

THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS AND WITH SUCH DURING THE COURSE OF THE PROJECT. THE DRAWINGS ARE HEREBY REFERRED TO THE PRINCIPAL FOR DECISION BEFORE PROCEEDING WITH THE PROJECT.

ALL DIMENSIONS RELEVANT TO SETTING OUT AND ON-SITE FABRICATION WORK SHALL BE VERIFIED BY THE ARCHITECT BEFORE COMMENCEMENT OF CONSTRUCTION. ONCE CONSTRUCTION COMMENCED, DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE DRAWINGS.

DURING CONSTRUCTION THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION AND SHALL NOT BE OVERSTRESSING.

ALL WORKSHIPMANS AND MATERIALS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE SCS CODES AND THE BY-LAWS AND ORDINANCES OF THE RELEVANT BUILDING AUTHORITY.

ALL DIMENSIONS ARE IN MILLIMETRES UNLESS STATED OTHERWISE. ALL LEVELS ARE EXPRESSED IN METRES.

PLACING OF THE WORKSHOP FLOOR SHALL BE IN ACCORDANCE WITH GOOD BUILDING PRACTICES WHEN SHOWN ON THE DETAILS OR NOT.

THIS DRAWING TO BE READ IN CONJUNCTION WITH GSA GENERAL HOUSING SPECIFICATION.

M1. ALL CLAY BRICKS AND BRICKWORK SHALL COMPLY WITH AS/NZS 4455, AS/NZS 4456 AND AS 3700.

M2. CONCRETE BLOCKS ARE TO BE IN ACCORDANCE WITH AS 2733.

M3. ALL DAMP PROOF COURSES SHALL COMPLY WITH AS 3700 AND AS 2904.

M4. CAVITY VENTILATION (WEEP HOLES) SHALL BE IN ACCORDANCE WITH AS 3700.

M5. MORTAR SHALL COMPLY WITH AS 3700, JOINT TOLERANCES SHALL BE IN ACCORDANCE WITH AS 3700.

M6. ALL WALL TIES SHALL BE MANUFACTURED IN ACCORDANCE WITH AS 2699 AND BE INSTALLED IN ACCORDANCE WITH AS 3700.

T1. ALL TIMBER FRAMEWORK SHALL COMPLY WITH AS 1684.
T2. ROOF FRAMING TO BE IN ACCORDANCE WITH AS 1684.
T3. TIMBER ROOF TRUSSES TO MANUFACTURERS DETAILS AND SPECIFICATIONS.
T4. TIMBER BRACING TO BE IN ACCORDANCE WITH AS 1684.

1. UNDERFLOOR VAPOUR BARRIER SHALL BE IN ACCORDANCE WITH AS 2870.
2. TERMITE TREATMENT SHALL BE IN ACCORDANCE WITH AS 3660.1.
3. THE UNDERFLOOR VAPOUR BARRIER SHALL BE IN ACCORDANCE WITH AS 2870.
4. REINFORCEMENT SHALL CONFORM AND BE PLACED IN ACCORDANCE WITH AS 3600,
5. AS 2870 AND THE ENGINEERS RECOMMENDATIONS.
6. STRUCTURAL CONCRETE SHALL BE IN ACCORDANCE WITH AS 3600. PRE MIXED CONCRETE
7. SHALL BE MANUFACTURED IN ACCORDANCE WITH AS 1379.
8. PROVIDE ADEQUATE CROSS FLOOR VENTILATION TO THE SPACE UNDER SUSPENDED GROUND
9. FLOOR.
10. ALL SLABS SHALL BE CURED IN ACCORDANCE WITH AS 3600.

T1. CEMENT MORTAR AND OTHER ADHESIVES SHALL COMPLY WITH AS 3958.1
T2. INSTALLATION OF TILES SHALL BE IN ACCORDANCE WITH AS 3958.

C1. THE LINING OF WET AREA WALLS SHALL BE CONSTRUCTED IN
C2. ACCORDANCE WITH AS 3740.
ALL INTERNAL WET AREAS AND BALCONIES OVER INHABITABLE ROOMS
TO BE WATER
PROOFED TO AS 3740.

J1. ALL INTERNAL AND EXTERNAL TIMBER DOOR AND DOOR SETS SHALL BE IN ACCORDANCE WITH AS 1909. TIMBER DOORS AND DOOR SETS SHALL BE MANUFACTURED IN ACCORDANCE WITH AS 2688 AND AS 2689.

J2. ALL GLAZING SHALL COMPLY WITH AS 1288.

ALL STEEL FRAMING INCLUDING FLOORS, WALLS AND ROOF FRAMING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS AND AS 3623.

R1. CONCRETE AND TERRACOTTA TILES SHALL COMPLY WITH AS 2049 AND BE INSTALLED IN ACCORDANCE WITH AS 2050.

R2. METAL RAINWATER GOODS SHALL BE MANUFACTURED IN ACCORDANCE WITH AS 2181 AND INSTALLED IN ACCORDANCE WITH AS 2180.

R3. SARKING TO COMPLY AND BE FIXED IN ACCORDANCE WITH AS/NZS 4200.1 & AS/NZS 4200.2.

R4. WEATHERPROOFINGS AND FLASHINGS SHALL COMPLY WITH AS 2904, AS 1804

NATIONAL CONSTRUCTION CODE, AUSTRALIAN STANDARDS, COUNCIL REQUIREMENTS & OTHER CODES:
ALL BUILDING WORK TO BE IN ACCORDANCE WITH NCC, COUNCIL CODES AND ALL
RELEVANT AUSTRALIAN STANDARDS INCLUDING, BUT NOT LIMITED TO :

- AS 1684 - RESIDENTIAL TIMBER FRAMED CONSTRUCTION
- AS 2874:2014 - WINDOWS AND EXTERNAL GLAZED DOORS IN BUILDINGS
- AS 2874:2011 - RESIDENTIAL SLABS AND FOOTINGS
- AS/NZS 3000:2007 - WIRING RULES
- AS/NZS 3500.5:2000 - NATIONAL PLUMBING AND DRAINAGE
- AS 3640.1:2014 - TERMITE MANAGEMENT
- AS 3700-2011 - MASONRY STRUCTURES
- AS 3740-2010 - WATERPROOFING OF DOMESTIC WET AREAS
- AS/NZS 2918-2008 DOMESTIC SOLID FUEL BURNING APPLIANCES
- AS 4300-1998 - STEEL STRUCTURES
- NORTHERN REACHES COUNCIL DRIVEWAY SPECIFICATIONS
- SYDNEY WATER TECHNICAL GUIDELINES: BUILDING OVER AND ADJACENT TO PIPE ASSETS



- BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
- ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND B.C.A. REQUIREMENTS.
- CONNECT DP'S TO EXISTING STORMWATER SYSTEM. ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS

1:100

2m 0 2m 4m 6m 8m 10m

NOTE:
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**ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS**

 EXISTING BUILDING OUTLINE

General Notes

proudly
supporting

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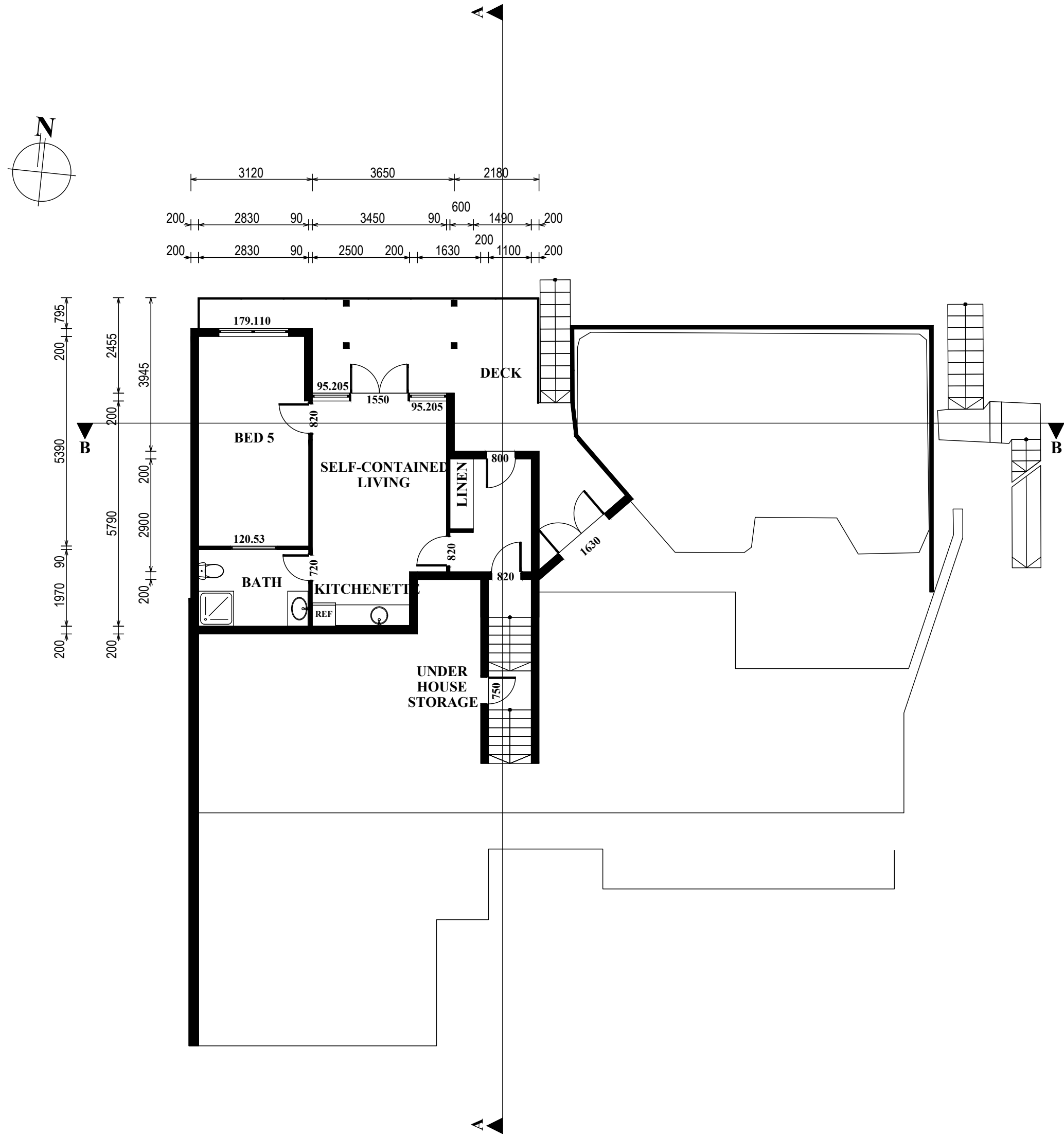
| | |
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| Project ADDITONS AND ALTERATIONS | Sheet |
| Date 16/07/2020 | SP |
| Scale | |

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| DP No. | 533495 |
| LOT No. | 2 |

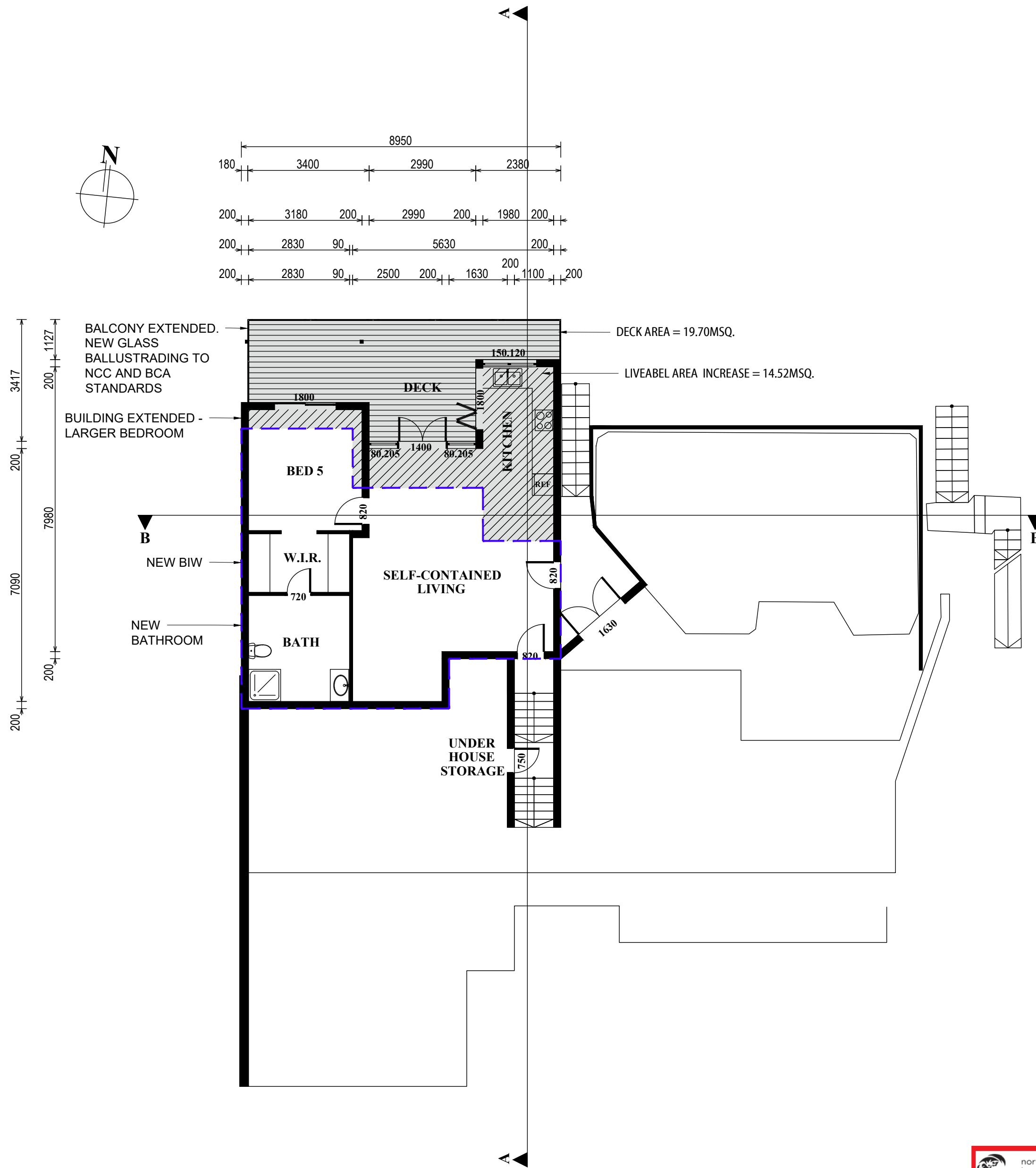
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| No. | Revision/Issue | Da |

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DARRELL BISWELL
95B CHERYL CRES.
NEWPORT
NSW



1 LOWER FLOORPLAN – EXISTING
Scale 1:100



1 LOWER FLOORPLAN – PROPOSED
Scale 1:100

 **northern beaches council**

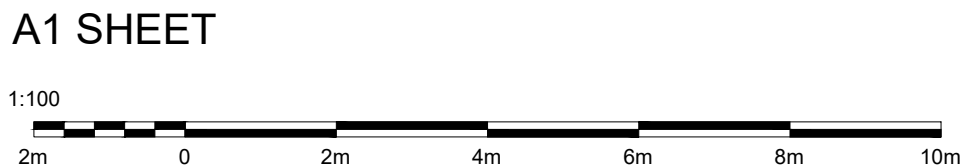
THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2020/1305

| Glazing requirements | | | | | | Show on DA Plans | Show on CC/CDC Plans & specs | Certifier Check |
|---|-------------|--|---------------|--------------|---|--|------------------------------|-----------------|
| Windows and glazed doors | | | | | | | | |
| The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door. | | | | | | ✓ | ✓ | ✓ |
| The following requirements must also be satisfied in relation to each window and glazed door: | | | | | | | | |
| Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. | | | | | | | | |
| For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below. | | | | | | ✓ | ✓ | ✓ |
| Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below. | | | | | | ✓ | ✓ | ✓ |
| Windows and glazed doors glazing requirements | | | | | | | | |
| Window / door no. | Orientation | Area of glass inc. frame (m ²) | Overshadowing | | Shading device | Frame and glass type | | |
| | | | Height (m) | Distance (m) | | | | |
| W1 | W | 1.62 | 0 | 0 | projection/height above sill ratio >=0.43 | timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66) | | |
| W2 | N | 1.97 | 9.2 | 2.8 | projection/height above sill ratio >=0.43 | timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66) | | |
| W3 | N | 1.63 | 8.25 | 4.1 | projection/height above sill ratio >=0.43 | timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66) | | |
| W4 | N | 1.63 | 8.25 | 4.1 | projection/height above sill ratio >=0.43 | timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66) | | |
| D1 | N | 3.78 | 8.2 | 4.1 | projection/height above sill ratio >=0.43 | timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66) | | |
| D2 | N | 3.78 | 13.2 | 4.7 | projection/height above sill ratio >=0.43 | timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66) | | |

GENERAL NOTES

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ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS

LEGEND:
EXISTING BUILDING OUTLINE
PROPOSED WORK

General Notes

proudly supporting
bear cottage
The City of Sydney's largest cinema

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Project Actions and Alterations
Date: 14/07/2020
Scale: 1:100

Sheet
1

DP No. 533495

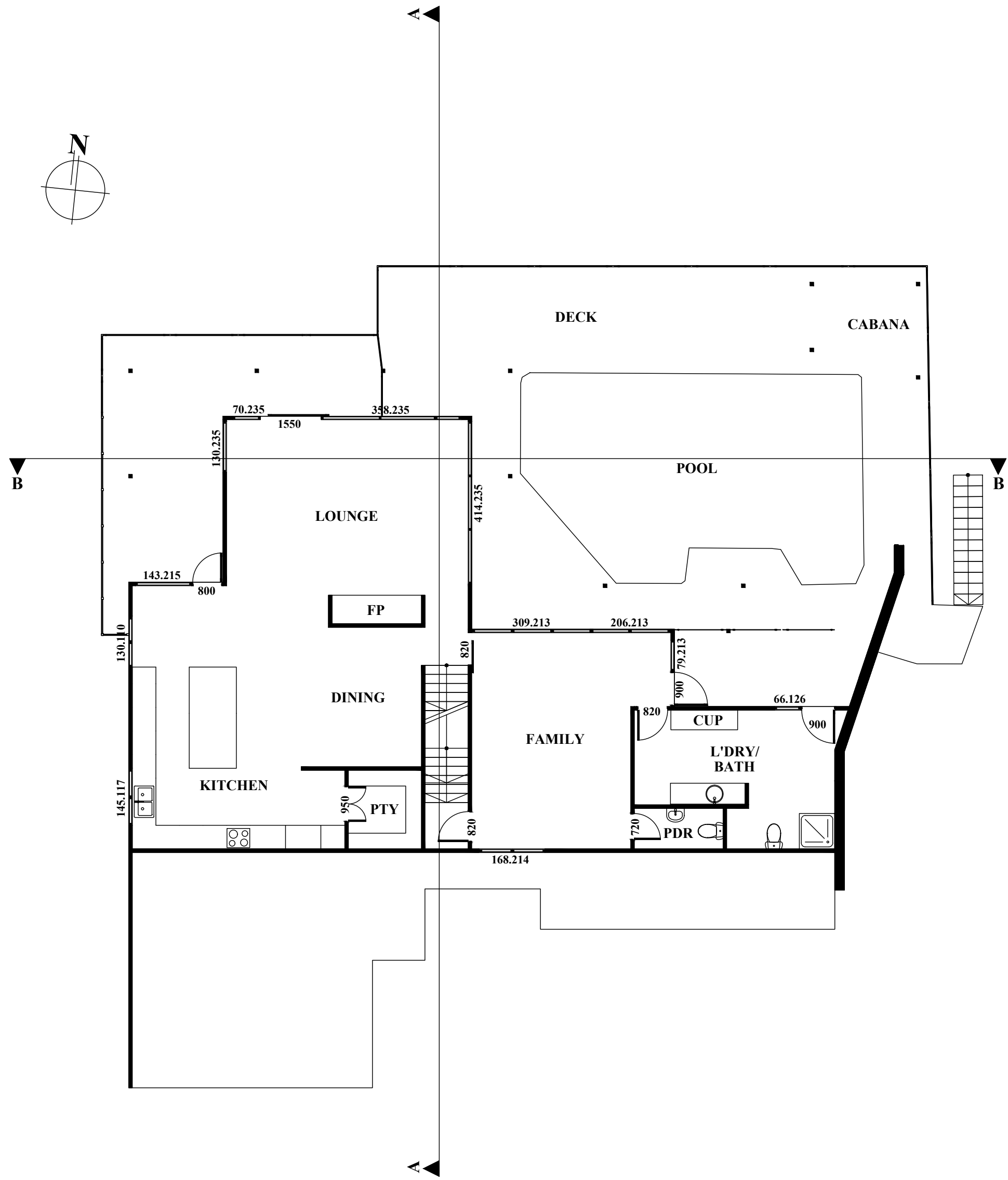
LOT No. 2

A ISSUED FOR CDC 25.07.20

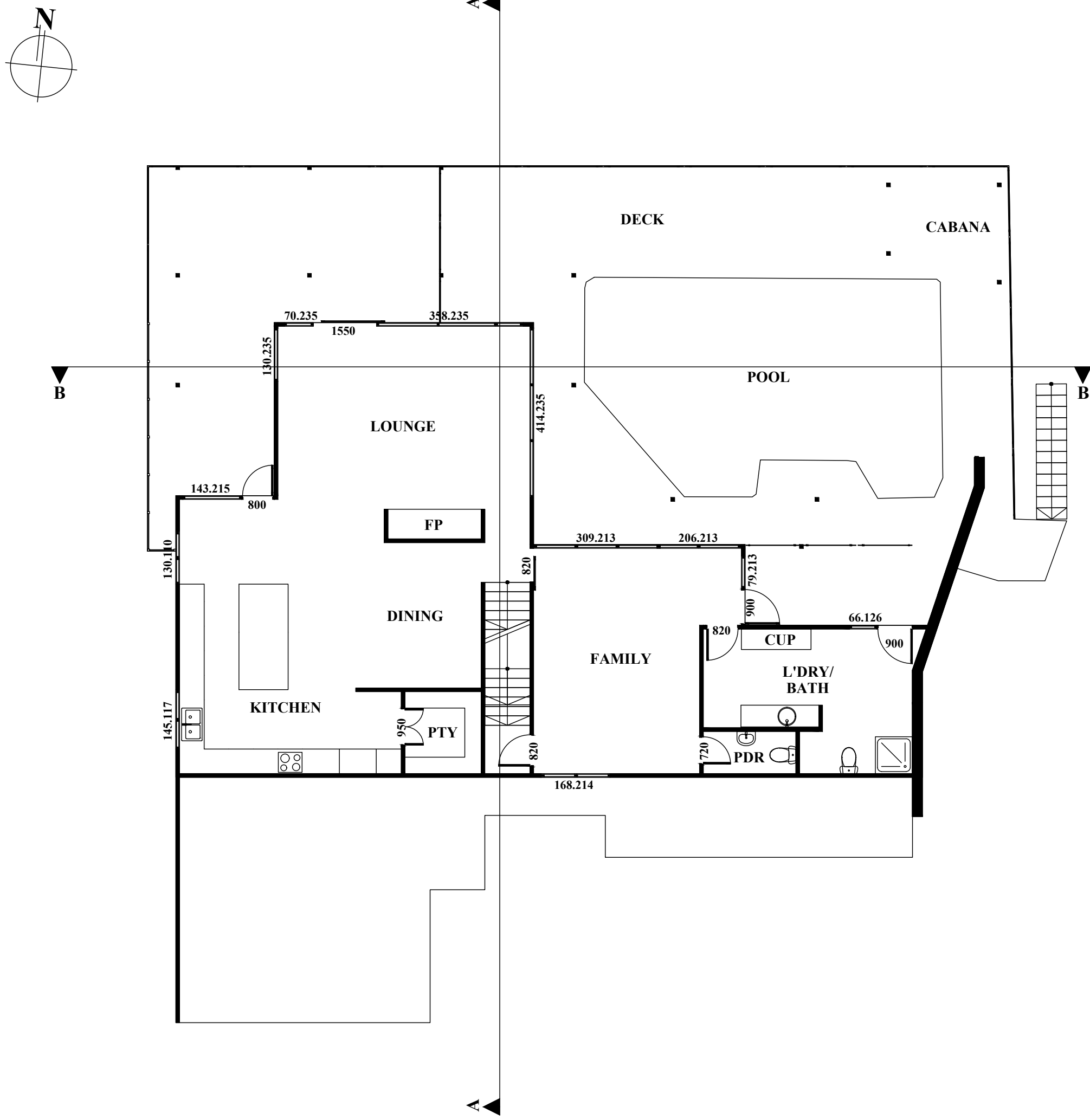
No. Revision/Issue Date

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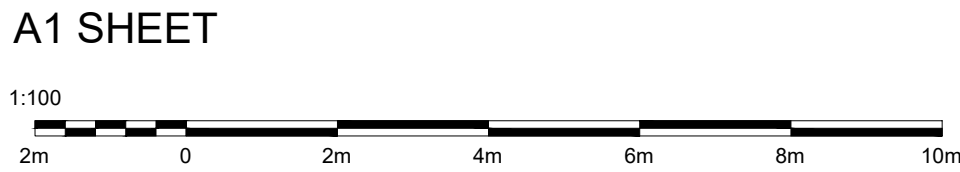
1 MIDDLE FLOORPLAN – EXISTING
Scale 1:100



1 MIDDLE FLOORPLAN – PROPOSED
Scale 1:100

GENERAL NOTES

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ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS

LEGEND:
EXISTING BUILDING OUTLINE
PROPOSED WORK

General Notes



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| Project Additions and ALTERATIONS | Sheet |
| Date 14/07/2023 | 3 |
| Scale 1:100 | |

DP No. 533495

LOT No. 2

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| No. | Revision/Issue | Date |

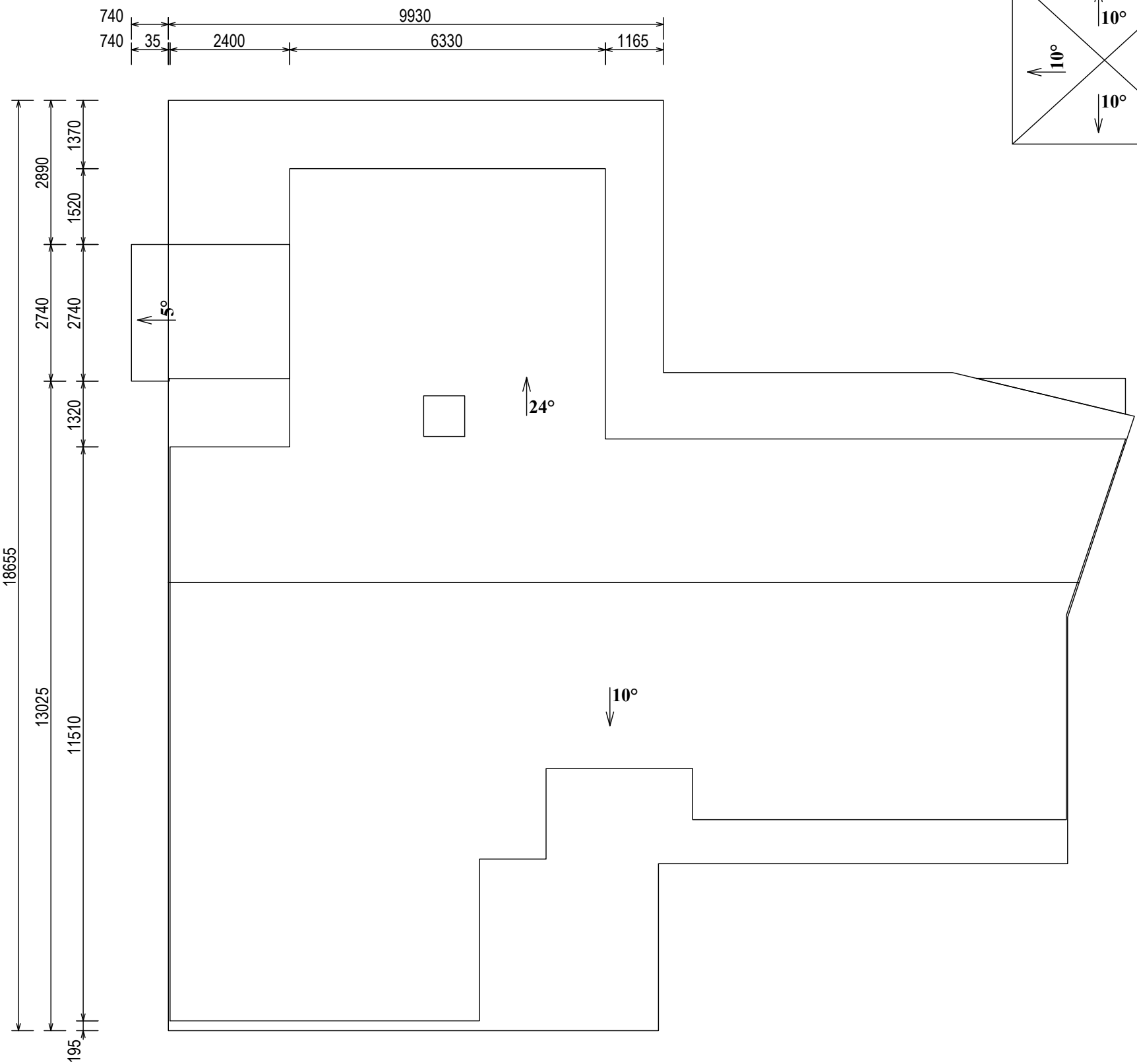
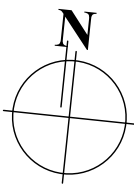
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Project Name and Address
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95B CHERYL GRES.
NEWPORT
NSW**

northern
beaches
council

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

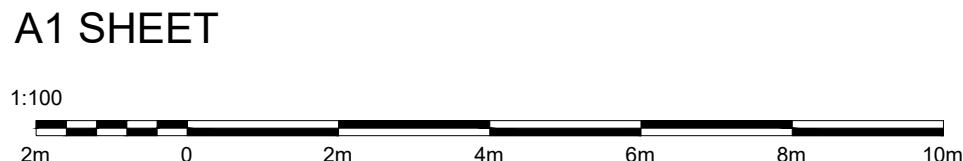
DA2020/1305



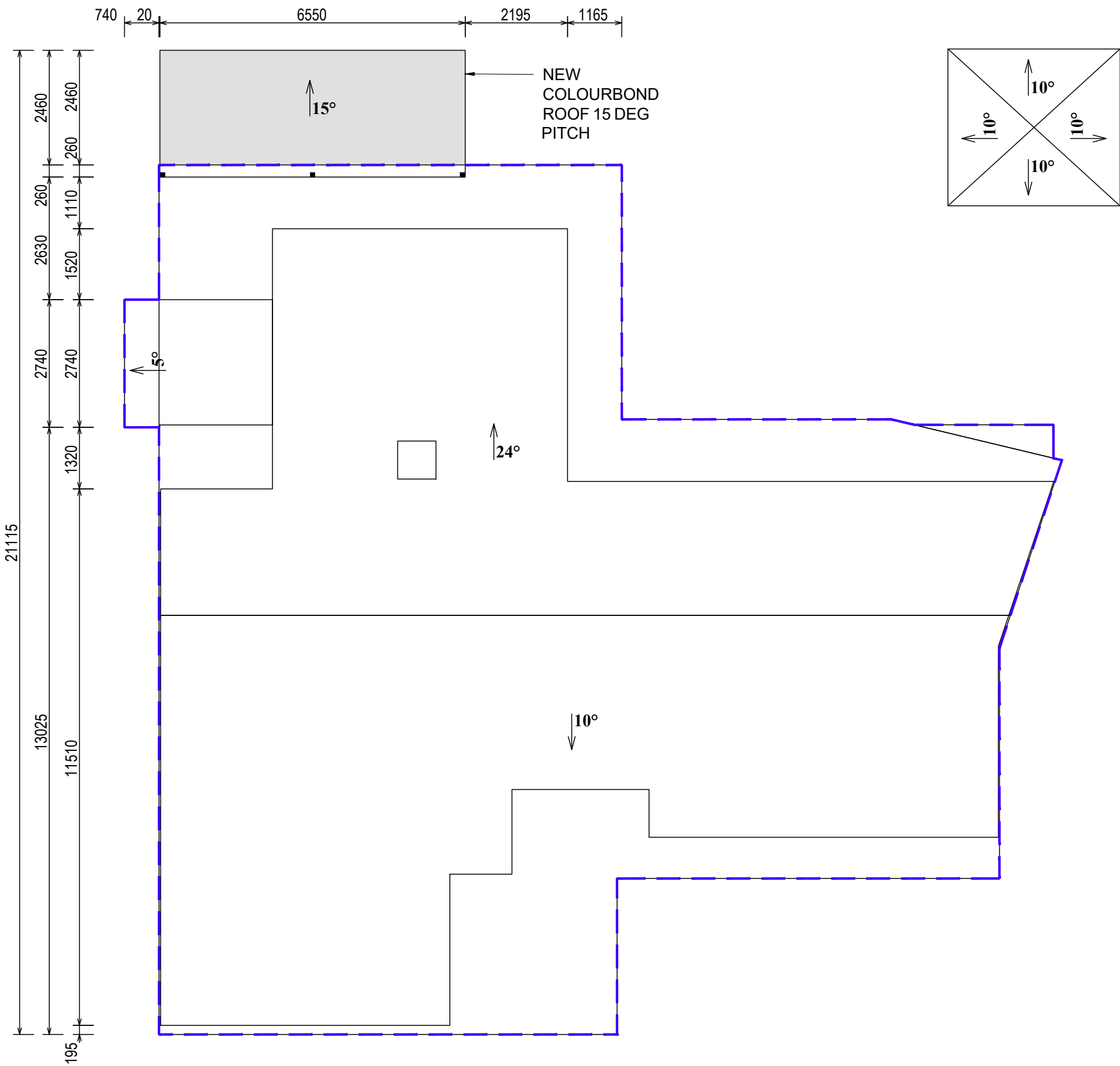
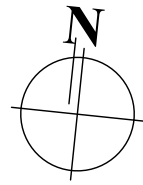
1 ROOF PLAN – EXISTING
Scale 1:100

GENERAL NOTES

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1 ROOF PLAN – PROPOSED
Scale 1:100

LEGEND:

- EXISTING BUILDING OUTLINE
- PROPOSED WORK

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2020/1305

ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS

LEGEND:
EXISTING BUILDING OUTLINE
PROPOSED WORK

General Notes

proudly supporting
bear cottage
the council's heritage house

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| Project MODIFICATIONS AND ALTERATIONS Date DRAWN Scale 1:100 | Sheet 5 |
| DP No. 533495 | |
| LOT No. 2 | |
| A ISSUED FOR CDC 26.07.20 | |
| No. | Revision/Issue Date |

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Project Name and Address
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NEWPORT
NSW**

BEARERS AND JOISTS: SPAN AND SPACING OF BEARERS AND JOISTS IS TO CONFORM TO AS1684 SERIES OF STANDARDS IN CONJUNCTION WITH SUPPORTING SUPPLEMENTS RELEVANT TO THE APPLICABLE WIND CLASSIFICATION AND STRESS.

ALL TIMBER GENERALLY SHALL BE OF THE DURABILITY AND STRESS GRADE SPECIFIED AND OR COMPLY WITH AS1720 AND AS1684.

ROOF BRACING IN ACCORDANCE WITH TRUSS MANUFACTURERS DETAIL AND SECTION 8 OF AS 1684.

WALL FRAMING: WALL FRAME, SIZES AND SPACING SHALL BE IN ACCORDANCE WITH AS1684 OR AS SPECIFIED BY A PRACTISING ENGINEER.

SANITARY PLUMBING AND DRAINAGE: SHALL BE UNDERTAKEN IN ACCORDANCE WITH LOCAL PCA AND REQUIREMENTS OF REGULATORY AUTHORITY. TO BE CARRIED OUT BY APPROPRIATELY QUALIFIED PERSON.

GUTTERS AND DOWNPIPES TO TO COMPLY WITH PART 3.5.2 OF THE BCA. GUTTERS AND DOWNPIPES SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH PART 3.5 BCA AND AS 3500.

SMOKE ALARM SHALL BE INSTALLED IN ACCORDANCE WITH PART 3.7.2 BCA ABD COMPLY WITH AS 3786.

ALL ELECTRICAL WORK SHALL BE COMPLIANT WITH AS/NZS5033 AND AS3000.

FALLS IN WET AREAS: FLOOR TILES TO BE GRADED TO WASTE AREAS AND WHERE REQUIRED. RECOMMENDED RATIO OF FALL WITHIN THE SHOWER TO BE BETWEEN 1:60 & 1:100.

GENERAL NOTES

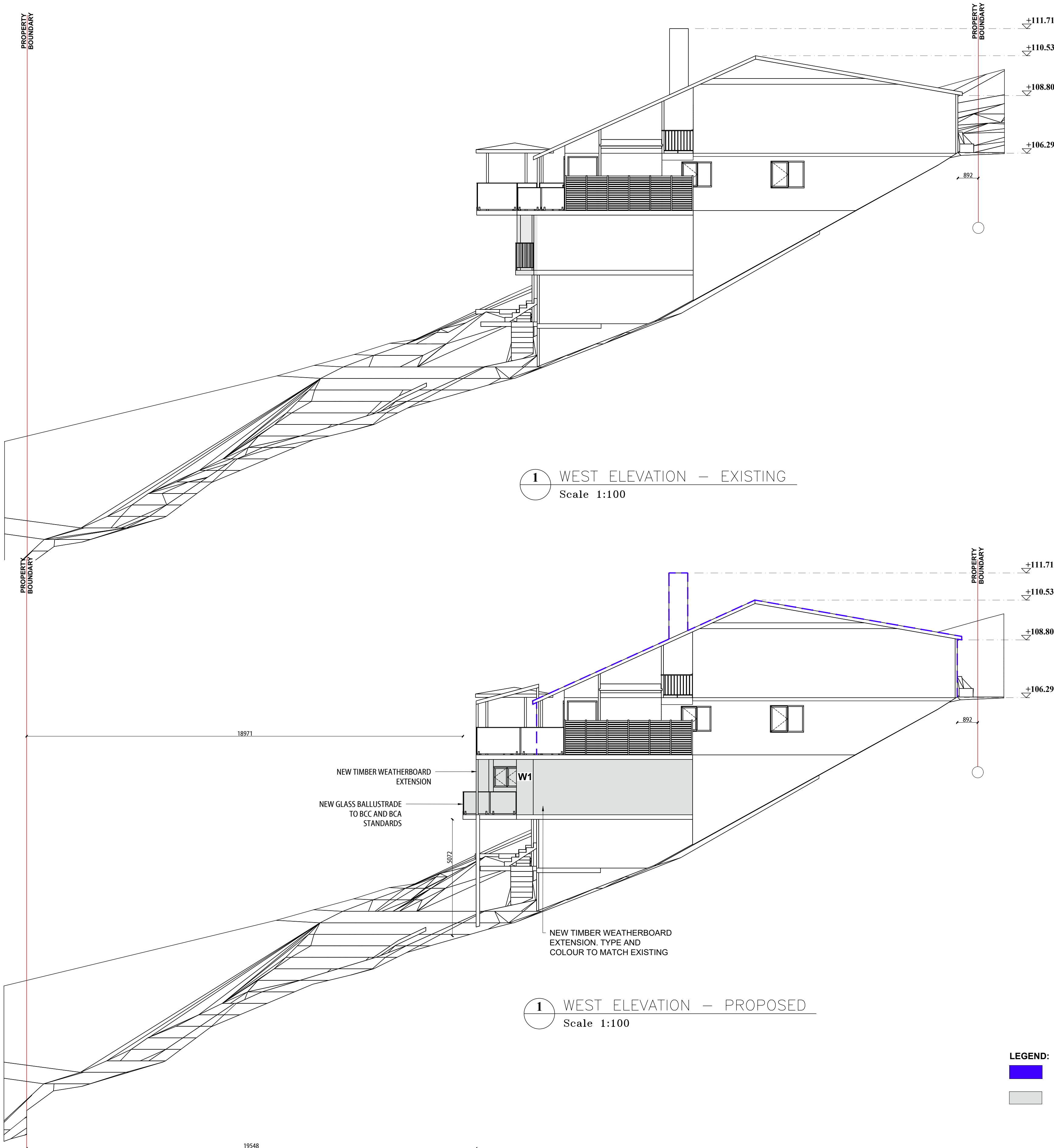
*BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS

*ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND B.C.A. REQUIREMENTS

*CONNECT DPS TO EXISTING STORMWATER SYSTEM

ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS

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LEGEND:

EXISTING BUILDING OUTLINE

PROPOSED WORK

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2020/1305

ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS

LEGEND:

EXISTING BUILDING OUTLINE

PROPOSED WORK

General Notes

proudly supporting
bear cottage

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Project
ALTERATIONS AND
ALTERATIONS
Date
14/07/2020
Scale
1:100

Sheet
7

DP No. 533495

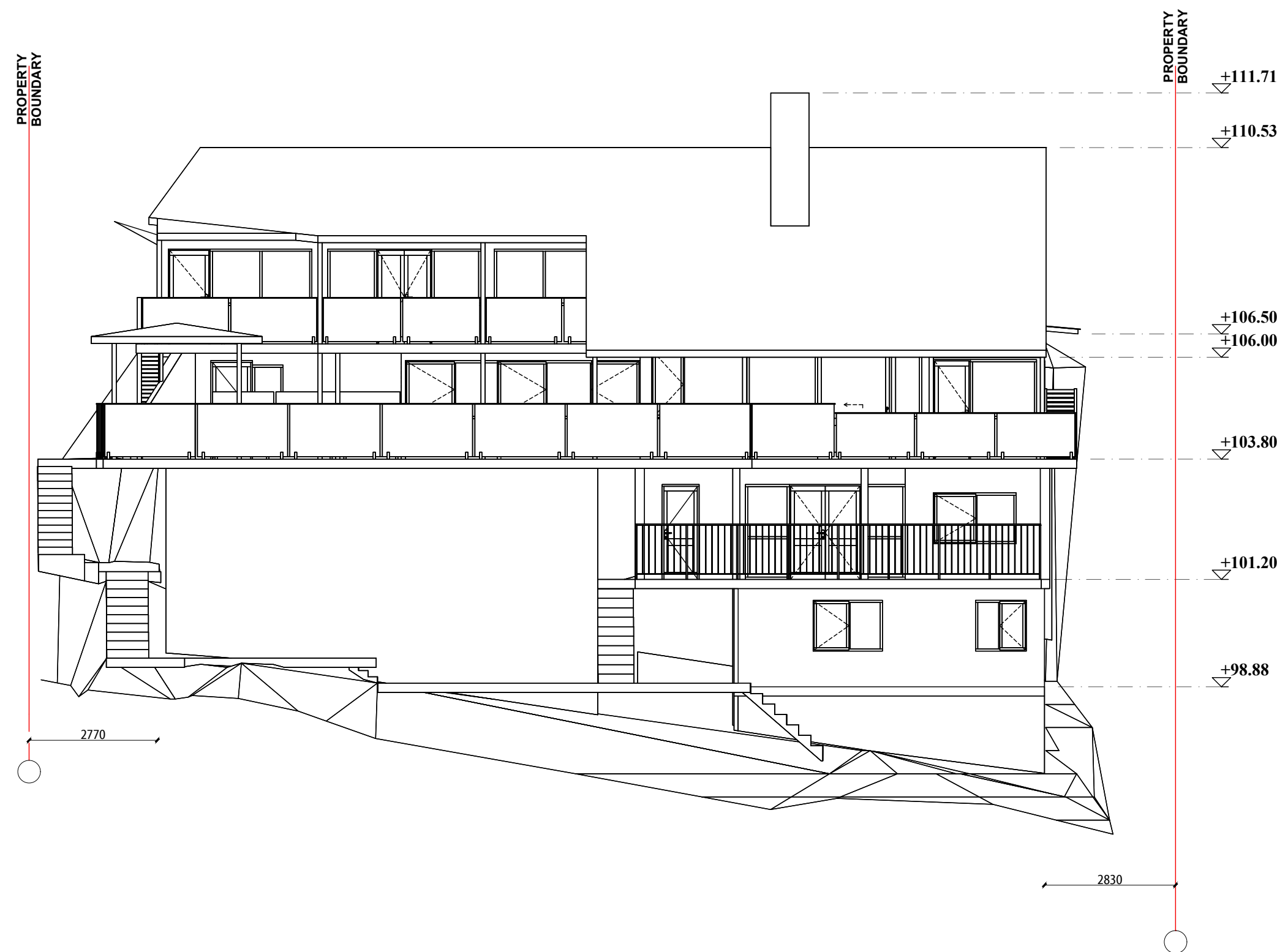
LOT No. 2

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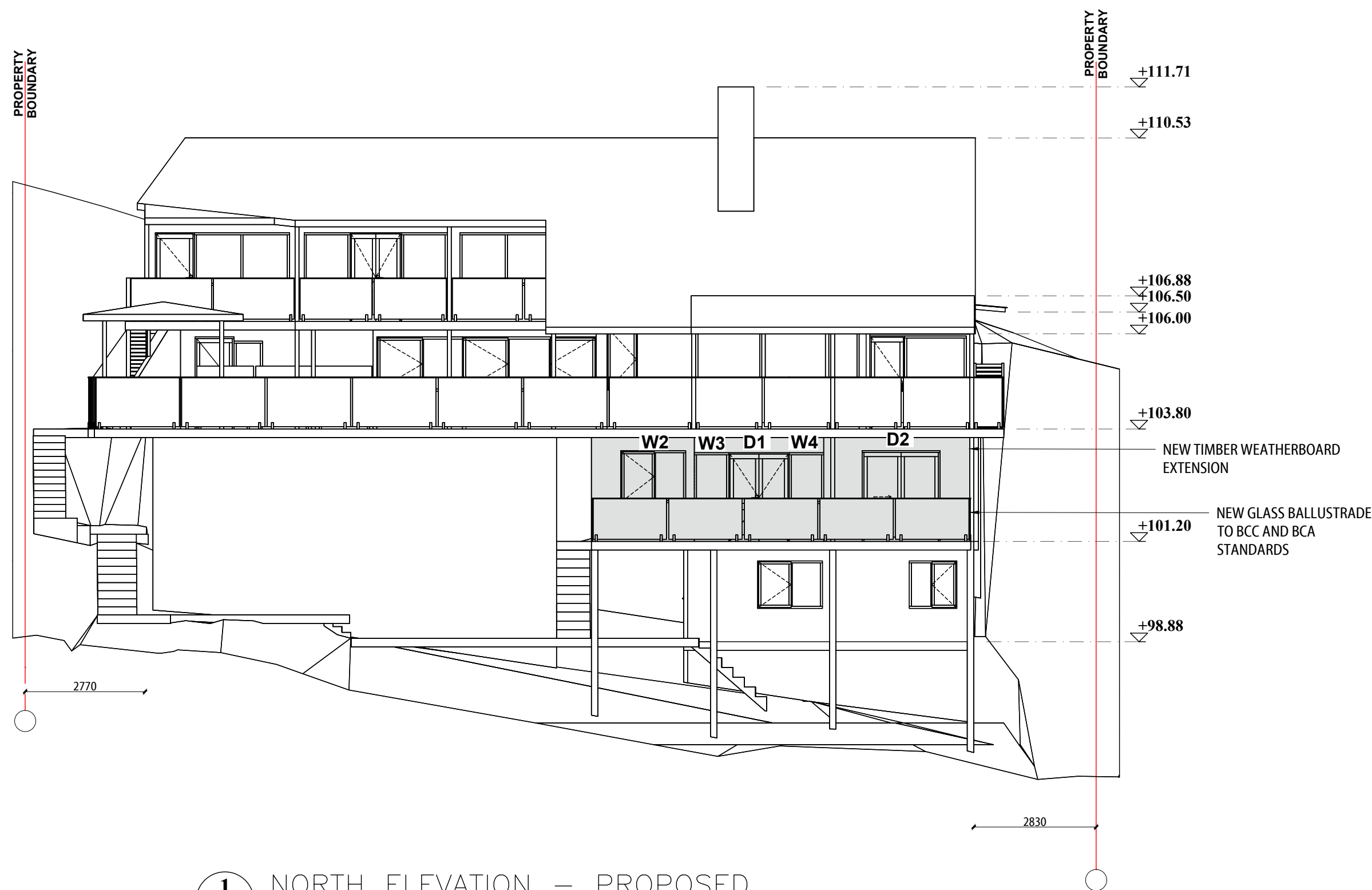
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95B CHERYL CRES.
NEWPORT
NSW



1 NORTH ELEVATION — EXISTING
Scale 1:100

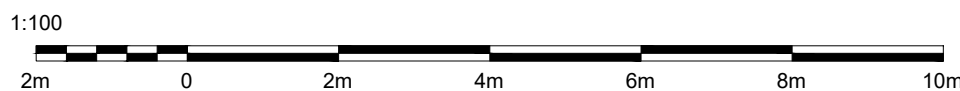


1 NORTH ELEVATION — PROPOSED
Scale 1:100

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- CONNECT DIPS TO EXISTING STORMWATER SYSTEM.
- ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS

A1 SHEET



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LEGEND:

- EXISTING BUILDING OUTLINE
- PROPOSED WORK

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2020/1305

ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANCE PLANS

LEGEND:

- EXISTING BUILDING OUTLINE
- PROPOSED WORK

General Notes



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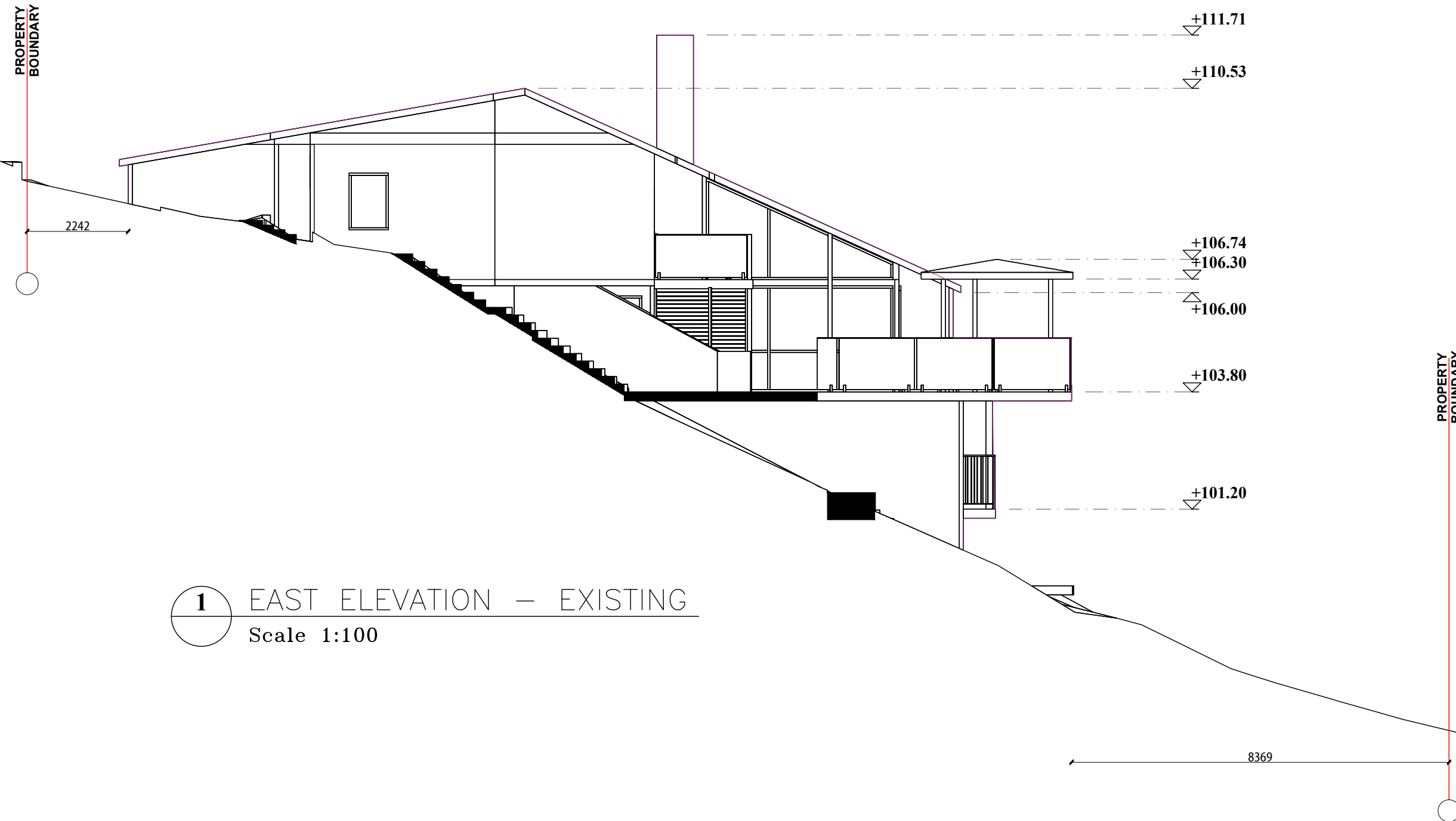
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| Project ADDITIONS AND ALTERATIONS | Sheet 8 |
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| LOT No. | 2 |

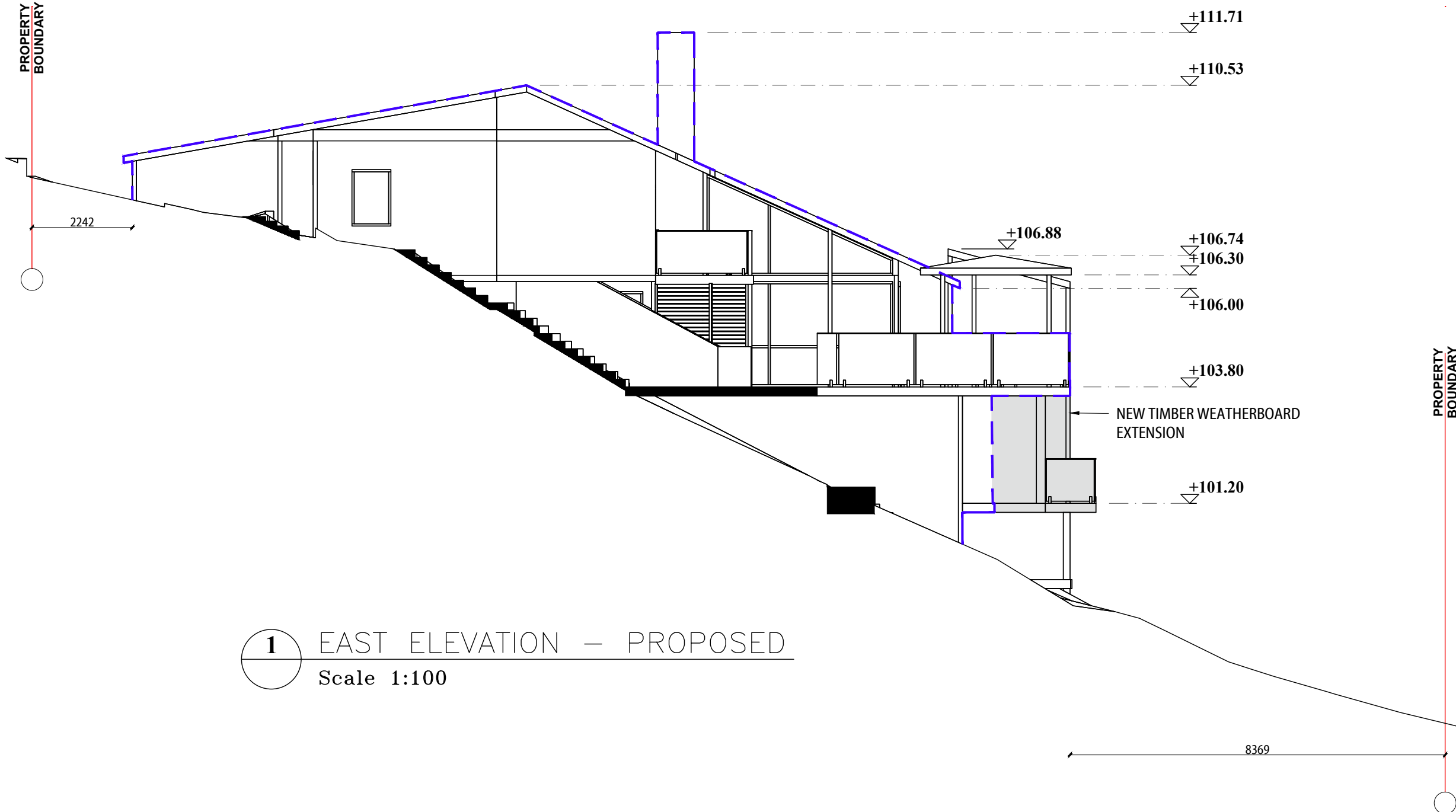
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dh DRAFTING HELP
Sydney & Melbourne
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Balgownie 2003 NSW
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02 9776 3474

Project Name and Address
DARRELL BISWELL
95B CHERYL CRES.
NEWPORT
NSW



1 EAST ELEVATION – EXISTING
Scale 1:100



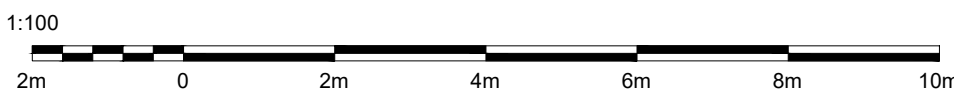
1 EAST ELEVATION – PROPOSED
Scale 1:100

GENERAL NOTES

- BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
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A1 SHEET



LEGEND:

- EXISTING BUILDING OUTLINE
- PROPOSED WORK

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DA2020/1305

ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS

LEGEND:

- EXISTING BUILDING OUTLINE
- PROPOSED WORK

General Notes

proudly supporting
bear cottage
for children's hospital cancer

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Project Address and Alterations
Date
Scale
1:100

Sheet
9

DP No. 533495

LOT No. 2

A ISSUED FOR CDC 26.07.20

No. Revision/Issue Date

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5/470 Sydney Rd
Balgownie NSW 2003
www.draftinghelp.com.au
02 87763474

Project Name and Address
DARRELL BISWELL
95B CHERYL CRES.
NEWPORT
NSW

DOORS AND WINDOWS

All doors and windows generally to AS2047.1 as per door and window schedule.

To match existing upvc system throughout. Reuse existing doors and windows as denoted on the drawings

Install flashings, weather-bars, drips, storm moulds etc. to prevent water entering building between frames and the building structure. Install all door and window sets plumb, level, straight and true, adequately anchored and free of building loads and structural deflection.

LININGS

All plasterboard linings to AS2588, 13mm thick sheets to ceilings, 10mm thick sheets to walls. Moisture resistant plasterboard to be used in all wet areas. All fibre cement linings to AS2908.2, walls - 9mm-thick sheets, suspended soffits - 9mm-thick sheets, floors - 18mm thick sheets. All installation to AS2589.1. Linings to be fixed to framing at recommended spacing. Ensure all linings are level, plumb, straight and true as applicable. Provide recessed edge sheets and finish flush with perforated reinforcing tape. Provide flashings, trim and sealants to effectively waterproof wet areas. Provide timber trim as detailed and where necessary to make neat junctions between components and finishes. Provide Rondo stopping bead profile to ceiling planes.

WATERPROOFING AND WET AREAS

All waterproofing to AS3740. All liquid and sheet membrane systems to be specific for their intended purpose, installed to manufacturer's specification, properly and effectively terminated at perimeters and drainage outlets. Provide certification by a credited certifier for waterproofing works prior to executing subsequent stages of Works. Provide a written guarantee for all waterproofing membranes of not less than 12 years.

TILING

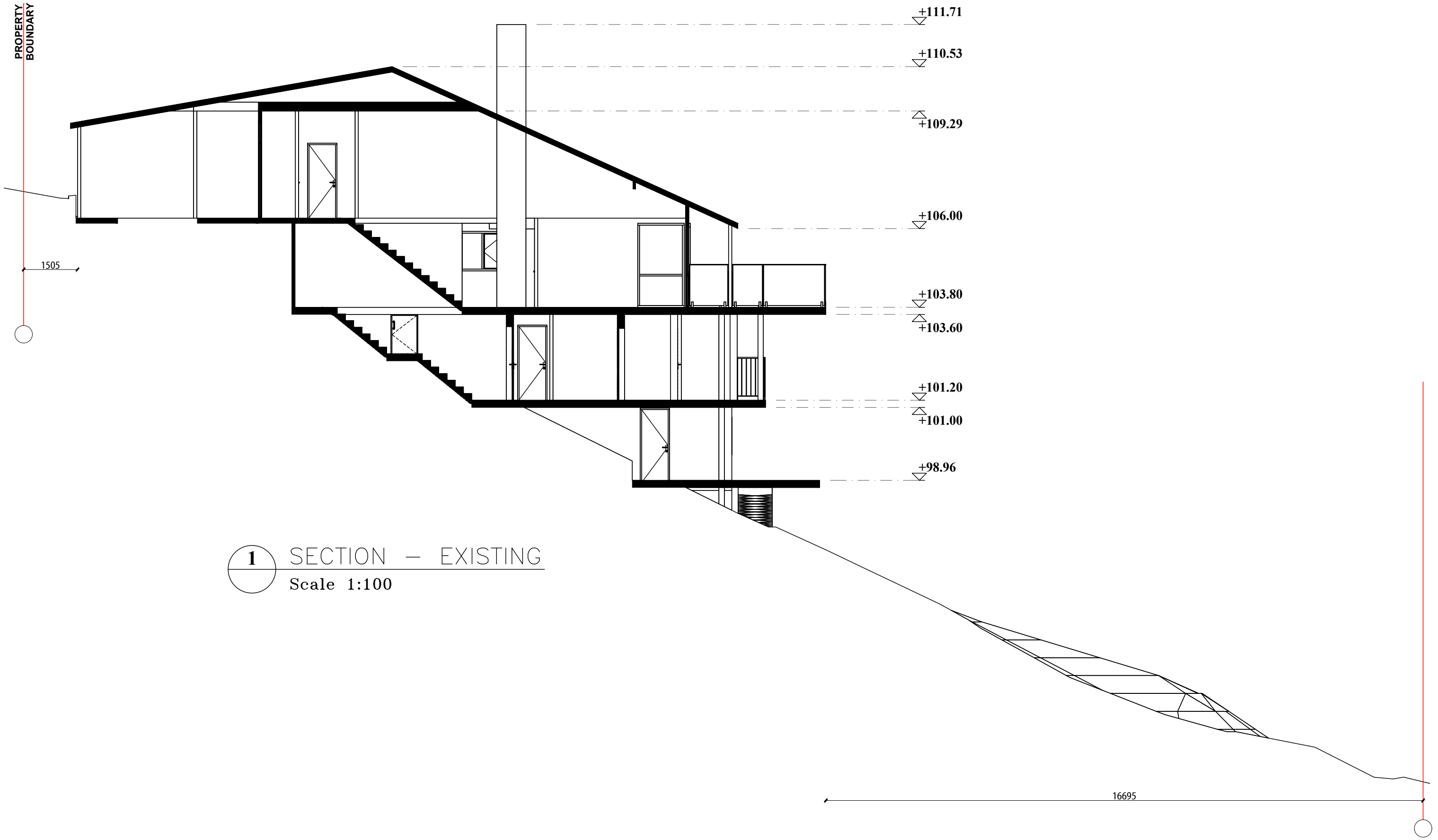
All tiles to be cut to fit neatly around fixtures and fittings and at perimeters. Drill holes with damaging tile faces. Return tiles into sills, reveals, and opening. Built up to returns, frames, fittings and other finishes. Distribute variations in hue, colour and pattern uniformly by mixing tiles or tile batches before laying. Allow beddings to set and attain working strength before opening areas to traffic. Set out tiles from the centre of floors and walls. Align joints between floors and walls where possible. Grade floor tiling even falls to floor wastes. Ensure level junctions to walls. Achieve minimum falls of 1 in 100 generally and 1 in 40 in shower wastes. Junctions between tiled floors and other materials to be finished with corrosion-resistant metal dividing strip fixed to the substrate. Do not compromise waterproof membrane. Bath cavities to be ventilated with min. 2 ventilation points..

FLOOR COATINGS AND COVERINGS

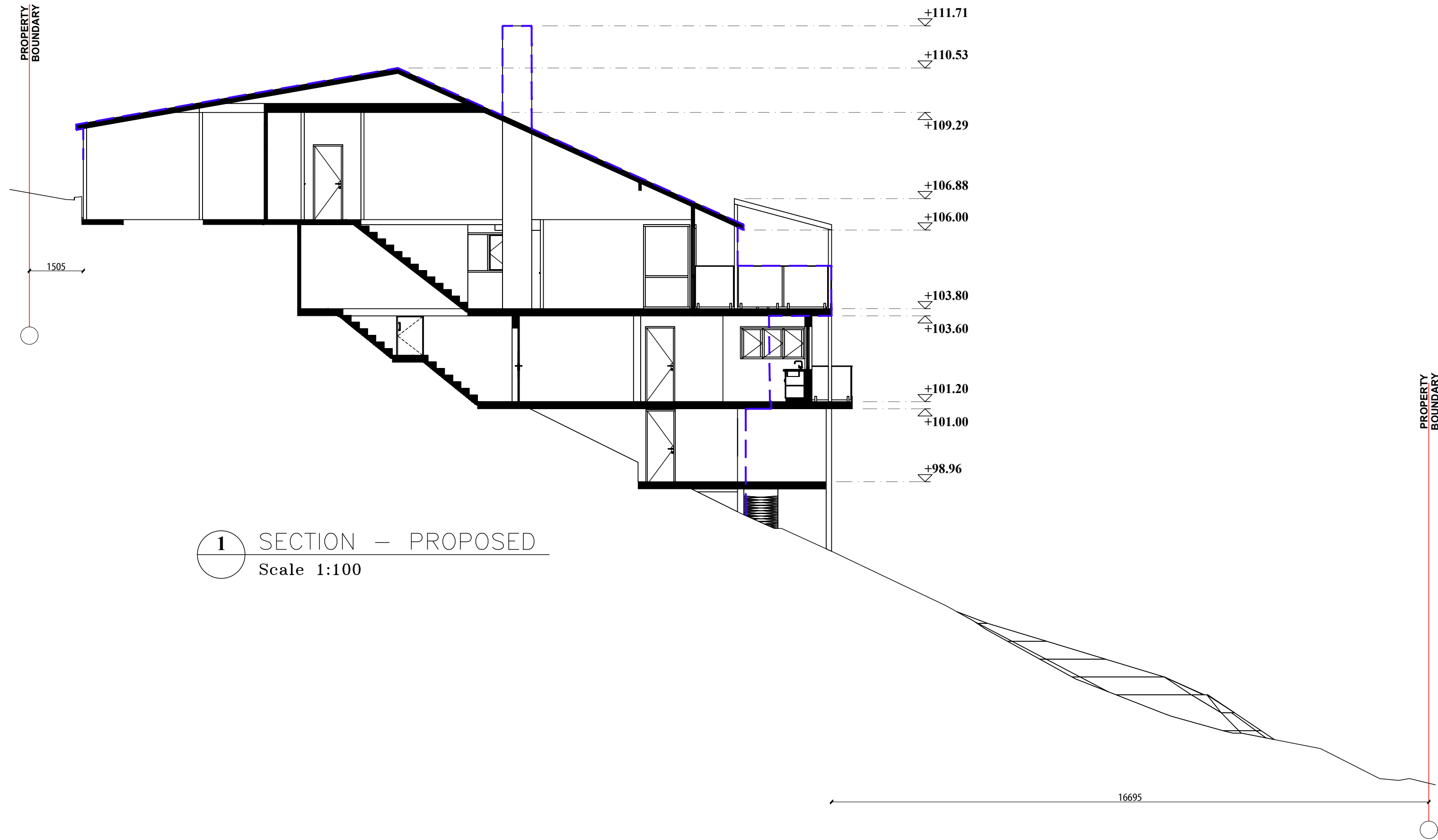
Polished concrete slab to be helicoptered burnish finish to Proprietor's specification. Timber floor coating to be 2 - 3 coats of Bona Mega (Silk Matt), applied using a Bona Roller or applicator. A coverage rate of 8 - 10m² / litre should be observed. Application to manufacturers specification.

PAINTING

All painting AS2311 and paint manufacturer's specifications. Clean off marks, paint spots and stains progressively. Touch up damaged paintwork with original paint batch where possible. Refer to finishes schedule for details of painted finishes.



1 SECTION - EXISTING
Scale 1:100

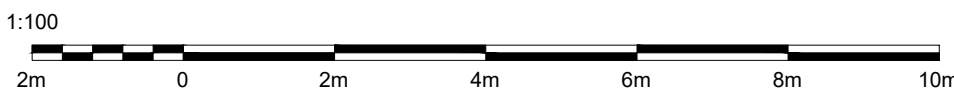


1 SECTION - PROPOSED
Scale 1:100

GENERAL NOTES

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LEGEND:

- EXISTING BUILDING OUTLINE
- PROPOSED WORK

ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS

- LEGEND:
- EXISTING BUILDING OUTLINE
- PROPOSED WORK

General Notes



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| Project ADDITIONS AND ALTERATIONS | Sheet |
| Date 16/07/2020 | 10 |
| Scale 1:100 | |

DP No. 533495

LOT No. 2

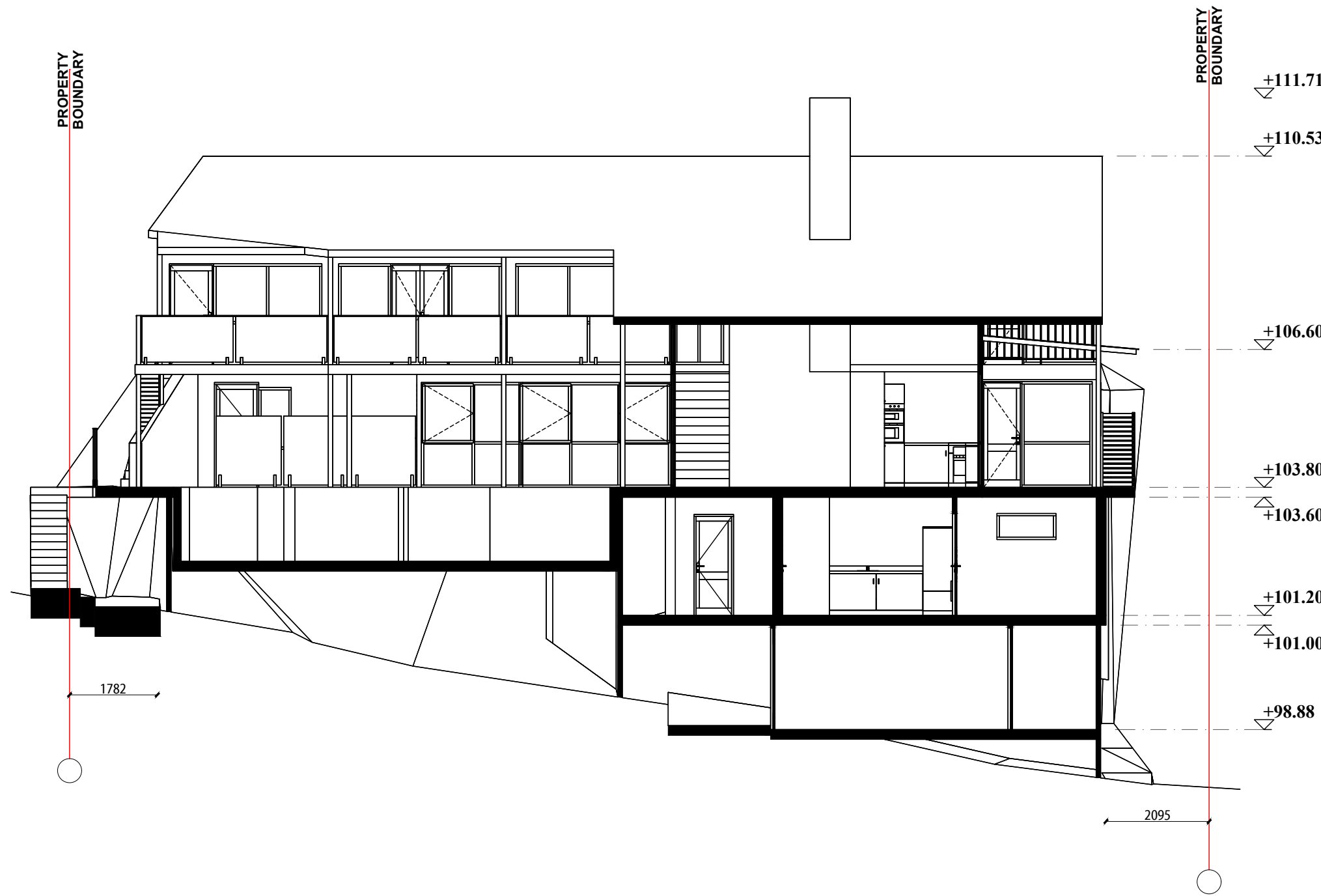
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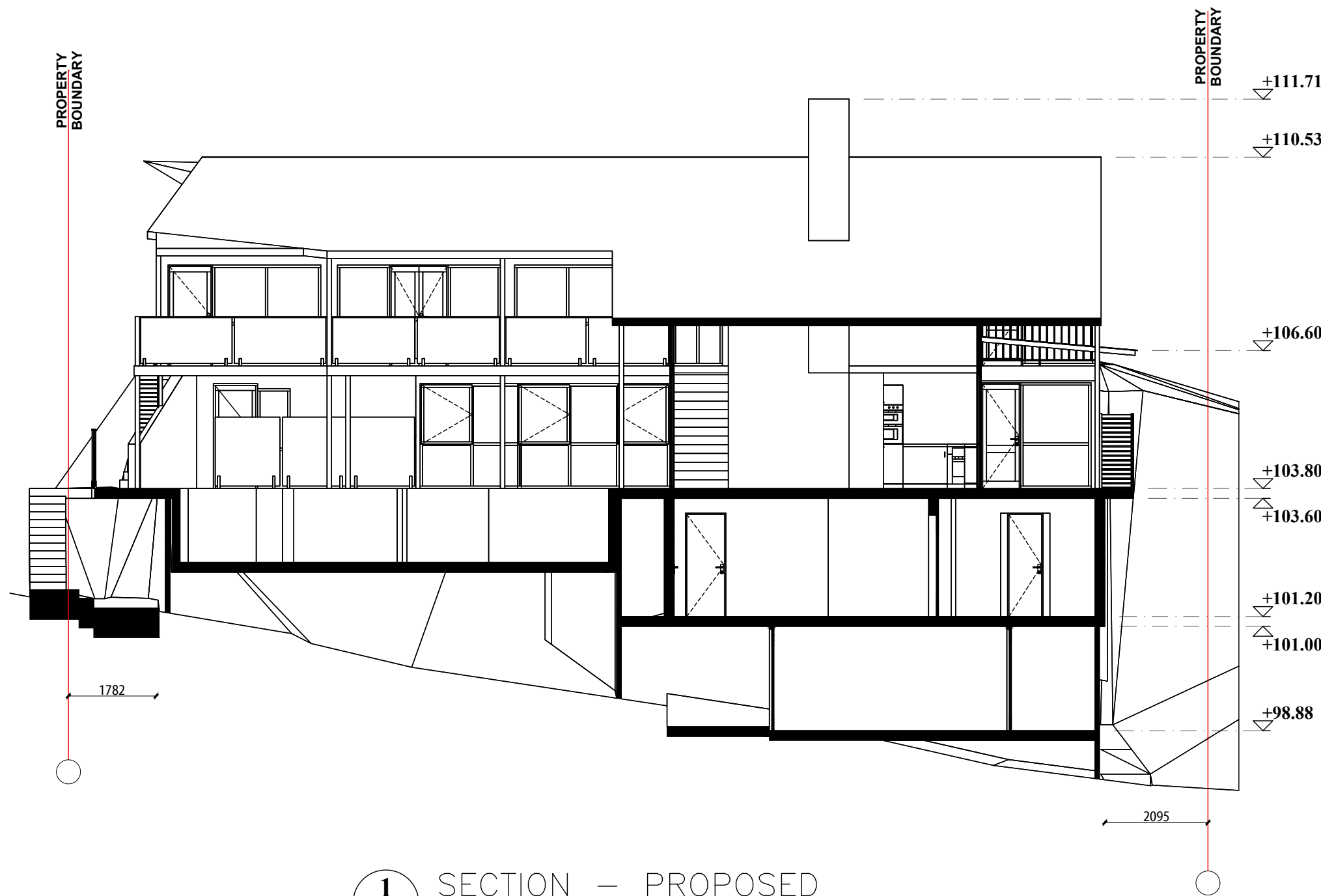
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Balgovish 2093 NSW
www.draftinghelp.com.au
02 87763474

Project Name and Address
DARRELL BISWELL
95B CHERYL CRES.
NEWPORT
NSW

GUTTERS AND DOWNPIPES TO
TO COMPLY WITH PART 3.5.2 OF
THE BCA.
GUTTERS AND DOWNPIPES
SHALL BE DESIGNED AND
INSTALLED IN ACCORDANCE
WITH PART 3.5 BCA AND AS 3500.



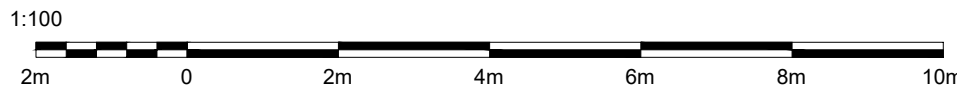
1 SECTION — EXISTING
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1 SECTION — PROPOSED
Scale 1:100

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LEGEND:
EXISTING BUILDING OUTLINE
PROPOSED WORK

THIS PLAN IS TO BE READ IN
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DA2020/1305

ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS

LEGEND:
EXISTING BUILDING OUTLINE
PROPOSED WORK
General Notes

proudly
supporting
bear
cottage
NSW GOVERNMENT

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Project
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Address
Date
18/07/2020
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1:100

Sheet
11

DP No. 533495

LOT No. 2

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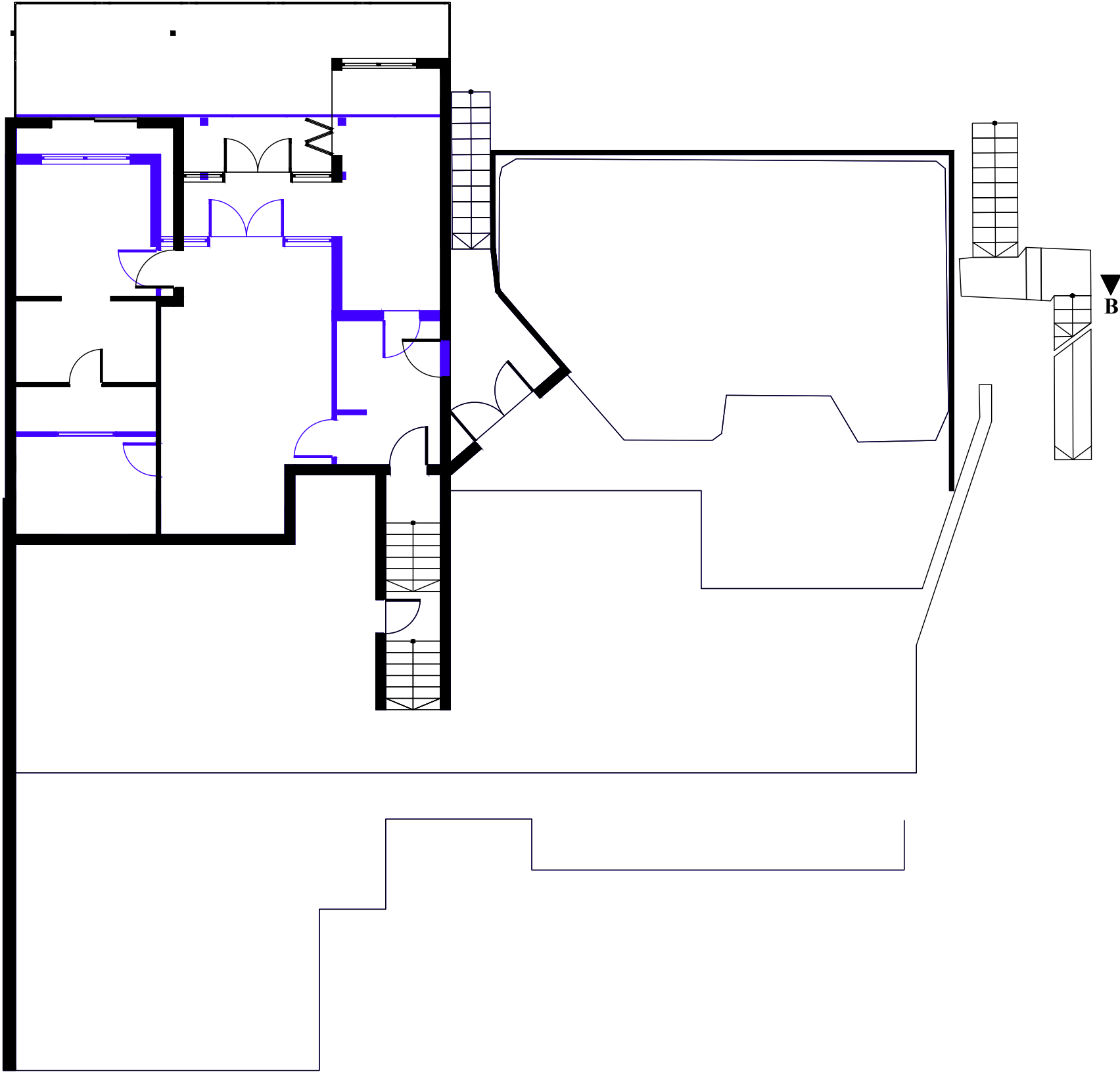
Project Name and Address
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95B CHERYL CRES.
NEWPORT
NSW

FRAME

REDATE

USER

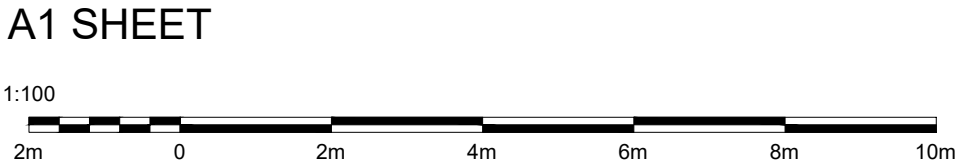
GUTTERS AND DOWNPIPES TO
TO COMPLY WITH PART 3.5.2 OF
THE BCA.
GUTTERS AND DOWNPIPES
SHALL BE DESIGNED AND
INSTALLED IN ACCORDANCE
WITH PART 3.5 BCA AND AS 3500.



LEGEND:
EXISTING WALLS TO BE REMOVED

1 DEMO PLAN
Scale 1:100

GENERAL NOTES
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ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS

LEGEND:
EXISTING BUILDING OUTLINE
PROPOSED WORK

General Notes



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| Project Name and Address Date 18/07/2020 Scale 1:100 | Sheet 12 |
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DP No. 533495

LOT No. 2

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Balgownie NSW 2063
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02 87763474

Project Name and Address
DARRELL BISWELL
95B CHERYL CRES.
NEWPORT
NSW

northern
beaches
council

THIS PLAN IS TO BE READ IN
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CONSENT

DA2020/1305