



Job No: 2009/357

Tuesday, 22 September 2009

Manly Council  
PO Box 82,  
Manly NSW 1655

Attention: General Manager

**RE: Interim Occupation Certificate No. 09/357/01  
Shop 65 & 67, 197-215 Condamine Street, Balgowlah**

Please find attached a copy of Interim Occupation Certificate 09/357/01 and required attachments issued by Steve Watson & Partners for the above mentioned development in accordance with Section 109C(1)(c) and 109H of the Environmental Planning and Assessment Act 1979.

Please find attached a cheque in the amount of \$30 payable for the registration of the Occupation Certificate.

Can you please forward SWP a receipt for the acknowledgment of the lodgement cheque.

With regard to the attached certificate please do not hesitate to contact me should you have any queries or require any further information.

Regards,

Luke Denny  
Building Regulations Consultant  
Steve Watson & Partners Pty Ltd

\$ 30.00  
R/p 644324  
RF 2/10/2009



STEVE WATSON  
& PARTNERS

BUILDING REGULATIONS CONSULTANTS AND CERTIFIERS  
FIRE SAFETY ENGINEERS

LEVEL 5, 432 KENT STREET, SYDNEY NSW 2000  
TEL +61 2 9283 6555 | FAX +61 2 9283 8500  
sydney@swpartners.com.au  
www.swpartners.com.au  
ABN 48 102 366 576

**INTERIM  
OCCUPATION  
CERTIFICATE**

Issued under the Environmental Planning and Assessment Act 1979 Section 109C(1)(c) and 109H

**Interim Occupation Certificate No. 09/357/01**

I, **Stephen Watson**, certify that:

- I have been appointed as the Principal Certifying Authority under section 109E.
- I have taken into consideration the health and safety of the occupants of the building.
- A Development Consent or Complying Development Certificate is in force with respect to the building.
- A Construction Certificate has been issued with respect to the plans and specifications for the building.
- The building is suitable for occupation or use in accordance with its classification under the Building Code of Australia.
- Where required, a Final Fire Safety Certificate has been issued for the building or an Interim Fire Safety Certificate has been issued for the relevant part of the building.
- Where required, a report from the Commissioner of Fire Brigades has been considered.

<b>Applicant</b>	Name: <b>Fitness First Australia</b> Address: <b>Level 3, 55 Grafton Street</b> Suburb: <b>Bondi Junction</b> State: <b>NSW</b> Postcode: <b>2022</b>
<b>Location of the Property</b>	Address: <b>Shop 65 &amp; 67, 197-215 Condamine Street</b> Suburb: <b>Balgowlah</b> State: <b>NSW</b> Postcode: <b>2093</b> Real Property Description: <b>Lot 101 DP 1102617</b>
<b>Building Description</b>	<b>Ground Floor Fitness First (Children's Area)</b>
<b>Building Code of Australia Classification</b>	<b>Class 9b</b>
<b>Date of Receipt</b>	Date Received: <b>22<sup>nd</sup> September 2009</b>
<b>Determination</b>	<b>Approved</b> Date of Determination: <b>22<sup>nd</sup> September 2009</b>
<b>Development Consent</b>	Development Consent Number: <b>117/09</b> Council: <b>Manly Council</b> Date of Determination: <b>1<sup>st</sup> June 2009</b>
<b>Construction Certificate</b>	Construction Certificate Number: <b>09/357/01</b> Date of Determination: <b>16<sup>th</sup> July 2009</b>

**Steve Watson**

Accreditation Body: **BPB**

Accreditation No: **BPB0432**

Date of Endorsement: **Tuesday, 22 September 2009**

**Documentation relied upon to issue Occupation Certificate 08/357/01 for Shop 65 & 67, 197-215 Condamine Street, Balgowlah**

Item No	Description	Date
1.	Mandatory inspection record (Final)	10.08.09
2.	Application for Occupation Certificate	22.09.09
3.	Interim fire safety certificate	22.09.09
4.	Glazing Certificate	14.08.09
5.	SWP DA Checklist and associated documentation	22.09.09



# STEVE WATSON & PARTNERS

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ABN 48 102 366 576

## S162B Site Inspection Record

Project Address: **Fitness First Shop 65, 197- 215 Condamine Street, Balgowlah (Children's area)** Inspection record #: **09/357/F1**

Inspector: **Steve Watson** Accreditation #: **BPB 0432**

DA ref: **117/09** CC Ref: **09/357/01**

Date: **10.08.09** Type: **COMPLETION for interim occupation**

### Checklist

Consistency with approved plans?	Y	BCA compliance matters OK?	Y
Pre OC DA Conditions? (see checklist attached)	Y	Basix matters OK?	NA

### Issues/Rectification works required

#	Issue	Comment/ requirement	Action by
1.	Children's area only.		
2.			
3.			

### Was the Inspection

- Satisfactory  
 Satisfactory subject to resolution of the issues identified above  
 Unsatisfactory

Signed

Inspector

10.08.2009

Date



# STEVE WATSON & PARTNERS

## APPLICATION FOR OCCUPATION CERTIFICATE

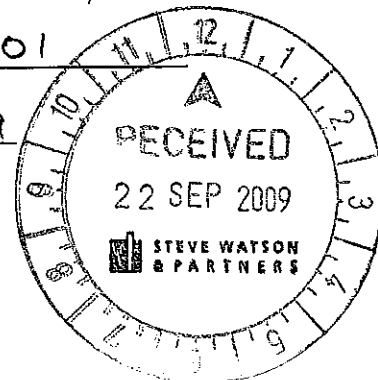
FIRE SAFETY ENGINEERS  
LEVEL 5, 432 KENT STREET, SYDNEY NSW 2000  
TEL +61 2 9285 6551 FAX +61 2 9283 8500  
sydney@swpartners.com.au  
www.swpartners.com.au  
ABN 48 102 344 576

### PART 1 Application and Site Details

<b>Type of Certificate Sought</b> <i>Tick appropriate boxes</i>	<input type="radio"/> Interim certificate <input type="radio"/> Final certificate <input type="radio"/> Change of building use of an existing building <input type="radio"/> Occupation/use of a new building
<b>Applicant</b>  <i>It is important that we are able to contact you if we need more information.</i>  <i>Please give us as much detail as possible.</i>	Mr <input type="checkbox"/> Mrs <input type="checkbox"/> Miss <input type="checkbox"/> Ms <input type="checkbox"/> Other <input type="text"/> Surname (or Company): <u>FITNESS FIRST AUSTRALIA.</u> Given names (or ABN): <u>65 094 778 622</u> Address: <u>LEVEL 3, 55 CRAFTON ST Bondi Junction</u> State: <u>NSW</u> Post Code: <u>2022</u> Phone: (02) <u>8117 2221</u> Fax: (02) <u>8117 2472</u> Mobile: <u>0422386603</u> E-mail: <u>davebugaja@fitnessfirst.com.au</u>
<b>Location of the Property</b>  <i>We need this to correctly identify the land.</i>	Address: <u>SHOP 65, 197-215 CONDOMINE ST BALGOWLAH</u> State: <u>NSW</u> Post Code: <u>2093</u> Real Property Description: <u>LOT 101 DP 1102617, LOT 1 DP 206629</u> (eg. Lot/DP/Section, etc) <u>LOT 1 DP 701218, LOT 3 DP 701218</u>  <i>The real property description is mandatory, these details are shown on your rate notices, property deeds etc</i>

### PART 2 Work Description

<b>Development Consent or Complying Development Certificate</b>	Development Consent/Complying Development No: <u>DA117/09</u> Date of Determination: <del>28/05/09</del> <u>01/06/09</u>
<b>Construction Certificate</b>	Construction Certificate No: <u>09/357/01</u> Date of Determination: <u>16/7/09</u>



**Building Details**

The building classification must be the same as that specified in the Complying Development Certificate or Construction Certificate

If you are applying for an Occupation Certificate for part of the building, describe the part of the building:

Describe the proposed use of the building: CHILD CARE

What is the classification of the building under the BCA: ab

**Change in Classification**

What is the existing classification of the building under the BCA: n/a

What is the new classification of the building under the BCA: n/a

**Attachments**

The following information must accompany an application for an Occupation Certificate:

- A copy of Development Consent or Complying Development Certificate
- A copy of the Construction Certificate, where relevant
- A Final Fire Safety Certificate or Interim Fire Safety Certificate (not required for class 1a or 10 buildings).
- Other certificates or documentation relied on.

**PART 3 Declaration**

**Declaration**

If the applicant is a company or strata title body corporate, a director or authorised delegate must sign this declaration.

I declare that all the information in the application is, to the best of my knowledge, true and accurate.

I also understand that if the information is incomplete the application may be delayed or rejected or more information may be requested. I acknowledge that if the information provided is misleading, any approval granted 'may be void'.

Signature: [Signature] Date: 22 / 9 / 09

Name, if you are not the applicant: DAVID BUCOTA

In what capacity are you signing if you are not the applicant: PROJECT MGR.



<p><b>STEVE WATSON &amp; PARTNERS</b></p> <p><b>DEVELOPMENT CONSENT CHECKLIST REQUIREMENTS FOR CERTIFICATION</b></p>	<p><b>PROJECT:</b> Finlay Plaza - Balgownie</p> <p><b>SWP JOB NUMBER:</b> 2006-357</p> <p><b>DA #:</b> 11769</p>	<p>SEE #1 closed</p> <p>SEE #6 closed</p> <p>SEE #2 closed</p> <p>SEE #4 closed</p>
	<p>This checklist and the requirements necessary to secure Construction and Occupation Certificates (CCs and OCs) to be issued by SWP under Part 4a of the EPA Act</p> <p>The checklist must be read in conjunction with the Development Consent and any SWP modifications</p> <p>The applicant must be made aware of the Consent and provide the nominal addresses at each page</p>	
	<p>Note that the conditions do not be set aside except by a formal SWP application to Council.</p>	

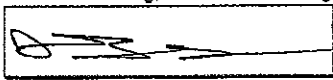
DA #	Task	Deliverable prior to CC	Deliverable prior to commencement of works	Deliverable during construction	Deliverable prior to OC	Deliverable upon completion of works
DA1	Development to be in accordance with approved plans, SOEE and Access report	The following documents to be forwarded to SWP * Stamped DA plans * Statement of Environmental Effects * Accessibility Solutions Access Report				
ANS01	Protect Bays					
ANS02	Prepared load scheduling					
ANS03	Truck Movements					
ANS04	Loading and unloading					
ANS06	Coordination and ongoing use of the premises that will give rise to offensive noise					
ANS06	All hand wash basins must be accessible at all times. Basins to have warm water from a single supply and supplied with soap and paper towel					
ANS07	Air Emissions					
ANS0A	Water cooling systems to comply with the required legislation and AS				Compliance certificate to be forwarded to SWP	
ANS09	The lowest glass pane on level 1 and level 3 of the Consuming Street side of the building must be obscured glass, the plans are to be submitted	Amended plans to be forwarded to SWP				Outstanding
DA001	The development shall provide access and facilities for people with disabilities in accordance with AS 1428.1 and 2				Compliance Certificate to be forwarded to SWP	
DA016	Security deposit					
DA018	Details of building name and phone number	Details to be forwarded to SWP				
DA021	Toile facilities					
DA023	No Co-operation without CC					
DA074	Balcony scope					
DA08	Structural engineers plans required	Plans and certification to be forwarded to SWP				
DA04	Strategy to adjoining properties					
DA58	Security fence					
DA67	Architectural drawings					
DA118	Fire Safety Schedule					
DA187	All service pipes are to be chased into walls					
DA190	Building to be erected in Type A construction					
DA191	Work to be carried out in accordance with BCA					
DA238	Drainage to road					
DA240	Final stepping					
DA268	CC application					
DA270	PCA					
DA271	CC					
DA337	Work not to be carried out on roadway					
DA348	Hours of work					
DA390	Offensive noise					
DA391	Hours of work					
DA374	Section 34					
DA423	The approval shall expire after 2 years					

Satisfaction of DA Conditions  
 Checked by: *Prior to CC 22.09.09*  
 Verified by: *29.9.09*

Task	Deliverable prior to CC	Status CC	Status NCC	Current Status	Item to CC	Status CC	Status NCC
				OK			
Note							
Note							
Note							
Note							Outstanding
Note							Outstanding
				See CC Plans			
				See clause 003 to NAB payable to Mary Council			
				James Douglas Phone (0800) 0418 899 104			Outstanding
Note							
Note							
Note				Certificate from Robert Bell Group 28/09			
Note							
Note							
Note							Outstanding
Note							
Note							
Note							
Note							
Note							
Note							
Note							

# FIRE SAFETY CERTIFICATE

The owner of a building, or the owner's agent, needs to provide a fire safety certificate to the certifying authority (a council or a private certifier) with an application for an occupation certificate. You can use this form to do so. A copy of the certificate also needs to be given to the Commissioner of New South Wales Fire Brigades and displayed in the building in a prominent position.

<b>1. Details of the Building being Certified</b>	
Name of the owner of the building or part of the building	
Full name/company name	<b>Stockland</b>
Address of the building	
Flat/street no.	<b>197-215</b> Street name <b>Condamine Street</b>
Suburb or town	<b>Balgowlah</b> Postcode <b>2093</b>
Nearest cross street	<b>SYDNEY RD.</b>
This certificate is for:	
<input checked="" type="checkbox"/> part of the building <input type="checkbox"/> the whole of the building.	
Description of the building or part of the building	
<b>Ground Floor - Fitness First (Children's Area)</b>	
<b>2. Type of Certificate</b>	
This is:	
<input checked="" type="checkbox"/> an Interim Fire Safety Certificate	
<input type="checkbox"/> a Final Fire Safety Certificate	
Date of this certificate	<b>22.09.09</b>
<b>3. Certification</b>	
I, <b>DAVID BUCEDA</b>	of <b>FITNESS FIRST AUSTR.</b>
being the owner of the building described above, or the agent of the owner, certify that:	
<ul style="list-style-type: none"> <li>each of the essential fire safety measures listed in part 7 has been assessed by a properly qualified person, and was found, when it was assessed by that person, to be capable of performing to at least the standard required by the current fire safety schedule for the building;</li> <li>the information contained in this statement is true and accurate to the best of my knowledge and belief.</li> </ul>	
<b>4. Information Attached to this Certificate</b>	
<input type="checkbox"/> The current Fire Safety Schedule for the building	
<b>5. Signature</b>	
The owner of the building, or the owner's agent, must complete and sign the certificate.	
Signature	 Name <b>DAVID BUCEDA</b>
Address	<b>LEVEL 3, 55 GARRON ST GARD. JUNCTION</b> The capacity in which you are signing if you are not the owner of the building <b>PROJECT MGR.</b>
<b>6. Privacy policy</b>	
You need to provide the information in this certificate to the certifying authority if you are applying for an Occupation Certificate. You also need to give the information to the council and the Commissioner of New South Wales Fire Brigades if a fire safety order has been made for the building once you have satisfied that order. If you do not supply a Fire Safety Certificate as required you will be in breach of the <i>Environmental Planning and Assessment Act 1979</i> and you could be found guilty of an offence and/or required to take further action. Please contact the council if the information you have provided in this certificate is incorrect or changes.	



7. Assessment of Fire Safety Measures		
Measure	Standard of performance required by the fire safety schedule	Date of assessment
Automatic Fire Detection and Alarm System	BCA Specification E2.2a, AS 1670 - 2004 & Defire Alternative Solution Report 20050098 R1.8	14.08.09
Automatic fire suppression systems (Sprinklers, gas systems etc)	BCA Specification E1.5 and AS 2118.1-1999 & Defire Alternative Solution Report 20050098 R1.8	18.08.09
Emergency Lighting	BCA Clause E4.2, E4.4 and AS/NZS 2293.1 – 2005	18.08.09
Exit Signs	BCA Clause E4.5, NSW E4.6, E4.8 and AS/NZS 2293.1 – 2005	18.08.09
Fire Hydrants Systems	BCA Clause E1.3 and AS 2419.1 - 2005	18.08.09
Portable Fire Extinguishers	BCA Clause E1.6 and AS 2444 – 2001	18.08.09

# INSTALLATION CERTIFICATION

PROJECT: THE VILLAGE, BALGOWLAH

ADDRESS: 197-215 CONDAMINE ST, BALGOWLAH 2093

Pursuant to the provisions of Clause A2.2(a)(iii) of the Building Code of Australia Vol 1.

I.....**Frank Hull**.....of.....**Tyco Fire & Security t/a Wormald** .....

(Name of Certifier)

(Firm)

.....**Unit 1 2-8 South Street Rydalmere 2116**.....

(Address)

hereby certify:-

That the ...**Fire Sprinklers, Fire Hydrant and Fire Extinguishers**.....installed in the below tenancies complies with:-

- a) The relevant clauses of the Building Code of Australia,  
..... **E1.5, E1.3 and E1.6**.....
- b) The architectural/services/structural plans and specifications approved by the Accredited Certifier and released for construction.
- c) The relevant Australian Standards listed in the Building Code of Australia (Specification A1.3)
- d) The following Australian Standards:..... **AS 2118.1-1999, AS 2419.1-2005 & AS 2444-2001**
- e) Other practices or standards relied upon for this certification: **Defire Alternative Rev 1.8**.....
- f) Exclusions: **YES/NO**.....

Tenancy No.	Tenancy Name
<b>BLDG H</b>	<b>FITNESS FIRST CHILDCARE</b>

--	--

Full Name of Certifier: .....**Frank Hull**.....

Qualifications and experience:.....**Technical Manager**.....

Address of Certifier: ..... **Unit 1 2-8 South Street Rydalmere 2116**.....

Phone numbers: Bus...(02) 96388500.....FAX....(02) 9638 8599

Signature: *Y. Hull*.....

Date: *18/08/09*.....

# INSTALLATION CERTIFICATION

PROJECT: **THE VILLAGE, BALGOWLAH**

ADDRESS: **197-215 CONDAMINE ST, BALGOWLAH 2093**

Pursuant to the provisions of Clause A2.2(a)(iii) of the Building Code of Australia Vol 1.

I.....**Andrew Mitchell**.....of.....**Heyday Group Pty**.....  
(Name of Certifier) (Firm)

.....**9 Waterloo Road, North Ryde**.....  
(Address)

hereby certify:-

That the .....**Fire Detection and Occupant Warning system**..... installed in the building  
(**Fitness First Childcare, Bldg H**) complies with:-


- a) The relevant clauses of the Building Code of Australia,  
.....**BCA 2006 Clause E4.9**.....
- b) The architectural/services/structural plans and specifications approved by the Accredited Certifier and released for construction.
- c) The relevant Australian Standards listed in the Building Code of Australia (Specification A1.3)
- d) The following Australian Standards:.....**AS1670 Pt 4 2004**.....
- e) Other practices or standards relied upon for this certification:.....  
Alternative Solution Report prepared by **Defire Ref 20050098...Rev 1.8**.....
- f) Exclusions:  
YES/NO.....**NIL**.....

Full Name of Certifier: .....**Andrew Mitchell** .....

Qualifications and experience:.....**Electrician**.....

Address of Certifier: .....**c/o 9 Waterloo Road, North Ryde, 2113**.....

Phone numbers: Bus...**98556666**...Fax **98556691**.....Mob...**0416076835**...

Signature: .....  .....

Date.....**14/08/09**.....



**Heyday Group**

**Heyday Group Pty Ltd**  
 ABN 82 121 276 168

Heyday Electrics  
 ACC Technologies  
 Heyday Communications  
**Heyday Fire Technologies**

9 Waterloo Road  
 North Ryde NSW 2113  
 Phone: (02) 9855 6666  
 Facsimile: (02) 9855 6655

**Commissioning Checklist**  
**(General Detection System)**

**Project:** The Village, Balgowlah.  
**Sheet 1/9** (6 Sylvan Avenue) Fitness First Childcare

**Date:** 14<sup>th</sup> August 09

Device Loop /Address	Device type	Point Descriptions/Location	Correct Zone Indication on FIP (Y/N)	Fire Bell Activated (Y/N)	EWS System Activated (Y/N)	General Fire Trip Activated(Y/N)	Fire Brigade Called (Y/N)
L7S55	PHOTOOPTICAL	FITNESS FIRST CHILD CARE CENTRE	✓	✓	✓	✓	✓
L7S56	PHOTOOPTICAL	FITNESS FIRST CHILD CARE CENTRE	✓	✓	✓	✓	✓
L7S57	PHOTOOPTICAL	FITNESS FIRST CHILD CARE CENTRE CUPBOARD	✓	✓	✓	✓	✓
<b>TESTED BY:</b>		Andrew Mitchell					

# BoltElec

BoltElec Pty Ltd ABN: 56 119 301 218  
Address: Unit 6, 15-17 Chaplin Drive, Lane Cove West NSW 2056  
Office: 02 9018 9540 Fax: 02 9018 9544 Email: sales@boltelec.com

RE: Fitness First Balgowlah Child Care (197 Condamine St Balgowlah NSW)

To Whom It May Concern:

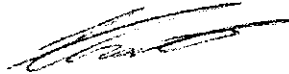
Boltelec Confirms that all exit emergency lighting has been installed as per the approved design and as per AS2293.1-2005

Boltelec Also confirms all electrical works have been carried out as per AS3000:2007.

All works stated have been carried out at the above address.

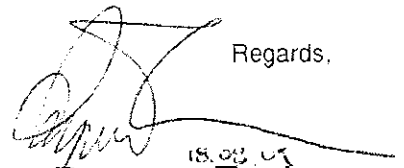
Boltelec License Number: 191920C

Regards,



**Chris Banks**  
Supervisory Electrician  
BOLTELEC PTY LTD  
PH: +61(0)2 9018 9540  
FAX: +61(0)2 9018 9544  
MOB: +61(0)407 025 031  
Chris.Banks@boltelec.com

Regards,



**Dwayne Taylor**  
Business Manager  
BOLTELEC PTY LTD  
PH: +61(0)2 9018 9540  
FAX: +61(0)2 9018 9544  
MOB: +61(0)407 057 008  
dwayne.taylor@boltelec.com

# SWA SOUTH WEST ALUMINIUM PTY LTD

## COMMERCIAL ALUMINIUM WINDOWS AND DOORS - GLASS AND GLAZING

Head Office:

P O Box 3479, Narellan DC, NSW 2567  
U27/ 24 Anzac Av. Smeaton Grange, NSW, 2567  
Phone : 02 46 47 1455  
Fax : 02 46 47 6122  
Web: www.swal.com.au

*SERVICE - QUALITY - PRICE*

ABN: 95 765 739 951

### GLASS AND GLAZING CERTIFICATE

14 August 2009

Prime Projects and Interiors Pty Ltd  
394 Pacific Highway  
Lane Cove NSW 2066

Attention: Mr Chris Jameson

Re: Fitness First - Balgowlah - Childrens Area  
Glass and Glazing Certification

Dear Sir,

This letter certifies that all Glass and Glazing to the Aluminium Windows and Doors of the above projects works completed by South West Aluminium Pty Ltd has been carried out specifically to the Australian Glazing Standards & Building Codes, BCA ( 2007 ), Part J2, Clause F1.13, AS2208-1996 and AS1288-2008 and AS2047 and installation and glazing has been in line with all manufacturer's instructions on their specific product components.

Yours Faithfully,  
South West Aluminium Pty Ltd



Joseph Fabricato  
Managing Director