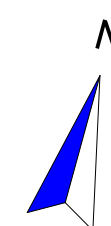
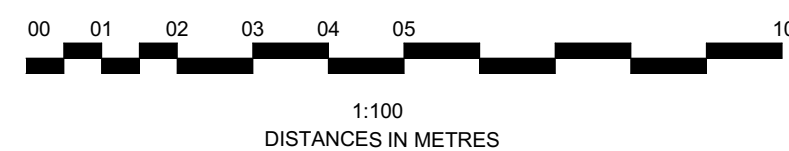
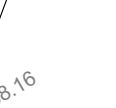


LEGEND	
	existing tree to be removed
	existing tree to be retained
	proposed tree
ct	ceramic tiles
tf	timber floor
dp	downpipe
do	drainage outlet
rw	rain water tank
of	overflow
oshr	outdoor shower
gm	gas meter
T.O.W.	top of wall
T.O.P.	top of parapet
sd	smoke detector
sp	structural post
shr	shower
wip	walk in pantry
ref	refrigerator
cpd	cupboard
ply	pantry
ov	oven
wm	washing machine
dry	dryer
hr	handrail
gb	glass balustrade
x21.10	existing RL's
—	outline of existing buildings to be demolished



REVISION	DESCRIPTION	DATE
A	DEVELOPMENT APPLICATION	09/2020
B	DA AMENDMENTS 1. First floor plan reconfigured with the rear first floor setback increased by 2.365m to ensure compliance with the maximum 10m Building Height limit. 2. The width of the first floor balcony has been reduced and the storage area at the rear of the	03/2021

3. The non trafficable portion of the first floor balcony has been removed to comply with the maximum 10m Building Height limit.
4. The carport roof over the driveway has been reduced in length by 4.05m to comply with the maximum 10m Building Height limit.
5. The southern portion of the ground floor and lower ground floor balconies shown hatched on plan have been removed.
6. The rampus on the lower ground floor has been setback a further 600mm from the southern side boundary.
7. The southern external wall of the WC and Butlers Pantry on the ground floor have been aligned with the external walls above and below.
8. The southern side solid driveway has been replaced with an open form fence.

PROPOSED DWELLING HOUSE
FOR
WILLIAM & NANCY GROUNDS

ADDRESS
13 PACIFIC ROAD PALM
BEACH, NSW, 2108 LOT NO.
404 | DP NO. 19651

GROUND FLOOR PLAN

ARCHITECT

JAMISA ARCHITECTS PTY LTD

Nominated Architect: Jamie Grounds NSW Registration No. 7265
Suite 4, 112 Cronulla St, Cronulla
PH/FAX. 9523 6499

SCALE	1:100 @ A1
DRAWN	MC
CHECKED	JG
SUBMISSION DATE	SEPTEMBER 2
JOB NUMBER	03/2018/07

DRAWING NUMBER	ISSUE
----------------	-------

DA03 B