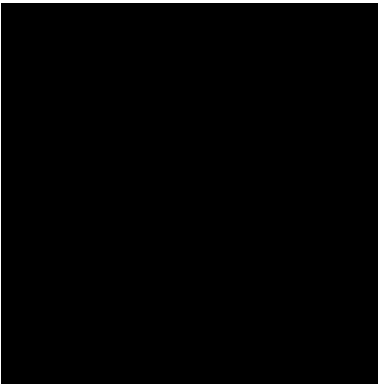

Lapped Ridge



\* Please note colour images are an indication only and may not be a true representation of the final product.  
THIS DOES NOT FORM PART OF YOUR HOME BUILDING AGREEMENT. Please refer to your colour selection documentation

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#### Fascia, Gutter & Downpipes

Fascia	Gutter	Barge	Rainwater Tank
Surfmist	Night Sky	Night Sky	Woodland Grey
			

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**Metal Capping**

Night Sky



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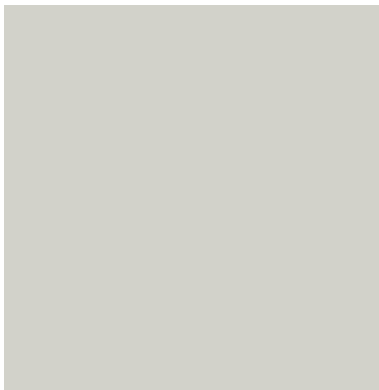
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#### Windows & Flyscreens

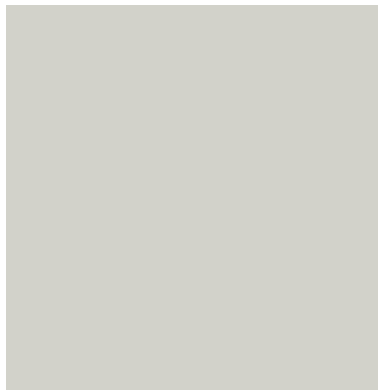
##### Window & Sliding Door Frames

STD Surfmist Matt



##### Flyscreens - Windows & Sliding Doors

STD Surfmist Matt



##### Wet Area Glazing

Obscure



##### Wet Area Glazing 2

Obscure



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**Wet Area Glazing 3**

Obscure



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THIS DOES NOT FORM PART OF YOUR HOME BUILDING AGREEMENT. Please refer to your colour selection documentation

**Client Name:** Mr Aaron Jing-Wei & Miss Geraldine Shu-Fen Lian  
**Site Address:** Lot 9, Bubalo Road WARRIEWOOD NSW 2102

### Driveway

#### Driveway

Bluestone



#### Pathway

Bluestone



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### External Doors

#### Laundry External Door

No. 7 Primed



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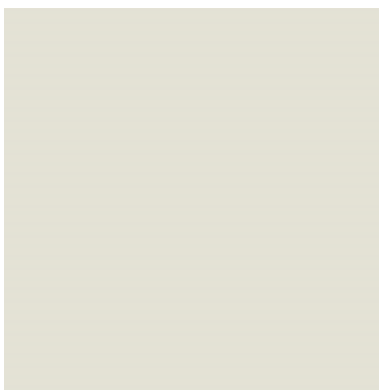
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#### External Paint Schedule

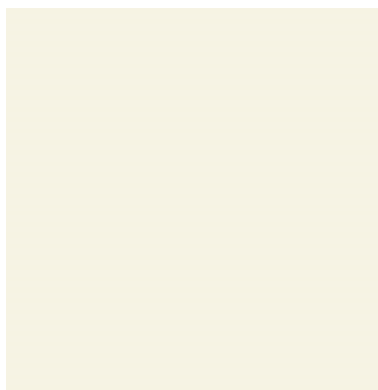
##### Cladding Style 1

Surfmist CB 23



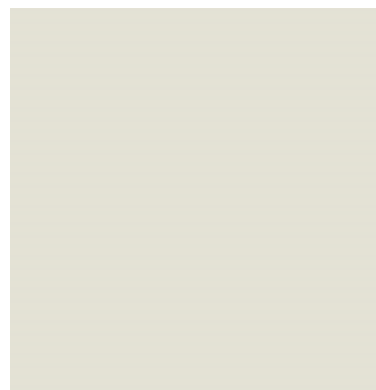
##### Eaves/Alfresco/Soffit

Crisp White T15 3.1



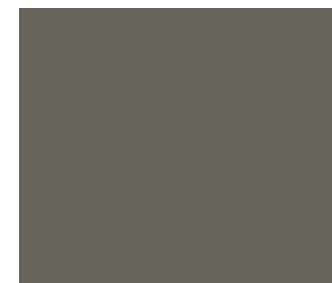
##### Pergola

Surfmist CB 23



##### Meter Box

Woodland Grey CB 03



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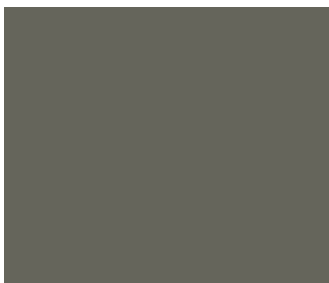
**Downpipes**

Monument CB 66



**AC Cover**

Woodland Grey CB 03



- I/we acknowledge that this colour schedule is final. No changes will be permitted unless required by the developer and or council. Changes outside of this will incur an administration fee.
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Client Signature \_\_\_\_\_

Date 19/08/2019

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