



# ACTION PLANS

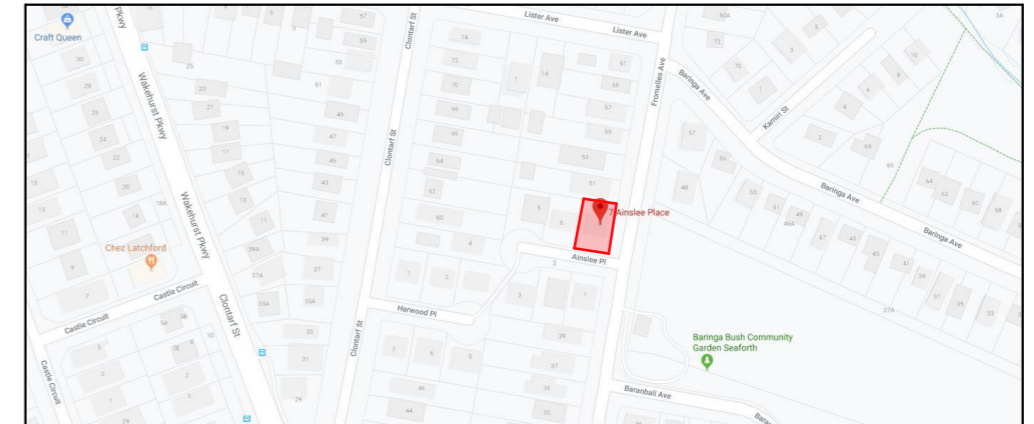
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# 7 Ainslee Place Seaforth NSW 2092

## DEVELOPMENT APPLICATION

These plans are for Development Approval only.

ITEM DETAILS	DEVELOPMENT APPLICATION			
ADDRESS	7 AINSLEE PLACE, NSW, 2092			
LOT & DP/SP	LOT 20 DP 1044080			
COUNCIL	NORTHERN BEACHES COUNCIL (MANLY COUNCIL)			
SITE AREA	512.6m <sup>2</sup>			
FRONTAGE	18.815m			
CONTROLS	PERMISSIBLE / REQUIRED	EXISTING	PROPOSED	COMPLIANCE
	m / m <sup>2</sup> / %	m / m <sup>2</sup> / %	m / m <sup>2</sup> / %	
<b>LEP</b>				
LAND ZONING	R2 – LOW DENSITY RESIDENTIAL	R2	R2	YES
MINIMUM LOT SIZE	500m <sup>2</sup>	512.6m <sup>2</sup>	UNCHANGED	YES
FLOOR SPACE RATIO	MAP C : 0.45 : 1 (230.67m <sup>2</sup> )	0.41 : 1 (212.59m <sup>2</sup> )	0.34 : 1 (222.27m <sup>2</sup> )	YES
MAXIMUM BUILDING HEIGHT	8.5m	10.008m	UNCHANGED	NO
<b>HAZARDS</b>				
BUSHFIRE	Bushfire prone land: buffer 100m -30m Vegetation buffer	N/A	N/A	To be read in conjunction with bushfire report
<b>DCP</b>				
RESIDENTIAL OPEN SPACE	AREA OS3			
TOTAL OPEN SPACE (TOS)	55% (281.93m <sup>2</sup> ) (min3x3m and 12m3)	64.5% (330.96m <sup>2</sup> )	UNCHANGED	YES
LANDSCAPE AREA	35% OF TOS (55%) : 98.675m <sup>2</sup>	70% (197.5m <sup>2</sup> )	68.8% (194.12m <sup>2</sup> )	YES
PRINCIPAL PRIVATE OPEN SPACE	18m <sup>2</sup>	40.18m <sup>2</sup>	38.17 m <sup>2</sup>	YES
FRONT SETBACK	PREVALING BUILDING LINE or 6m	5.940m	UNCHANGED	YES
SIDE SETBACK	0.9m	7.946m	UNCHANGED	YES
DECK SETBACK	0.9m	6.685m	2.296m	YES
SIDE SETBACKS	1/3 WALL HEIGHT	E: 4.875 W: 2.323	UNCHANGED	YES
CAR PARKING SPACES	Required: 1	1	UNCHANGED	YES

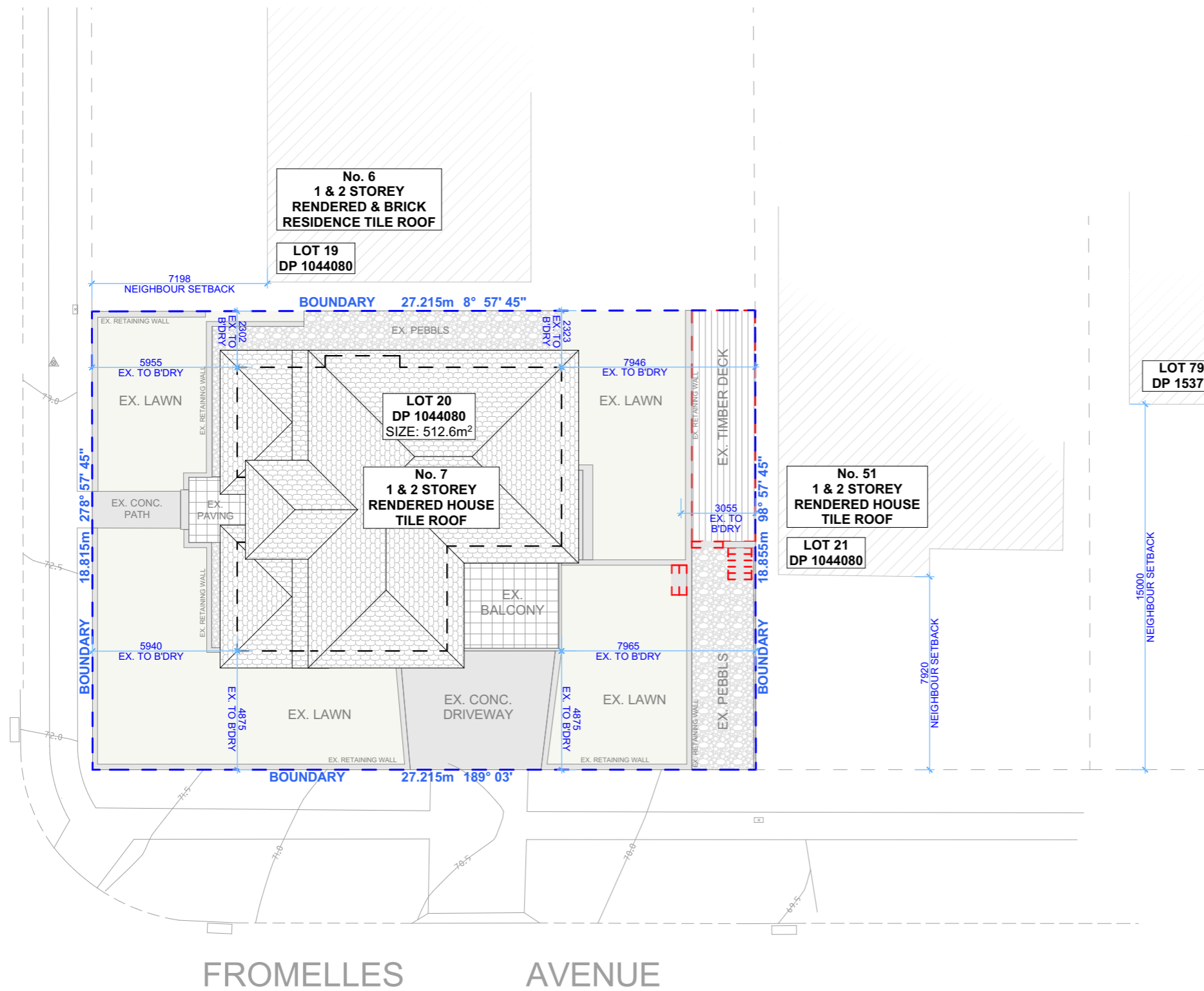


### NCC & AS COMPLIANCES SPECIFICATIONS

- EARTHWORKS - PART 3.1.1 OF NCC
- EARTH RETAINING STRUCTURES - PART 3.1.2 OF NCC
- DRAINAGE - PART 3.1.3 OF NCC
- TERMITE-RISK MANAGEMENT - PART 3.1.4 OF NCC
- FOOTINGS & SLAB - PART 3.2 OF NCC INCLUDING AS2870
- MASONRY - PART 3.3 OF NCC INCLUDING AS3700
- FRAMING - PART 3.4 OF NCC
- SUB FLOOR VENTILATION - PART 3.4.1 OF NCC
- ROOF CLADDING AND WALL-CLADDING - PART 3.5 OF NCC
- GLAZING - PART 3.6 OF NCC INCLUDING AS1288
- FIRE SAFETY - PART 3.7 OF NCC
- FIRE SEPERATION - PART 3.7.2 OF NCC
- FIRE PROTECTION OF SEPERATING WALLS AND FLOORS- PART 3.7.3 OF NCC
- SMOKE ALARMS - PART 3.7.5 OF NCC
- WET AREAS AND EXTERNAL WATERPROOFING - PART 3.8.1 OF NCC
- ROOM HEIGHTS - PART 3.8.2 OF NCC
- FACILITIES - PART 3.8.3 OF NCC
- LIGHT - PART 3.8.4 OF NCC
- VENTILATION - PART 3.8.5 OF NCC
- SOUND INSULATION - PART 3.8.6 OF NCC
- STAIRWAYAND RAMP CONSTRUCTION - PART 3.9.1 OF NCC
- BARRIERS AND HANDRAILS - PART 3.9.2 OF NCC
- SWIMMING POOLS - PART 3.10.1 OF NCC
- CONSTRUCTION IN BUSHFIRE PRONE AREAS - PART 3.10.5 OF NCC
- FENCING & OTHER PROVISIONS - REGS & AS1926
- DEMOLITION WORKS - AS2601-1991 THE DEMOLITION OF STRUCTURES.
- ALL WATERPROOF MEMBRANES TO COMPLY WITH WITH AS 3740-2010
- ALL PLUMBING & DRAINAGE WORK TO COMPLY WITH AS 3500
- SITE CLASSIFICATION AS TO AS 2870
- ALL PLASTERBOARD WORK TO COMPLY WITH AS 2588-1998
- ALL STRUCTURAL STEEL WORK TO COMPLY WITH AS 4100 & AS 1554
- ALL CONCRETE WORK TO COMPLY WITH AS 3600
- ALL ROOF SHEETING WORK TO COMPLY WITH AS 1562-1992
- ALL SKYLIGHTS TO COMPLY WITH WITH AS 4285-2007
- ALL CERAMIC TILING TO COMPLY WITH AS 3958.1-2007 & 3958.2-1992
- ALL GLAZING ASSEMBLIES TO COMPLY WITH AS2047 & 1288
- ALL TIMBER RETAINING WALLS ARE TO COMPLY WITH AS 1720.1-2010, AS 1720.2-2006, AS 1720.4-2006, AS 1170.1-1989 & AS 1170.4-2007
- ALL RETAINING WALLS ARE TO COMPLY WITH 3700 - 2011 & AS 3600 -2009
- ALL CONSTRUCTION TO COMPLY TO AS3959- 2009

SHEET NUMBER	SHEET NAME	DATE PUBLISHED
DA00	COVER	09/09/2019
DA01	SITE ANALYSIS	09/09/2019
DA02	SITE / ROOF / SEDIMENT EROSION / WASTE MANAGEMENT / STORMWATER CONCEPT PLAN	09/09/2019
DA03	EXISTING LOWER GROUND FLOOR PLAN	09/09/2019
DA04	EXISTING GROUND FLOOR PLAN	09/09/2019
DA05	EXISTING FIRST FLOOR PLAN	09/09/2019
DA06	PROPOSED LOWER GROUND FLOOR PLAN	09/09/2019
DA07	PROPOSED GROUND FLOOR PLAN	09/09/2019
DA08	PROPOSED FIRST FLOOR PLAN	09/09/2019
DA09	NORTH / EAST ELEVATION	09/09/2019
DA10	SOUTH / WEST ELEVATION	09/09/2019
DA11	LONG / CROSS SECTION	09/09/2019
DA12	AREA CALCULATIONS / SAMPLE BOARD	09/09/2019
DA13	WINTER SOLSTICE 9 AM	09/09/2019
DA14	WINTER SOLSTICE 12 PM	09/09/2019
DA15	WINTER SOLSTICE 3 PM	09/09/2019
DA16	BASIX COMMITMENTS	09/09/2019

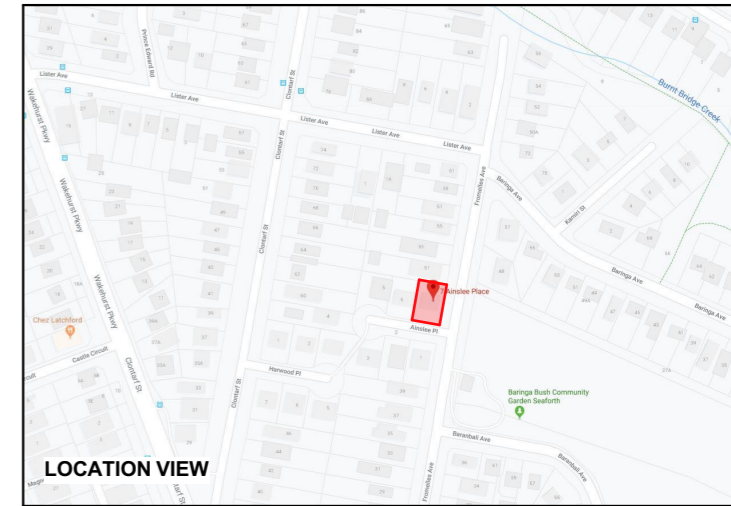
AINSLIE PLACE



1

**SITE ANALYSIS**

**1:200**



**NOTE: ALL DEMOLISHED ELEMENTS TO ENG. SPECIFICATIONS AND AS. 2601 - 2001**



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REV.	DATE	COMMENTS	DRWN
A	30/08/19	DEVELOPMENT APPLICATION	JN

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**LEGEND**  

 EXISTING  
 PROPOSED  
 DEMOLISHED

**CLIENT**  
James & Erica Hier

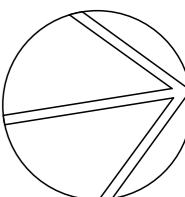
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**DRAWING NO.**  
**DA01**

**DATE**  
09 September 2019

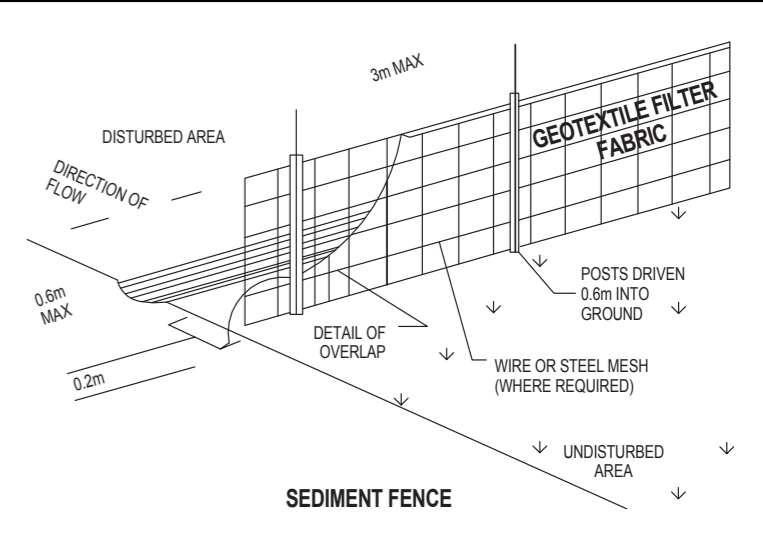
**DRAWING NAME**  
SITE ANALYSIS

**SCALE**  
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This is a summary of the minimum specifications in 'Planning for Bushfire Protection 2006' as amended in 2010 and 'AS 3959 2009 - Construction of buildings in bushfire-prone areas' which are recommended in this report. It is included as a courtesy, is a guide only, and may not be complete. In addition, the contents of the documents from which this information was extracted may have changed between the dates of preparation of this report, and its use or application. Specifications in other documents such as the Building Code of Australia (BCA) may apply. It is the user's responsibility to comply with all statutory conditions as well as those specified by the approving authority with particular reference to this report. The appropriate source documents should be consulted to determine the full specifications abbreviated in this table.

		BAL-12.5	BAL-19	BAL-29	BAL-40
Floor	Slab OK	FRT or lined or enclosed			
	Timber <400mm ag	OK			
Floor posts		FRT or enclosed			
		OK			
External walls		400mm FRT or non-combustible		FRT or non-combustible	Non-combustible
Windows	Frame	FRT or metal			
	Screens	Al, Fe or Br mesh on all openable		Fe or Br mesh on all openable, 5mm toughened glass, or shutters	Fe or Br mesh on all, 6mm toughened glass, or shutters
External doors	Sliding	Safety glass	5mm toughened glass	6mm toughened glass or full mesh	6mm toughened glass plus full mesh or shutter
	Screens	Al, Fe or Br, if fitted			
Timber frames		FRT			
	Garage	Lower 400mm FRT or non-combustible		FRT or non-combustible	Non-combustible
Vents etc	Mesh	Al, Fe or Br mesh 2mm			
Roofs	Tiled	Fully sarked (Flammability Index <5)			
	Sheeted Non-combustible sleeve lining, 4mm safety glass	Non-combustible, fully sarked (Flammability Index <5)			
Verandahs, decks etc	Enclosed	Any supports, <3mm spaced deck, FRT or non-combustible			FRL <30/-
	Unenclosed	FRT or non-combustible, <3mm spaced deck			All non-combustible, unspaced deck
Services	<300mm to glass	300mm wide FRT or non-combustible		FRT or non-combustible	Non-combustible
Ag	Above ground	Exposed water & gas pipes to metal			
		FRT	Fire Resistant Timber	Al	Aluminium
				Fe	Stainless steel
				Br	Bronze



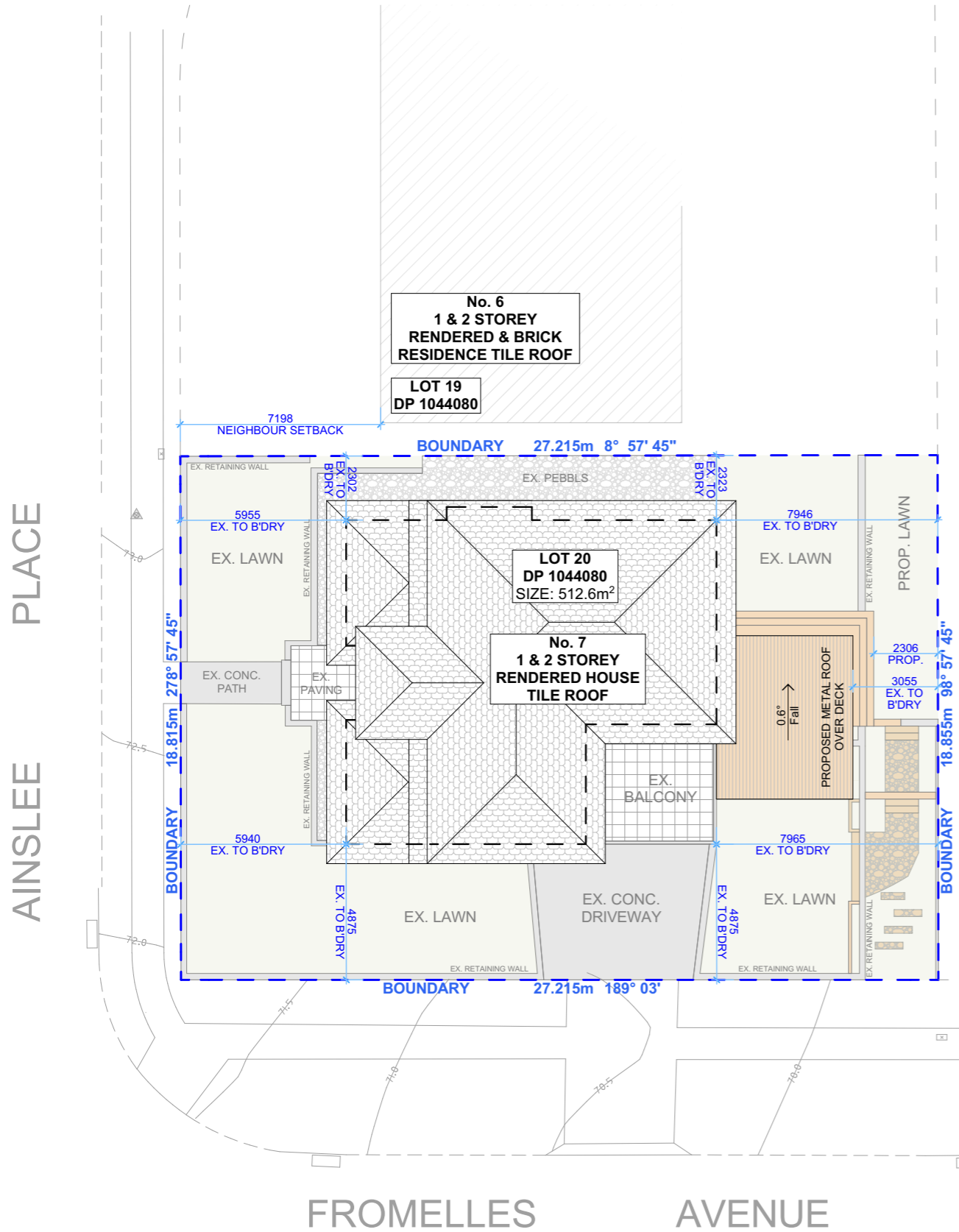
**DUST CONTROL :**  
TO REDUCE DUST GENERATED BY WIND ACTION, THE REMOVAL OF THE TOP SOIL IS TO BE MINIMISED. TO PREVENT DUST GENERATION, WATERING DOWN OF THE SITE, ESPECIALLY DURING THE MOVEMENT OF MACHINERY IS REQUIRED. WHERE EXCAVATING INTO ROCK, KEEP THE SURFACE MOIST TO MINIMISE DUST. CONSTRUCT A GRAVEL ENTRY/EXIT POINT USING BLUE METAL AND RESTRICT ALL VEHICLE MOVEMENTS WITHIN THE SITE TO A MINIMUM. ENSURE WIND BREAKS, SUCH AS EXISTING FENCES ARE MAINTAINED DURING THE CONSTRUCTION PHASE UNTIL NEW LANDSCAPING IS PROVIDED OR REINSTATED. PREVENT DUST BY COVERING STOCKPILES

**SEDIMENT NOTE :**  
1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY THE SITE MANAGER.  
2. MINIMISE DISTURBED AREAS. REMOVE EXCESS SOIL FROM EXCAVATED AREA AS SOON AS POSSIBLE.  
3. ALL MATERIAL STOCKPILE TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS, OR WITHIN SEDIMENT FENCE AREA.  
4. DRAINAGE TO BE CONNECTED TO STORMWATER AS SOON AS POSSIBLE. IF STORED ON SITE, IT MUST BE FILTERED BEFORE RELEASING INTO STORMWATER SYSTEM OR WATERWAYS.  
5. ROADS AND FOOTPATHS TO BE SWEEPED DAILY.

**STOCKPILES :**  
ALL STOCKPILES ARE TO BE KEPT ON-SITE WHERE POSSIBLE. ANY MATERIALS PLACED ON THE FOOTPATHS OR NATURE STRIPS REQUIRE COUNCIL'S PERMISSION.  
ALL STOCKPILES ARE TO BE PLACED AWAY FROM THE DRAINAGE LINES AND STREET GUTTERS. IT IS BEST TO LOCATE THESE ON THE HIGHEST PART OF THE SITE IF POSSIBLE. PLACE WATERPROOF COVERING OVER STOCKPILES.  
IF REQUIRED PROVIDE DIVERSION DRAIN & BANK AROUND STOCKPILES.

**GUTTER PROTECTION :**  
PROVIDE PROTECTION TO DOWNHILL GRATE IN GUTTER BY MEANS OF SAND BAGS OR BLUE METAL WRAPPED IN GEOTEXTILE FABRIC. WHEN SOIL OR SAND BUILDS UP AROUND THIS SEDIMENT BARRIER, THE MATERIAL SHOULD BE RELOCATED BACK TO THE SITE FOR DISPOSAL.

**NOTE: ALL PROPOSED STORMWATER TO CONNECT WITH EXISTING**



1

**SITE / ROOF / SEDIMENT EROSION / WASTE MANAGEMENT / STORMWATER CONCEPT PLAN**

1:200



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**LEGEND**  

 EXISTING  
 PROPOSED  
 DEMOLISHED

**CLIENT**  
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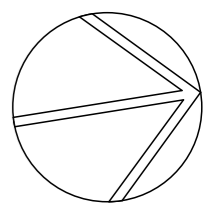
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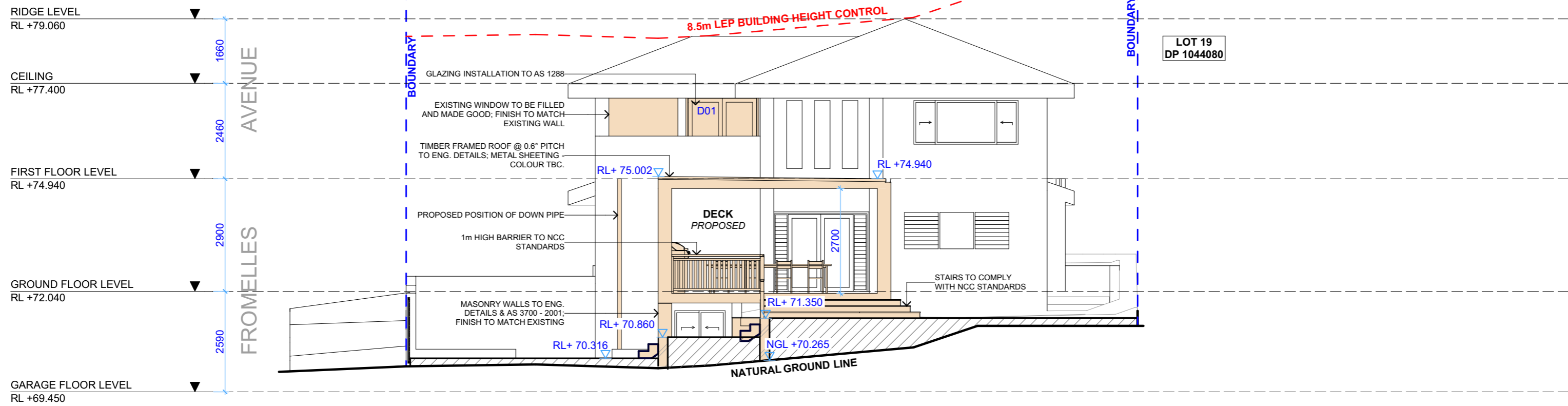
**DRAWING NO.**  
**DA02**

**DATE**  
09 September 2019

**DRAWING NAME**  
SITE / ROOF / SEDIMENT  
EROSION / WASTE  
MANAGEMENT / STORMWATER  
CONCEPT PLAN

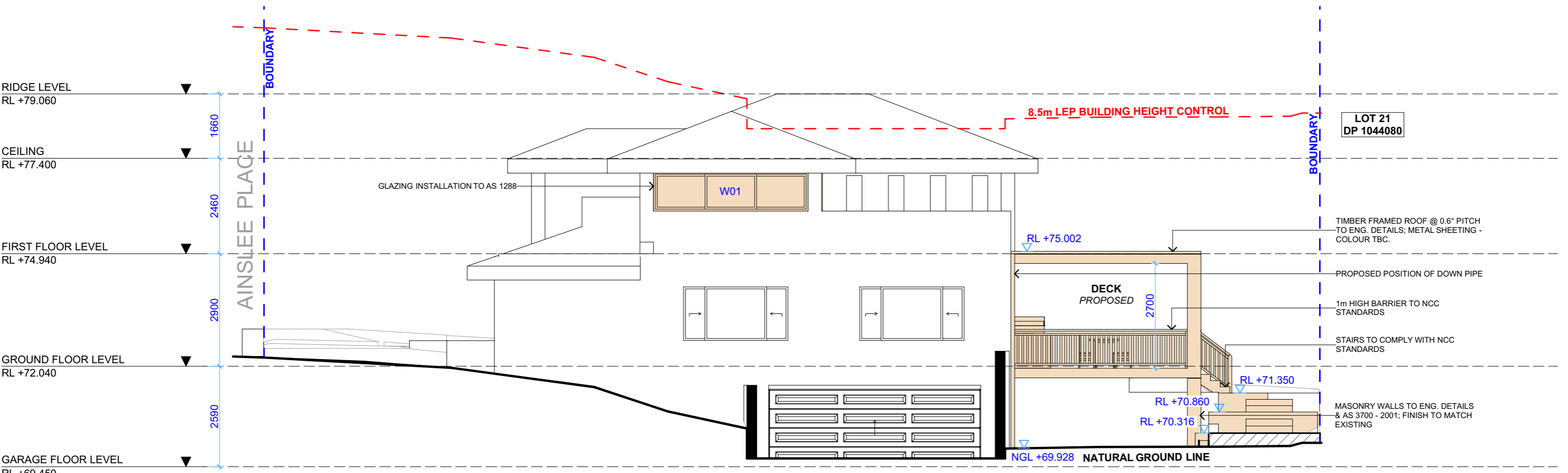
**SCALE**  
1:200 @A3





1 NORTH ELEVATION 1:100

NOTE: FOR BUSHFIRE REQUIREMENTS REFER TO DA02



2 EAST ELEVATION 1:100

NOTE: FOR BUSHFIRE REQUIREMENTS REFER TO DA02

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**LEGEND**

	EXISTING
	PROPOSED
	DEMOLISHED

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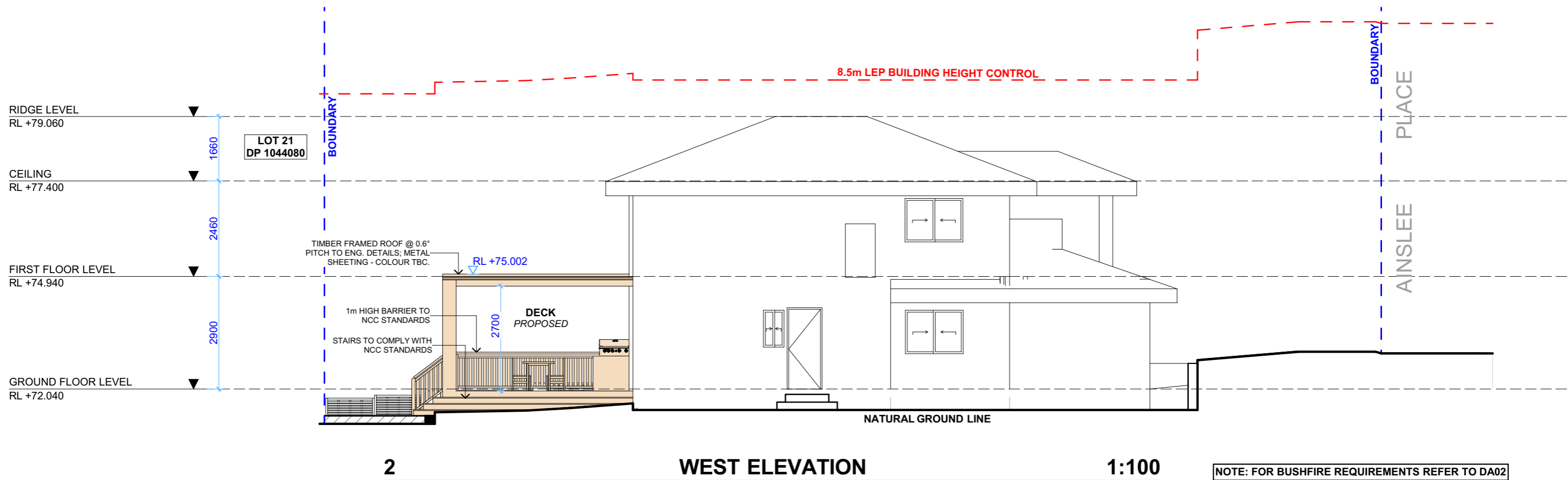
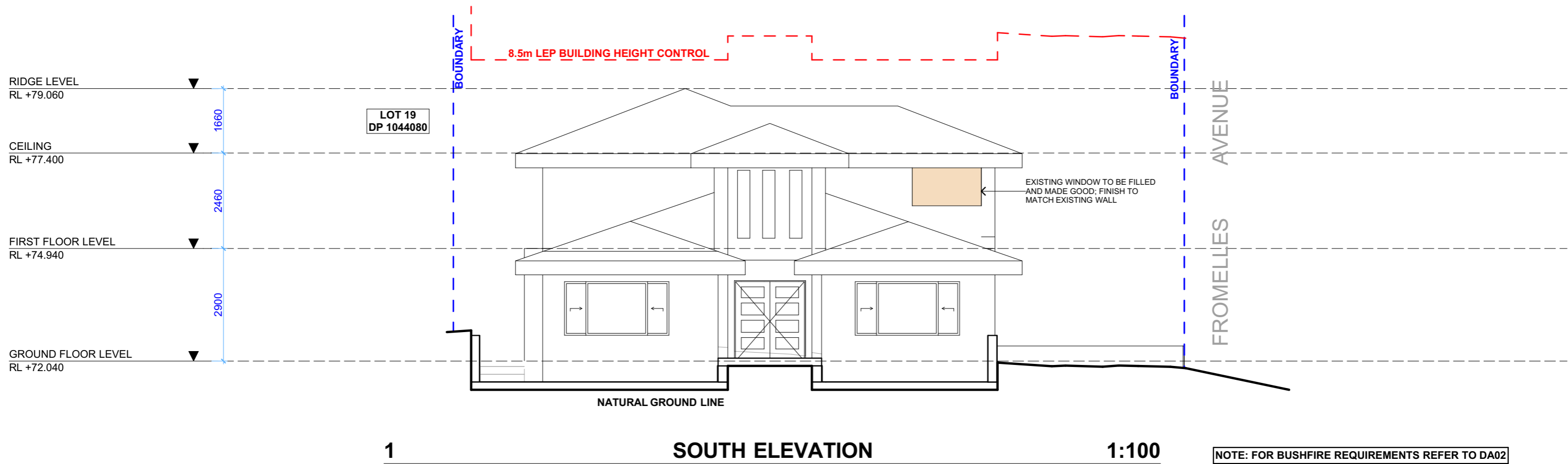
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**DRAWING NO.**  
**DA09**

**DATE**  
 09 September 2019

**DRAWING NAME**  
 NORTH / EAST ELEVATION

**SCALE**  
 1:100 @A3



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- EXISTING
- PROPOSED
- DEMOLISHED

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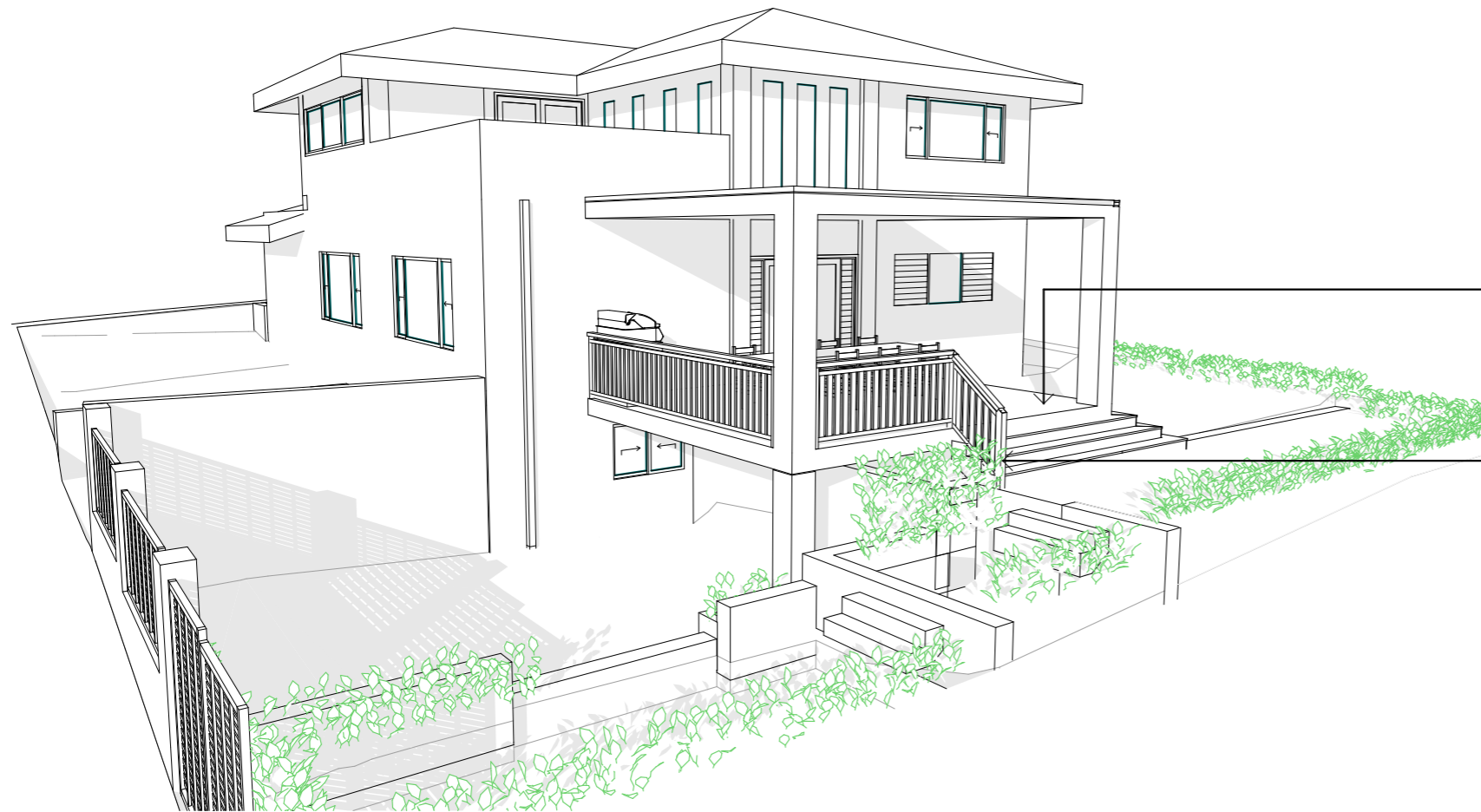
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**DRAWING NO.**  
**DA10**

**DATE**  
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**DRAWING NAME**  
 SOUTH / WEST ELEVATION

**SCALE**  
 1:100 @A3



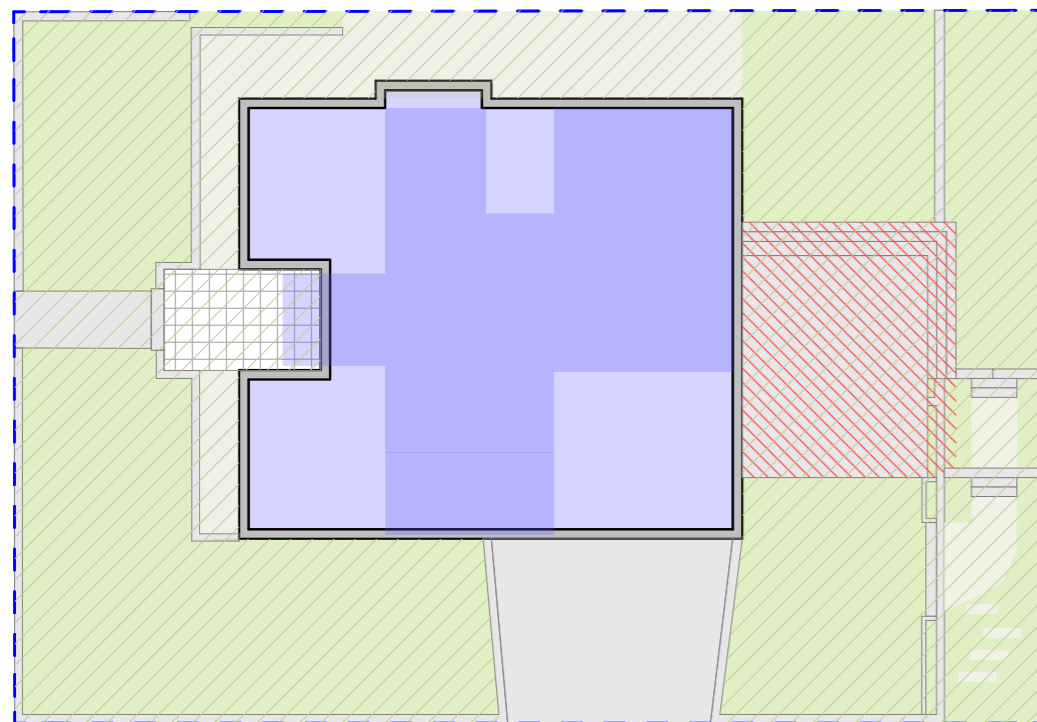
### SAMPLE BOARD



TILED DECK - COLOUR TO MATCH EXISTING TO BE CONFIRMED BY CLIENT



TIMBER RAILING - COLOUR TO BE CONFIRMED BY CLIENT



### AREA CALCULATIONS

	REQUIRED	EXISTING	PROPOSED
SITE AREA - 512.6m <sup>2</sup>			
FLOOR SPACE RATIO	0.45 : 1 (230.67m <sup>2</sup> )	0.41 : 1 (212.59m <sup>2</sup> )	0.43 : 1 (222.27m <sup>2</sup> )
TOTAL OPEN SPACE	55% (281.93m <sup>2</sup> )	64.5% (330.96m <sup>2</sup> )	UNCHANGED
LANDSCAPED AREA	35% OF TOS (98.675m <sup>2</sup> )	70% (197.5m <sup>2</sup> )	68.8% (194.12m <sup>2</sup> )
PRIVATE OPEN SPACE	18m <sup>2</sup>	40.18m <sup>2</sup>	38.17m <sup>2</sup>

- LANDSCAPED AREA / LANDSCAPED OPEN SPACE
- PERVIOUS AREA
- HARD SURFACE AREA / BUILT UPON AREA / SITE COVERAGE
- FLOOR SPACE RATIO / FLOOR AREA
- PRIVATE OPEN SPACE

**1 PROPOSED AREA CALCULATIONS 1:200**



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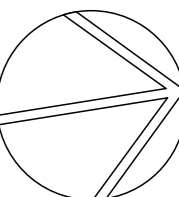
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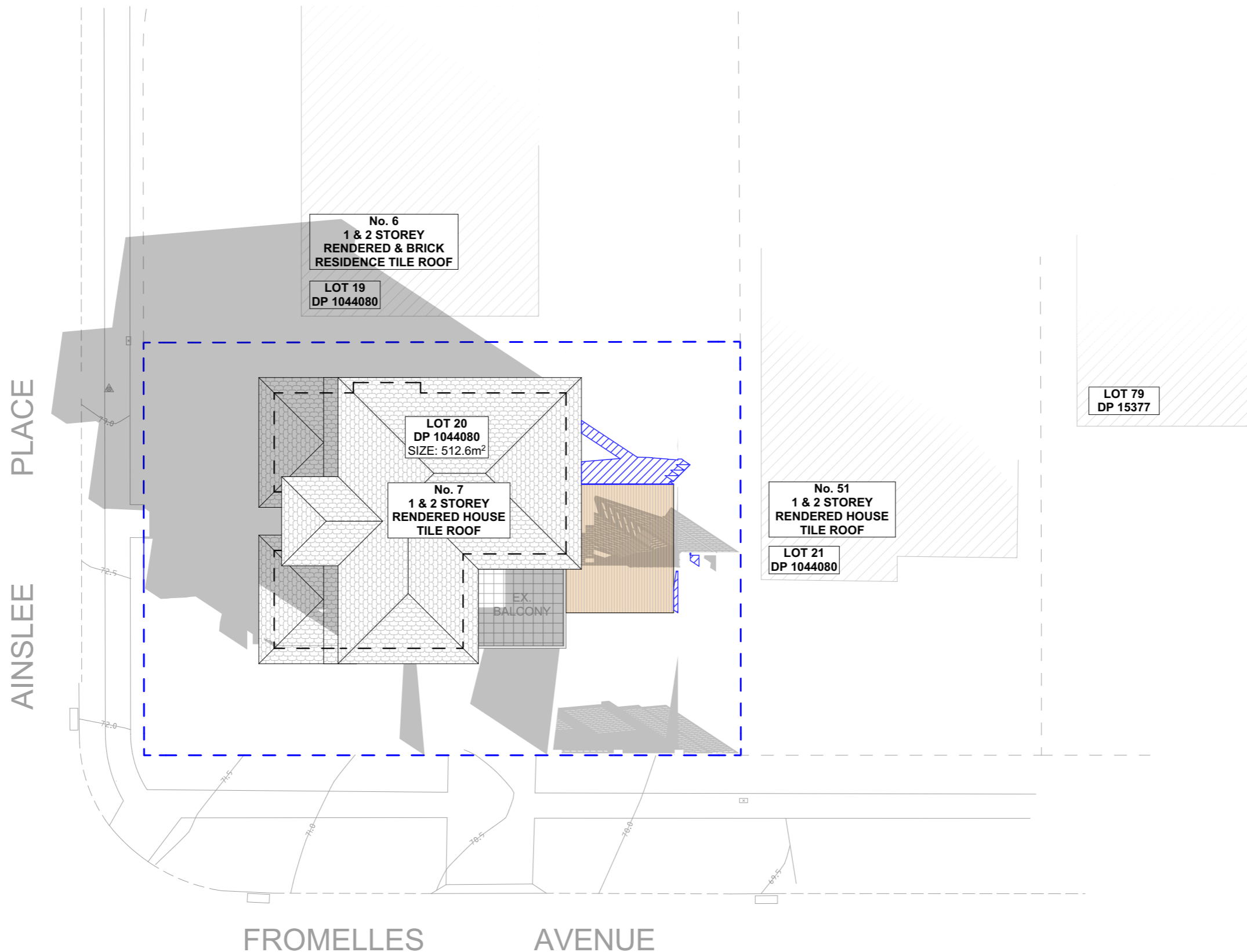
**DRAWING NO.**  
**DA12**

**DATE**  
 09 September 2019

**DRAWING NAME**  
 AREA CALCULATIONS /  
 SAMPLE BOARD

**SCALE**  
 1:200 @A3





1

WINTER SOLSTICE 9AM

1:200





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**LEGEND**  
 EXISTING SHADOWS  
 PROPOSED SHADOWS

**CLIENT**  
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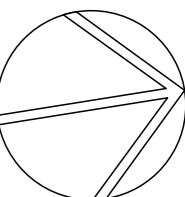
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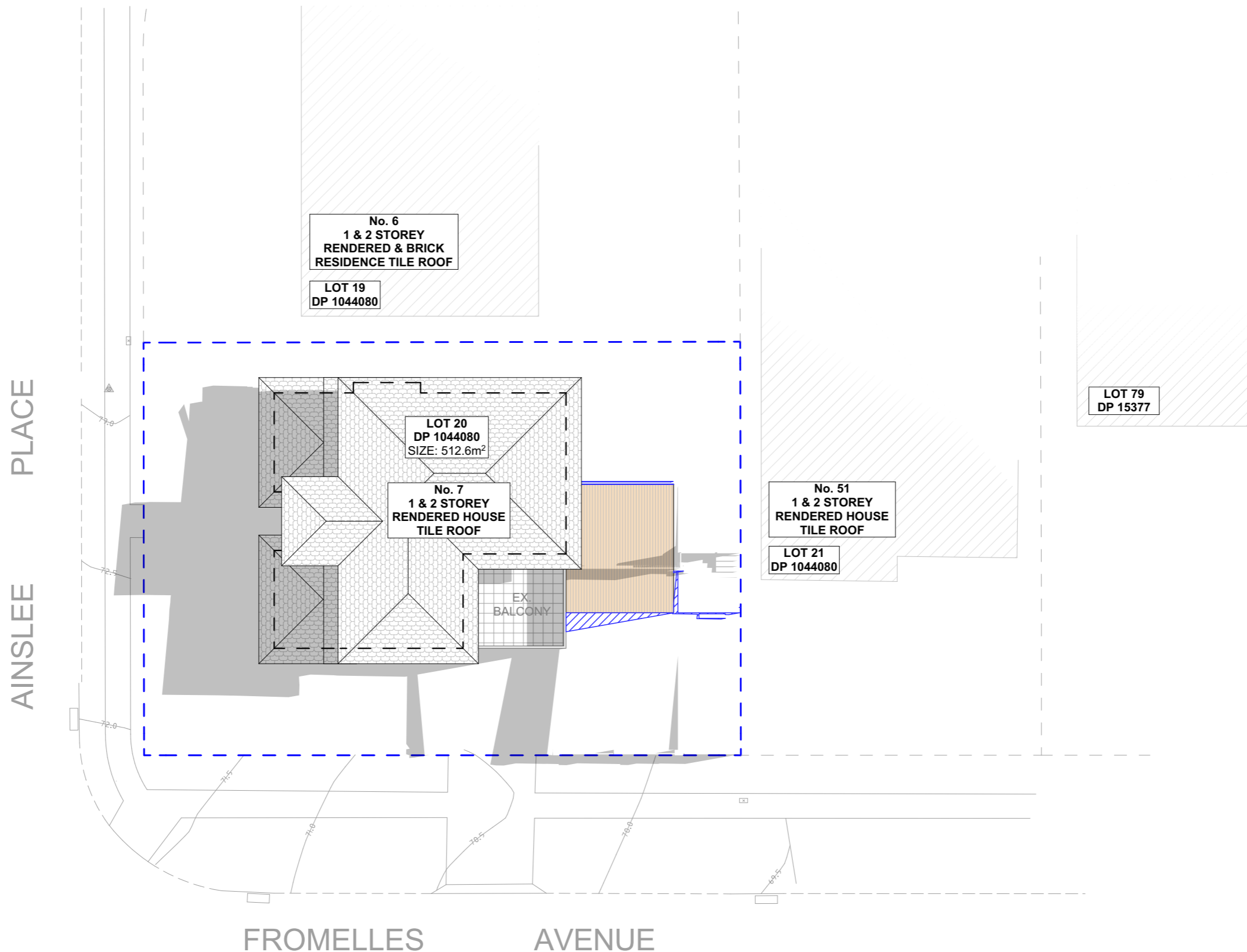
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**DA13**

**DATE**  
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**DRAWING NAME**  
 WINTER SOLSTICE 9 AM

**SCALE**  
 1:200 @A3





**1 WINTER SOLSTICE 12PM 1:200**





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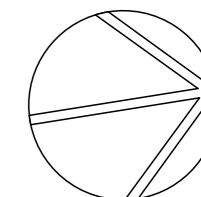
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**DRAWING NO.**  
**DA14**

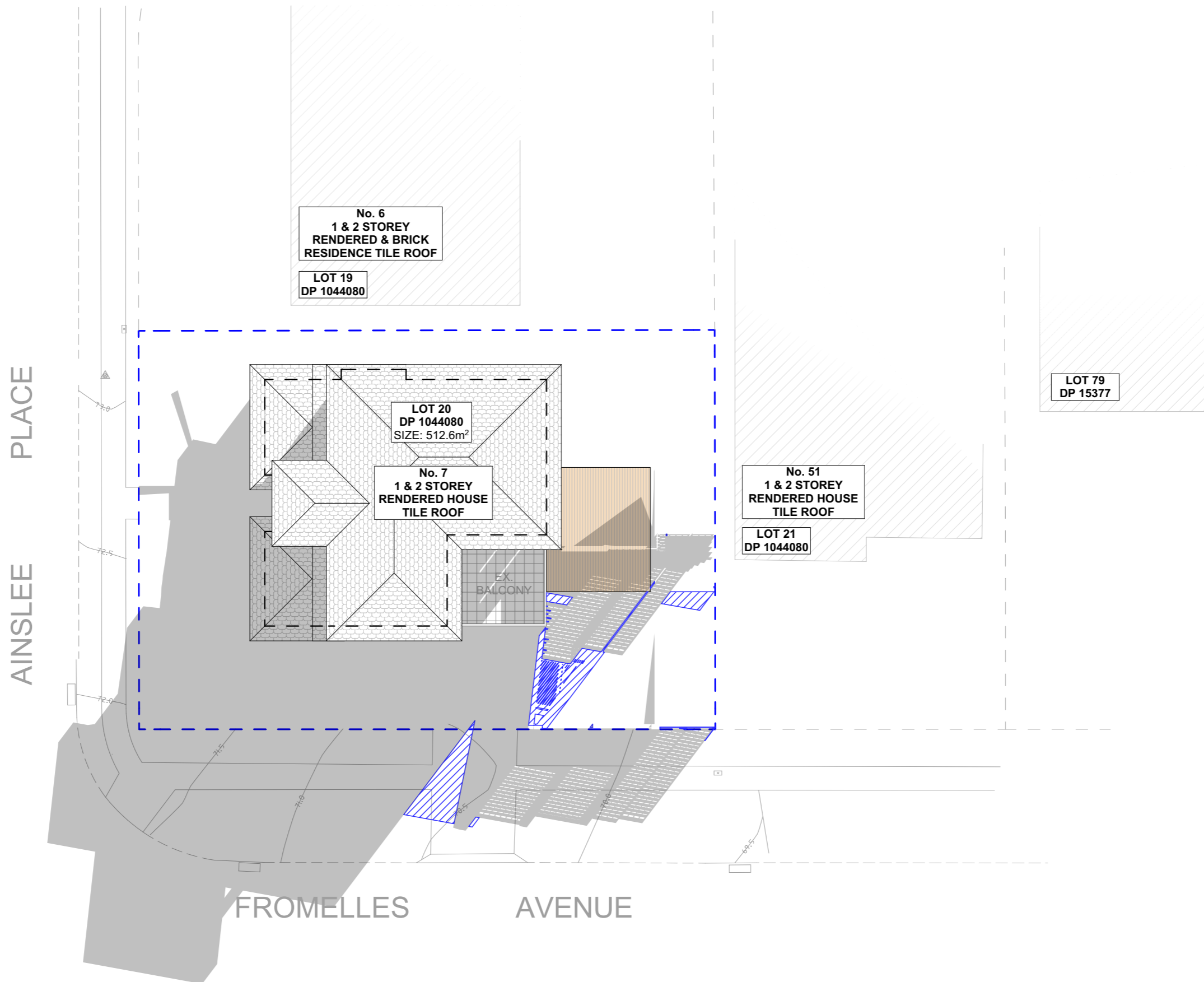
**DATE**  
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**DRAWING NAME**  
 WINTER SOLSTICE 12 PM

**SCALE**  
 1:200 @A3







1

WINTER SOLSTICE 3PM

1:200





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 James & Erica Hier

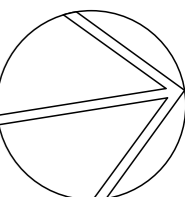
**PROJECT ADDRESS**  
 7 Ainslee Place Seaforth  
 NSW 2092

**DRAWING NO.**  
**DA15**

**DATE**  
 09 September 2019

**DRAWING NAME**  
 WINTER SOLSTICE 3 PM

**SCALE**  
 1:200 @A3



## Alterations and Additions

Certificate number: A356236

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary  
Date of issue: Tuesday, 20, August 2019  
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	7 Ainslee Place Seaforth NSW 2092
Street address	7 Ainslee Place Seaforth 2092
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 1044080
Lot number	20
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

<b>Certificate Prepared by</b> (please complete before submitting to Council or PCA)
Name / Company Name: Action Plans
ABN (if applicable): 17118297587

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check																							
<b>Windows and glazed doors</b>																										
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓																							
The following requirements must also be satisfied in relation to each window and glazed door:																										
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.		✓	✓																							
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	✓	✓	✓																							
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.		✓	✓																							
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.		✓	✓																							
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Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
<b>Lighting</b>			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check												
<b>Insulation requirements</b>															
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m <sup>2</sup> , b) insulation specified is not required for parts of altered construction where insulation already exists.	✓	✓	✓												
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REV.	DATE	COMMENTS	DRWN	NOTES
A	30/08/19	DEVELOPMENT APPLICATION	JN	

This drawing is the copyright of Action Plans and not be altered, reproduced or transmitted in any form or by any means in part or in whole with the written permission of Action Plans.  
Do not scale measure from drawings. Figured dimensions are to be used only.  
The Builder/Contractor shall check and verify all levels and dimensions on site prior to commencement of any work, creation of shop drawings, or fabrication of components.  
All errors and omissions are to be verified by the Builder/Contractor and referred to the designer prior to the commencement of works.  
All window & door dimensions, orientation, glazing materials, opening types, frame types are to be confirmed by a suitably qualified person prior to the ordering of any such materials are to take place.  
U value takes precedence over glazing type/colour in all cases.  
all new glazing must meet the BASIX specified frame and glass type, QR meet the ecified U value and SHGC value.

**CLIENT**  
James & Erica Hier

**PROJECT ADDRESS**  
7 Ainslee Place Seaforth  
NSW 2092

**DRAWING NO.**  
**DA16**

**DATE**  
09 September 2019

**DRAWING NAME**  
BASIX COMMITMENTS