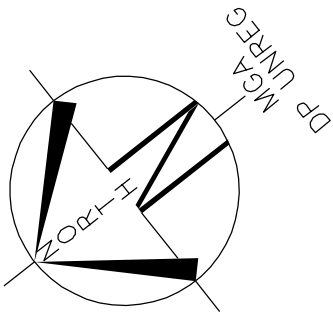


NORTH



SUBJECT TO REGISTRATION OF
LAND AND CONFIRMATION FROM
10.7 CERTIFICATE

- (C) PROPOSED EASEMENT TO DRAIN WATER 1.5
(H) PROPOSED EASEMENT FOR ACCESS AND MAINTENANCE

LOT 17
D.P: UNREGISTERED
L.G.A: NORTHERN BEACHES

SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
PITTWATER DCP 21 - D16

SITE AREA	330 m ²
SITE COVERAGE	
HOUSE FOOTPRINT:	153.8 m ²
ESTIMATED DRIVEWAY, PATHS & PAVING:	49.4 m ²
TOTAL SITE COVERAGE:	203.2 m ²
	61.6 %
MAX. ALLOWABLE BY DEVELOPER:	65 %

LANDSCAPED AREA	
TOTAL LANDSCAPE AREA:	126.7 m ²
(MIN. DIMENSION OF 3.0m)	38.4 %
MIN. REQUIRED BY COUNCIL:	35 %

PRIVATE OPEN SPACE	
TOTAL OPEN SPACE AREA:	95.3 m ²
(MIN. DIMENSION OF 4.0m)	
MIN. REQUIRED BY COUNCIL:	24 m ²

HEIGHT RESTRICTION	
MAXIMUM RIDGE HEIGHT	10.5 m
(F.F.L. MUST BE ACCURATE. CHANGES IN LEVELS MAY NOT COMPLY WITH REQUIREMENTS)	

Maximum 1000mm CUT
Maximum 1000mm FILL

WIND CLASSIFICATION: "N2"

SLAB CLASSIFICATION: "M"

NOTE:
ALL GROUND LINES ARE APPROXIMATE.
EXTENT OF FILL & BATTER WILL BE
DETERMINED ON SITE. SEDIMENT BARRIERS
ARE TO BE CUSTOMISED SITE SPECIFIC

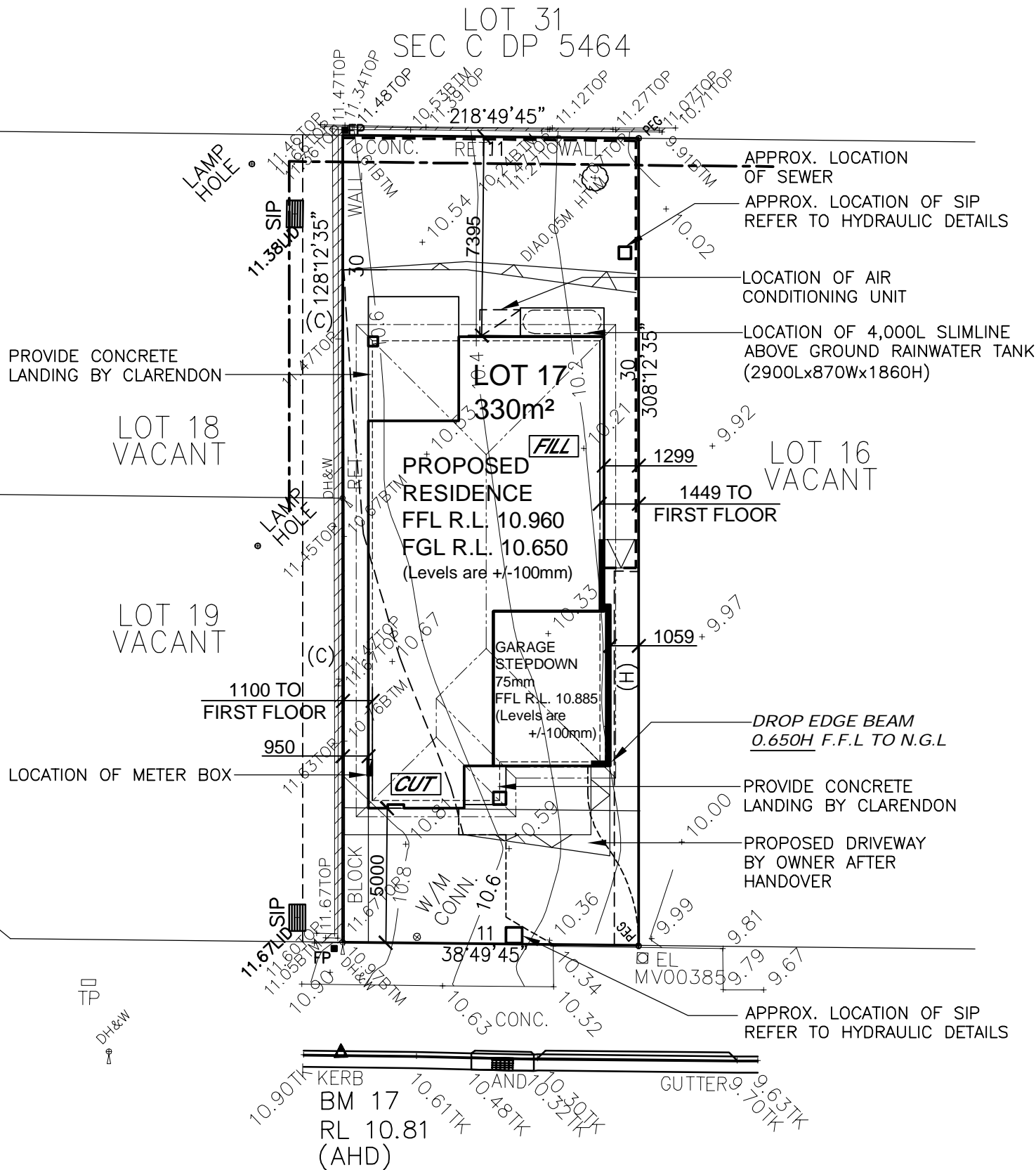
STORMWATER TO
STREET VIA
RAINWATER TANK
REFER TO HYDRAULIC DETAILS



THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
DEFERRED COMMENCEMENT CONSENT

DA NUMBER: DA2019/0385

(Activation of consent must be obtained
from Northern Beaches Council)



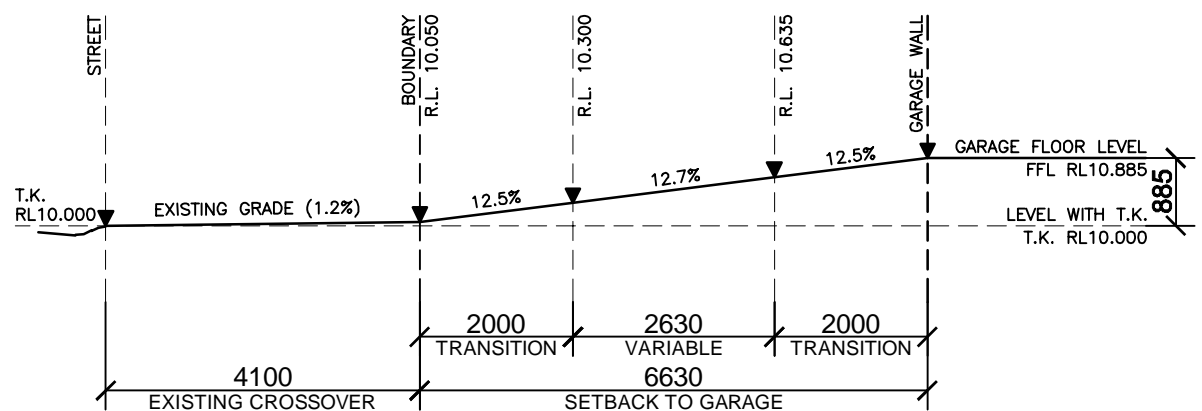
PROPOSED ROAD
(BUBALO STREET BY SIGN)

SITE PLAN

SCALE 1:200

GENERAL NOTES

- A) THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED
B) AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY
C) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION
D) CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.



DRIVEWAY GRADIENT PROFILE

SCALE - 1:100

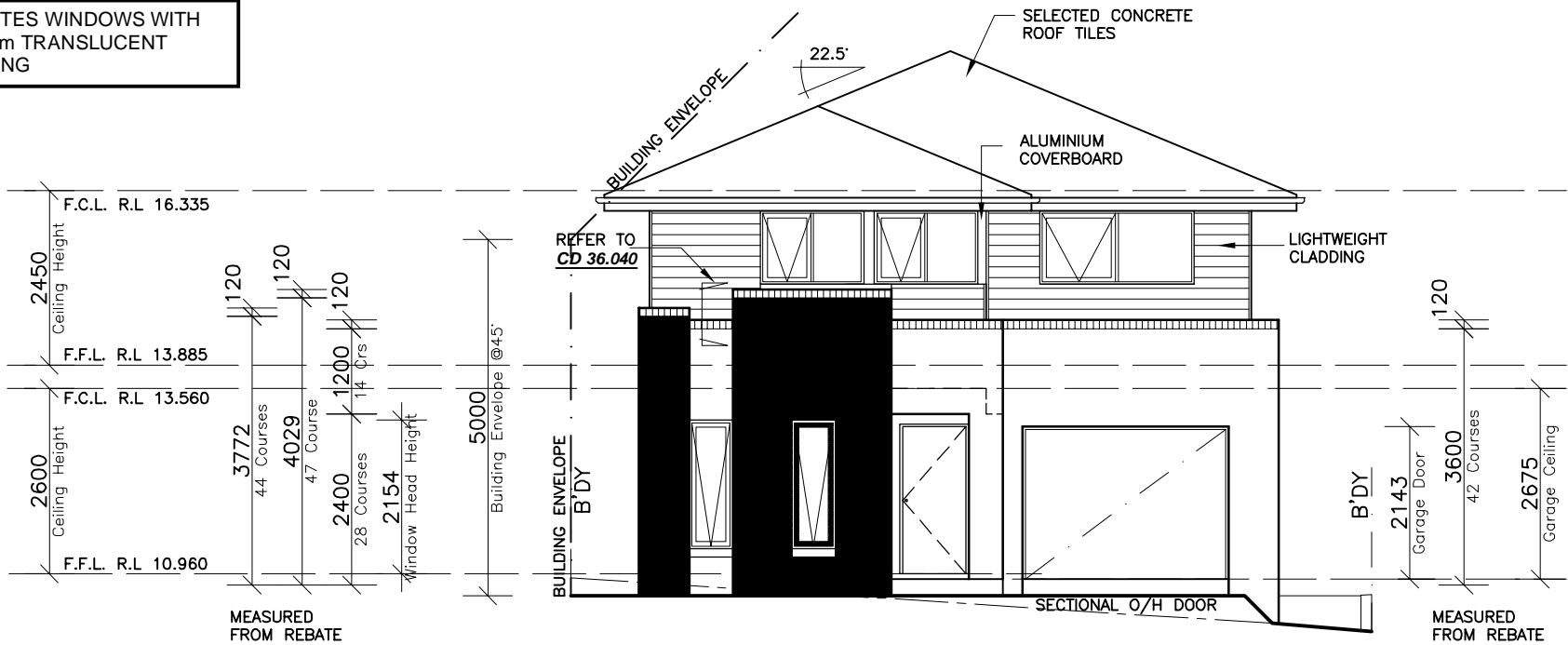
CLIENT'S SIGNATURE: _____		DATE: _____				
<div><div>ClarendonHomes</div><div>BL No. 2298C ABN 18 003 892 706</div><div>Clarendon Homes (NSW) P/L 21 Solent Circuit, Baulkham Hills NSW 2153 T: (02) 8854 5500</div></div>	<div>© ALL RIGHTS RESERVED This plan is the property of CLARENDON HOMES (NSW) P/L Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L # DIMENSIONS TO BE READ IN REFERENCE TO DRAWING</div>	PRODUCT: <div>PARKHILL 32 Prominent R/H Garage</div> Evolution Specification	CLIENT: Mr. SOMMER Mrs. SOMMER	DA DRAWINGS		
		SITE ADDRESS: Lot 17 Proposed Road WARRIEWOOD 2102	DRAWN: PG.	DATE: 28.02.19	Rev: F	
			RATIO @ A3: 1:200	CHECKED: J.S		
			SHEET: 2	JOB No: 29913455	NSW	

NOTE:
HEIGHT OF DROP EDGE BEAM MAY
VARY DUE TO SITE CONDITIONS
UPON COMPLETION OF SITE WORKS

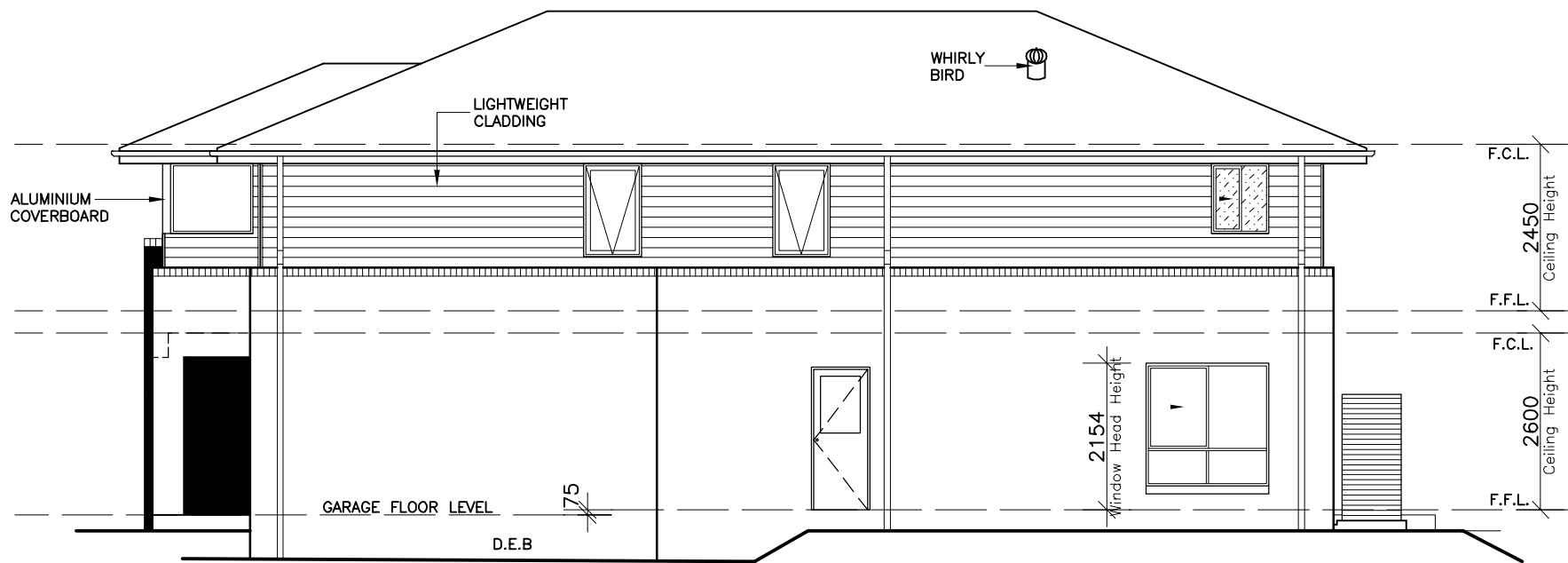
NOTES:
FOR DROP-OFF'S REFER
TO FRAMING DETAILS
CDN 21.010-21.080

Selected Render Coating 1

DENOTES WINDOWS WITH
6.38mm TRANSLUCENT
GLAZING



ELEVATION 1
-NORTH WEST-



ELEVATION 2
-SOUTH WEST



northern
beaches
council

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
DEFERRED COMMENCEMENT CONSENT**

DA NUMBER: DA2019/0385

**(Activation of consent must be obtained
from Northern Beaches Council)**

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (001) 8854 8888

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DIMENSIONS TO BE READ IN
CONJUNCTION WITH CD 36.040

PRODUCT:
PARKHILL 32
Prominent
R/H Garage

Evolution Specification

CLIENT:
Mr. SOMMER
Mrs. SOMMER

SITE ADDRESS:
Lot 17
Proposed Road
WARRIEWOOD 2102

DA DRAWINGS

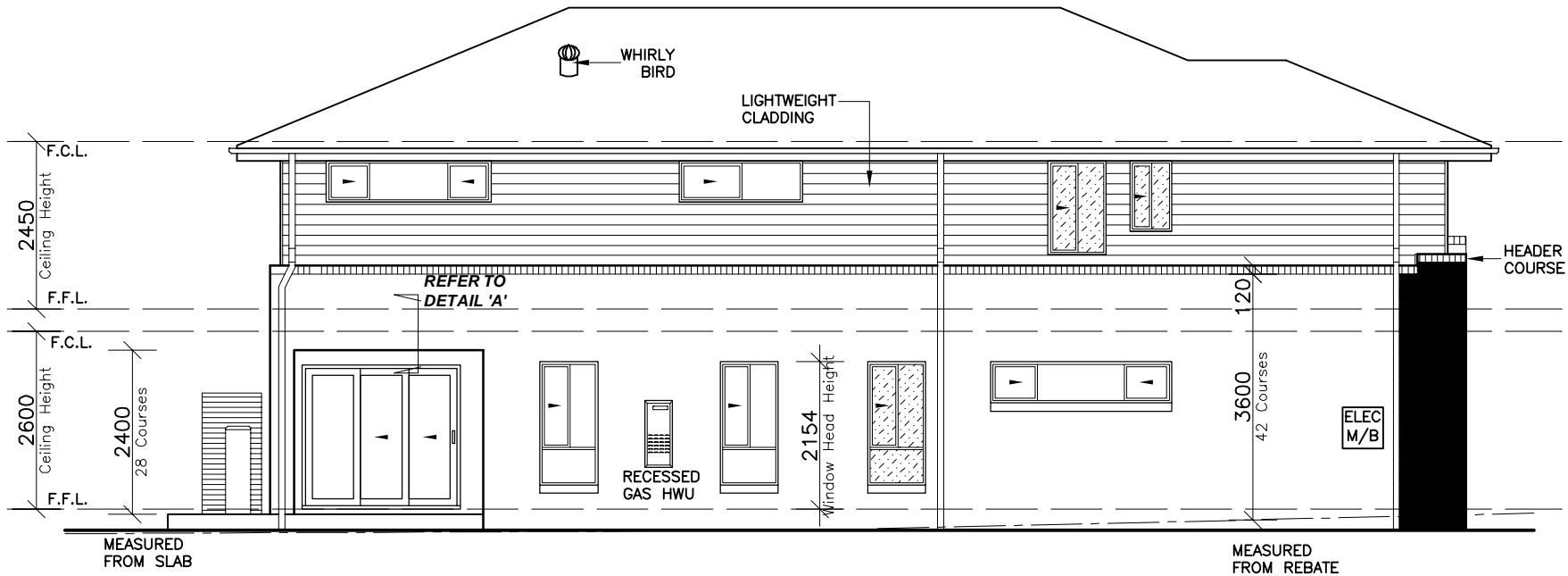
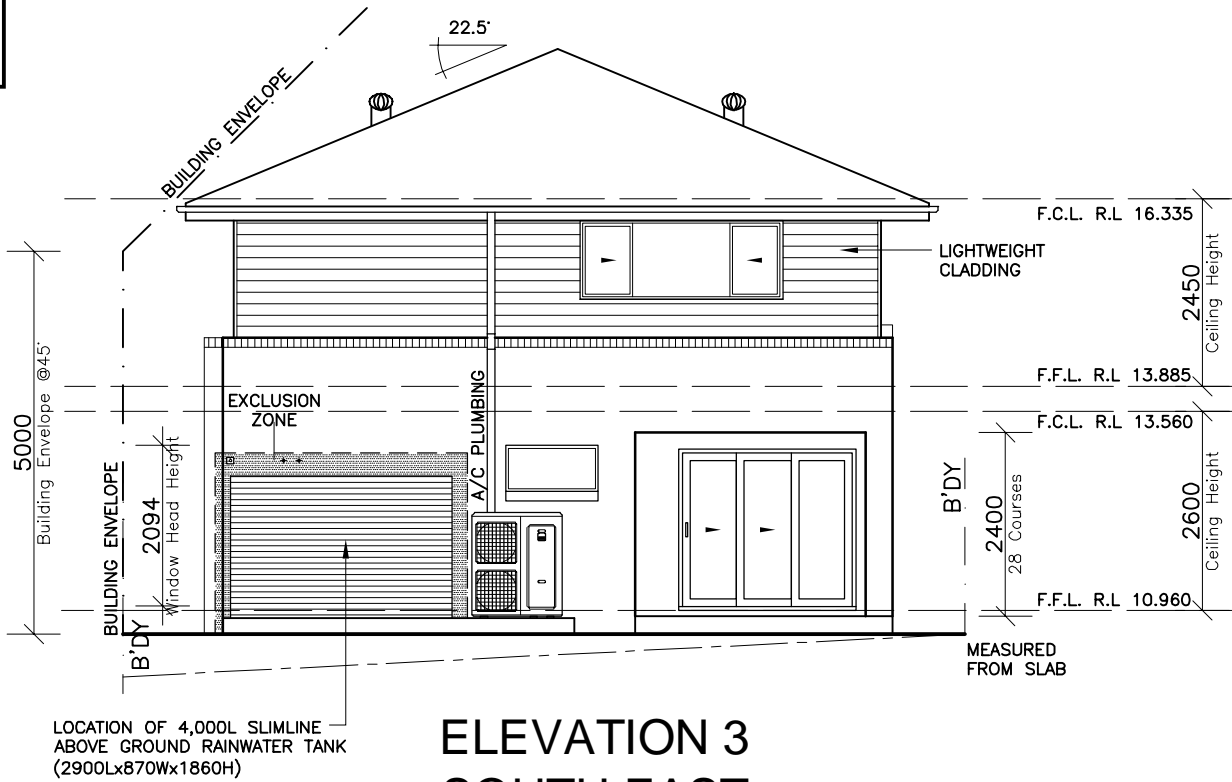
DRAWN: PG.	DATE: 28.02.19	Rev:
RATIO @ A3: 1:100	CHECKED: J.S	F
SHEET: 5	JOB No: 29913455	NSW

NOTE:
HEIGHT OF DROP EDGE BEAM MAY
VARY DUE TO SITE CONDITIONS
UPON COMPLETION OF SITE WORKS

NOTES:
FOR DROP-OFF's REFER
TO FRAMING DETAILS
CDN 21.010-21.080

Selected Render Coating 1

DENOTES WINDOWS WITH
6.38mm TRANSLUCENT
GLAZING



northern
beaches
council

**THIS PLAN IS TO BE READ IN
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DEFERRED COMMENCEMENT CONSENT**

DA NUMBER: DA2019/0385

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from Northern Beaches Council)**

CLIENT'S SIGNATURE: _____ DATE: _____

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DIMENSIONS TO BE READ IN
REFERENCE TO CLAUDING

PRODUCT:
PARKHILL 32
Prominent
R/H Garage

Evolution Specification

CLIENT:
Mr. SOMMER
Mrs. SOMMER

SITE ADDRESS:
Lot 17
Proposed Road
WARRIEWOOD 2102

DA DRAWINGS

DRAWN: PG.	DATE: 28.02.19	Rev: F
RATIO @ A3: 1:100	CHECKED: J.S	
SHEET: 6	JOB No: 20013455	NSW