



59 FRANCIS STREET, MANLY, NSW 2095 DEVELOPMENT APPLICATION

CONSULTANT TEAM:

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FOR DEVELOPMENT APPLICATION PURPOSES ONLY - NOT FOR CONSTRUCTION

ISSUE	DATE	DESCRIPTION	ARCHITECT		PROJECT: HOUSE RENOVATION, ALTERATIONS & ADDITIONS - LOT 46 SEC D DP 4449				NORTH	SHEET TITLE			
A	17.08.21	PROGRESS DRAFT ISSUE	EOIN	6/26 WOODS PARADE, FAIRLIGHT NSW 2094 AUSTRALIA T +61 2 8416 5912 E info@eoinarchitects.com	59 FRANCIS STREET, MANLY, NSW 2095 CLIENTS PETER GLAS & VANESSA MATTHIJSEN					COVER PAGE			
B	07.09.21	DRAFT DA ISSUE											
C	12.09.21	DRAFT DA ISSUE FOR BASIX											
D	27.09.21	DRAFT DA ISSUE											
E	08.10.21	DA ISSUE											
F	23.10.21	ADDITIONAL INFORMATION - DA ISSUE	EOIN ABN 25 673 855 645 NOMINATED ARCHITECT EOIN PATRICK HEALY 11133 THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATION, REPORT AND DRAWINGS. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. VERIFY ALL DIMENSIONS ON SITE BEFORE CONSTRUCTION. COPYRIGHT OF THIS DRAWING IS VESTED IN EOIN.		PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE	SHEET NUMBER	ISSUE	
G	09.03.22	REVISED - DA ISSUE			2008		EH	EH				DA001	G

NOTES:

GENERAL NOTATION

1. All materials, components, equipment and workmanship shall comply with all Statutory Authority codes and regulations, the current National Construction Code (NCC), Australian Standards, and any other regulations, rules or by-laws applicable to both design and execution.
2. Where necessary, provide Shop Drawings and technical information to demonstrate compliance with the Design Drawings and Specification, and comply with the approvals process specified.
3. Obtain and submit all approvals, certificates and any other documents required by the Statutory Authorities to permit use and/or occupation of the Works.
4. Comply with any approval conditions imposed by Statutory Authorities to which the works are subject.
5. At the appropriate time provide the Architect with Contract samples as listed in the Component Specification. These samples shall be kept as a record of materials incorporated into the Works and used as references for controlling consistency.
6. The Contractor is responsible for obtaining the Certificate of Occupancy as well as meeting any other regulatory requirements associated with the Certificate of Occupancy.
7. All Architectural drawings to be read in conjunction with all consultants and all suppliers drawings.

8. Prototypes & samples to be presented and approved by Architect, Structural Engineer (where required) & Client prior to approval and fabrication. Required prototypes are set out in Component Specification.

PERFORMANCE SPECIFICATION - STEELWORK:

General: The Main Contractor must ensure all member sizes, fixings and details are designed to sustain all relevant loads. The Main Contractor must notify both the Architect and Structural Engineer of any proposed amendments to such details and seek approval prior to commencement of any work.

CAM: All steel work and connections to be designed, 3D CAD modelled, computer numerically controlled (CNC) set out and computer aided manufactured (CAM).

Galvanisation: All associated bolts screws hold down bolts and threaded rods to be hot dipped galvanised to AS 1214. Refer to Structural Engineer's drawings and specification for all connection details and member sizes.

Separation: Ensure appropriate separation / isolation between dissimilar metals in accordance with AS 1562.1D

Shop Drawings: A complete set of steel fabrication shop drawings for all steel work elements & connections to be issued to and approved by Architect, Structural Engineer & Client prior to approval & fabrication.

Prototypes: Connection prototypes to be fabricated & approved by Architect, Structural Engineer & Client prior to fabrication process commencing. Connection prototypes required.

STAGED INSPECTIONS - HOLD POINTS

Note: Main Contractor to notify the Architect 7 business days in advance of any of the following stages, in order to organise the relevant party to carry out their inspections.

- A) After excavation for and prior to placement of any footings.
- B) Prior to pouring any in-situ reinforced concrete building element.
- C) Prior to covering of the framework for any floor, wall, roof or other building element.
- D) Prior to covering waterproofing in any wet areas.
- F) Prior to covering any storm water drainage connections.
- relation to the building.- Inspection by PCA.

BCA REQUIREMENTS

1. NOTE: All plans are to be read in conjunction and comply with the BASIX Certificate & Relavant Reports
2. IMPORTANT NOTE: Any proposed product changes after approval of the CC to be immediately notified to the Private Certifying Authority for concurrence
3. All products, systems and construction MUST meet the Deemed-to-Satisfy (DTS) provisions of the National Construction Code (NCC) & Building Code of Australia (BCA) including any New South Wales (NSW) variations and additions.
4. Termite Control shall be in accordance with N.C.C. 2019 Vol. 2 Part 3.1.4. and AS 3660.1.
5. All external timber framed walls to be wrapped in a breathable vapour permeable membrane that complies & installed with AS/NZS 4200.1 and AS 4200.2.
6. All external wall Claddings must be complaint with the requirements of N.C.C. 2019 Vol. 2 Part 3.5.4. deemed to satisfy provisions and AS/NZS 1859.4.
7. All Balustrades to comply with N.C.C. 2019 Vol. 2 Part 3.9 and AS 1684, AS 1170, AS 1288 and AS/NZS 2208
8. All stairs providing assess to comply with N.C.C. 2019 Vol. 2 Part 3.9.1 including slip resistance P3 / R10 for Dry or P4 / R11 for Wet.
9. Provide a continuous handrail to each flight of stairs and a slip resistant finish in accordance with N.C.C 2019 Vol. 2 Part 3.9.1. and 3.9.2. and AS 4586.
10. Metal Roof Design and Installation shall be in accordance with N.C.C 2019 Vol. 2 Part 3.5.1. AS 1562.1 & AS/NZS 1562.3
11. All windows to be restricted in accordance with N.C.C 2019 Vol. 2 Part 3.9.2.6 & Part 3.9.2.7. Protection of openable windows where floor below is greater than 2 metres
12. Allow for separate taps for the washing machine and keep separate for those of the laundry tub. A dedicated laundry space comprising of at least one washtub and a space for washing machine must be provided in accordance with N.C.C. 2019 Vol. 2 Part 3.8.3
13. Provide Plasterboard Lining installed to Manufacturers Specifications & AS/NZS 2589
14. All waterproofing to AS3740 and N.C.C 2019 Vol. 2 Part 3.8.1. Provide a Guaranteed Flexible Waterproof Membrane to all Wet Area Floors & Shower walls to manufactured instructions.
15. Provide lift off hinges where toilet pan is within 1.2 metres of hinged side of door in accordance with N.C.C 2019 Vol. 2 Part 3.8.3.
16. Proved hardwired & battery backup interconnected smoke and fire detection devices. Smoke alarms to be installed to AS 3786 and the N.C.C. 2019 Vol. 2 Part 3.7.5.
17. Fire Wall must commence at the ground slab and extend to the underside of a non-combustible roof cladding or eaves lining. Refer to “Fire separation” N.C.C 2019 Vol. 2 Part 3.7.2.
18. All Pool Fence / gate elements to be in accordance with AS 1926.1.

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BASIX®Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A433139

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Wednesday, 29, September 2021
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	786B - 59 Francis St, Manly
Street address	59 Francis Street Manly 2095
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 4449
Lot number	46
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and includes a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)
Name / Company Name: ECOMODE Design
ABN (if applicable): 79845824261

BASIX Certificate number: A433139

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Pool and Spa	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Outdoor swimming pool			
The swimming pool must be outdoors.	✓	✓	✓
The swimming pool must not have a capacity greater than 16 kilolitres.	✓	✓	✓
The swimming pool must have a pool cover.		✓	✓
The applicant must install a pool pump timer for the swimming pool.		✓	✓
The applicant must not incorporate any heating system for the swimming pool that is part of this development.		✓	✓

Planning, Industry & Environment

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BASIX Certificate number: A433139

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Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check															
Insulation requirements																		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		✓	✓															
<table><tr><th>Construction</th><th>Additional insulation required (R-value)</th><th>Other specifications</th></tr><tr><td>suspended floor with enclosed subfloor: concrete (R0.6).</td><td>R0.70 (down) (or R1.30 including construction)</td><td></td></tr><tr><td>floor above existing dwelling or building.</td><td>nil</td><td></td></tr><tr><td>external wall: framed (weatherboard, fibro, metal clad)</td><td>R1.30 (or R1.70 including construction)</td><td></td></tr><tr><td>raked ceiling, pitched/skillion roof: framed</td><td>ceiling: R3.00 (up), roof: foil/sarking</td><td>medium (solar absorptance 0.475 - 0.70)</td></tr></table>		Construction	Additional insulation required (R-value)	Other specifications	suspended floor with enclosed subfloor: concrete (R0.6).	R0.70 (down) (or R1.30 including construction)		floor above existing dwelling or building.	nil		external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)		raked ceiling, pitched/skillion roof: framed	ceiling: R3.00 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)		✓
Construction	Additional insulation required (R-value)	Other specifications																
suspended floor with enclosed subfloor: concrete (R0.6).	R0.70 (down) (or R1.30 including construction)																	
floor above existing dwelling or building.	nil																	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)																	
raked ceiling, pitched/skillion roof: framed	ceiling: R3.00 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)																

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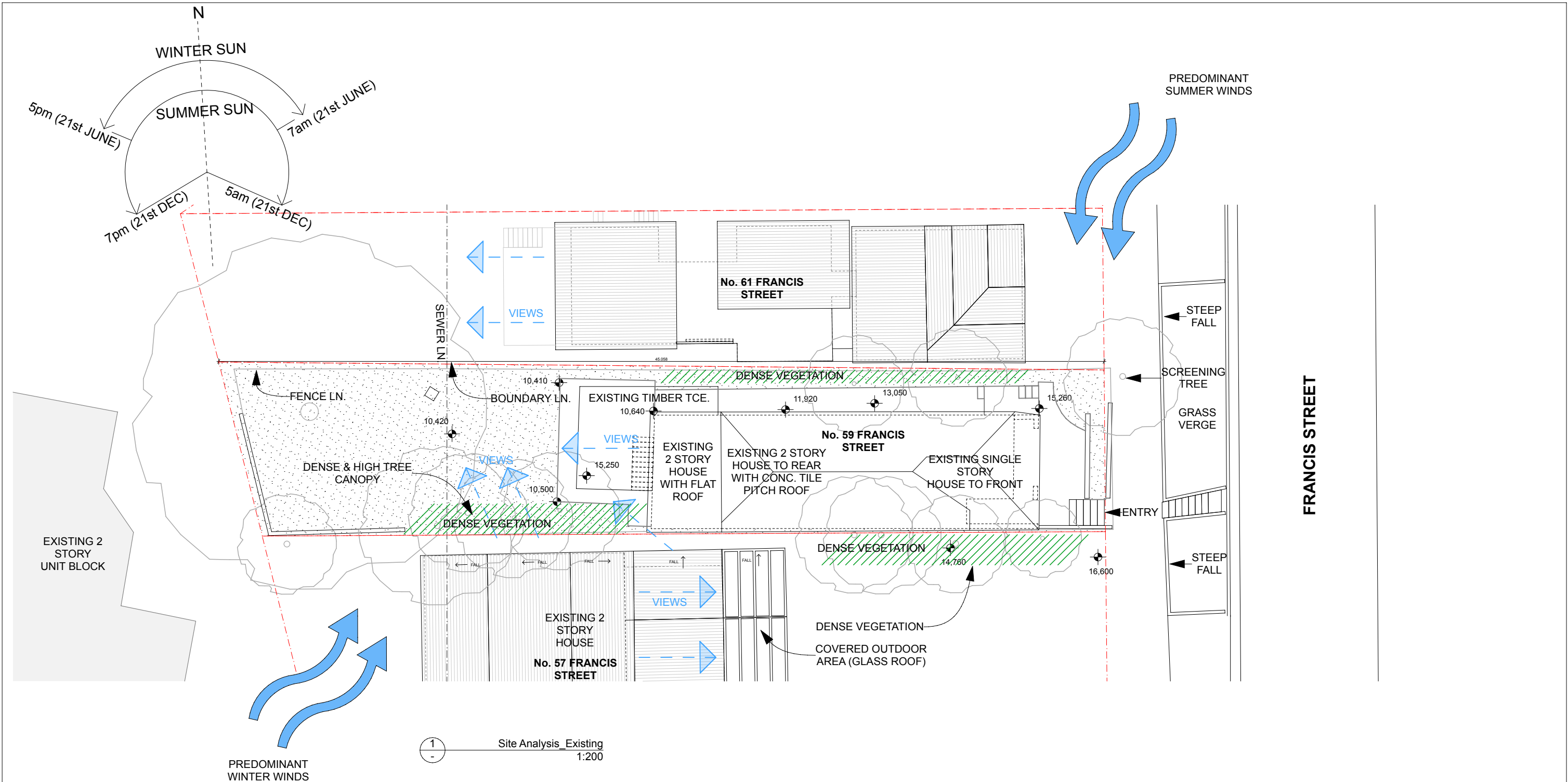
Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors									
<p>The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.</p> <p>The following requirements must also be satisfied in relation to each window and glazed door:</p> <p>Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.</p> <p>For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.</p> <p>Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.</p> <p>Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.</p> <p>Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.</p>							✓	✓	✓
								✓	✓
								✓	✓
							✓	✓	✓
								✓	✓
							✓	✓	✓
Windows and glazed doors glazing requirements									
Window / door no.	Orientation	Area of glass inc. frame (m ²)	Height (m)	Distance (m)	Shading device	Frame and glass type			
W-LG-01	N	2	3.6	2.6	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)			
W-LG-02	N	5.3	3.6	2.6	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)			
W-LG-03	N	4.9	3.6	2.6	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)			
W-LG-04	N	5.8	3.6	2.6	eave/verandah/pergola/balcony	improved aluminium, single pyrolytic low-e,			

Glazing requirements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type		
			Height (m)	Distance (m)				
					>=450 mm	(U-value: 4.48, SHGC: 0.46)		
Skylights								
The applicant must install the skylights in accordance with the specifications listed in the table below.						✓	✓	✓
The following requirements must also be satisfied in relation to each skylight:							✓	✓
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.							✓	✓
Skylights glazing requirements								
Skylight number	Area of glazing inc. frame (m2)	Shading device			Frame and glass type			
SK01	7.5	no shading			timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)			
SK02	12.5	no shading			timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)			

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors									
<p>The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.</p> <p>The following requirements must also be satisfied in relation to each window and glazed door:</p> <p>Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.</p> <p>For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.</p> <p>Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.</p> <p>Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.</p> <p>Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.</p>							✓	✓	✓
								✓	✓
							✓	✓	✓
								✓	✓
							✓	✓	✓
Windows and glazed doors glazing requirements									
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type			
			Height (m)	Distance (m)					
W-LG-01	N	2	3.6	2.6	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)			
W-LG-02	N	5.3	3.6	2.6	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)			
W-LG-03	N	4.9	3.6	2.6	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)			
W-LG-04	N	5.8	3.6	2.6	eave/verandah/pergola/balcony	improved aluminium, single pyrolytic low-e,			

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

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A	17.08.21	PROGRESS DRAFT ISSUE	<div>ARCHITECT</div> <div>EOIN6/26 WOODS PARADE, FAIRLIGHT NSW 2094 AUSTRALIA T +61 2 8416 5912 E info@eoinarchitects.com</div> <div>EOIN ABN 25 673 855 645 NOMINATED ARCHITECT EOIN PATRICK HEALY 11133</div> <div>THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATION, REPORT AND DRAWINGS. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. VERIFY ALL DIMENSIONS ON SITE BEFORE CONSTRUCTION. COPYRIGHT OF THIS DRAWING IS VESTED IN EOIN.</div>									
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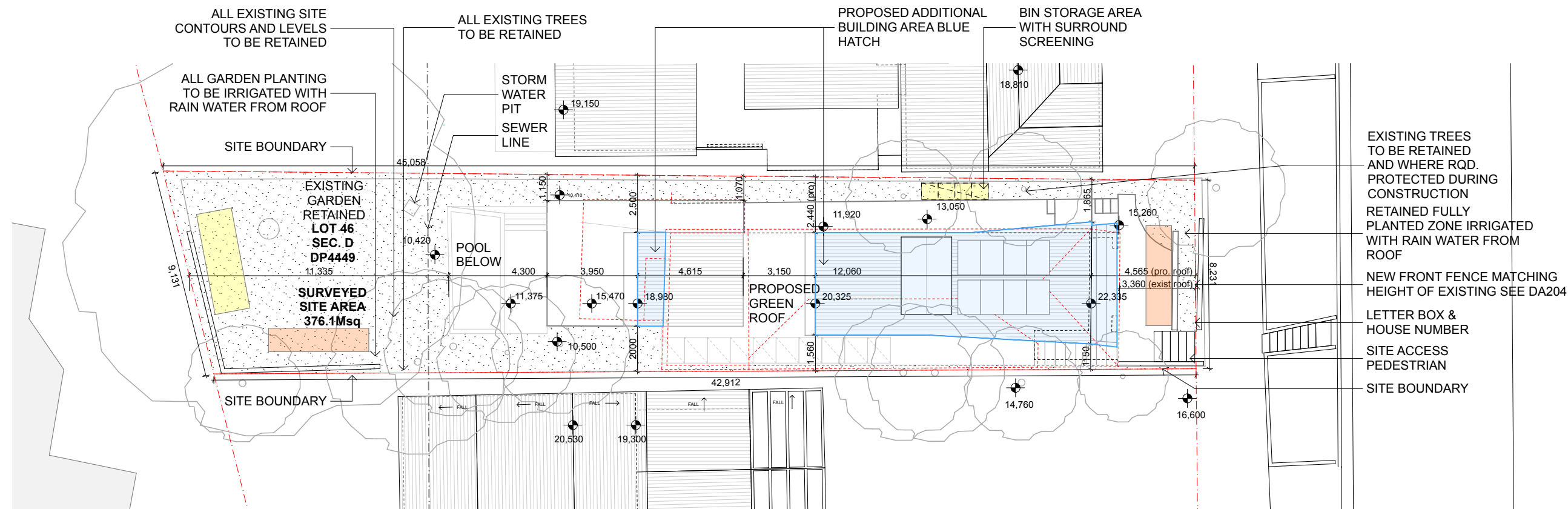


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2008		EH
		EH
CHECKED	SHEET SCALE	SHEET SIZE
	AS NOTED	A3
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		DA002
		ISSUE
		G



1 Site Plan - Proposed
1:200

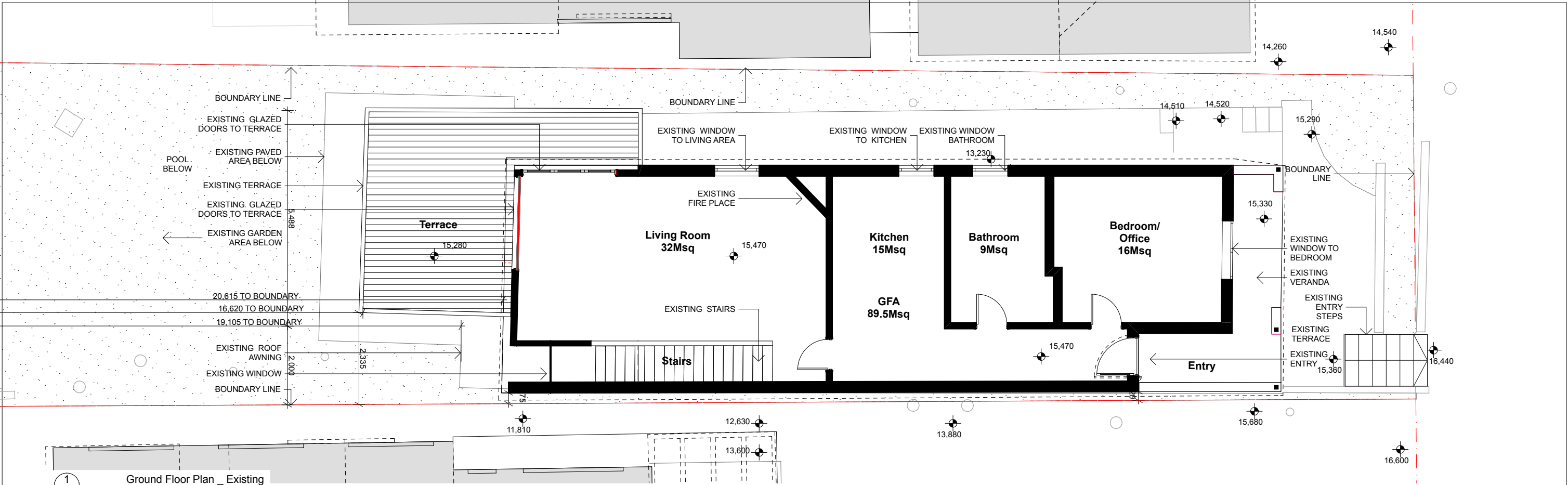
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E	08.10.21	DA ISSUE
F	23.10.21	ADDITIONAL INFORMATION - DA ISSUE
G	09.03.22	REVISED - DA ISSUE

	ADDED AREAS
	DEMOLISHED ELEMENTS
	WASTE STORAGE
	MATERIAL STORAGE DURING CONSTRUCTION

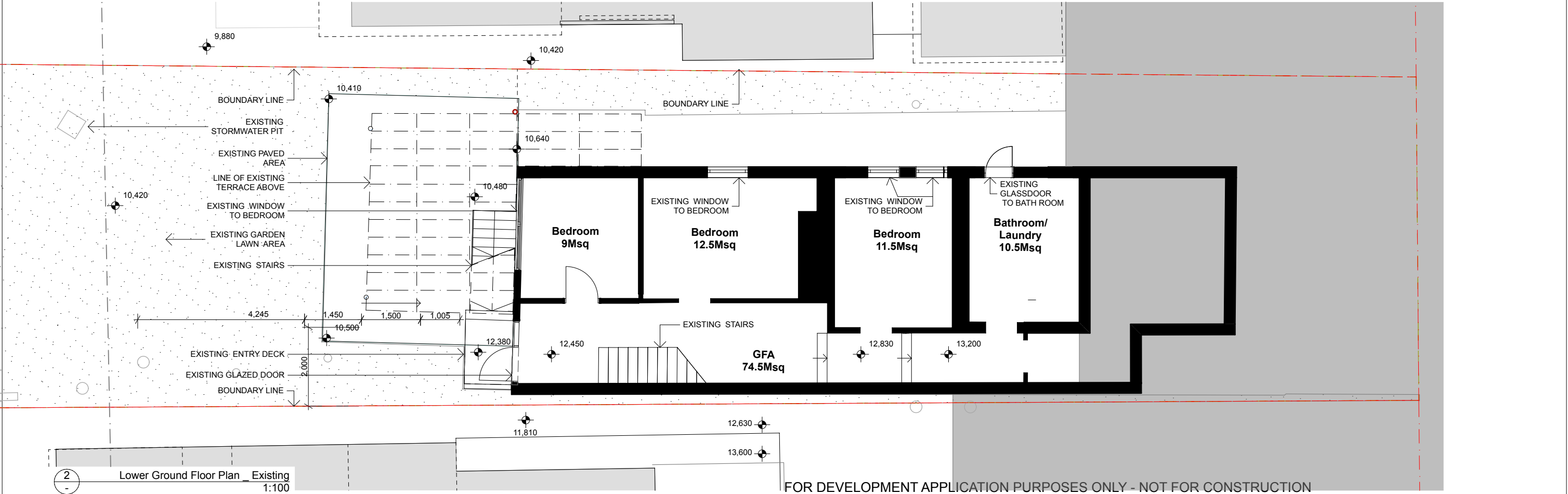
ARCHITECT	EOIN	6/26 WOODS PARADE, FAIRLIGHT NSW 2094 AUSTRALIA T +61 2 8416 5912 E info@eoinarchitects.com
Eoin A.B.N. 25 673 855 645 NOMINATED ARCHITECT Eoin Patrick Healy 11133 THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATION, REPORT AND DRAWINGS. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. VERIFY ALL DIMENSIONS ON SITE BEFORE CONSTRUCTION. COPYRIGHT OF THIS DRAWING IS VESTED IN EOIN.		

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PROJECT: HOUSE RENOVATION, ALTERATIONS & ADDITIONS - LOT 46 SEC. D DP 4449 59 FRANCIS STREET, MANLY, NSW 2095 CLIENTS PETER GLAS & VANESSA MATTHIJSSSEN				NORTH 		SHEET TITLE SITE PLAN - PROPOSED
PROJECT NUMBER 2008	PLOT DATE	DRAWN EH	CHECKED EH	SHEET SCALE AS NOTED	SHEET SIZE A3	SHEET NUMBER
ISSUE						DA003 G

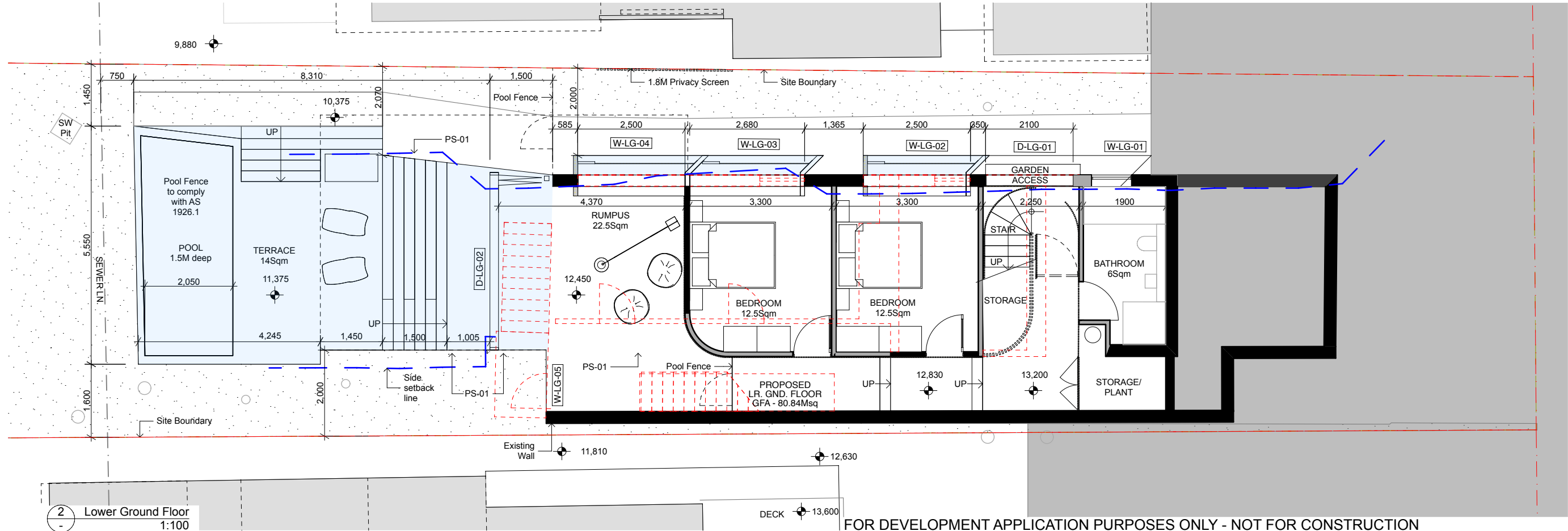
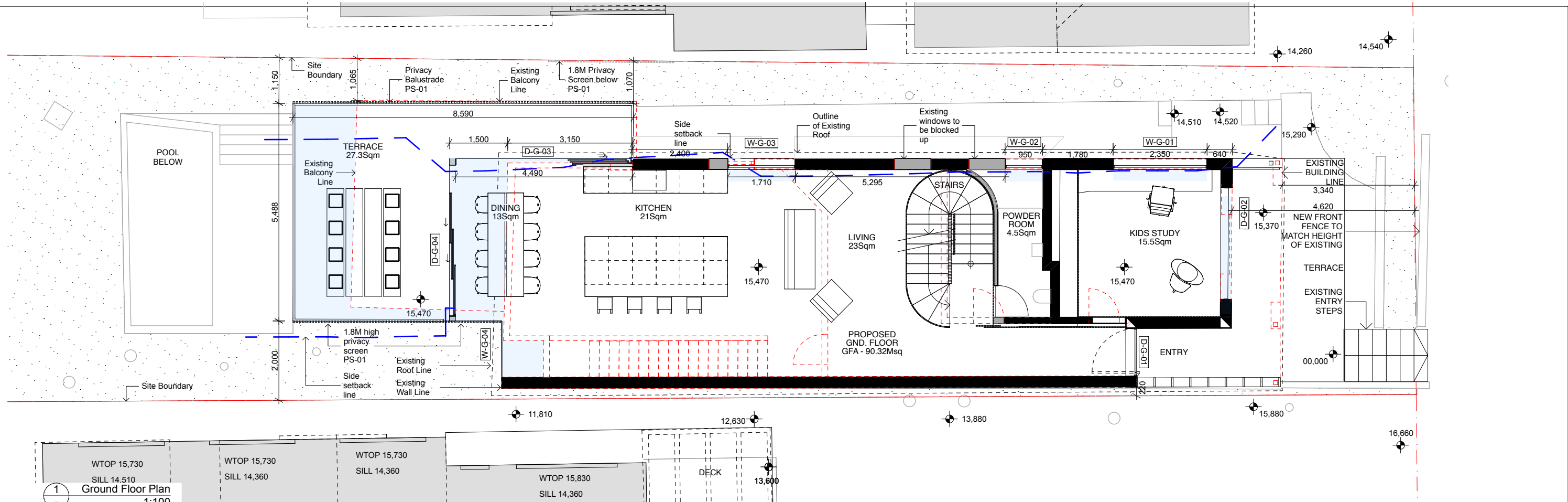


1 Ground Floor Plan - Existing
1:100



2 Lower Ground Floor Plan - Existing
1:100

ISSUE	DATE	DESCRIPTION	ARCHITECT	PROJECT: HOUSE RENOVATION, ALTERATIONS & ADDITIONS - LOT 46 SEC D DP 4449	NORTH	SHEET TITLE	ISSUE
A	17.08.21	PROGRESS DRAFT ISSUE	EOIN	59 FRANCIS STREET, MANLY, NSW 2095		FLOOR PLANS EXISTING	
B	07.09.21	DRAFT DA ISSUE	6/26 WOODS PARADE, FAIRLIGHT NSW 2094 AUSTRALIA T +61 2 8416 5912 E info@eoinarchitects.com	CLIENTS			
C	12.09.21	DRAFT DA ISSUE FOR BASIX		PETER GLAS & VANESSA MATTHIJSEN			
D	27.09.21	DRAFT DA ISSUE		PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED
E	08.10.21	DA ISSUE		2008		EH	EH
F	23.10.21	ADDITIONAL INFORMATION - DA ISSUE	EOIN ABN 25 673 855 645 NOMINATED ARCHITECT EOIN PATRICK HEALY 11133 THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATION, REPORT AND DRAWINGS. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. VERIFY ALL DIMENSIONS ON SITE BEFORE CONSTRUCTION. COPYRIGHT OF THIS DRAWING IS VESTED IN EOIN.	SHEET SCALE	SHEET SIZE	SHEET NUMBER	
G	09.03.22	REVISED - DA ISSUE		AS NOTED	A3		
							DA101 G



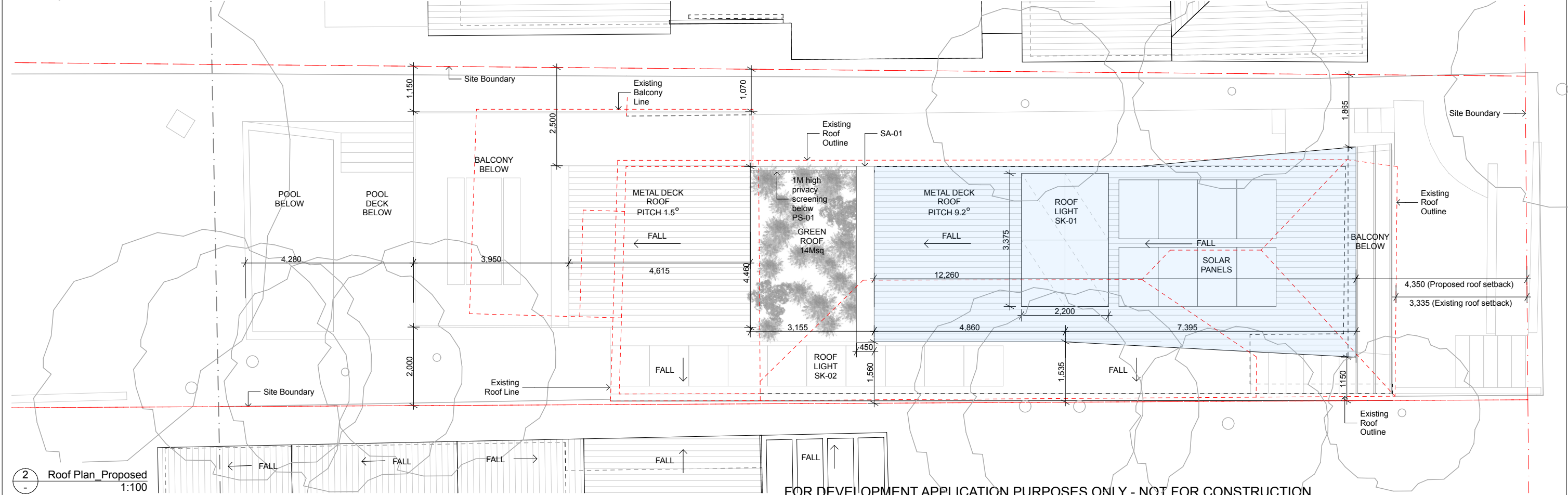
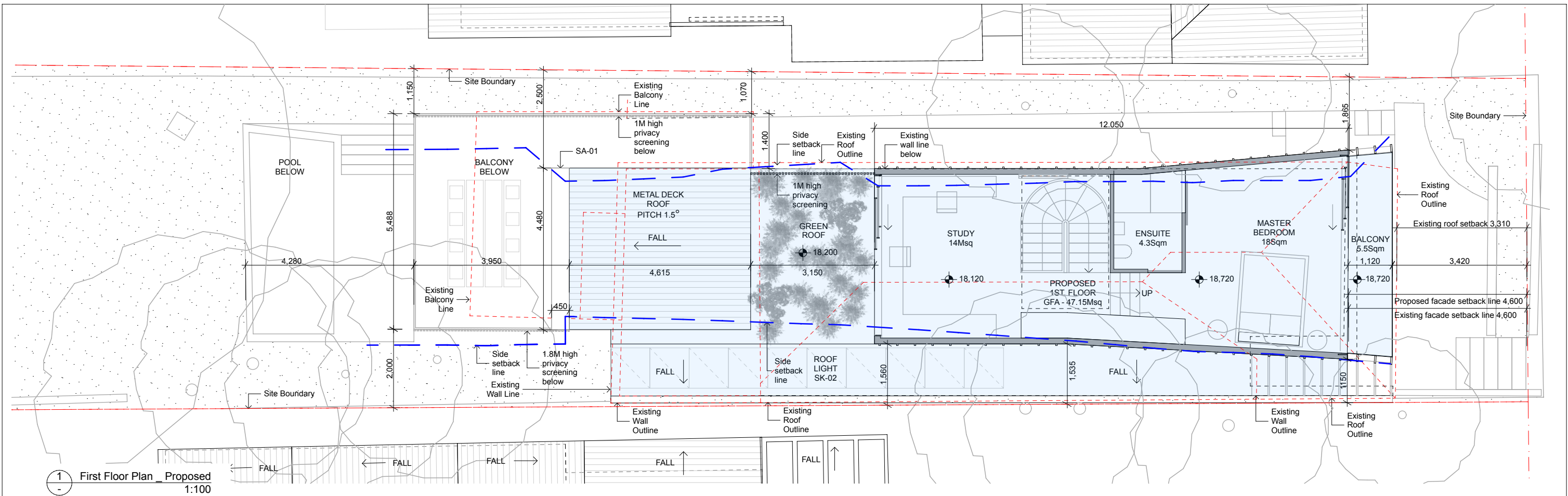
ISSUE	DATE	DESCRIPTION
A	17.08.21	PROGRESS DRAFT ISSUE
B	07.09.21	DRAFT DA ISSUE
C	12.09.21	DRAFT DA ISSUE FOR BASIX
D	27.09.21	DRAFT DA ISSUE
E	08.10.21	DA ISSUE
F	23.10.21	ADDITIONAL INFORMATION - DA ISSUE
G	09.03.22	REVISED - DA ISSUE

	EXTENT OF NEW WORKS
	NEW WALLS
	EXISTING WALLS
	DEMOLISHED ELEMENTS

ARCHITECT
EOIN
6/26 WOODS PARADE, FAIRLIGHT NSW 2094 AUSTRALIA T +61 2 8416 5912 E info@eoinarchitects.com

EOIN ABN 25 673 855 645 NOMINATED ARCHITECT EOIN PATRICK HEALY 11133
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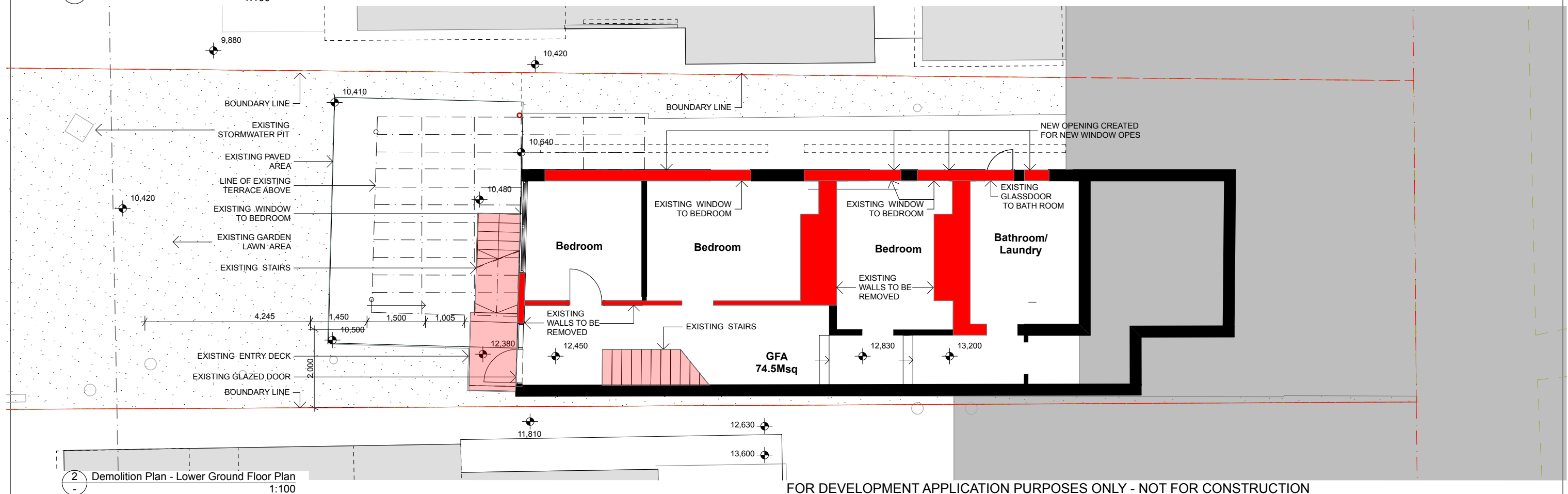
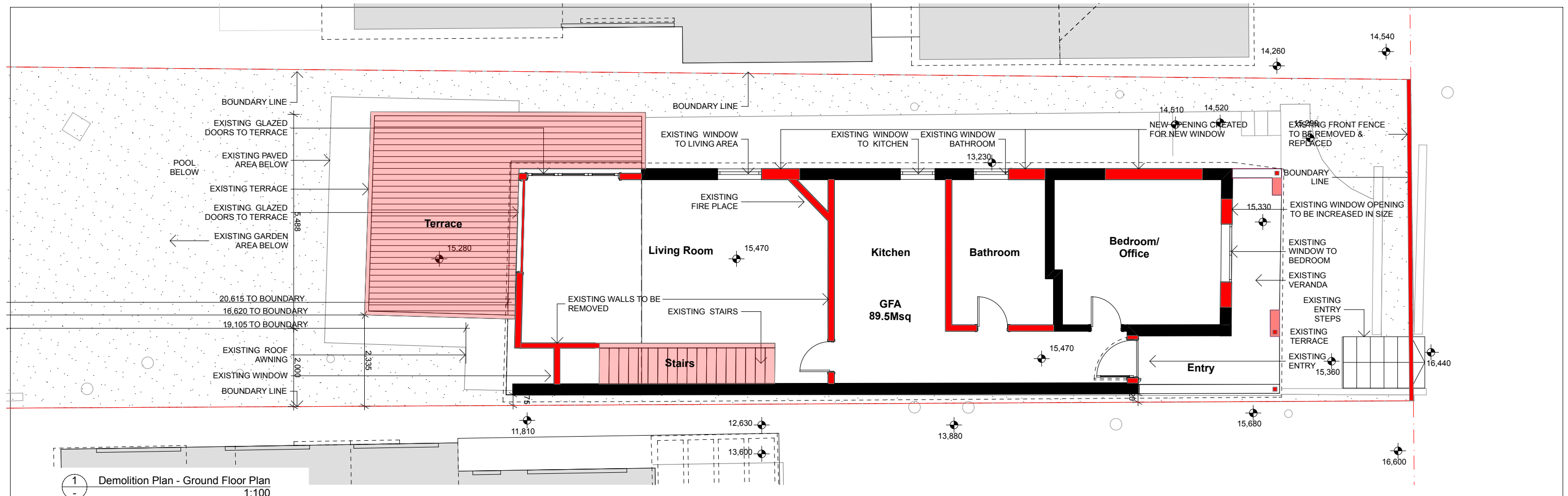
PROJECT: HOUSE RENOVATION, ALTERATIONS & ADDITIONS - LOT 46 SEC D DP 4449 59 FRANCIS STREET, MANLY, NSW 2095				NORTH 		SHEET TITLE FLOOR PLANS - PROPOSED 1
CLIENTS PETER GLAS & VANESSA MATTHIJSEN				SHEET SCALE AS NOTED		SHEET NUMBER
PROJECT NUMBER 2008	PLOT DATE	DRAWN EH	CHECKED EH	SHEET SIZE A3	ISSUE DA102 G	



ISSUE			DATE			DESCRIPTION		
A	17.08.21	PROGRESS DRAFT ISSUE						
B	07.09.21	DRAFT DA ISSUE						
C	12.09.21	DRAFT DA ISSUE FOR BASIX						
D	27.09.21	DRAFT DA ISSUE						
E	08.10.21	DA ISSUE						
F	23.10.21	ADDITIONAL INFORMATION - DA ISSUE						
G	09.03.22	REVISED - DA ISSUE						

<div></div> EXTENT OF NEW WORKS	ARCHITECT	PROJECT: HOUSE RENOVATION, ALTERATIONS & ADDITIONS - LOT 46 SEC D DP 4449			NORTH		SHEET TITLE	
<div></div> NEW WALLS	EOIN	59 FRANCIS STREET, MANLY, NSW 2095					FLOOR PLANS - PROPOSED 2	
<div></div> EXISTING WALLS	6/26 WOODS PARADE, FAIRLIGHT NSW 2094 AUSTRALIA T +61 2 8416 5912 E info@eoinarchitects.com	CLIENTS						
<div></div> DEMOLISHED ELEMENTS	EOIN ABN 25 673 855 645 NOMINATED ARCHITECT EOIN PATRICK HEALY 11133	PETER GLAS & VANESSA MATTHIJSEN						
	THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATION, REPORT AND DRAWINGS. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. VERIFY ALL DIMENSIONS ON SITE BEFORE CONSTRUCTION. COPYRIGHT OF THIS DRAWING IS VESTED IN EOIN.	PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE	SHEET NUMBER
		2008		EH	EH	AS NOTED	A3	

FOR DEVELOPMENT APPLICATION PURPOSES ONLY - NOT FOR CONSTRUCTION		ISSUE	
		DA103 G	



ISSUE	DATE	DESCRIPTION
A	17.08.21	PROGRESS DRAFT ISSUE
B	07.09.21	DRAFT DA ISSUE
C	12.09.21	DRAFT DA ISSUE FOR BASIX
D	27.09.21	DRAFT DA ISSUE
E	08.10.21	DA ISSUE
F	23.10.21	ADDITIONAL INFORMATION - DA ISSUE
G	09.03.22	REVISED - DA ISSUE

DEMOLISHED ELEMENTS
DEMOLISHED WALLS

ARCHITECT

EOIN 6/26 WOODS PARADE, FAIRLIGHT NSW 2094 AUSTRALIA T +61 2 8416 5912 E info@eoinarchitects.com

EOIN ABN 25 673 855 645 NOMINATED ARCHITECT EOIN PATRICK HEALY 11133
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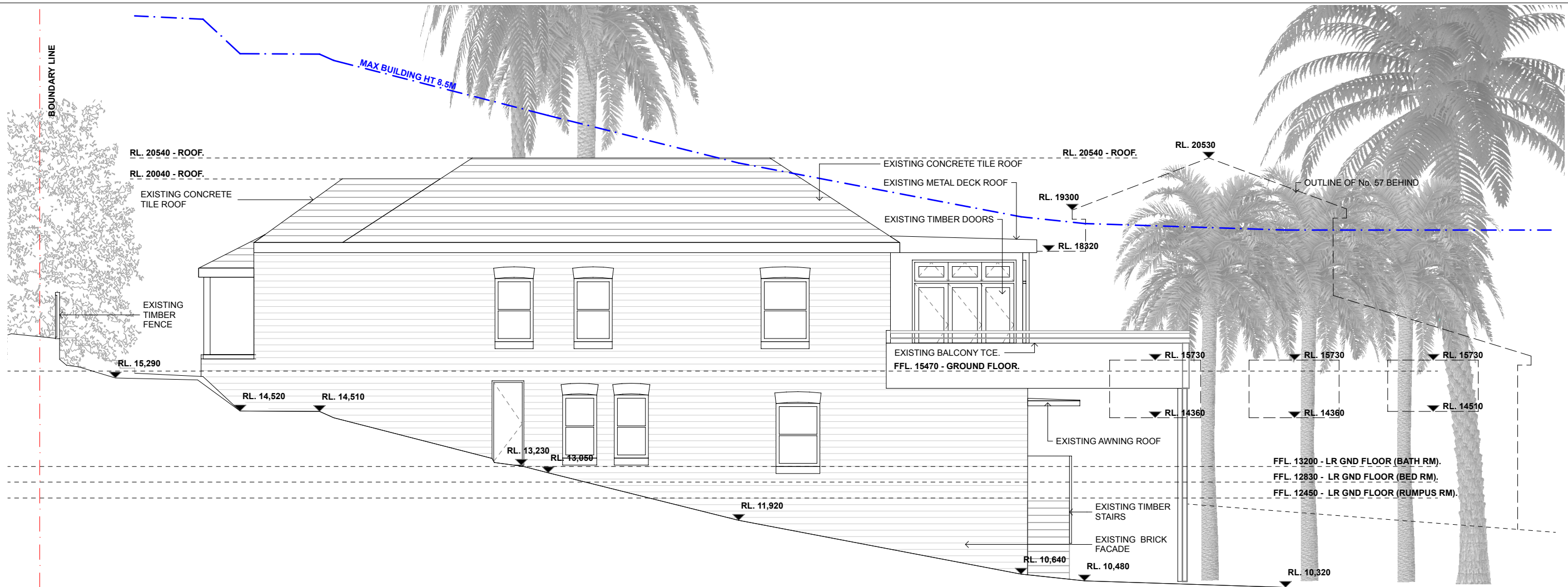
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PROJECT: HOUSE RENOVATION, ALTERATIONS & ADDITIONS - LOT 46 SEC D DP 4449
59 FRANCIS STREET, MANLY, NSW 2095
 CLIENTS
PETER GLAS & VANESSA MATTHIJSEN

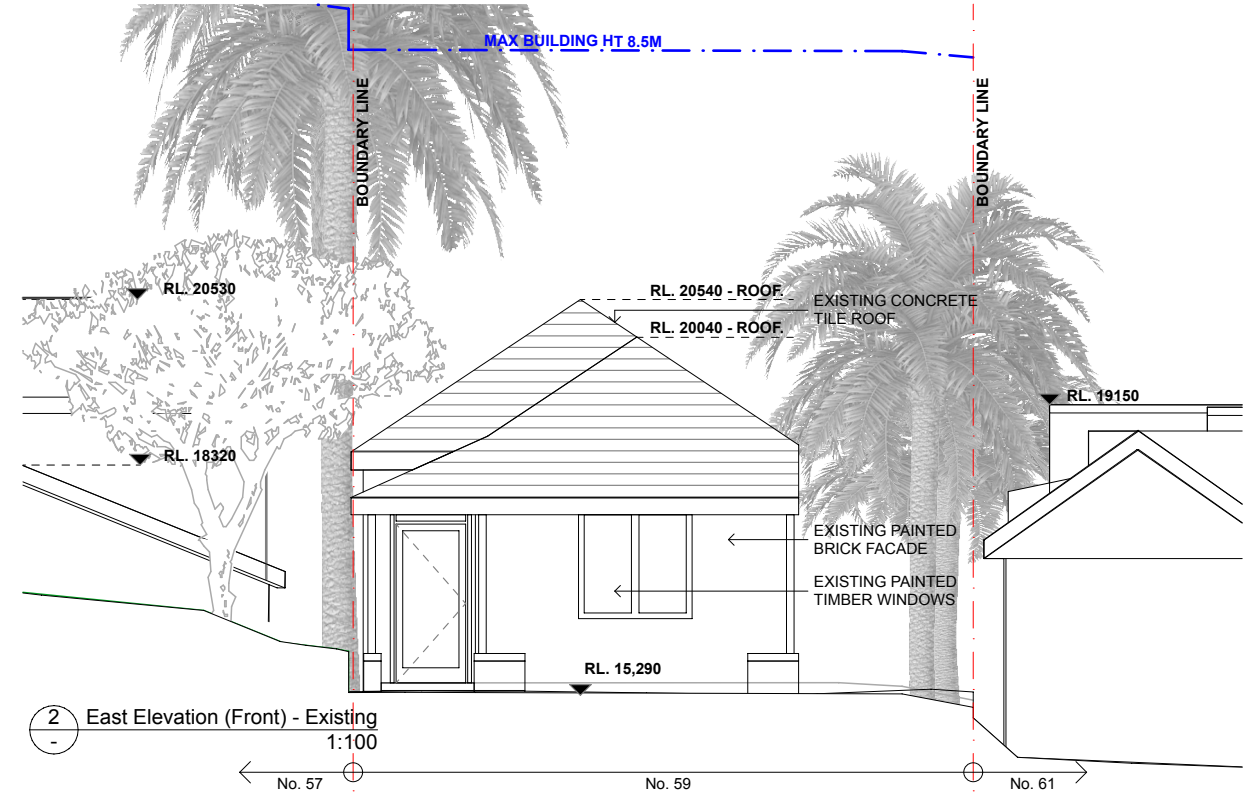
PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE	SHEET NUMBER
2008		EH	EH	AS NOTED	A3	

SHEET TITLE
DEMOLITION PLAN

DA104 G



1 North Elevation (Side) - Existing
1:100



2 East Elevation (Front) - Existing
1:100

ISSUE	DATE	DESCRIPTION
A	17.08.21	PROGRESS DRAFT ISSUE
B	07.09.21	DRAFT DA ISSUE
C	12.09.21	DRAFT DA ISSUE FOR BASIX
D	27.09.21	DRAFT DA ISSUE
E	08.10.21	DA ISSUE
F	23.10.21	ADDITIONAL INFORMATION - DA ISSUE
G	09.03.22	REVISED - DA ISSUE

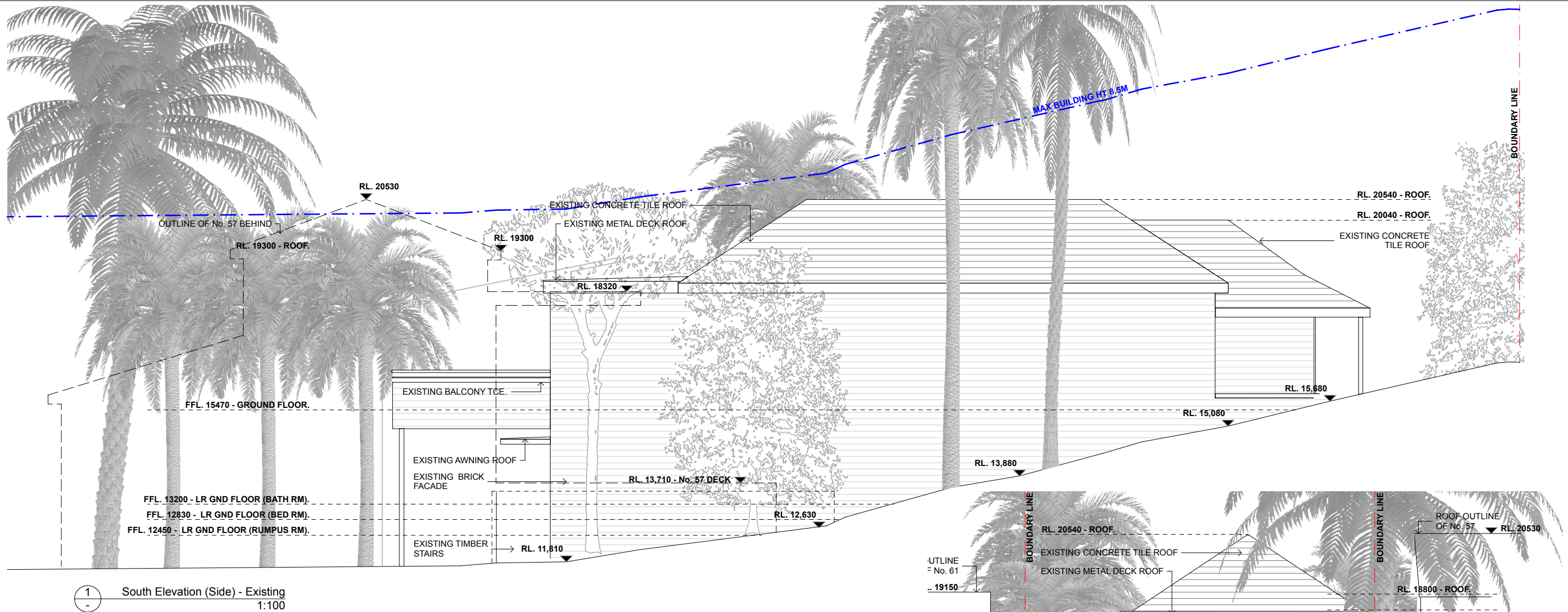
ARCHITECT
EOIN 6/26 WOODS PARADE, FAIRLIGHT NSW 2094 AUSTRALIA T +61 2 8416 5912 E info@eoinarchitects.com

EOIN ABN 25 673 855 645 NOMINATED ARCHITECT EOIN PATRICK HEALY 11133
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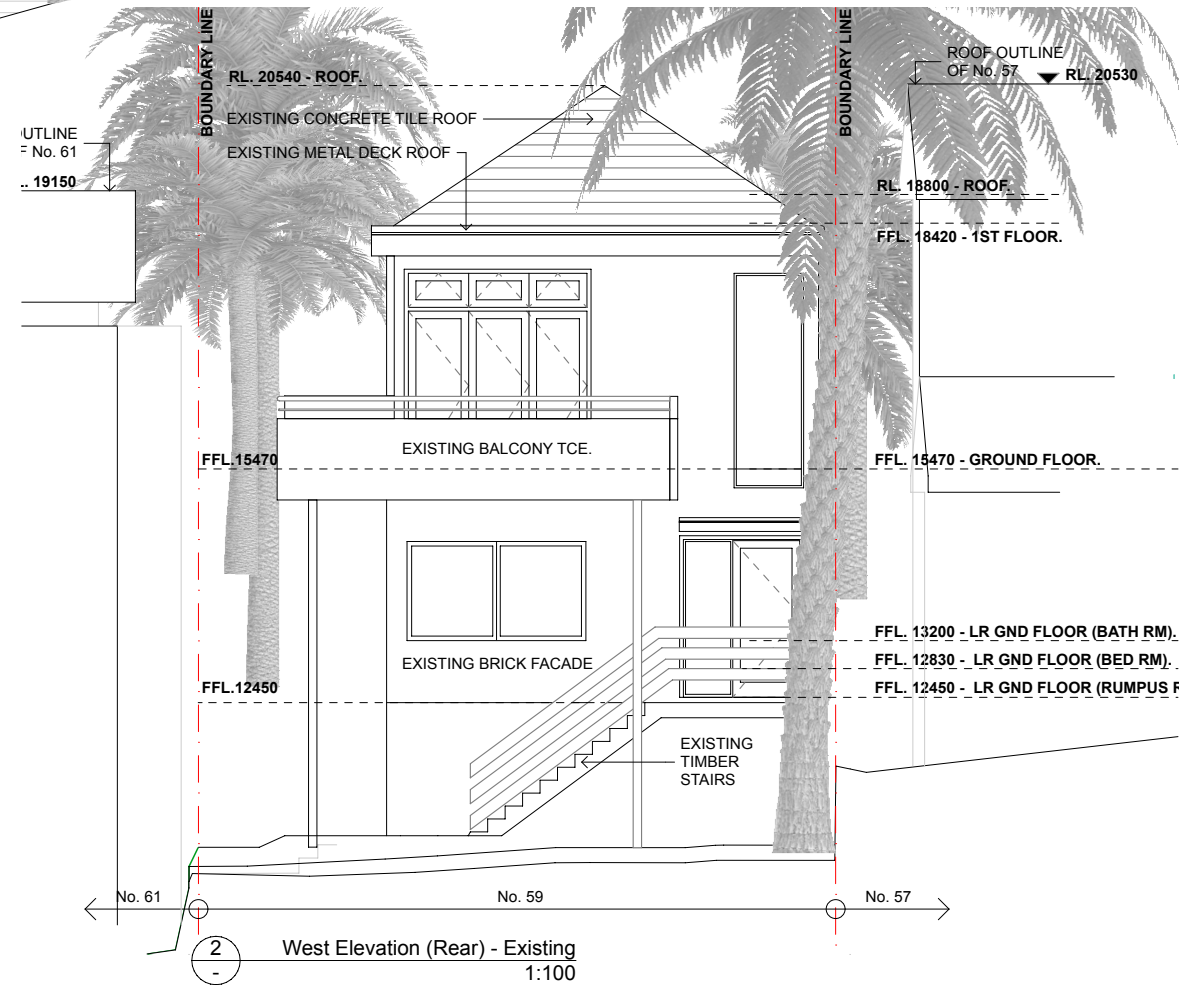
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PROJECT: HOUSE RENOVATION, ALTERATIONS & ADDITIONS - LOT 46 SEC D DP 4449 59 FRANCIS STREET, MANLY, NSW 2095 CLIENTS PETER GLAS & VANESSA MATTHIJSEN				NORTH		SHEET TITLE EXISTING ELEVATIONS
PROJECT NUMBER 2008	PLOT DATE	DRAWN EH	CHECKED EH	SHEET SCALE AS NOTED	SHEET SIZE A3	SHEET NUMBER

ISSUE	DA201.1	G
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1 South Elevation (Side) - Existing
1:100



2 West Elevation (Rear) - Existing
1:100

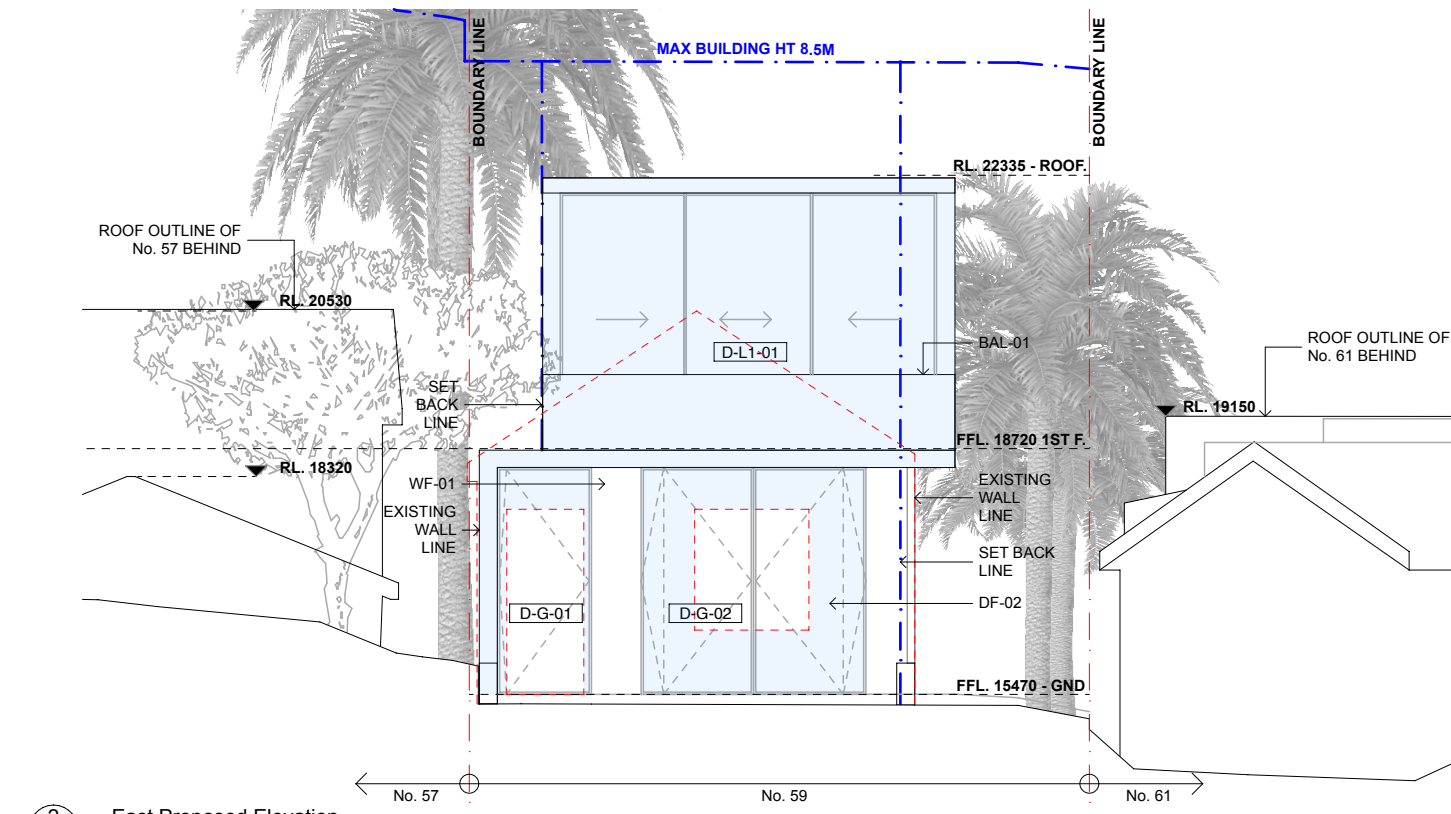
ISSUE	DATE	DESCRIPTION
A	17.08.21	PROGRESS DRAFT ISSUE
B	07.09.21	DRAFT DA ISSUE
C	12.09.21	DRAFT DA ISSUE FOR BASIX
D	27.09.21	DRAFT DA ISSUE
E	08.10.21	DA ISSUE
F	23.10.21	ADDITIONAL INFORMATION - DA ISSUE
G	09.03.22	REVISED - DA ISSUE

ARCHITECT	PROJECT: HOUSE RENOVATION, ALTERATIONS & ADDITIONS - LOT 46 SEC D DP 4449
EOIN 6/26 WOODS PARADE, FAIRLIGHT NSW 2094 AUSTRALIA T +61 2 8416 5912 E info@eoinarchitects.com	59 FRANCIS STREET, MANLY, NSW 2095
EOIN ABN 25 673 855 645 NOMINATED ARCHITECT EOIN PATRICK HEALY 11133	CLIENTS
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FOR DEVELOPMENT APPLICATION PURPOSES ONLY - NOT FOR CONSTRUCTION


PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE	SHEET NUMBER
2008		EH	EH	AS NOTED	A3	

NORTH	SHEET TITLE	ISSUE
	EXISTING ELEVATIONS SHOWING DEMOLITION	
		DA201.2 G



- GR-01** - Green roof
- RF-01** - Metal deck roof
- PS-01** - Privacy screen
- WF-01** - Wall finish type 1, render.
- WF-02** - Wall finish type 2, cladding
- BAL-01** - Glass balustrade.
- SA-01** - Solar awning.
- DF-01** - Aluminium doors / window
- FF-01** - Front fence and entry gate

 EXTENT OF NEW WORKS

 DEMOLISHED ELEMENTS

ARCHITECT
EIOIN 6/26 WOODS PARADE, FAIRLIGHT NSW 2094 AUSTRALIA T +61 2 8416 5912 E info@eoinarchitects.com

EIOIN ABN 25 673 855 645 NOMINATED ARCHITECT EIOIN PATRICK HEALY 11133

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PROJECT: HOUSE RENOVATION, ALTERATIONS & ADDITIONS - LOT 46 SEC D DP 4445
59 FRANCIS STREET, MANLY, NSW 2095
 CLIENTS
PETER GLAS & VANESSA MATTHIJSEN

PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE
2008		EH	EH	AS NOTED	A3

SHEET TITLE
PROPOSED ELEVATIONS - SHEET 1


SHEET NUMBER	ISSUE
--------------	-------


DA202 G



- GR-01** - Green roof
- RF-01** - Metal deck roof
- PS-01** - Privacy screen
- WF-01** - Wall finish type 1, render.
- WF-02** - Wall finish type 2, cladding.
- BAL-01** - Glass balustrade.
- SA-01** - Solar awning.
- DF-01** - Aluminium doors / windows
- FF-01** - Front fence and entry gate

ISSUE	DATE	DESCRIPTION
A	17.08.21	PROGRESS DRAFT ISSUE
B	07.09.21	DRAFT DA ISSUE
C	12.09.21	DRAFT DA ISSUE FOR BASIX
D	27.09.21	DRAFT DA ISSUE
E	08.10.21	DA ISSUE
F	23.10.21	ADDITIONAL INFORMATION - DA ISSUE
G	09.03.22	REVISED - DA ISSUE

 EXTENT OF NEW WORKS

 DEMOLISHED ELEMENTS

EOIN ABN 25 673 855 645 NOMINATED ARCHITECT EOIN PATRICK HEALY 11133
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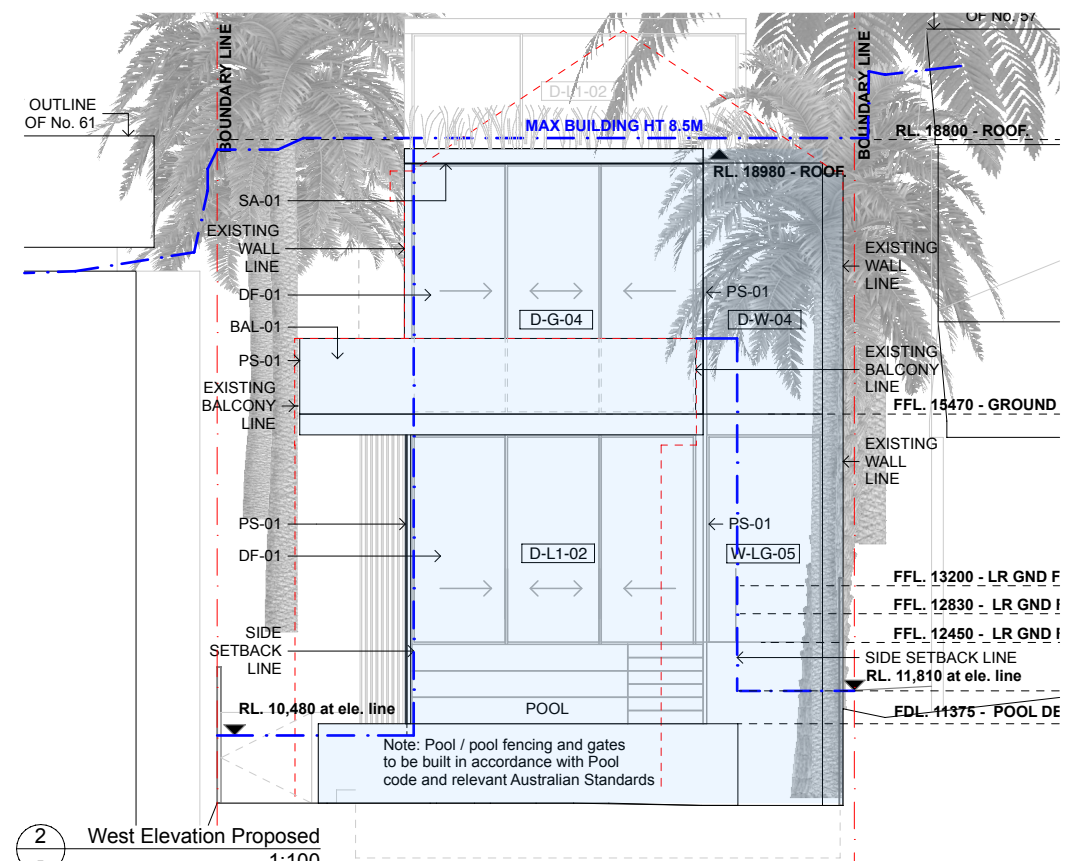
PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE
2008		EH	EH	AS NOTED

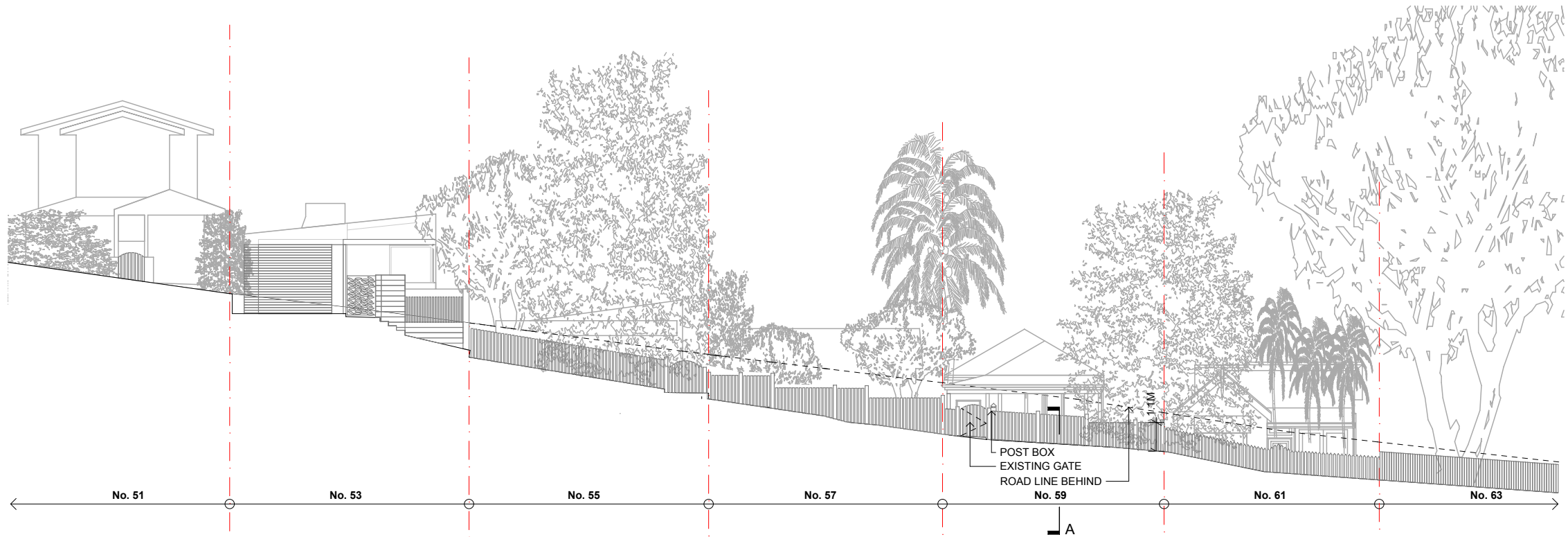
NORTH
SHEET SIZE
A3

	SHEET NUMBER
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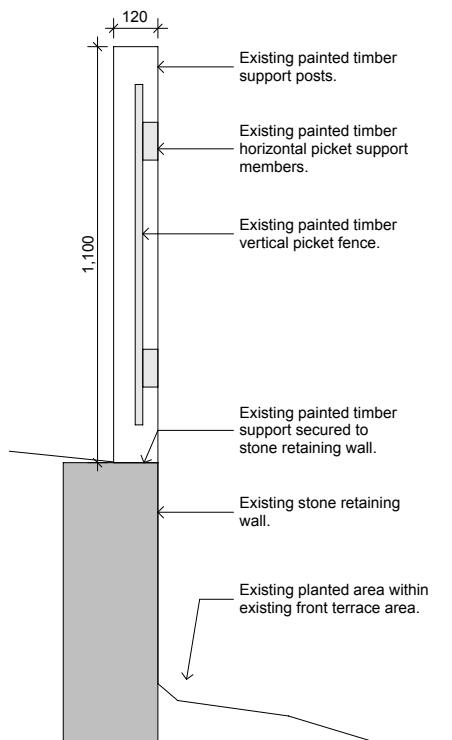
ISSUE

DA203 G

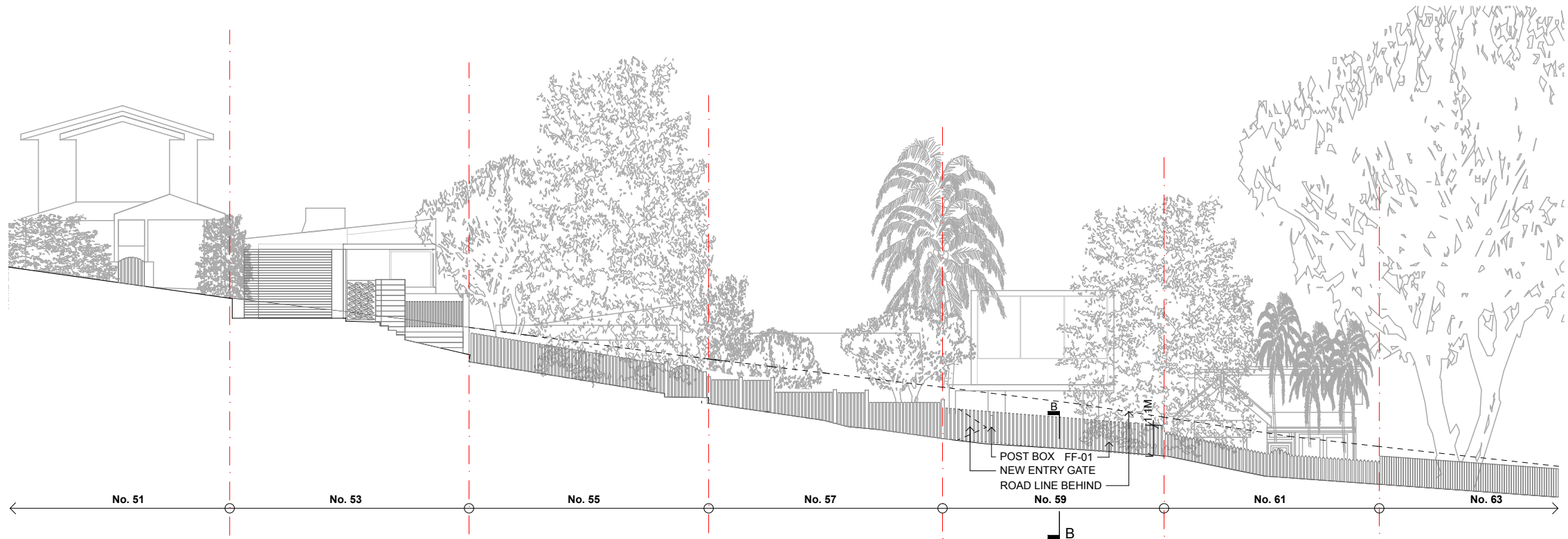




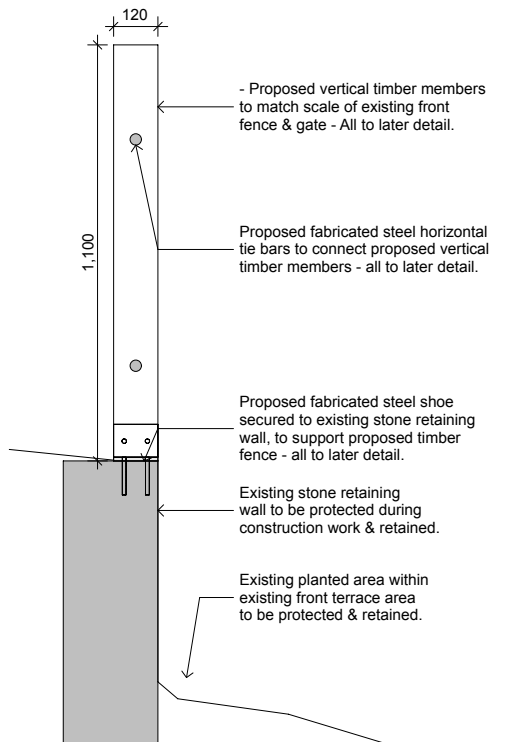
1 Street & Front Fence Elevation - Existing
1:200



3 Existing Front Fence Section -A
1:20



2 Street & Front Fence Elevation - Proposed
1:200



4 Proposed Front Fence Section -B
1:20

ISSUE	DATE	DESCRIPTION
A	17.08.21	PROGRESS DRAFT ISSUE
B	07.09.21	DRAFT DA ISSUE
C	12.09.21	DRAFT DA ISSUE FOR BASIX
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ARCHITECT
EIOIN 6/26 WOODS PARADE, FAIRLIGHT NSW 2094 AUSTRALIA T +61 2 8416 5912 E info@eioinarchitects.com

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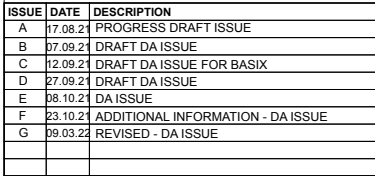
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PROJECT: HOUSE RENOVATION, ALTERATIONS & ADDITIONS - LOT 46 SEC D DP 4449
59 FRANCIS STREET, MANLY, NSW 2095
CLIENTS
PETER GLAS & VANESSA MATTHIJSSSEN

PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE	SHEET NUMBER
2008		EH	EH	AS NOTED	A3	

SHEET TITLE
STREET & FRONT FENCE ELEVATIONS

ISSUE
DA204 G



ARCHITECT
E.OIN 6/26 WOODS PARADE, FAIRLIGHT NSW 2094 AUSTRALIA T +61 2 8416 5912 E info@eoinarchitects.com

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PROJECT: HOUSE RENOVATION, ALTERATIONS & ADDITIONS - LOT 46 SEC D DP 4449
59 FRANCIS STREET, MANLY, NSW 2095
 CLIENTS
PETER GLAS & VANESSA MATTHIJSEN

PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE
2008		EH	EH	AS NOTED

NORTH
SHEET SIZE
A3

SHEET TITLE	
SECTION EXISTING	
SHEET NUMBER	ISSUE
DA301	G

SAMPLE BOARD

FINISHES SCHEDULE

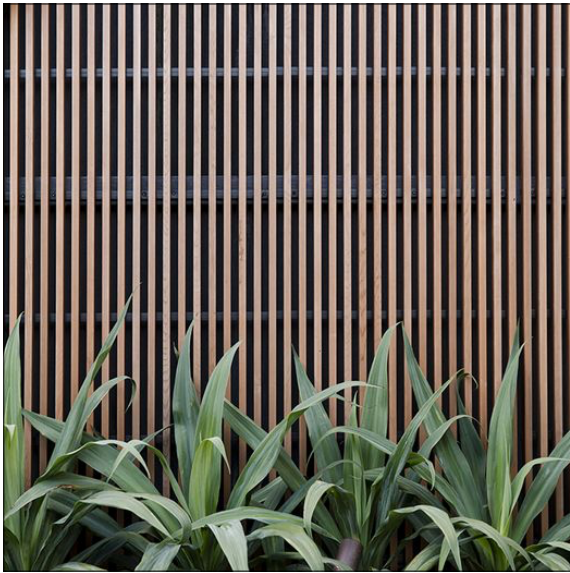
- GR-01 - Green roof
- RF-01 - Metal deck roof
- PS-01 - Privacy screen
- WF-01 - Wall finish type 1, render.
- WF-02 - Wall finish type 2, cladding.
- BAL-01 - Glass balustrade.
- SA-01 - Solar awning.
- DF-01 - Aluminium doors / windows
- FF-01 - Front fence and entry gate



GR - 01 - Green roof



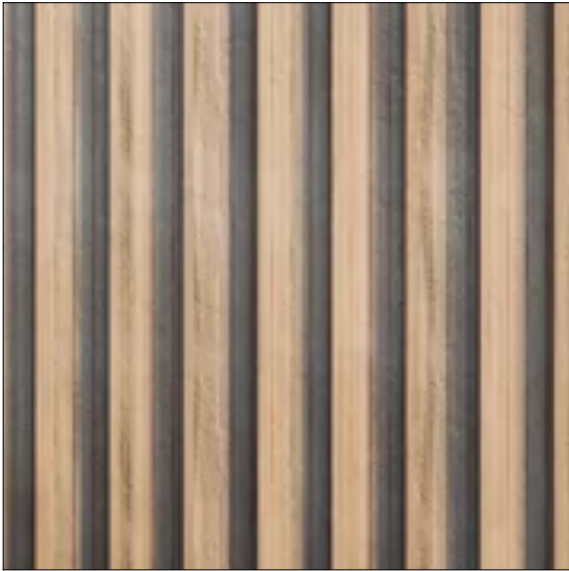
RF - 01 - Metal deck roof



PS - 01 - Timber / 'Timber look' privacy screen



WF - 01 - Painted render finish



WF - 02 - Timber / 'Timber look' cladding



BAL - 01 - Glass balustrade



SA - 01 - Solar awning



DF - 01 - Aluminium doors / windows



FF - 01 - Front fence - Timber / 'Timber look'

ISSUE	DATE	DESCRIPTION
A	17.08.21	PROGRESS DRAFT ISSUE
B	07.09.21	DRAFT DA ISSUE
C	12.09.21	DRAFT DA ISSUE FOR BASIX
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ARCHITECT	PROJECT: HOUSE RENOVATION, ALTERATIONS & ADDITIONS - LOT 46 SEC D DP 4449
EOIN	59 FRANCIS STREET, MANLY, NSW 2095
6/26 WOODS PARADE, FAIRLIGHT NSW 2094 AUSTRALIA T +61 2 8416 5912 E info@eoinarchitects.com	CLIENTS
	PETER GLAS & VANESSA MATTHIJSEN
EOIN ABN 25 673 855 645 NOMINATED ARCHITECT EOIN PATRICK HEALY 11133	PROJECT NUMBER
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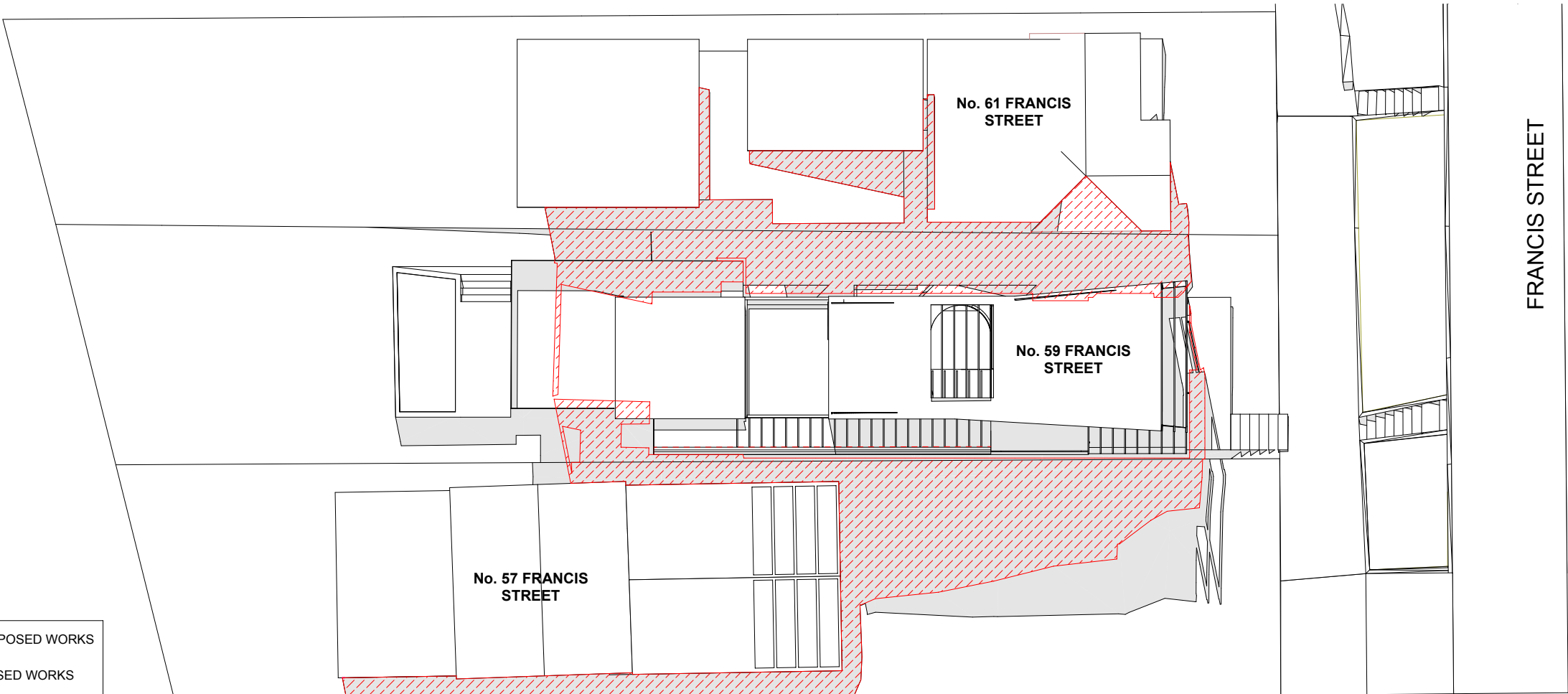
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PROJECT: HOUSE RENOVATION, ALTERATIONS & ADDITIONS - LOT 46 SEC D DP 4449				NORTH		SHEET TITLE	
59 FRANCIS STREET, MANLY, NSW 2095						FINISHES SCHEDULE	
CLIENTS							
PETER GLAS & VANESSA MATTHIJSEN							
PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE	SHEET NUMBER	ISSUE
2008		EH	EH		A3		DA601 G

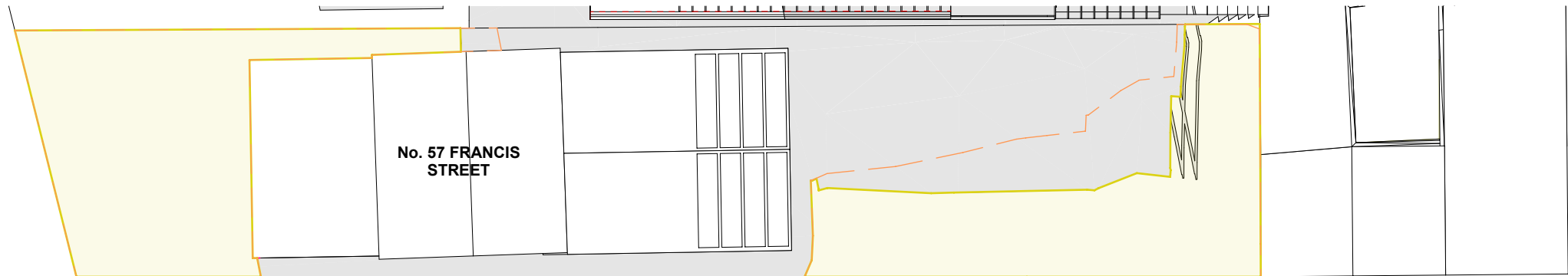
LEGEND

SHADOW CAST PRIOR TO PROPOSED WORKS

SHADOW CAST AFTER PROPOSED WORKS



1 SHADOW DIAGRAM JUNE 21ST 9AM
1:200



2 SUNLIGHT CAST JUNE 21ST 9AM (No. 57)
1:200

SUNLIGHT CAST AREAS TO 57 FRANCIS STREET @ 9AM 21st JUNE

SUNLIGHT CAST PRIOR TO PROPOSED WORKS, 68.5 + 85 = 153.5Sqm

SUNLIGHT CAST AFTER PROPOSED WORKS, 67.5 + 64 = 131.5Sqm

REDUCTION OF EXISTING SUNLIGHT 22Sqm = 14.3%

NOTE: SHADOW DIAGRAMS HAVE BEEN PREPARED AND CERTIFIED BY
EOIN PATRICK HEALY ARCHITECT 11133

ISSUE	DATE	DESCRIPTION
A	17.08.21	PROGRESS DRAFT ISSUE
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ARCHITECT	PROJECT: HOUSE RENOVATION, ALTERATIONS & ADDITIONS - LOT 46 SEC D DP 4449
EOIN 6/26 WOODS PARADE, FAIRLIGHT NSW 2094 AUSTRALIA T +61 2 8416 5912 E info@eoinarchitects.com	59 FRANCIS STREET, MANLY, NSW 2095
	CLIENTS
	PETER GLAS & VANESSA MATTHIJSEN
EOIN ABN 25 673 855 645 NOMINATED ARCHITECT EOIN PATRICK HEALY 11133 THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATION, REPORT AND DRAWINGS. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. VERIFY ALL DIMENSIONS ON SITE BEFORE CONSTRUCTION. COPYRIGHT OF THIS DRAWING IS VESTED IN EOIN.	PROJECT NUMBER
	2008

FOR DEVELOPMENT APPLICATION PURPOSES ONLY - NOT FOR CONSTRUCTION

PROJECT: HOUSE RENOVATION, ALTERATIONS & ADDITIONS - LOT 46 SEC D DP 4449				NORTH		SHEET TITLE	
59 FRANCIS STREET, MANLY, NSW 2095						SHADOW DIAGRAM - 9AM - JUNE 21	
CLIENTS						SHEET NUMBER	
PETER GLAS & VANESSA MATTHIJSEN							
PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE	ISSUE	
2008		EH	EH	AS NOTED	A3	DA602 G	

LEGEND

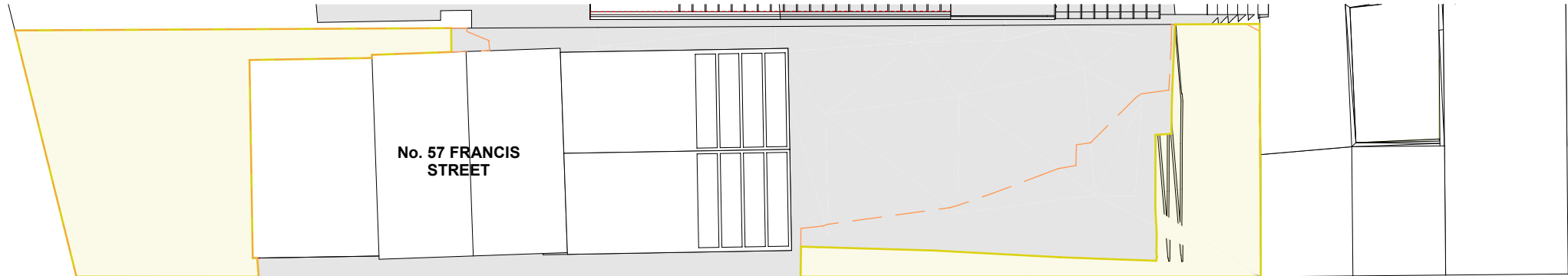
SHADOW CAST PRIOR TO PROPOSED WORKS

SHADOW CAST AFTER PROPOSED WORKS

1

SHADOW DIAGRAM JUNE 21ST 12PM

1:200



2

SUNLIGHT CAST JUNE 21ST 12PM (No. 57)

1:200

SUNLIGHT CAST AREAS TO 57 FRANCIS STREET @ 12PM 21st JUNE

SUNLIGHT CAST PRIOR TO PROPOSED WORKS, 68 + 69 = 137Sqm

SUNLIGHT CAST AFTER PROPOSED WORKS, 67.2 + 39 = 106.2Sqm

REDUCTION OF EXISTING SUNLIGHT 30.8Sqm = 22%

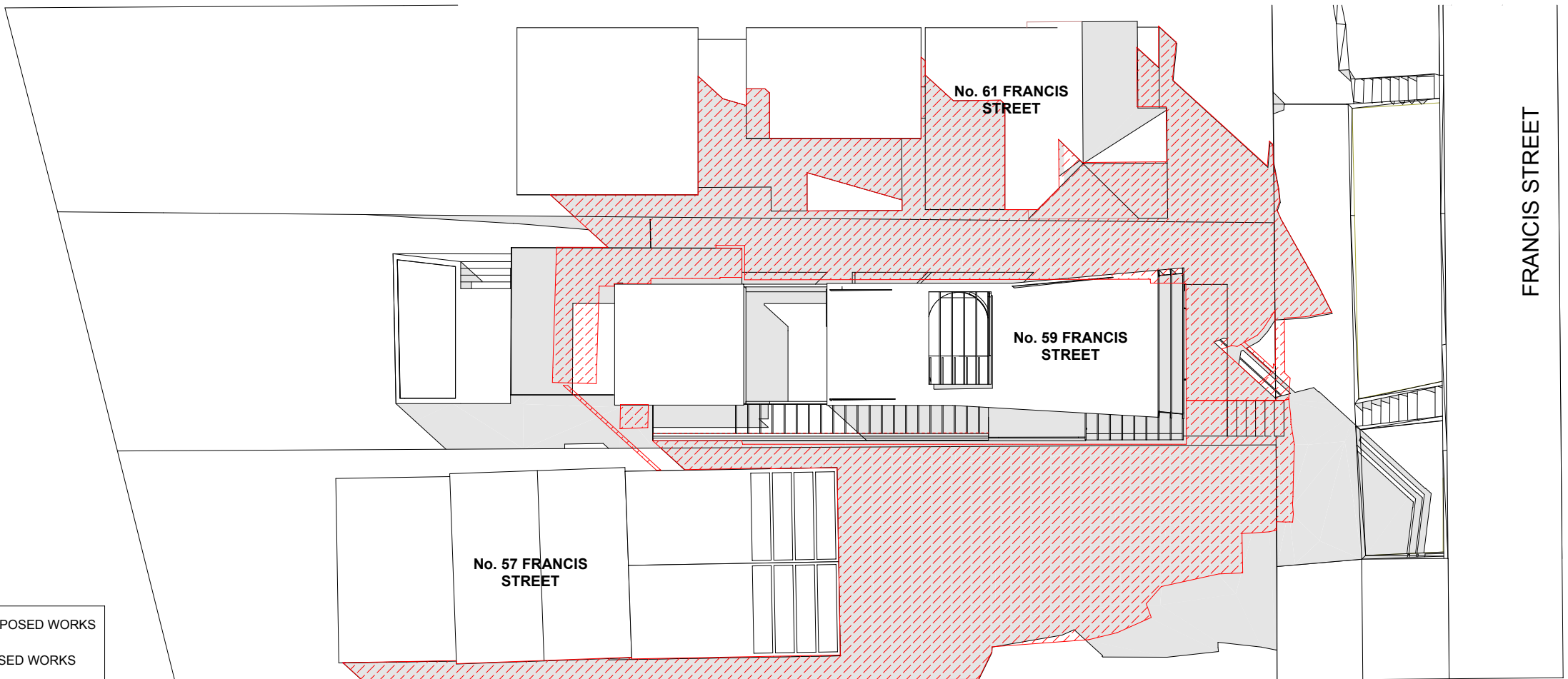
NOTE: SHADOW DIAGRAMS HAVE BEEN PREPARED AND CERTIFIED BY
EOIN PATRICK HEALY ARCHITECT 11133

ISSUE	DATE	DESCRIPTION
A	17.08.21	PROGRESS DRAFT ISSUE
B	07.09.21	DRAFT DA ISSUE
C	12.09.21	DRAFT DA ISSUE FOR BASIX
D	27.09.21	DRAFT DA ISSUE
E	08.10.21	DA ISSUE
F	23.10.21	ADDITIONAL INFORMATION - DA ISSUE
G	09.03.22	REVISED - DA ISSUE

ARCHITECT	PROJECT: HOUSE RENOVATION, ALTERATIONS & ADDITIONS - LOT 46 SEC D DP 4449
EOIN 6/26 WOODS PARADE, FAIRLIGHT NSW 2094 AUSTRALIA T +61 2 8416 5912 E info@eoinarchitects.com	59 FRANCIS STREET, MANLY, NSW 2095
	CLIENTS
	PETER GLAS & VANESSA MATTHIJSEN
EOIN ABN 25 673 855 645 NOMINATED ARCHITECT EOIN PATRICK HEALY 11133	PROJECT NUMBER
THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATION, REPORT AND DRAWINGS. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. VERIFY ALL DIMENSIONS ON SITE BEFORE CONSTRUCTION. COPYRIGHT OF THIS DRAWING IS VESTED IN EOIN.	PLOT DATE
	DRAWN
	CHECKED
	SHEET SCALE
	SHEET SIZE
	SHEET NUMBER

FOR DEVELOPMENT APPLICATION PURPOSES ONLY - NOT FOR CONSTRUCTION

2008	EH	EH	AS NOTED	A3	DA603	G
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NOTE: SHADOW DIAGRAMS HAVE BEEN PREPARED AND CERTIFIED BY
EOIN PATRICK HEALY ARCHITECT 11133

SHEET TITLE	
SHADOW DIAGRAM - 3PM - JUNE 21	
SHEET NUMBER	ISSUE
	DA604 G

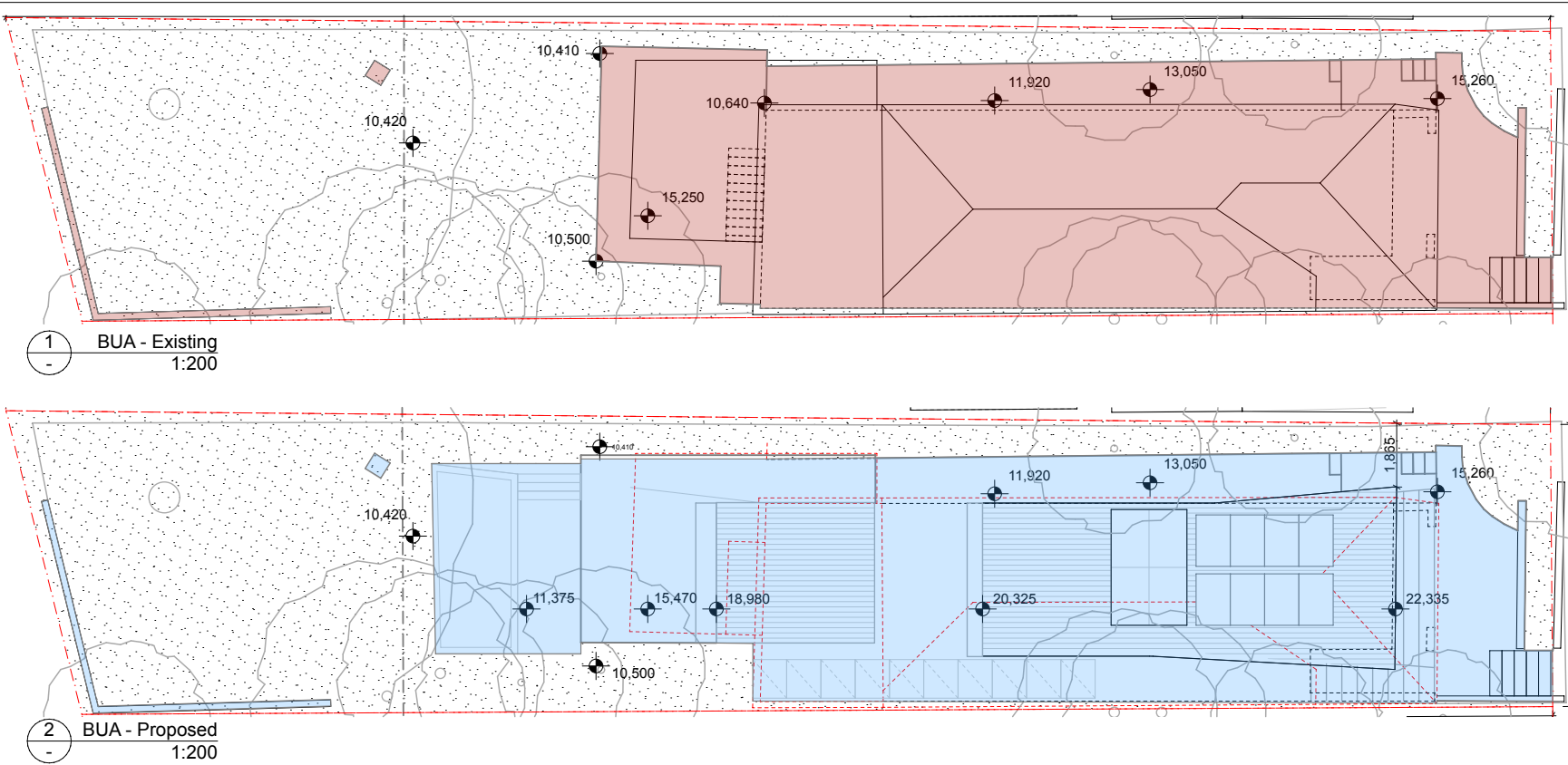
BUILT UPON AREA CALCULATIONS

SURVEYED SITE AREA - 376.1 m²

EXISTING BUILT UPON AREA - 193m² (51.3%)

PROPOSED BUILT UPON AREA - 212.2m² (56.4%)
PROPOSED INCREASE OF 19.2m² (5.1%)

NOTE: PROPOSED REDUCTION NOT INCLUDING PROPOSED GREEN ROOF 14m²



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A	17.08.21	PROGRESS DRAFT ISSUE
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G	09.03.22	REVISED - DA ISSUE

ARCHITECT

EOIN

6/26 WOODS PARADE, FAIRLIGHT NSW 2094 AUSTRALIA T +61 2 8416 5912 E info@eoinarchitects.com

EOIN ABN 25 673 855 645 NOMINATED ARCHITECT EOIN PATRICK HEALY 11133
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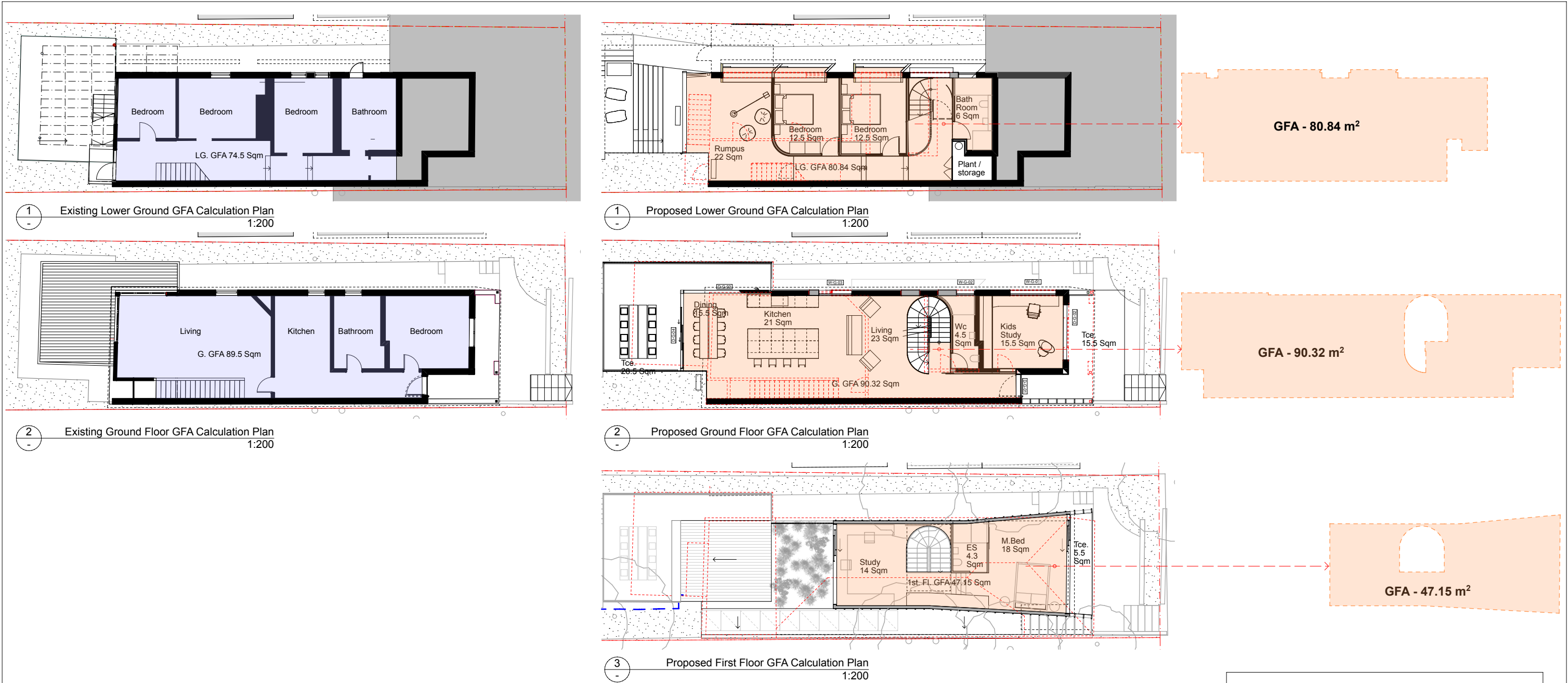
FOR DEVELOPMENT APPLICATION PURPOSES ONLY - NOT FOR CONSTRUCTION

PROJECT: HOUSE RENOVATION, ALTERATIONS & ADDITIONS - LOT 46 SEC D DP 4449
59 FRANCIS STREET, MANLY, NSW 2095
CLIENTS
PETER GLAS & VANESSA MATTHIJSEN

NORTH

SHEET TITLE
BUILT UPON AREA

PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE	SHEET NUMBER	ISSUE
2008		EH	EH	AS NOTED	A3		DA605.1 G



GFA CALCULATIONS

SURVEYED SITE AREA - 376.1 m²

FSR (FLOOR SPACE RATIO) .6

ALLOWABLE GFA = 226Msq

EXISTING HOUSE
LOWER GND. FL. GFA = 74.5Msq
GROUND. FL. GFA = 89.5Msq
1ST. FL. GFA = - Msq
EXISTING APPROX TOTAL GFA = 164MSQ

PROPOSED HOUSE
LOWER GND. FL. GFA = 80.84Msq
GROUND. FL. GFA = 90.32Msq
1ST. FL. GFA = 47.15Msq
PROPOSED APPROX TOTAL GFA = 218.31MSQ

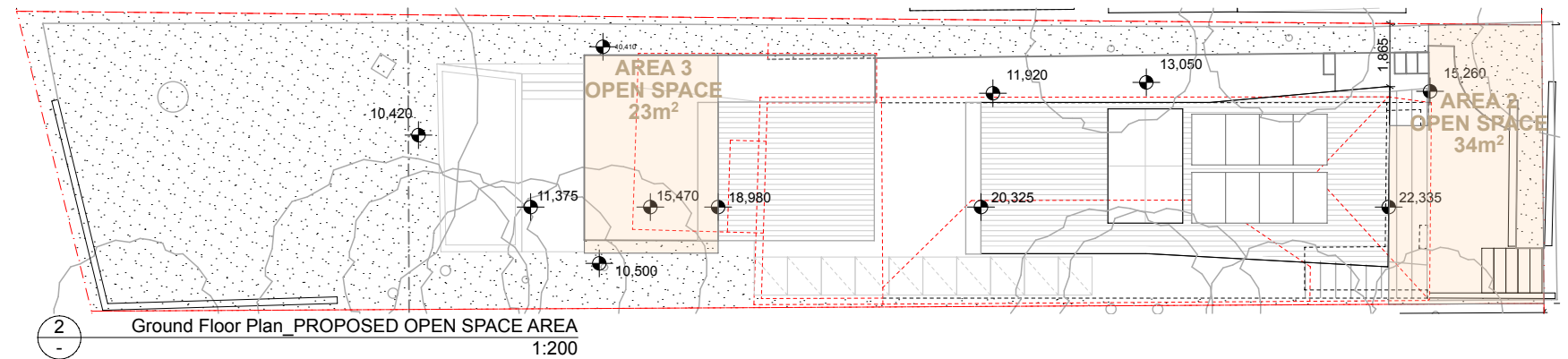
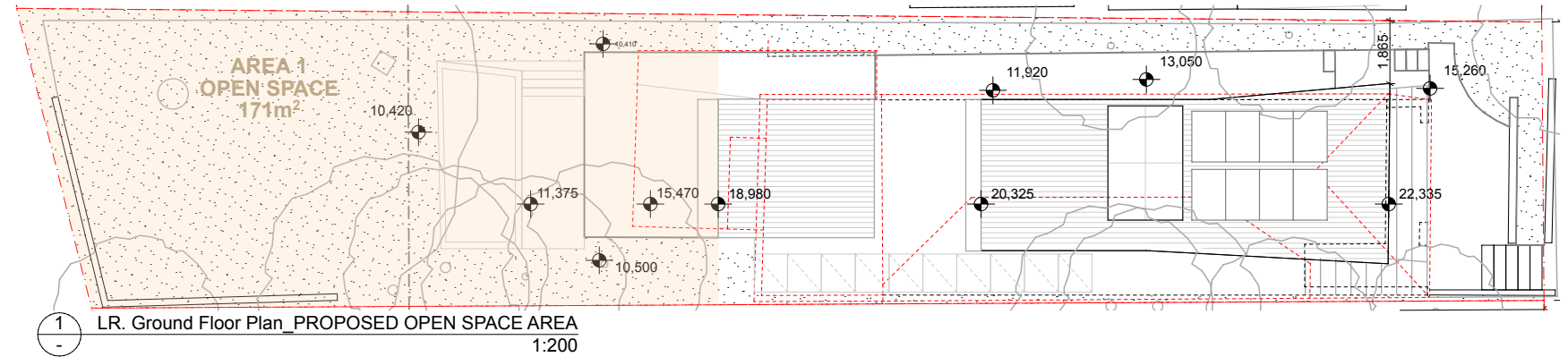
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ISSUE	DATE	DESCRIPTION	ARCHITECT	PROJECT: HOUSE RENOVATION, ALTERATIONS & ADDITIONS - LOT 46 SEC D DP 4449	NORTH	SHEET TITLE
A	17.08.21	PROGRESS DRAFT ISSUE	EOIN	59 FRANCIS STREET, MANLY, NSW 2095		GFA CALCULATIONS
B	07.09.21	DRAFT DA ISSUE		CLIENTS		
C	12.09.21	DRAFT DA ISSUE FOR BASIX		PETER GLAS & VANESSA MATTHIJSEN		
D	27.09.21	DRAFT DA ISSUE		PROJECT NUMBER	PLOT DATE	DRAWN
E	08.10.21	DA ISSUE		2008		EH
F	23.10.21	ADDITIONAL INFORMATION - DA ISSUE			CHECKED	EH
G	09.03.22	REVISED - DA ISSUE			SHEET SCALE	AS NOTED
					SHEET SIZE	A3
					SHEET NUMBER	
					ISSUE	DA605.2 G

MINIMUM OS REQUIREMENT = 205Msq PROPOSED = 228Msq

DCP RESIDENTIAL OPEN SPACE AREA OS3 > 55% = 206.8m²

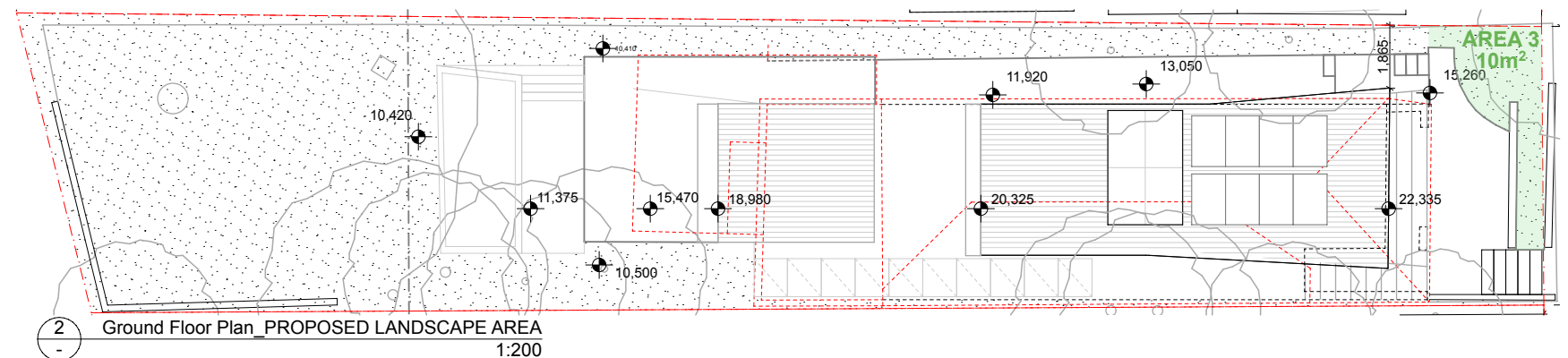
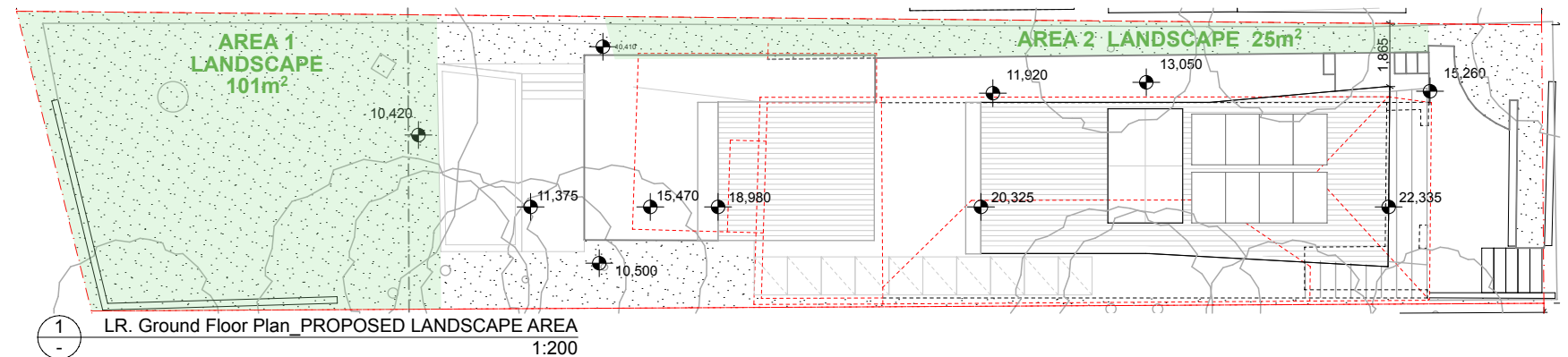
PROPOSED RESIDENTIAL OPEN SPACE AREA = **228m²**



DCP MINIMUM LANDSCAPED AREA REQUIREMENT = >35% OF OS REQUIREMENT 206.8Msq = 72Msq; PROPOSED = 136Msq

DCP MIN. LANDSCAPED AREA > 35% OF OS REQUIRED = 72m²

PROPOSED LANDSCAPED AREA = **136m²**



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G	09.03.22	REVISED - DA ISSUE

ARCHITECT
EOIN 6/26 WOODS PARADE, FAIRLIGHT NSW 2094 AUSTRALIA T +61 2 8416 5912 E info@eoinarchitects.com

EOIN ABN 25 673 855 645 NOMINATED ARCHITECT EOIN PATRICK HEALY 11133
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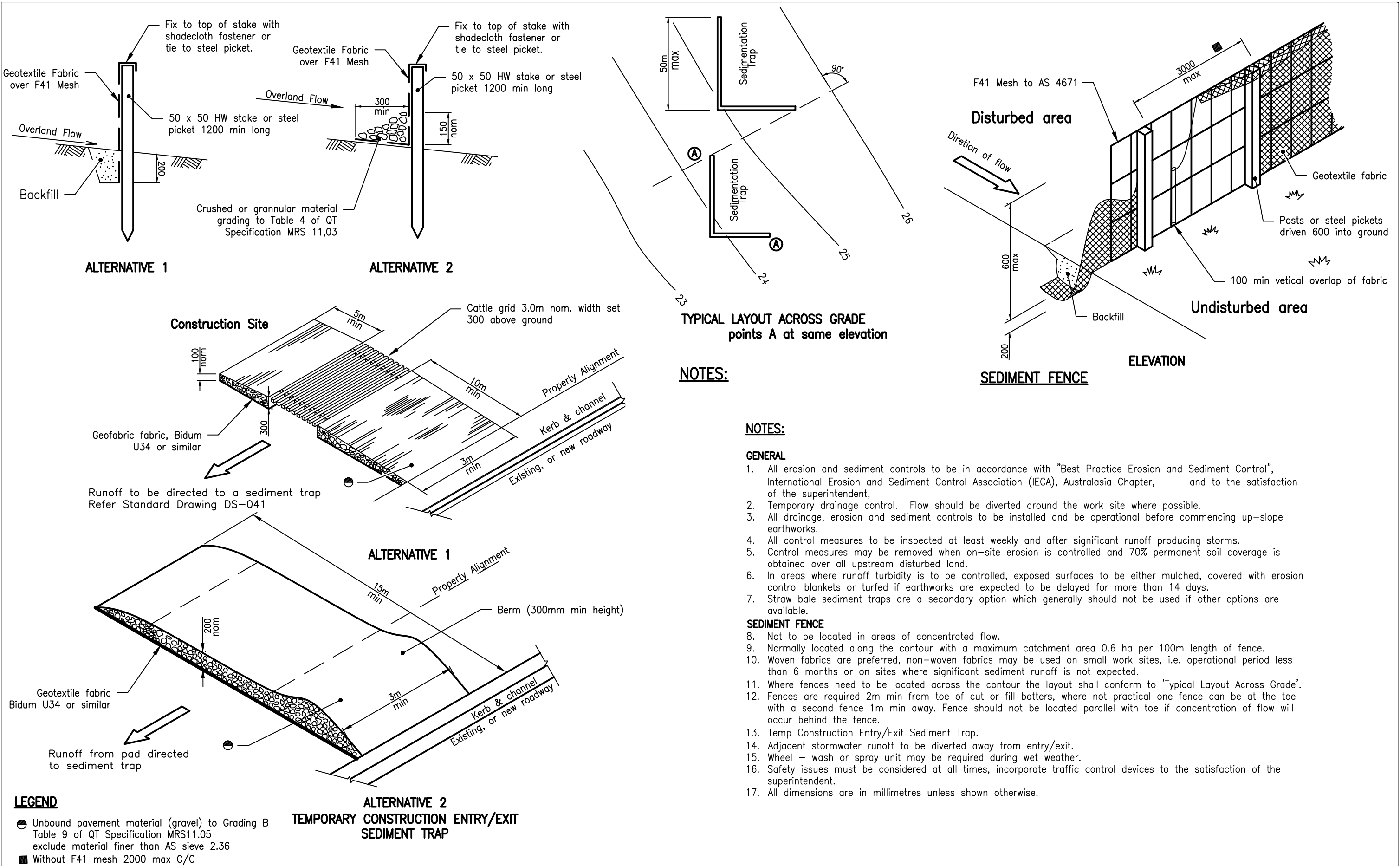
FOR DEVELOPMENT APPLICATION PURPOSES ONLY - NOT FOR CONSTRUCTION

PROJECT: HOUSE RENOVATION, ALTERATIONS & ADDITIONS - LOT 46 SEC D DP 4449
59 FRANCIS STREET, MANLY, NSW 2095
 CLIENTS
PETER GLAS & VANESSA MATTHIJSEN

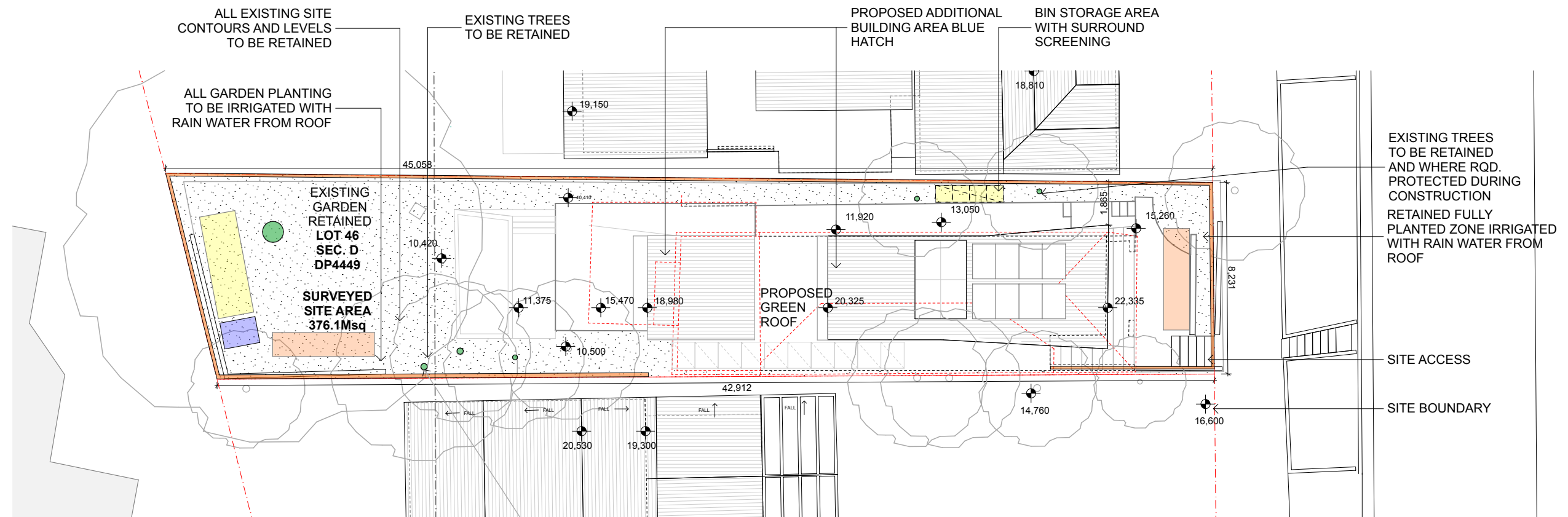
PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE
2008		EH	EH	AS NOTED	A3

SHEET TITLE
**OPEN SPACE & LANDSCAPED AREA
CALCULATIONS**

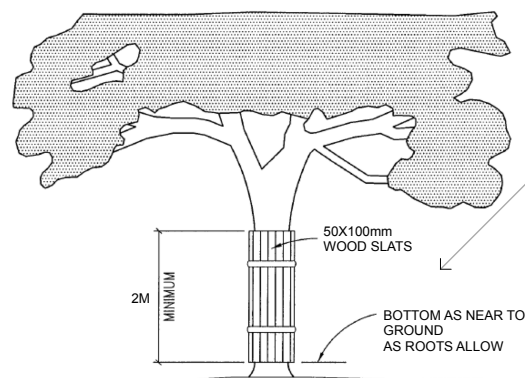
SHEET NUMBER	ISSUE
	DA606 G



ISSUE			ARCHITECT			PROJECT: HOUSE RENOVATION, ALTERATIONS & ADDITIONS - LOT 46 SEC D DP 4449			SHEET TITLE		
A	17.08.21	PROGRESS DRAFT ISSUE	EOIN			59 FRANCIS STREET, MANLY, NSW 2095			EROSION & SEDIMENT CONTROL PLAN		
B	07.09.21	DRAFT DA ISSUE				CLIENTS					
C	12.09.21	DRAFT DA ISSUE FOR BASIX				PETER GLAS & VANESSA MATTHIJSEN					
D	27.09.21	DRAFT DA ISSUE				PROJECT NUMBER			SHEET NUMBER		
E	08.10.21	DA ISSUE				PLOT DATE			ISSUE		
F	23.10.21	ADDITIONAL INFORMATION - DA ISSUE				DRAWN					
G	09.03.22	REVISED - DA ISSUE				CHECKED					
						SHEET SCALE					
						SHEET SIZE					
						2008			A3		
						EH			DA608		
						EH			G		



1
-
Erosion & Sediment Control Plan - Proposed
1:200



TREE PROTECTION
DURING CONSTRUCTION
Trees Retained

Tree protection enclosure: Erect tree enclosure to existing Frangipani tree to be protected as shown on the drawings. Significant trees are to be protected with a fence constructed of posts and 1.8 metre high chain fence around the drip line of the tree. Minor trees are to be protected with star pickets and bunting around the drip line of the tree. Erect enclosures prior to groundworks, maintain throughout the works and remove all enclosures from site prior to practical completion.

WASTE STORAGE
DURING CONSTRUCTION

MATERIAL STORAGE
DURING CONSTRUCTION

SEDIMENTARY CONTROL
BARRIER DURING
CONSTRUCTION

TOILET FACILITIES DURING
CONSTRUCTION (GND LV)

ISSUE	DATE	DESCRIPTION
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EIOIN	59 FRANCIS STREET, MANLY, NSW 2095
6/26 WOODS PARADE, FAIRLIGHT NSW 2094 AUSTRALIA T +61 2 8416 5912 E info@eioinarchitects.com	CLIENTS
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PROJECT: HOUSE RENOVATION, ALTERATIONS & ADDITIONS - LOT 46 SEC D DP 4449	NORTH	SHEET TITLE
59 FRANCIS STREET, MANLY, NSW 2095		EROSION & SEDIMENT CONTROL SHEET 2
CLIENTS		
PETER GLAS & VANESSA MATTHIJSSSEN		
PROJECT NUMBER	PLOT DATE	DRAWN
2008		EH
	CHECKED	EH
	SHEET SCALE	AS NOTED
	SHEET SIZE	A3
	SHEET NUMBER	
	ISSUE	
	DA609	G

A2

SP 37425

STREET
FRANCIS

- LEGEND:
- AHD AUSTRALIAN HEIGHT DATUM
 - AWN AWNING
 - BB BOTTOM OF BANK
 - BM BENCH MARK
 - BOW BOTTOM OF WALL
 - CONC CONCRETE
 - CS CONCRETE SURFACE
 - D/H/S DIAMETER/HEIGHT/SPREAD
 - D DOOR
 - EC EDGE OF CONCRETE
 - EG EAVE & GUTTER
 - FL FLOOR LEVEL
 - GDN GARDEN
 - HYD HYDRANT
 - IL INVERT LEVEL
 - LH LAMP HOLE
 - NS NATURAL SURFACE
 - PAV PAVERS
 - PP POWER POLE
 - RL REDUCED LEVEL
 - S STEPS
 - SL SURFACE LEVEL
 - SILL WINDOW SILL
 - SV STOP VALE
 - TB TOP OF BANK
 - TEL TELSTRA PIT
 - TK TOP OF KERB
 - TOW TOP OF WALL
 - TRW TOP OF RETAINING WALL
 - VC VEHICLE CROSSING
 - W WINDOW
 - WM WATER METER
 - WTOP TOP OF WINDOW
 - W-B WALL TO BOUNDARY

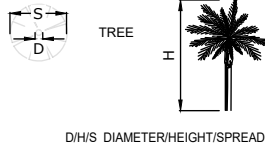


C&A SURVEYORS

30 Grose Street, Parramatta, NSW 2150
Ph: 96309299 email: info@candasurveyors.com.au
www.candasurveyors.com.au

DETAIL & BOUNDARY IDENTIFICATION
SURVEY OF
LOT 46 SEC. D IN DP 4449, LOCATED AT
No. 59, FRANCIS STREET, MANLY.

- S ——— APPROXIMATE LOCATION OF BURIED SEWER MAIN BY SYDNEY WATER RECORDS
- W ——— WATER MAIN (WM)
- E ——— ELECTRIC LINE
- TELSTRA PIT
- STOP VALE
- POWER POLE
- WATER METER
- HYDRANT



DA610

THE SUBJECT TITLE NOTES : AS AT 4/5/2021 :

- RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
- AK633586 MORTGAGE TO ING BANK (AUSTRALIA) LIMITED

NOTES:

- A) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. SERVICES MAY EXIST WHICH ARE NOT SHOWN. THE RELEVANT SERVICE AUTHORITY SHOULD BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION.
- B) DIAMETER, HEIGHT & SPREAD OF TREES ARE APPROXIMATE ONLY.
- C) LEVELS SHOWN ARE OF AUSTRALIAN HEIGHT DATUM. ORIGIN OF LEVELS : PM 713, RL 3.941 (AHD), CLASS LB.
- D) USE STATED DIMENSIONS. DO NOT SCALE.
- E) THESE NOTES FORM PART OF THIS PLAN AND CANNOT BE REMOVED.
- F) NO COVENANTS AND/OR RESTRICTIONS HAVE BEEN INVESTIGATED BY C & A SURVEYORS PTY LTD.

INSTRUCTING PARTY:		PETER GLAS	SURVEYED BY:		RT	DATUM:		AHD
LGA:	NORTHERN BEACHES	AREA BY DP:	373.1 m ²	DRAWN BY:	DR	CHECKED BY:	KU	
SURVEY DATE:	16/07/2021	AREA BY CALC:	376.1 m ²	SCALE:	1:100@A2	REF. NO:	17509-21 DET/D	
DATE DRAWN:	22/07/2021	CONTOUR INTERVAL	0.2 m	REV NO:	04	SHEET:	1 OF 1	

Peter Glas,
59 Francis Street,
MANLY NSW 2095.

**RE: DETAIL AND IDENTIFICATION SURVEY PURPOSES ONLY
LOT 46 OF SECTION D IN DEPOSITED PLAN 4449
No. 59 FRANCIS STREET, MANLY**

We have surveyed the land comprised in Certificate of Title Folio Identifier 46/D/4449 being Lot 46 of Section D in Deposited Plan 4449 located at Manly in the Local Government Area of Northern Beaches Parish of Manly Cove and County of Cumberland.

Upon the abovementioned property stands a two-storey brick and clad house with a tile roof known as No. 59 Francis Street, Manly.

The positions of the house and fencing in relation to the boundaries are as shown on the attached plan. Levels across the site have also been determined.

This report should be read in conjunction with the attached plan prepared by us dated 22 July 2021 which forms part of this report.

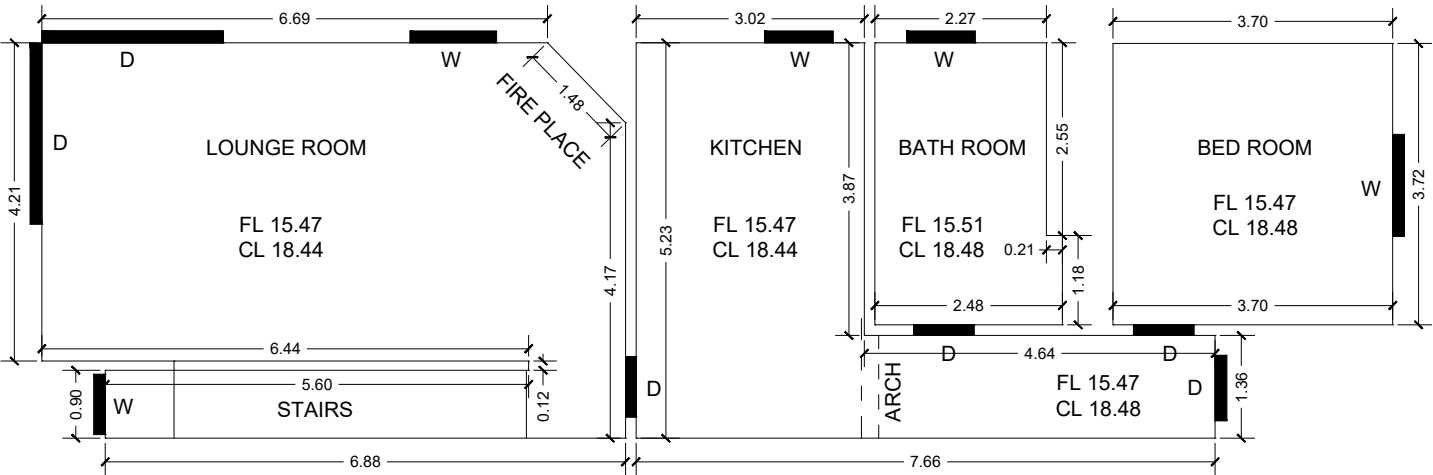
The survey shown on the attached plan is for detail and identification survey purposes only. Should further additions or improvements be proposed upon the subject property after this date the boundaries must be marked on the ground prior to construction.



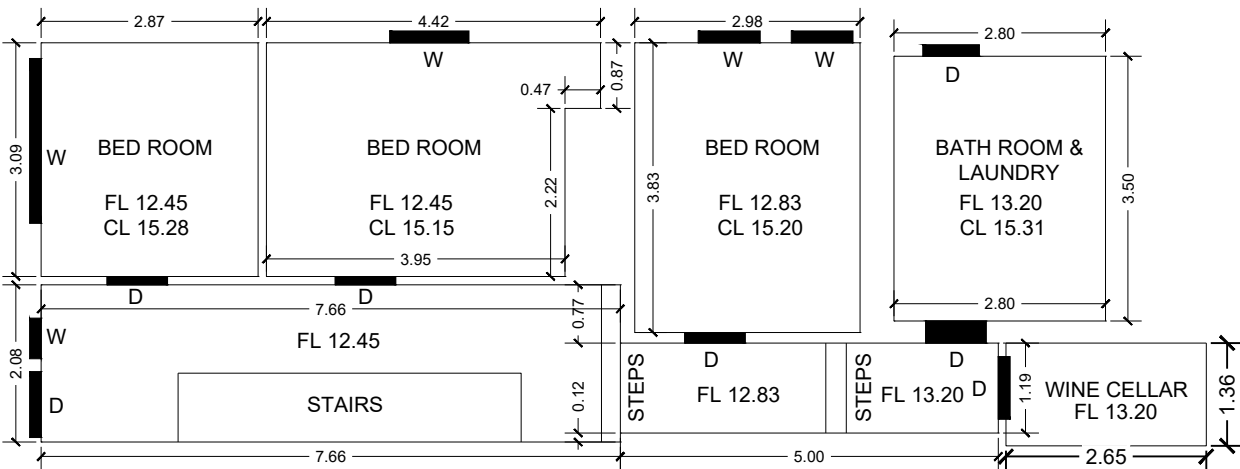
Trent James Vella
Registered Surveyor
Surveyor Id. 8959

Ref: 17509-21 DET/ID
Date: 29 September, 2021

DA611



GROUND FLOOR



LOWER GROUND FLOOR

DA612

LEGEND:

AHD	AUSTRALIAN HEIGHT DATUM
CL	CEILING LEVEL
D	DOOR
FL	FLOOR LEVEL
W	WINDOW

NOTES:

A) LEVELS SHOWN ARE OF AUSTRALIAN HEIGHT DATUM. ORIGIN OF LEVELS : PM 713, RL 3.941 (AHD), CLASS LB.
B) USE STATED DIMENSIONS. DO NOT SCALE.
C) THESE NOTES FORM PART OF THIS PLAN AND CANNOT BE REMOVED..

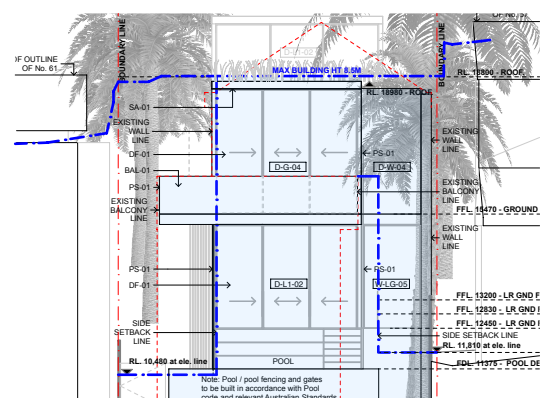
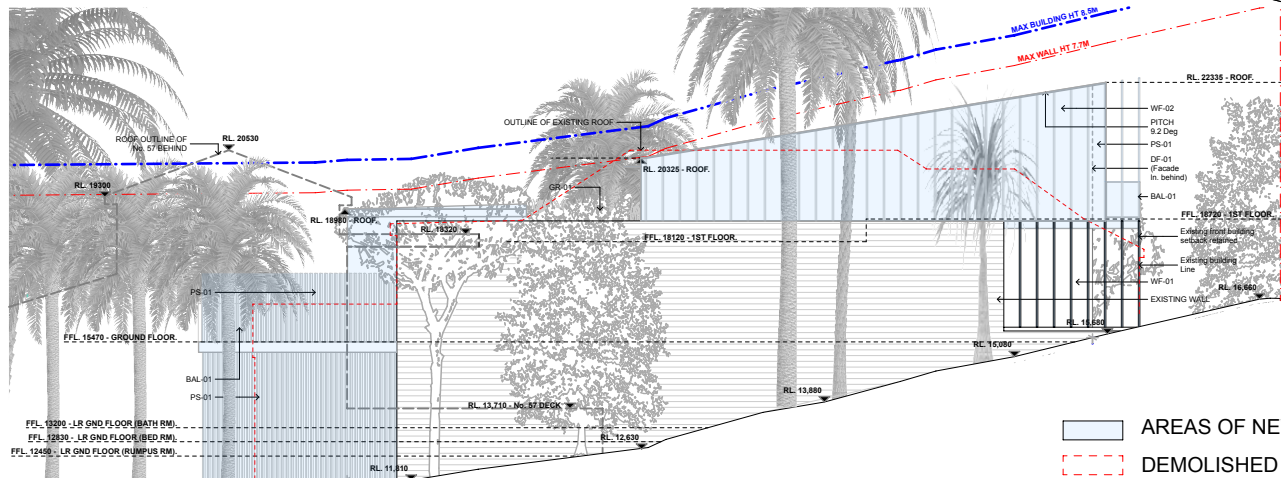
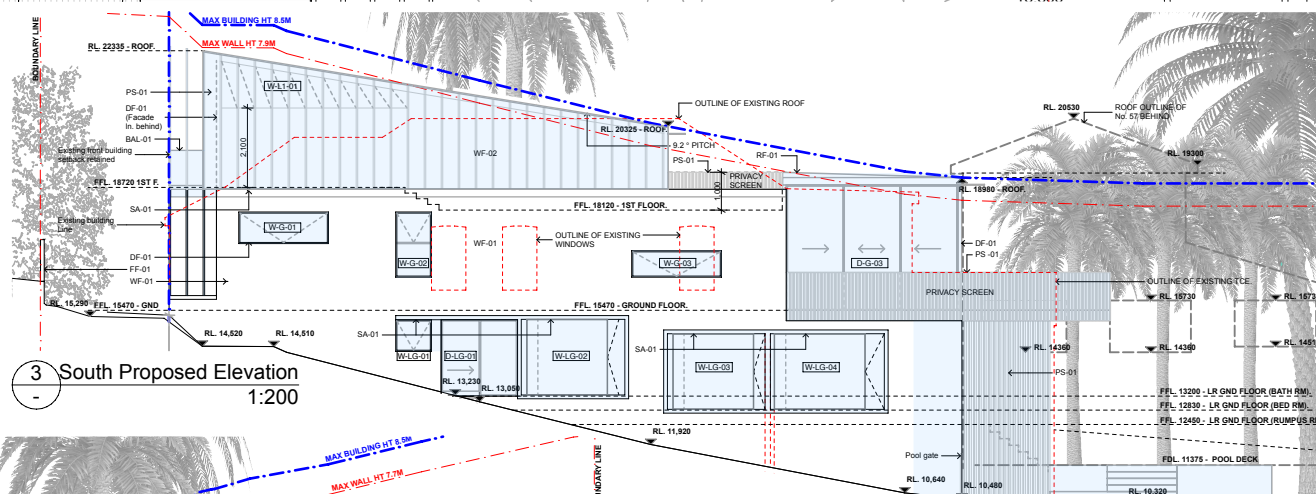
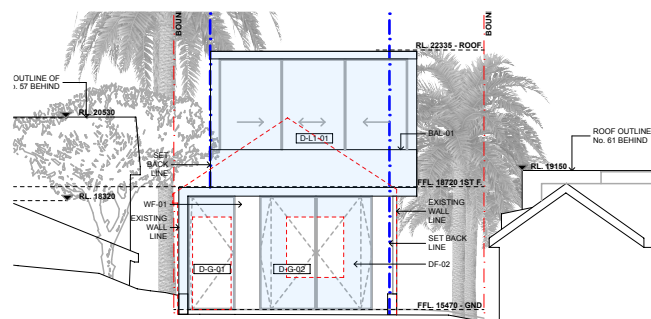
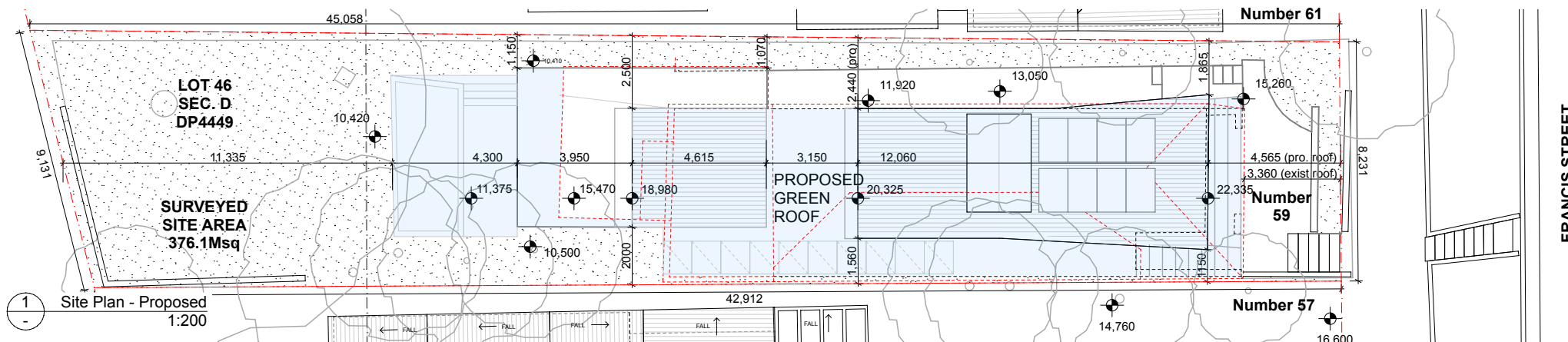
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30 GROSE STREET,
PARRAMATTA NSW 2150
info@candasurveyors.com.au
www.candasurveyors.com.au

INTERNAL SURVEY OF
LOT 46 SEC. D IN DP 4449, LOCATED AT
No. 59, FRANCIS STREET, MANLY.

INSTRUCTING PARTY: PETER GLAS		
Revision No	Description	Date
V1	DRAWN FOR ISSUE	06/05/2021
V1	UPDATED LEVELS & STEP OUTLINES	02/06/2021

DATUM: AHD	SURVEYED BY: RT
SURVEY DATE: 05/05/2021	DRAWN BY: DR
DATE DRAWN: 06/05/2021	SCALE: 1:100@A3
REFERENCE: 17509-21 INT	SHEET: 1 OF 1



AREAS OF NEW WORK
DEMOLISHED ELEMENTS

FOR DEVELOPMENT APPLICATION PURPOSES ONLY - NOT FOR CONSTRUCTION

ARCHITECT
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T +61 2 8416 5912 E info@eoinarchitects.com

EOIN ABN 25 673 855 645
NOMINATED ARCHITECT
EOIN PATRICK HEALY 11133

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CLIENTS
PETER GLAS & VANESSA MATTHIJSSSEN

NORTH

SHEET TITLE
NOTIFICATION PLAN

DA700