

ALTERATIONS AND ADDITIONS TO EXISTING RESIDENCE 14 KANIMBLA CRESCENT BILGOLA PLATEAU

GENERAL NOTES : LABOUR AND MATERIALS

- L1. ALL WORK SHALL BE CARRIED OUT BY A LICENCED BUILDER OR A LICENCED OWNER BUILDER IN COMPLIANCE WITH THE PROVISIONS OF THE BUILDERS LICENCING ACT OF N.S.W.
- L2. ALL MATERIALS SHALL BE NEW AND OF GOOD QUALITY WITH ONLY SKILLED LABOUR EMPLOYED IN ALL TRADES TO PROVIDE A STABLE AND DURABLE STRUCTURE.
- L3. ALL BUILDING WORKS ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA.
- L4. WHERE A STANDARD OR CODE HAS BEEN ISSUED BY THE STANDARDS ASSOCIATION OF AUSTRALIA FOR ANY ITEM NOTED, IT MUST BE COMPLIED WITH UNLESS OTHERWISE SPECIFIED. IT SHOULD BE NOTED THAT SOME OF THE STANDARDS OR PARTS THEREOF ARE NOT ACCEPTABLE TO LOCAL GOVERNMENT AUTHORITIES AND THE APPLICANT AND BUILDER SHOULD MAKE THEMSELVES AWARE OF SUCH REQUIREMENTS.
- L5. ALL DIMENSIONS SHALL BE VERIFIED BY THE BUILDER ON SITE. ALL LEVELS SHALL BE VERIFIED OS SITE BEFORE PROCEEDING WITH THE WORK.

CEILINGS AND CORNICES

- C1. CEILINGS OF PORCHES, OPEN VERANDAHS AND EAVES SOFFITS SHALL BE OF FIBROUS CEMENT SHEETING WHERE BATTENS ARE REQUIRED FOR CERTAIN CEILING FINISHES THEY SHALL BE OF TIMBER AND BE 38mm x 38mm FOR SPANS UP TO 450mm, 38mm x 50mm FOR SPANS UP TO 600mm AND 50mm x 50mm FOR SPANS UP TO 1200mm.
- C2. GYPSUM PLASTER BOARD FOR CEILINGS PAPER REINFORCED PLASTER BOARD 10mm THICK SUPPORTED AT 450mm CENTRES AND 13mm THICK AT 600mm CENTRES SHALL BE FIXED AND JOINTED TO MANUFACTURERS SPECIFICATIONS.
- C3. SUITABLE MOULDINGS SHALL BE FIXED AT INTERSECTIONS OF ALL BEAMS AND WALL JUNCTIONS WITH CEILINGS. THESE MAY BE OMITTED WHERE INTERSECTIONS ARE SET.

FASCIA BOARDS

- F1. SHALL BE OF TIMBER PRIMED OR OILED STAINED ALL ROUND PRIOR TO FIXING.
25mm (NOMINAL) THICK WHEN FIXED UP TO 600mm CENTRES.
38mm (NOMINAL) THICK WHEN FIXED UP TO 900mm CENTRES.

PAINTING

- P1. ALL PAINTS OR OTHER COATINGS SHALL BE OF THE BEST QUALITY MATERIALS AND OF APPROVED MANUFACTURER. ALL PRIMING MATERIALS SHALL BE OF AN APPROVED BRAND ACCEPTABLE TO THE MANUFACTURER OF THE FINISHING COATS TO BE USED. EXTERNAL JOINERY INTENDED TO BE TO BE PAINTED SHALL BE PRIMED ON ALL FACES AT PLACE OF ASSEMBLY.
- P2. WHERE JOINERY IS TO BE OTHER THAN PAINTED IT SHALL BE TREATED AT A PLACE OF ASSEMBLY WITH A PRIMER HAVING PRESERVATIVE AND WATER REPELLANT PROPERTIES.
- P3. ALL OTHER EXTERNAL WOODWORK SHALL BE PRIMED AT TIME OF FIXING.
- P4. ALL EXPOSED EXTERNAL WOODWORK SHALL RECEIVE TWO FINISHING COATS AFTER FIXING IN ADDITION TO PRIMER.

COLOURS

- C1. THE OWNER SHALL PROVIDE TO THE BUILDER UPON REQUEST SELECTED COLOURS FOR ALL ITEMS AND MATERIALS SPECIFIED ON THE COLOUR SELECTION SCHEDULE

PLUMBER

- GUTTERS PROVIDE SELECTED GUTTERING TO ALL FASCIAS SET IN POSITION WITH FALL TO DOWNPIPES AND SECURED WITH THE APPROPRIATE BRACKETS.
- DOWNPIPES PROVIDE DOWNPIPES AS REQUIRED CONNECTED TO GUTTER AND ROOF WATER DRAINS. DOWNPIPES TO BE SECURED TO EXTERNAL WALLS WITH AN APPROVED FIXING METHOD.
- FLASHING FLASHING TO BE PROVIDED AT THE INTERSECTION OF THE ROOF AND BRICKWALLS. ALL FLASHING TO BE DRESSED DOWN ONTO ROOF SLOPE.

COMPLETION

- C1. THE BUILDING SHALL BE COMPLETED IN EVERY TRADE. SASHES, DOOR, LOCKS AND ALL OTHER EQUIPMENT SHALL BE CHECKED AND LEFT IN A SATISFACTORY OPERATING CONDITION.
- C2. ALL PLANT, SURPLUS BUILDING MATERIALS AND RUBBISH IS TO BE REMOVED FROM THE SITE.
- C3. GUTTERS AND DRAINS SHALL BE CLEARED AND THE BUILDING GENERALLY TO BE LEFT CLEAN.

PLASTERING

- P1. ALL INTERNAL BRICKWORK OR MASONRY SURFACES OTHER THAN FEATURE SURFACES SHALL BE EITHER FLOATED AND SET OR CEMENT RENDERED IN ACCORDANCE WITH RELEVANT CODES TO A MINIMUM THICKNESS OF 13mm.
- P2. CEMENT RENDER
 - a) EXTERNAL - ANY RENDER BELOW DAMPCOURSE LEVEL OR WET SITUATIONS SHALL BE 3 PARTS CLEAN SAND TO 1 PART FRESH CEMENT WITH NO MORE THAN 10% HYDRATED LIME ADDED AND USED WHILE FRESH. OTHER POSITIONS SHALL BE 6 PARTS CLEAN SAND, 1 PART FRESH CEMENT, 1 PART LIME.
 - b) INTERNAL - SHALL BE 9 PARTS CLEAN SAND, 1 PART FRESH CEMENT, 2 PARTS LIME.

GLAZING

- G1. GLASS AND GLAZING SHALL BE IN ACCORDANCE WITH AS 1288 DOOR AND WINDOW FRAMES

- M1. ALL WINDOW FRAMES AND EXTERNAL DOOR FRAMES SHALL BE SECURELY FIXED AND FLASHED IN ACCORDANCE WITH ALL RELEVANT CODES.
- M2. ALUMINIUM WINDOWS SHALL CONFORM TO AS CAS3.

DRAINAGE

- D1. ALL SEWERAGE AND DRAINAGE SHALL COMPLY WITH THE REQUIREMENTS OF THE APPROPRIATE AUTHORITIES. PROVISIONS SHALL BE MADE FOR ALL SEEPAGE WATER TO BE EFFECTIVELY DEALT WITH AND DIVERTED CLEAR OF THE BUILDING BY MEANS OF A SATISFACTORY DRAINAGE SYSTEM.

FIRE DETECTION

- F1. FIRE DETECTION UNITS ARE TO BE PLACED IN ACCORDANCE WITH THE CODE.

VERANDAH POSTS

- V1. TO BE LOCATED AS SHOWN ON PLAN AND WHERE FIXED TO CONCRETE THE BASE OF THE POST IS TO BE SUPPORTED ON A GALVANISED METAL BASE WITH A METAL DOWEL SET IN CONCRETE.

TERMITE TREATMENT

- T1. PROVIDE A TERMITE BARRIER TREATMENT IN ACCORDANCE WITH THE RELEVANT CODE IN ALL AREAS WHERE THE LOCAL AUTHORITY REQUIRES SUCH TREATMENT.

FEES

- F1. THE BUILDER WILL OBTAIN ALL PERMITS, PAY ALL FEES AND NOTIFY LOCAL AUTHORITIES TO ENABLE THE WORKS TO BE CARRIED OUT WITHIN THE LIMITS OF THE WORKING DRAWINGS

ELECTRICIAN

- GENERAL:**
PROVIDE ALL LABOUR AND MATERIALS SUITABLE FOR THE INSTALLATION OF THE ELECTRICAL SERVICE IN ACCORDANCE WITH AS 3000 AND AS 3006. ALL WORK TO BE CARRIED OUT BY A LICENCED ELECTRICIAN AND IN ACCORDANCE WITH THE LOCAL SUPPLY AUTHORITY.
- CONSUMER MAINS:**
PROVIDE AND INSTALL CONSUMER MAINS FROM THE MAIN POWER SUPPLY TO THE METER AND SWITCHBOARD.
- LIGHTING:**
CONNECT ALL LIGHT POINTS IN POSITIONS AS DIRECTED BY THE OWNER
- POWER:**
CONNECT ALL POWER POINTS IN POSITIONS AS DIRECTED BY THE OWNER
- ACCESSORIES:**
ALL ACCESSORIES ARE TO BE QUALITY PLASTIC FITTINGS.
- FIRE DETECTION:**
FIRE DETECTION UNITS ARE TO BE PLACED IN ACCORDANCE WITH THE CODE.
- SERVICE TRENCHES:**
THE BUILDER SHALL EXCAVATE SERVICE TRENCHES TO A MINIMUM COVER OF 150mm WHERE SITE CONDITIONS ALLOW

Project address	Project name	Client name	Project location
14 Kanimbla Crescent, Bilgola Plateau, NSW	14 Kanimbla Crescent, Bilgola Plateau, NSW	Mr & Mrs Poppleton	Bilgola Plateau, NSW
Project description	Alterations and Additions	Contract number	AP7200
Project start date	15/08/2024	Project end date	31/10/2024
Project status	Final Design	Project manager	John Smith
Project location	14 Kanimbla Crescent, Bilgola Plateau, NSW	Project site	14 Kanimbla Crescent, Bilgola Plateau, NSW
Project owner	Mr & Mrs Poppleton	Project architect	ABC Architects
Project engineer	XYZ Engineers	Project contractor	DEF Contractors
Project drafter	ABC Architects	Project date	15/08/2024
Project sheet number	WD00	Project sheet title	Cover Sheet
Project sheet scale	1:1	Project sheet size	A3
Project sheet status	Final	Project sheet version	1.0

Category	Item	Quantity	Unit	Notes
Plastering	Internal Plaster	150	m ²	3 parts clean sand to 1 part fresh cement with 10% hydrated lime.
Plastering	External Plaster	100	m ²	6 parts clean sand, 1 part fresh cement, 1 part lime.
Plastering	Internal Plaster	150	m ²	3 parts clean sand to 1 part fresh cement with 10% hydrated lime.
Plastering	External Plaster	100	m ²	6 parts clean sand, 1 part fresh cement, 1 part lime.

Category	Item	Quantity	Unit	Notes
Glazing	Window Glazing	10	m ²	AS 1288 compliant glass.
Glazing	Door Glazing	5	m ²	AS 1288 compliant glass.
Glazing	Window Glazing	10	m ²	AS 1288 compliant glass.
Glazing	Door Glazing	5	m ²	AS 1288 compliant glass.

Category	Item	Quantity	Unit	Notes
Roofing	Roof Sheet	100	m ²	AS 1547 compliant sheet.
Roofing	Roof Batten	100	m	38mm x 38mm timber.
Roofing	Roof Batten	100	m	38mm x 38mm timber.
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DEMOLITION

ADEQUATELY SUPPORT EXISTING WORK PRIOR TO DEMOLISHING EXISTING WALLS AND ROOF READY TO RECEIVE NEW BEAMS.

BRICKLAYER

CONSTRUCT NEW BRICKWORK AND EXTEND EXISTING EXTERNAL WALLS AND MAKE GOOD.

CONCRETOR

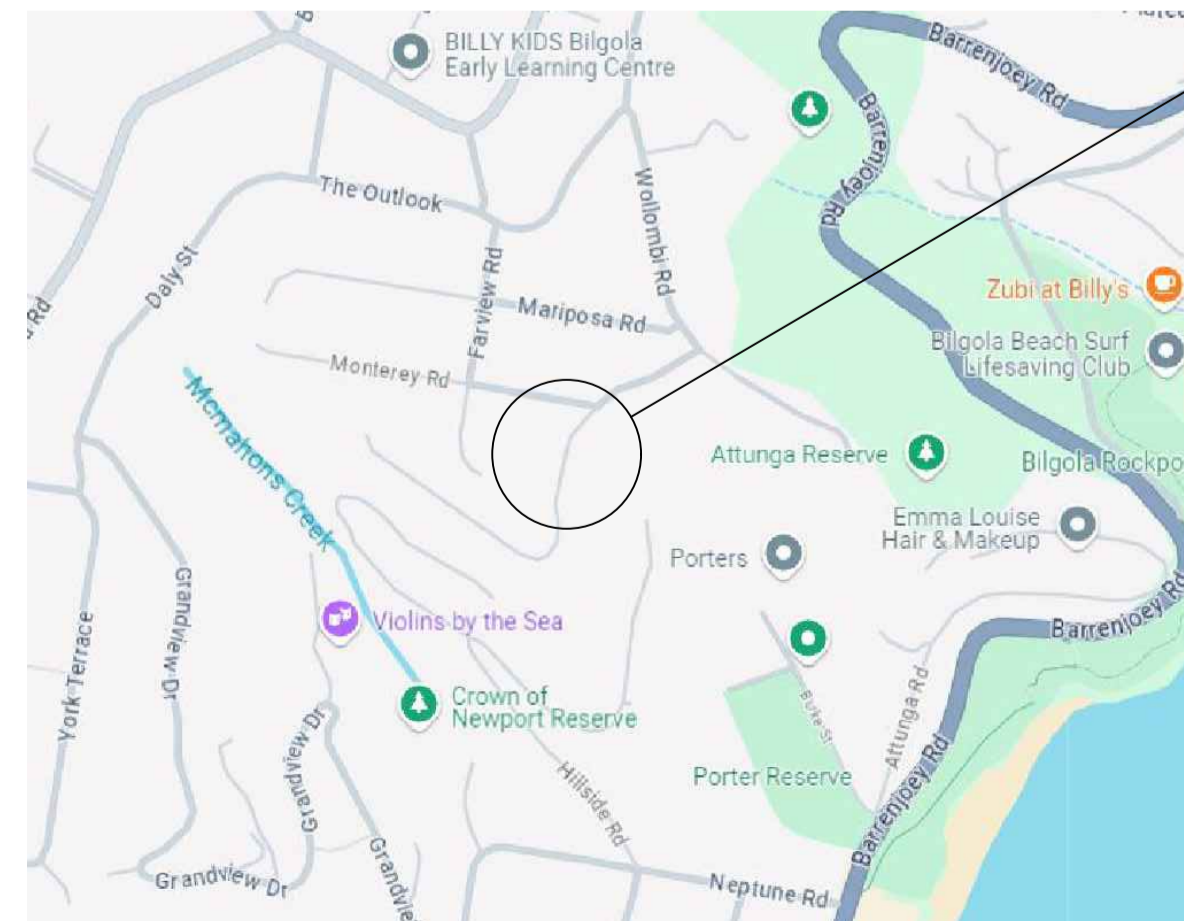
CONSTRUCT NEW SLABS AS DETAILED ON STRUCTURAL DRAWING.

CARPENTER

CONSTRUCT NEW WORK AS DETAILED ALL IN ACCORDANCE WITH AS 1684-1992. ALL TIMBER BEAMS SHALL BE PROPERLY FIXED AND ADEQUATELY STRAPPED DOWN. ALL TIMBER TO TIMBER CONNECTIONS SHALL BE MADE WITH GALVANISED METAL CONNECTORS, NAILED AS SETOUT IN AS 1684-1992.

DRAWING LIST

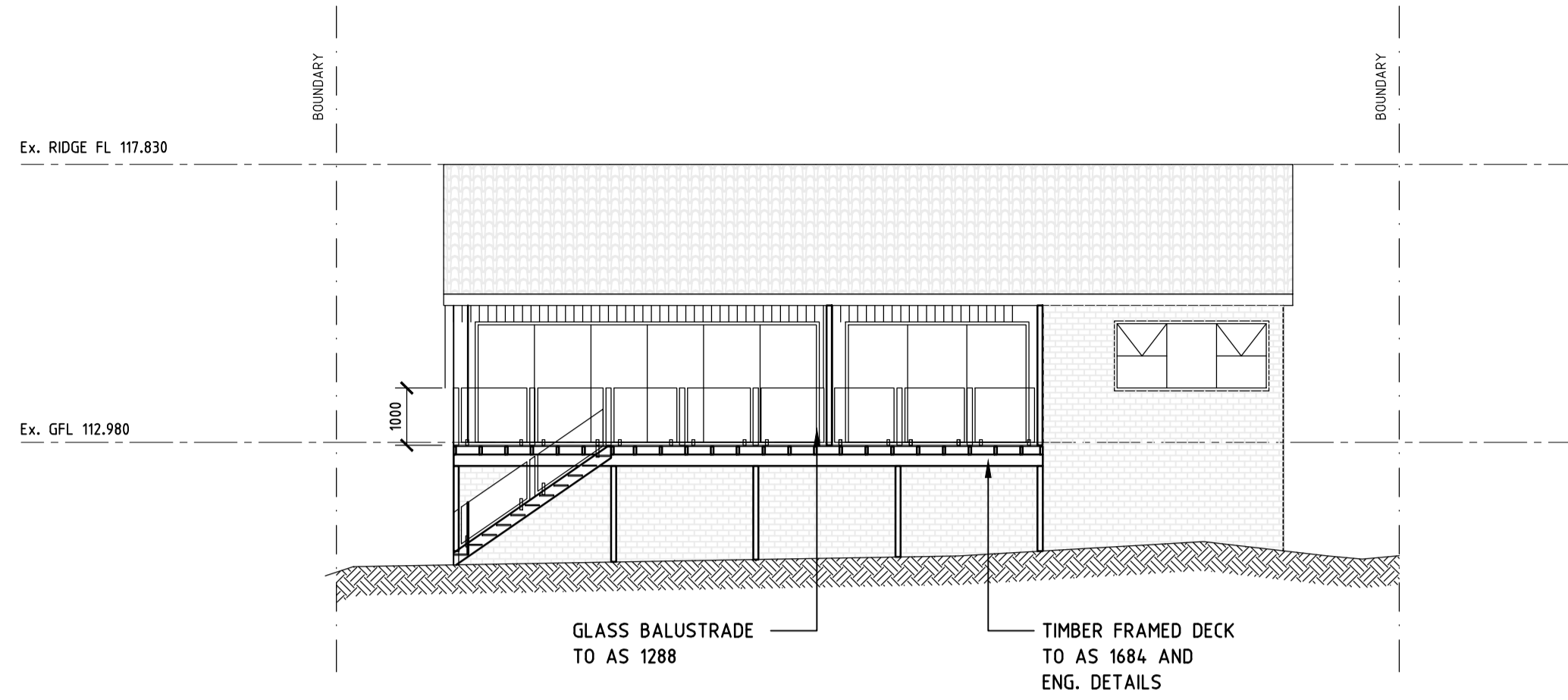
- | | |
|--------|---|
| WD 000 | COVER SHEET |
| WD 001 | SITE / DEMOLITION PLAN |
| WD 002 | GROUND AND ROOF PLANS |
| WD 003 | ELEVATIONS AND SECTIONS |
| WD 004 | SEDIMENT CONTROL AND SITE MANAGEMENT PLAN |
| WD 005 | DRAINAGE CONCEPT PLAN |
| WD 006 | SHADOW DIAGRAMS |



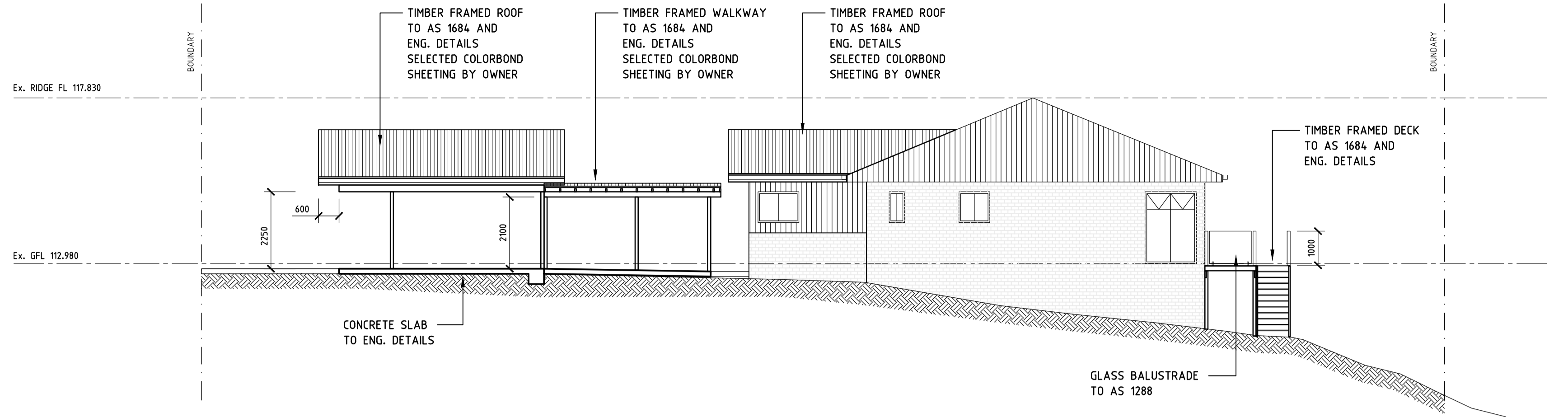
APPROX. LOCATION OF SITE

LOCALITY PLAN

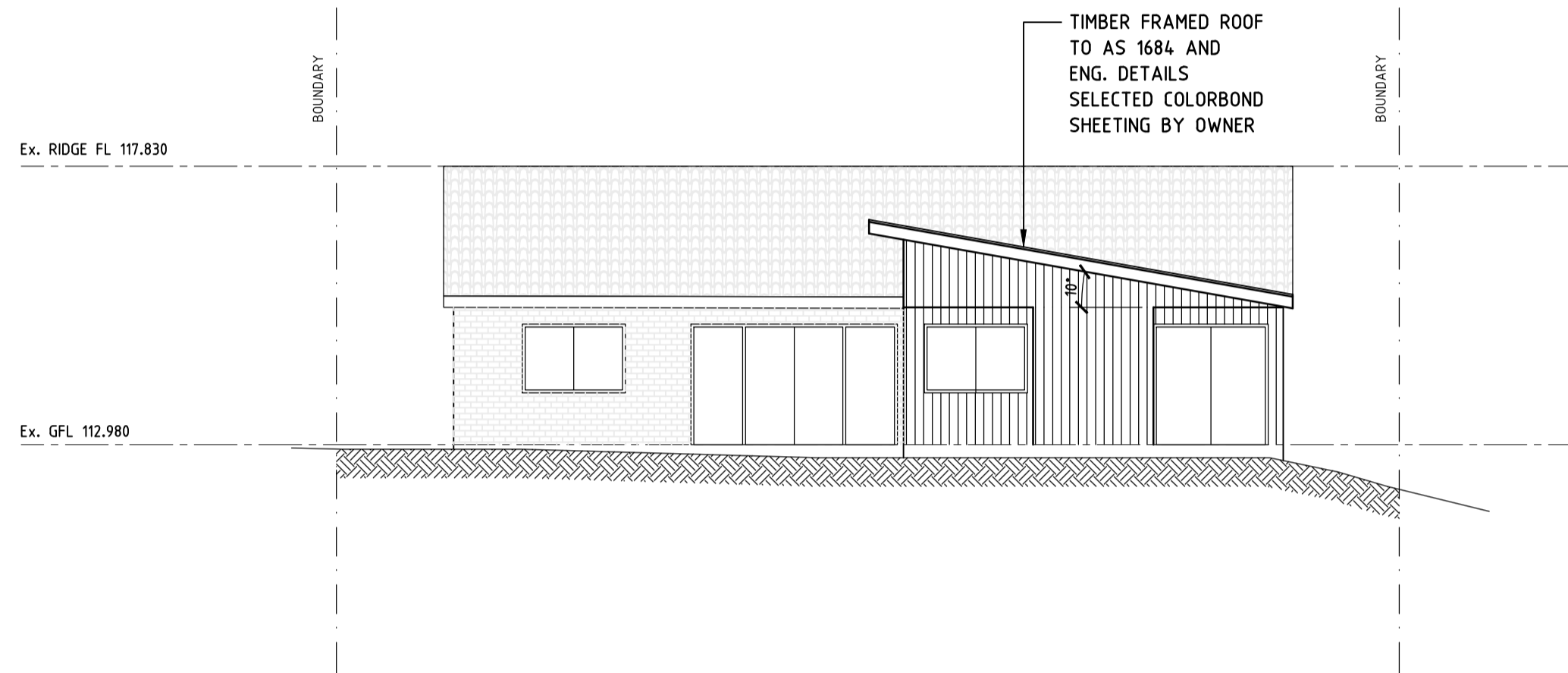
Project	Issue Date	Scale
ALTERATIONS & ADDITIONS 14 KANIMBLA CRESCENT BILGOLA PLATEAU	14/11/24	A.C.W.
Client	Mr & Mrs POPPLETON	
Title	COVER SHEET	
Date	SEPT. 24'	Scale
Job Number	05/24	Rev
Drawing	WD00	A



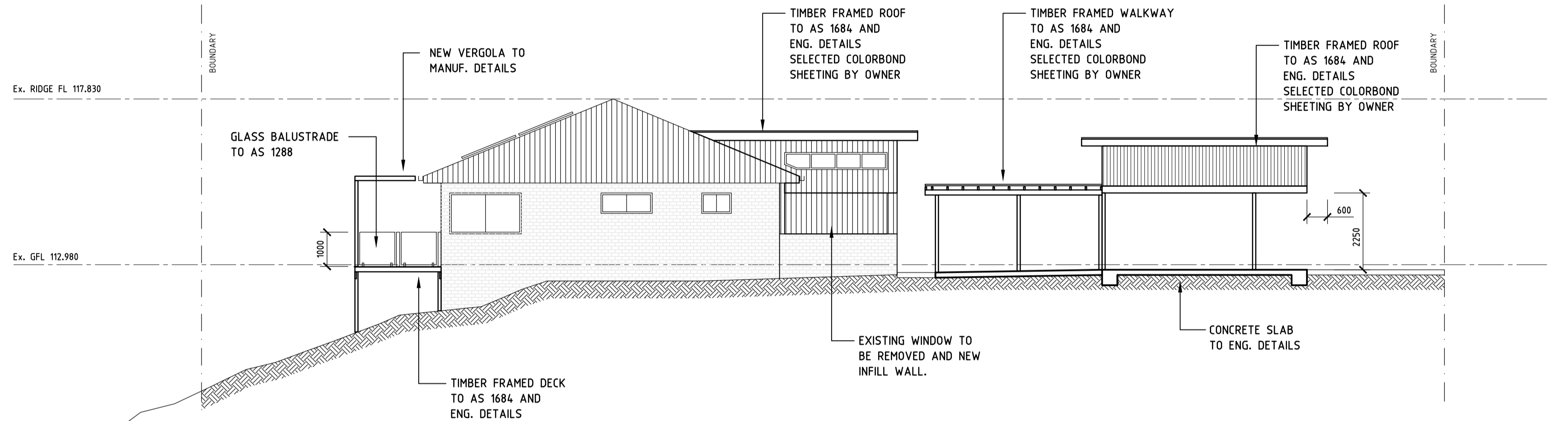
EASTERN ELEVATION



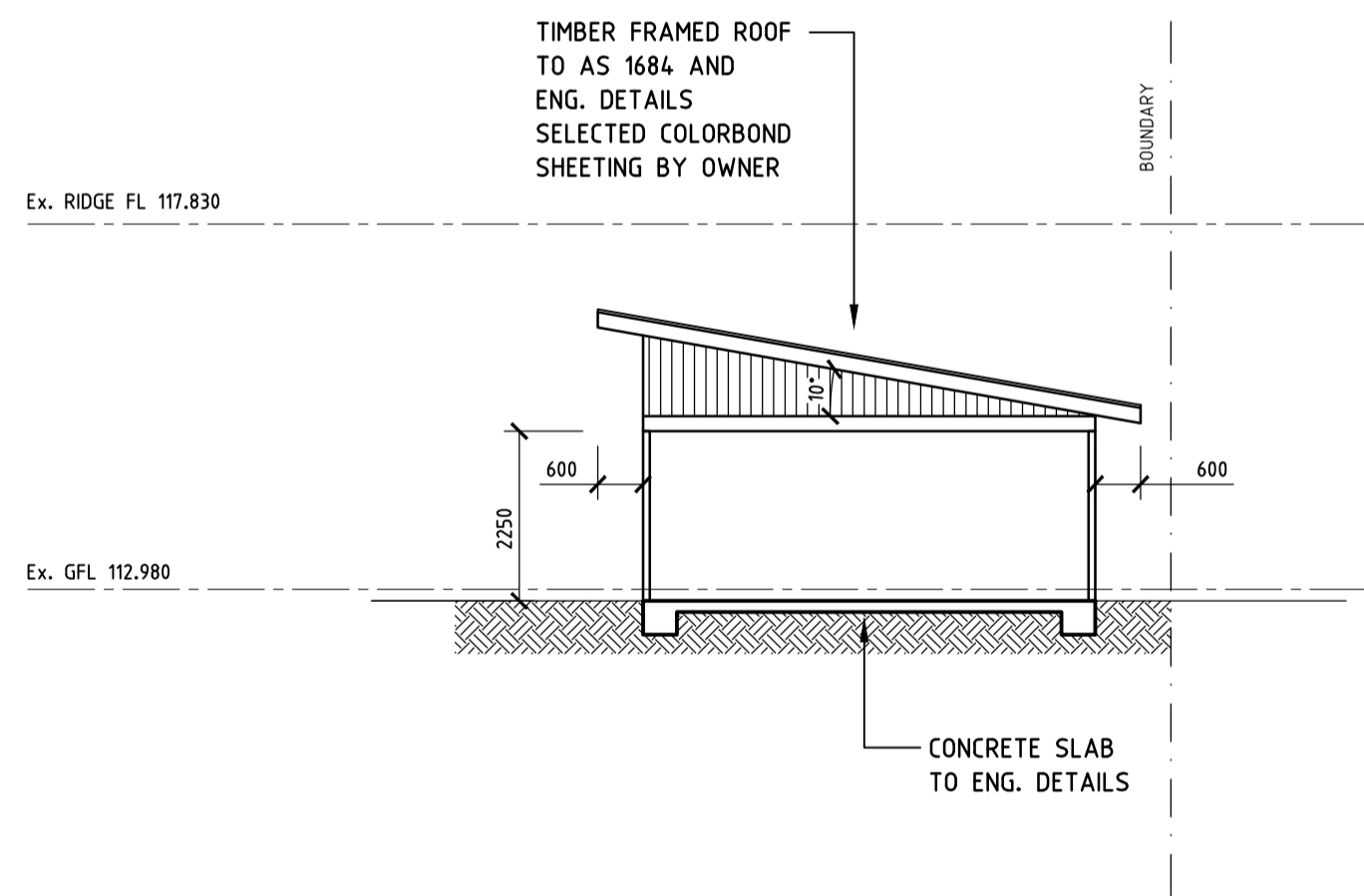
SOUTHERN ELEVATION



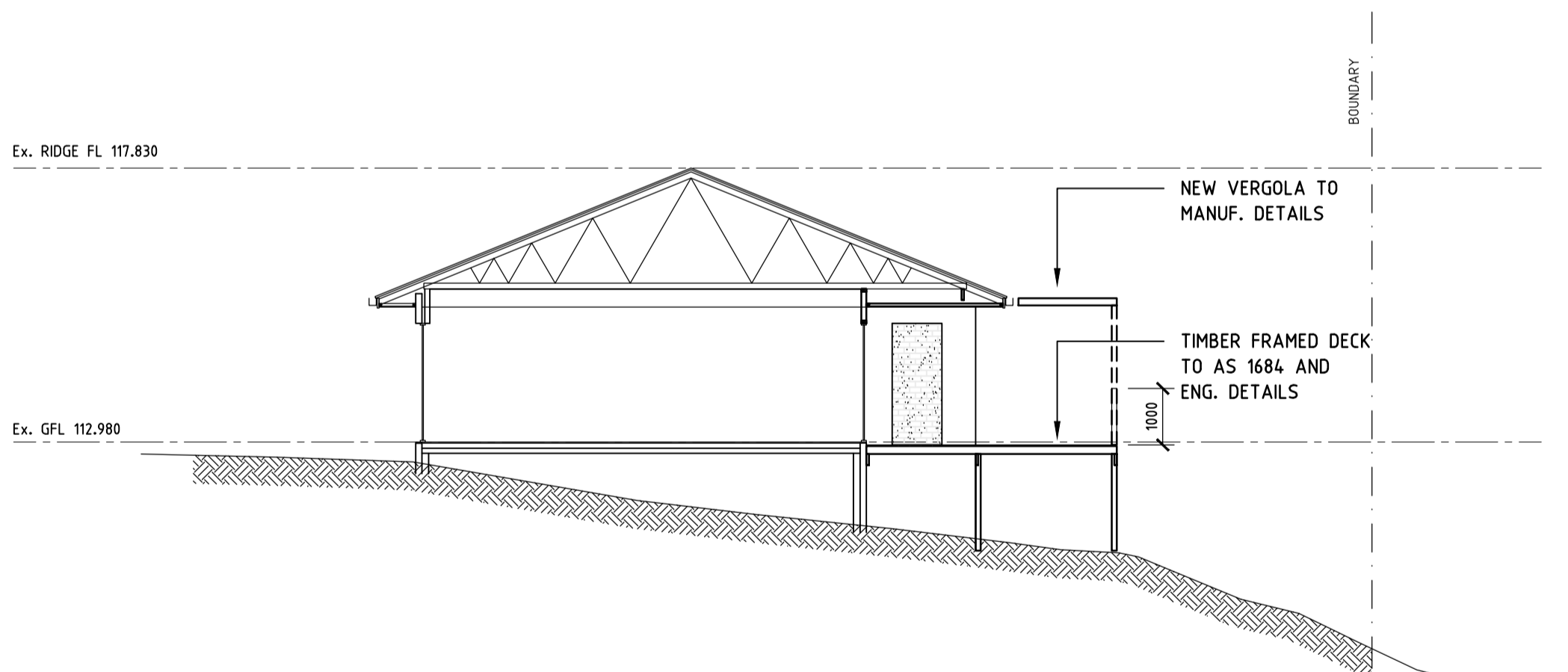
WESTERN ELEVATION



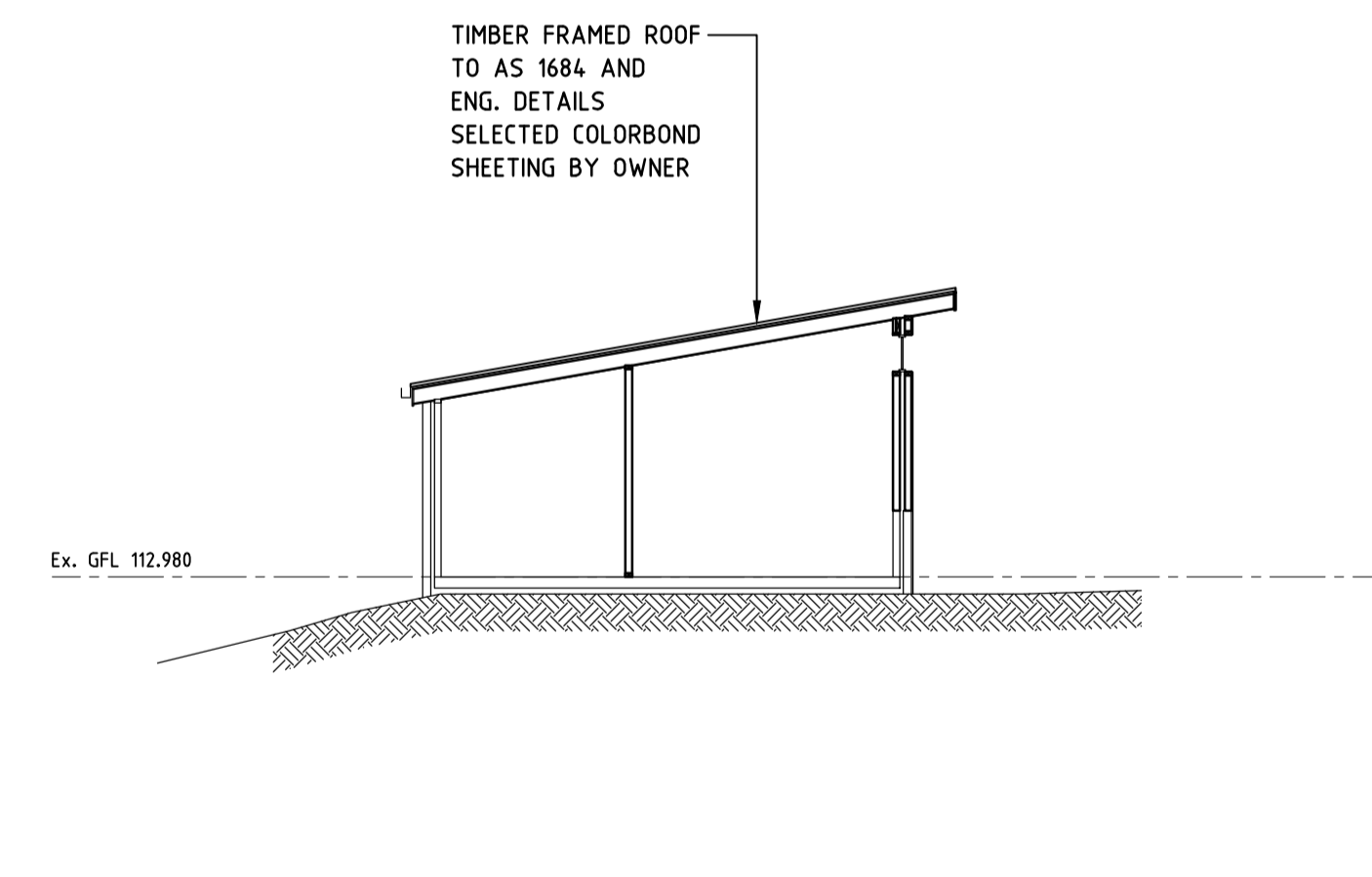
NORTHERN ELEVATION



WESTERN ELEVATION - CAPRPORT

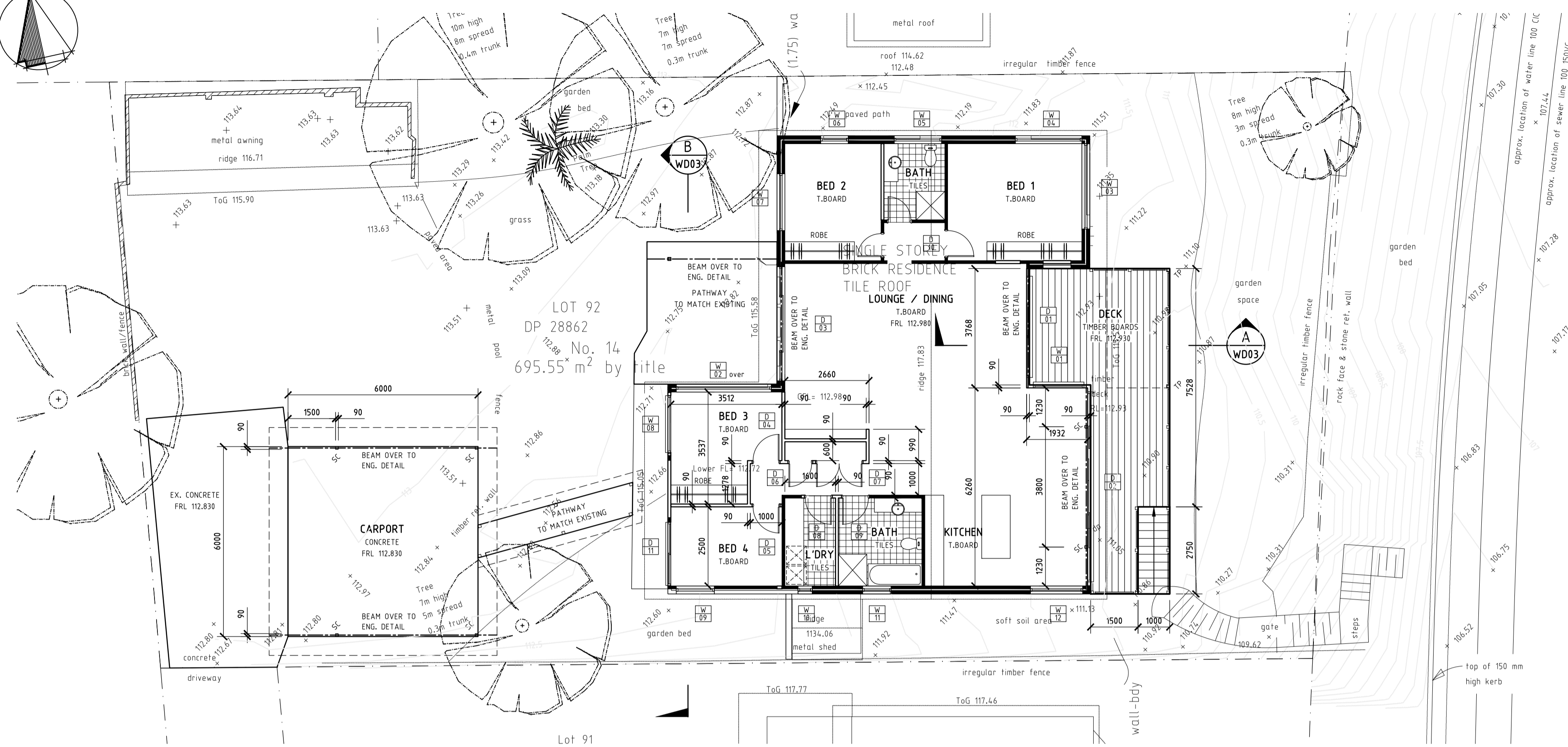
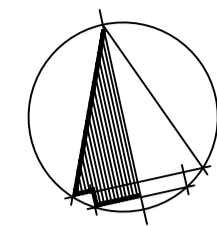


SECTION A

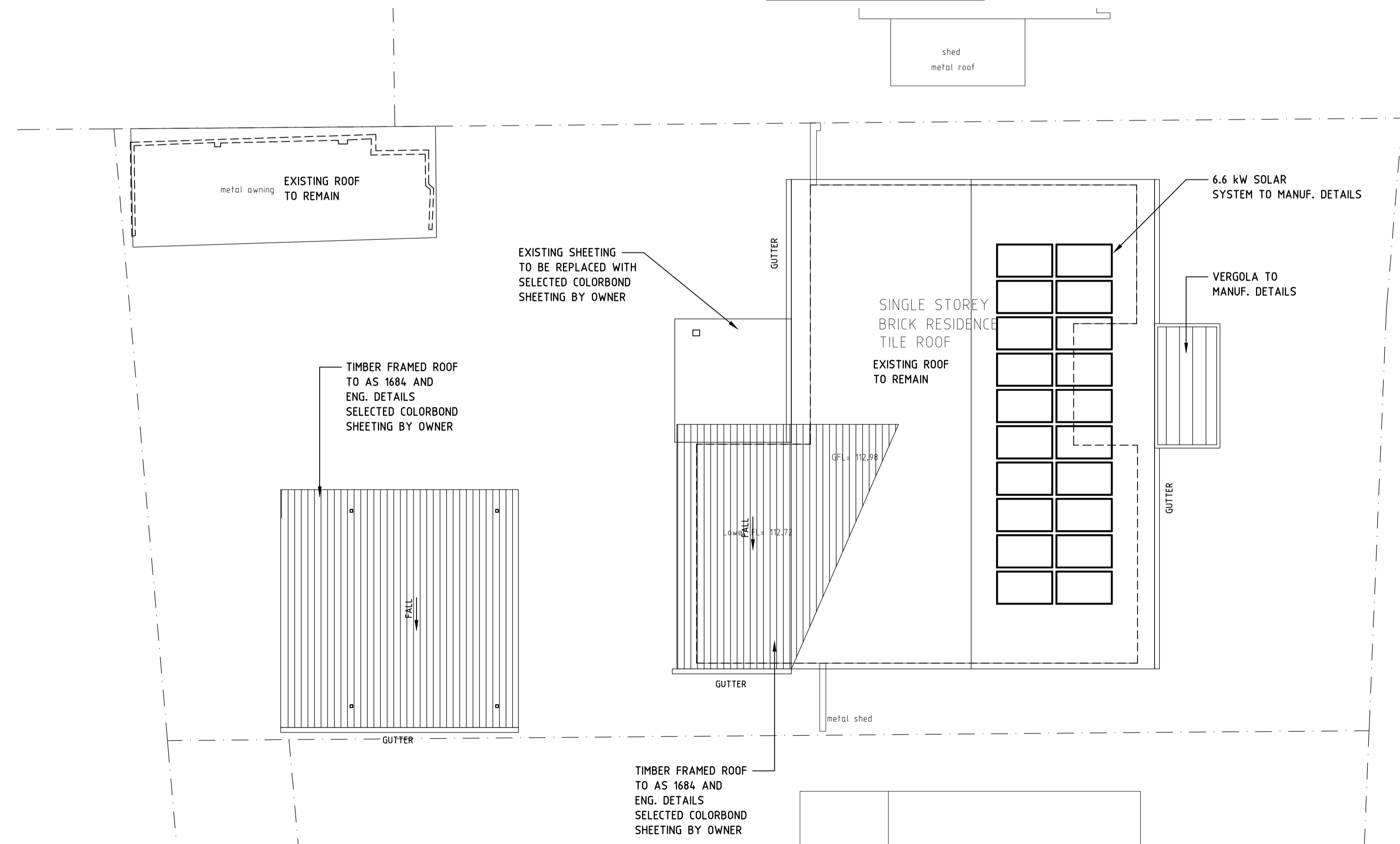


SECTION B

Project		
ALTERATIONS & ADDITIONS		
14 KANIMBLA CRESCENT		
BILGOLA PLATEAU		
Client		
Mr & MRS POPPLETON		
Title		
ELEVATIONS AND SECTIONS		
Date	Scale	A.C.W.
SEPT. 24'	1:100	
Job Number	Drawing	Rev
05/24	WD03	A



GROUND FLOOR PLAN



ROOF PLAN

KANIMBLA CRESCENT

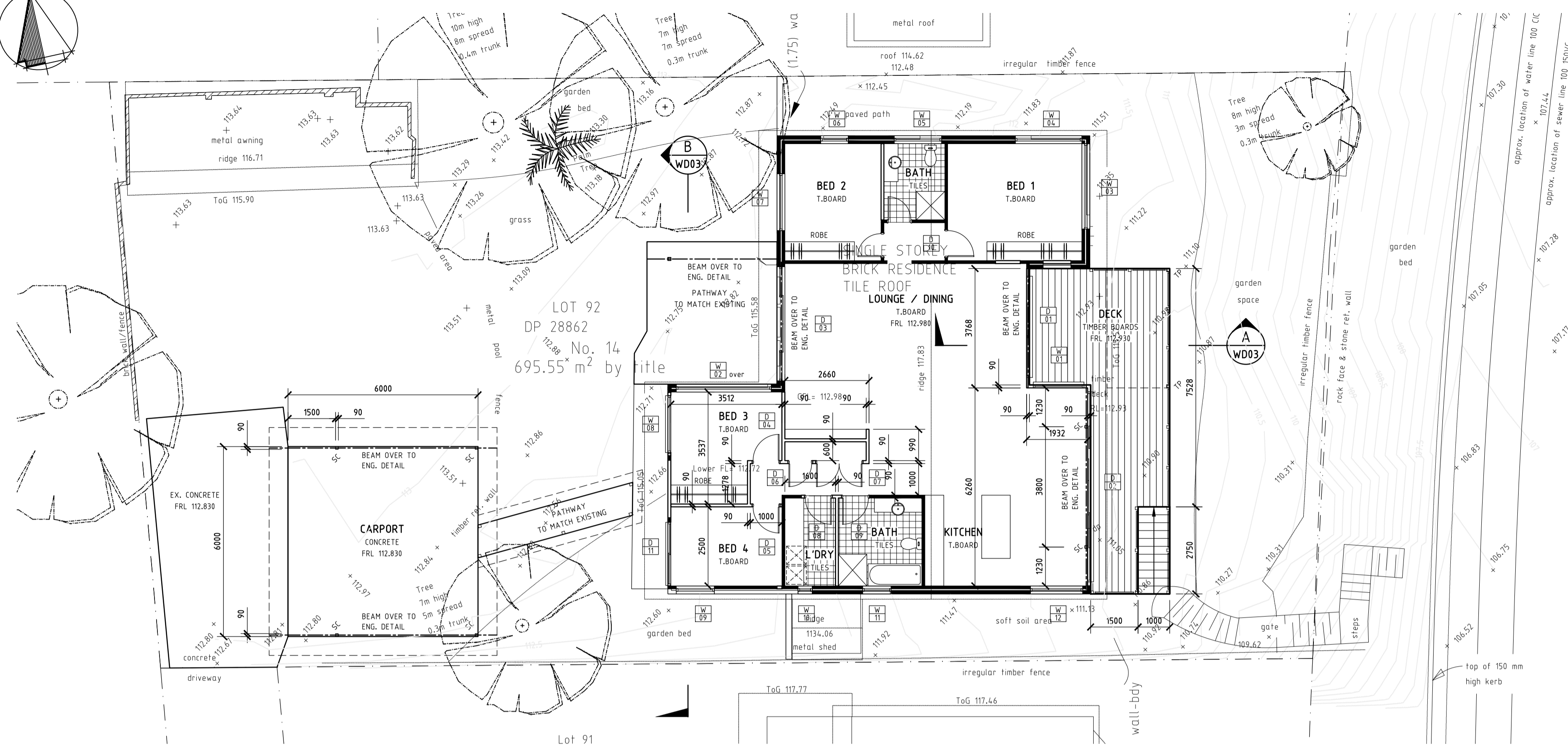
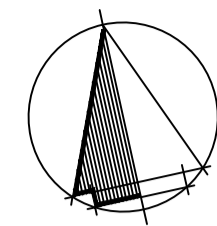
DOOR / WINDOW SCHEDULE		
MARK	FRAME SIZE H x W	REMARKS
D01	2300 x 3200	ALUMINIUM SLIDING DOOR
D02	2300 x 6000	ALUMINIUM SLIDING DOOR - STACKER
D03	2100 x 3600	ALUMINIUM SLIDING DOOR
D04	2032 x 820 x 32	INTERNAL DOOR
D05	2032 x 820 x 32	INTERNAL DOOR
D06	2032 x 720 x 32	INTERNAL DOOR
D07	2 / 2032 x 720 x 32	DOUBLE INTERNAL DOOR
D08	2032 x 820 x 32	INTERNAL DOOR
D09	2032 x 820 x 32	INTERNAL DOOR
D10	2032 x 820 x 32	INTERNAL DOOR
D11	2100 x 2000	ALUMINIUM SLIDING DOOR
W01	2200 x 1600	ALUMINIUM FIXED WINDOW
W02	600 x 3000	ALUMINIUM FIXED WINDOW
W03	1200 x 2700	ALUMINIUM AWNING / FIXED WINDOW
W04	1200 x 2100	ALUMINIUM SLIDING WINDOW - EXISTING
W05	600 x 1500	ALUMINIUM SLIDING WINDOW - EXISTING
W06	600 x 900	ALUMINIUM SLIDING WINDOW - EXISTING
W07	1200 x 1800	ALUMINIUM SLIDING WINDOW - EXISTING
W08	1200 x 1800	ALUMINIUM SLIDING WINDOW
W09	1200 x 1200	ALUMINIUM SLIDING WINDOW
W10	900 x 500	ALUMINIUM SLIDING WINDOW - EXISTING
W11	900 x 900	ALUMINIUM SLIDING WINDOW - EXISTING
W12	2200 x 1500	ALUMINIUM AWNING / FIXED WINDOW

LEGEND :

- NEW 110 BRICK WALL
- NEW TIMBER STUD WALL WITH 10mm GYPROCK LINING
- EXISTING WALL TO BE DEMOLISHED
- EXISTING WALL TO REMAIN

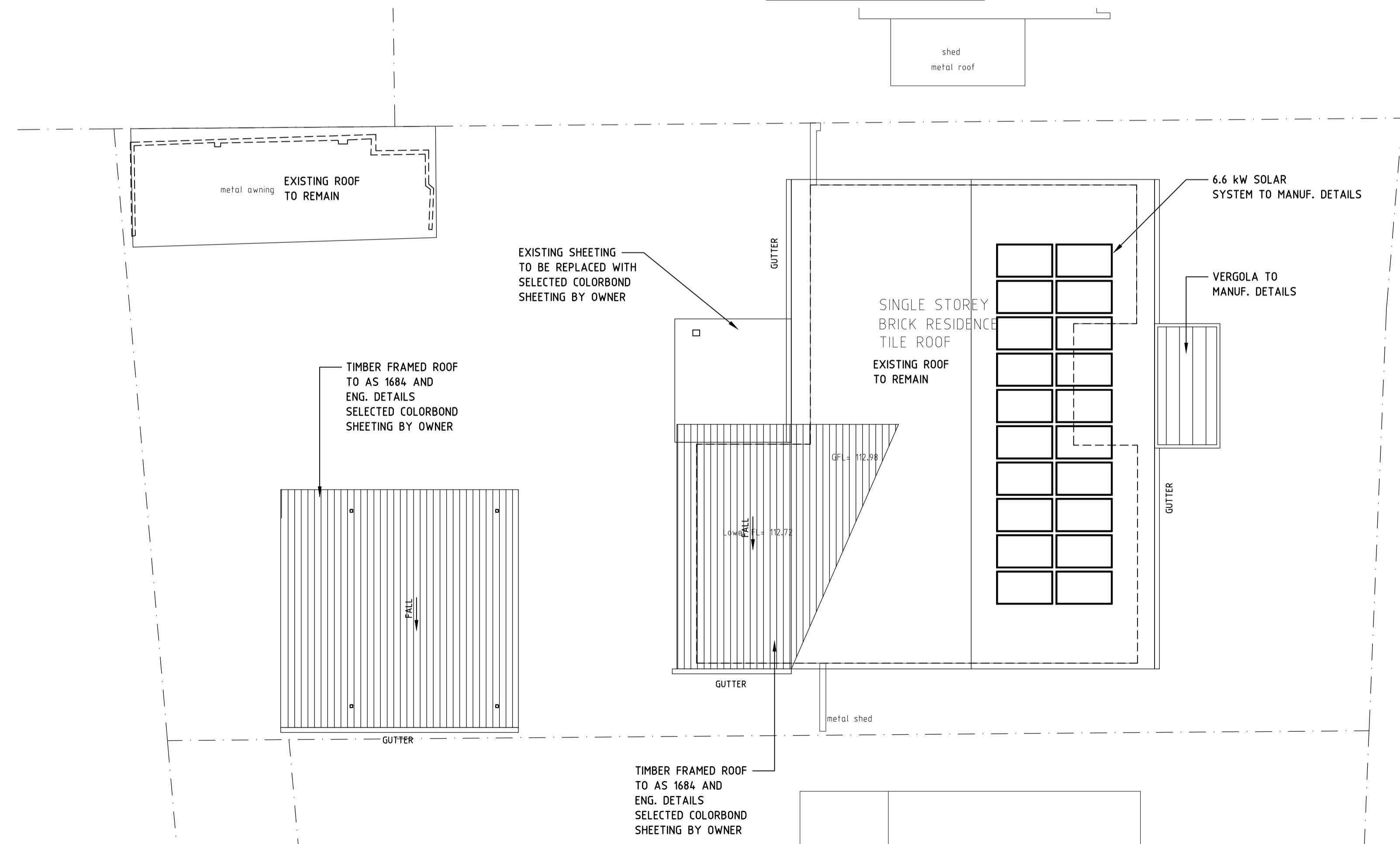
NOTE :
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Project	ALTERATIONS & ADDITIONS 14 KANIMBLA CRESCENT BILGOLA PLATEAU	
Client	Mr & MRS POPPLETON	
Title	SITE PLAN & FLOOR PLANS	
Date	Scale	
SEPT. 24'	1:100	
Job Number	Drawing	Rev
05/24	WD02	A



KANIMBLA CRESCENT

GROUND FLOOR PLAN



ROOF PLAN

DOOR / WINDOW SCHEDULE		
MARK	FRAME SIZE H x W	REMARKS
D01	2300 x 3200	ALUMINIUM SLIDING DOOR
D02	2300 x 6000	ALUMINIUM SLIDING DOOR - STACKER
D03	2100 x 3600	ALUMINIUM SLIDING DOOR
D04	2032 x 820 x 32	INTERNAL DOOR
D05	2032 x 820 x 32	INTERNAL DOOR
D06	2032 x 720 x 32	INTERNAL DOOR
D07	2 / 2032 x 720 x 32	DOUBLE INTERNAL DOOR
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W03	1200 x 2700	ALUMINIUM AWNING / FIXED WINDOW
W04	1200 x 2100	ALUMINIUM SLIDING WINDOW - EXISTING
W05	600 x 1500	ALUMINIUM SLIDING WINDOW - EXISTING
W06	600 x 900	ALUMINIUM SLIDING WINDOW - EXISTING
W07	1200 x 1800	ALUMINIUM SLIDING WINDOW - EXISTING
W08	1200 x 1800	ALUMINIUM SLIDING WINDOW
W09	1200 x 1200	ALUMINIUM SLIDING WINDOW
W10	900 x 500	ALUMINIUM SLIDING WINDOW - EXISTING
W11	900 x 900	ALUMINIUM SLIDING WINDOW - EXISTING
W12	2200 x 1500	ALUMINIUM AWNING / FIXED WINDOW

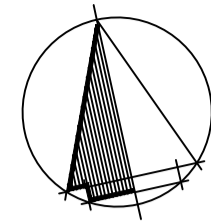
LEGEND :

- NEW 110 BRICK WALL
- NEW TIMBER STUD WALL WITH 10mm GYPROCK LINING
- EXISTING WALL TO BE DEMOLISHED
- EXISTING WALL TO REMAIN

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Project		14.11.24
ALTERATIONS & ADDITIONS 14 KANIMBLA CRESCENT BILGOLA PLATEAU		
Client		
Mr & MRS POPPLETON		
Title		
SITE PLAN & FLOOR PLANS		
Date	Scale	
SEPT. 24'	1:100	
Job Number	Drawing	Rev
05/24	WD02	A



Lot 89
DP 28862
No. 3 (Monterey Road)

Lot 91
DP 28862
No. 12

LOT 92
DP 28862
No. 14
695.55 m² by title

Lot 91
DP 28862
No. 16

Lot 1
DP 131913

SITE / DEMOLITION PLAN

NOTE :

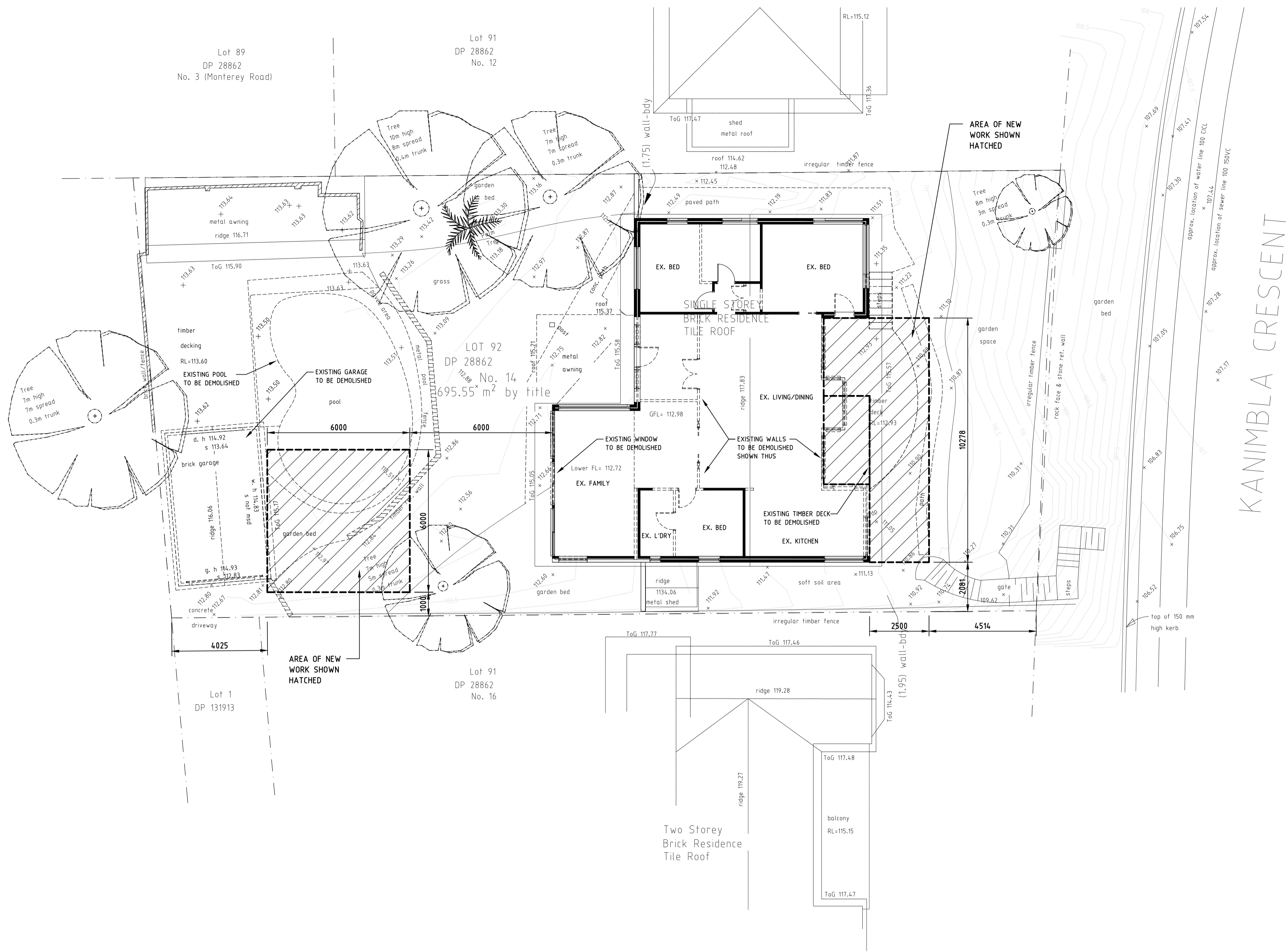
ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN OBTAINED FROM DA SURVEYS Pty Ltd. CONSULTING SURVEYORS ALL LEVELS SHOWN ARE TO A.H.D.

NOTE :

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EXISTING SITE COVERAGE ANALYSIS:	
TOTAL SITE AREA	= 695.55 m ²
AREA COMPONENTS:	
EXISTING HOUSE	= 159.0 m ²
EXISTING GARAGE	= 31.8 m ²
EXISTING AWNING	= 24.3 m ²
EXISTING PATIO	= 14.75 m ²
NEW CARPORT	
NEW DECK ADDITION	= 36.0 m ²
TOTAL	= 298.65 m ²
LAWN / LANDSCAPE	
EXISTING SITE COVERAGE	396.9/695.55 m ² = 57.1%
TOTAL HARDSTAND	
GROSS FLOOR AREA	
GROUND FLOOR	= 113.7 m ²
TOTAL	159/695.55 = 0.23

Project		
ALTERATIONS & ADDITIONS		
14 KANIMBLA CRESCENT		
BILGOLA PLATEAU		
Client		
Mr & MRS POPPLETON		
Title		
SITE PLAN		
Date	Scale	
SEPT. 24'	1:100	
Job Number	Drawing	Rev
05/24	WD01	A



SITE / DEMOLITION PLAN

NOTE :
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EXISTING SITE COVERAGE ANALYSIS:	
TOTAL SITE AREA	= 695.55 m ²
AREA COMPONENTS:	
EXISTING HOUSE	= 159.8 m ²
EXISTING GARAGE	= 31.1 m ²
EXISTING AWNING	= 25.3 m ²
NEW CARPORT	
NEW CARPORT	= 36.0 m ²
NEW DECK ADDITION	= 32.0 m ²
TOTAL	= 284.2 m ²
LAWN / LANDSCAPE	
EXISTING SITE COVERAGE	411.35/695.55 m ² = 59.1%
TOTAL HARDSTAND	
GROSS FLOOR AREA	
GROUND FLOOR	= 113.7 m ²
TOTAL	159.8/695.55 = 0.23

Project		
ALTERATIONS & ADDITIONS		
14 KANIMBLA CRESCENT		
BILGOLA PLATEAU		
Client		
Mr & MRS POPPLETON		
Title		
SITE PLAN		
Date	Scale	
SEPT. 24'	1:100	
Job Number	Drawing	Rev
05/24	WD01	A