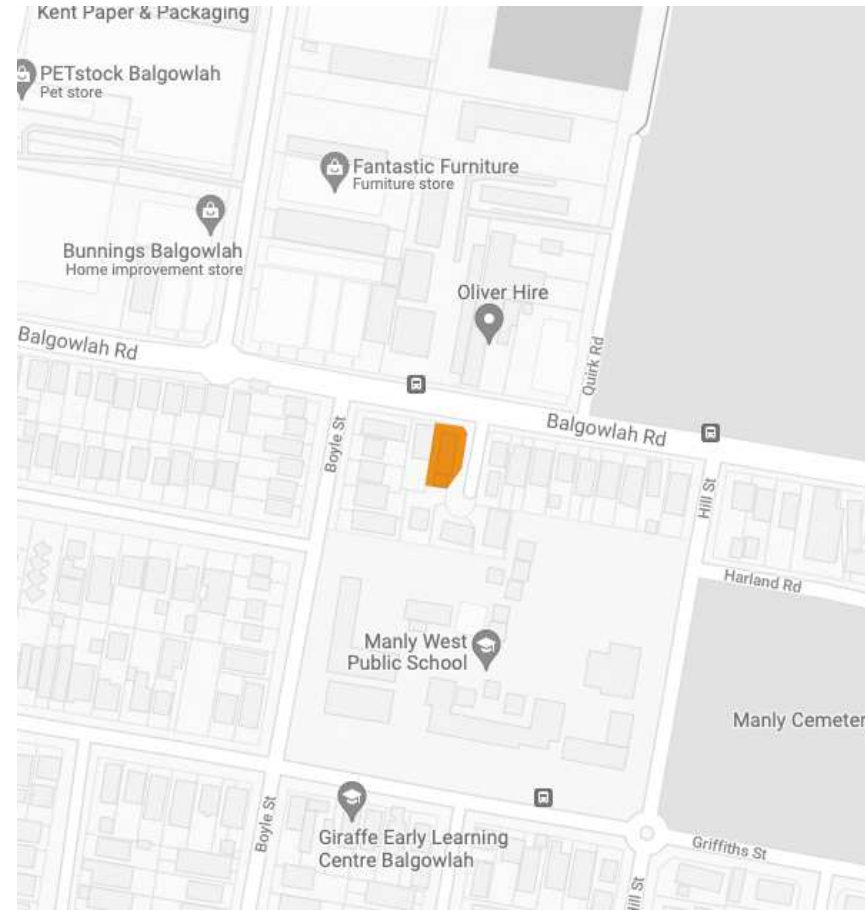









List of Abbreviations

AFFL	Above Finished Floor Level	PB	Plasterboard
AG	Agricultural Pipe	PBL	Pebble Ballast
AP	Access panel	PBM	Plasterboard Moisture Resistant
AW	Awning Window	PBF	Plasterboard or Fibre Cement Fire Rated Lining to BCA
B	Blind	PWC	Plywood Panel Wall Cladding
BFD	Bifolding Glazed Doors	PD	Planter Drain
BW	Brickwork	PL	Planter
BWF	Brick work face	P	Painted
BWS	Brick work soldier course	PR	Polycarbonate Roofing
		PV	Paving concrete
CL	Centre Line	R	Robe
CB	Concrete block reinforced if retaining wall	RH	Ranghood
CBF	Concrete Block facework	RWH	Rainwater Head
CJ	Control Joint	RWO	Rainwater Outlet
COS	Check On Site	RWT	Rainwater Tank
CPT	Carpet	RS	Rain Screen
CR	Cement Render	RTC	Roof Tile - Concrete
CS	Concrete Slab	RTT	Roof Tile - Terracotta
CT	Ceramic Tiling		
CW	Casement Window	ST	Stone
CWS	Cold Water Service	SD	Smoke Detector
DP	Downpipe	SDH	Sashless Double Hung Window
DPC	Damp Proof Course	SHR	Shower Head 2000 AFFL unless noted otherwise
DPM	Damp Proof Membrane	SK	Skirting
		SHS	Skylight
EDB	Electrical Distribution Board	SLD	Sliding door
EGL	Existing Ground Level	SLS	Sliding Louvre Screen
EJ	Expansion Joint	SS	Steel Stainless
EX	Existing	S	Steel
EXT	External	SF	Steel frame
		SP	Solar panel
FC	Fibrous Cement	SSW	Sashless Sliding Window
FCP	Fibrous Cement Panel	STD	Strip drain
FD	Floor Drain, cast into concrete	STP	Stormwater Pipe
FFL	Finished Floor Level	SW	Sandstone Wall
FGL	Finished Ground Level	SWP	Sewer Pipe
FG	Fixed Glazing		
FW	Floor Waste	TBD	Timber Bi-folding Doors
		TD	Timber Framed Doors
G	Glass	TDB	Timber Decking Boards
		TW	Timber Framed Windows
HC	Hose cock	TW	Timber wall cladding
		TPH	Toilet Paper Holder 500 AFFL
J	Joint	TR	Towel Rail 850 AFFL unless noted otherwise
		UC	Universal Steel Column
LS	Louvre Screen	U/S	Underside
LV	Louvre Vent	UG	Underground
		VB	Vapour Barrier
M	Masonry wall	VP	Vent Pipe
MA	Metal Awning		
MB	Metal Balustrade	WA	Window Awning
MR	Metal Roofing	WC	Water Closet
MS	Mild Steel	WM	Washing Machine
MW	Metal Walling	WPM	Water Proof Membrane
		WRC	Western Red Cedar
OP	Opaque Glazing	WS	Window Sliding
OS	Over low Spitter	WOV	Wall Oven
OFC	Off Form Concrete		



Wall & Floor Legend

	EXISTING		MASONRY		EXISTING TO BE DEMOLISHED
	TIMBER		BITUMINOUS		
	CONCRETE		GLASS		

Basix commitments

BASIX Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A457450

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled 'BASIX Alterations and Additions Definitions' dated 04/05/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Basix date of issue: Thursday, 05, May 2022

1200 valid. This certificate remains valid within 3 months of the date of issue.

NSW Planning, Industry & Environment

Description of project	
Project address	3/153 Balgowlah Road
Street address	153 Balgowlah Road Balgowlah 2093
Local Government Area	Manly Council
Plan type and number	Strata Plan SP1173
Lot number	3
Section number	
Project type	
Dwelling type	Unit
Type of alteration and addition	My renovation work is valued at \$50,000 or more.

Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name	Charlotte Vergnolle
ABN (if applicable)	NA

Construction	Insulation requirements	Show on DA Plans	Show on COCCDC Plans & specs	Comply
Insulation requirements	The applicant must construct the new or altered construction (floors, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Construction	Additional insulation required (R-value)			
Insulated floor above garage: concrete (R1.6)	nil			
Floor above existing dwelling or building:	nil			
external wall: cavity brick	nil			
external wall: framed (weatherboard, fibre, metal clad)	R1.30 (or R1.70 including construction)			
flat ceiling, pitched roof	ceiling: R2.95 (qpl, roof: flat backed blanket (75mm)			
inlet ceiling, pitched/skillion roof: framed	ceiling: R2.50 (qpl, roof: full-batten			

Glazing requirements	Windows and glazed doors	Show on DA Plans	Show on COCCDC Plans & specs	Comply
Glazing requirements	The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door. The following requirements must also be satisfied in relation to each window and glazed door: Each window or glazed door with standard aluminium or timber frames and single clear or tinted glass may either match the description, or have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Performance Rating Council (NPRC) conditions. Each window or glazed door with improved frames, or polyvinyl low-e glass, or clear/leaded glass, or tinted/leaded glass, or tinted/leaded glass must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Performance Rating Council (NPRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted. For projections described in millimetres, the leading edge of each awning, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill. Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35. External louvers and blinds must fully shade the window or glazed door beside which they are situated when fully drawn or closed. Pergolas with fixed louvers must have louvers parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between louvers must not be more than 50 mm. Pergolas with adjustable shading may have adjustable blades or removable shade cloths (not less than 80% shading ratio). Adjustable blades must overlap in plan view. Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Windows and glazed doors				

Window/door	Orientation	Area of glazing (m ²)	Overhanging (m)	Distance (m)	Shading device	Frame and glass type	Show on DA Plans	Show on COCCDC Plans & specs	Comply
R1	S	1	2.5	2.9	pergola (adjustable shade) =>500 mm	standard aluminium, single clear, (or double 7.6L SHGC: 0.76)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
R2	N	2	2.9	2.9	pergola (adjustable shade) =>500 mm	standard aluminium, single clear, (or double 7.6L SHGC: 0.76)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
R3	E	4.8	0	0	external louvers/blind (adjustable)	standard aluminium, single clear, (or double 7.6L SHGC: 0.76)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
R4	E	1	0	0	external louvers/blind (adjustable)	standard aluminium, single tinted low-e, (or double 5.7 SHGC: 0.81)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
R5	W	10	0	0	external louvers/blind (adjustable)	standard aluminium, single clear, (or double 7.6L SHGC: 0.76)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
R6	N	2	2.5	2.9	pergola (adjustable shade) =>500 mm	standard aluminium, single clear, (or double 7.6L SHGC: 0.76)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
R7	S	4	2.5	2.9	pergola (adjustable shade) =>500 mm	standard aluminium, single clear, (or double 7.6L SHGC: 0.76)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
R8	E	5	6	3.6	none	standard aluminium, single clear, (or double 7.6L SHGC: 0.76)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
R9	E	2.5	0	0	external louvers/blind (adjustable) =>400 mm	standard aluminium, single tinted low-e, (or double 5.7 SHGC: 0.81)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

Legend	
Committed identified with a "Y" in the "Comply" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).	
Committed identified with a "Y" in the "Show on COCCDC Plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.	
Committed identified with a "Y" in the "Comply" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.	

Development Application Issue

for

Alteration & Addition of unit 3 and existing Garage & Strata Lot Subdivision

at

3/153 Balgowlah Rd,
Balgowlah NSW

for

Austin Ware & Charlotte Vergnolle

Revision Date.

11.05.2022

Project No.

2101

Drawing list

DA	Cover Page
DA00	Site Analysis
DA01	Proposed Site Plan
DA02	Ground Floor Proposed plan
DA03	Level 1 proposed plan
DA04	Sections
DA05	Street Elevations & Finishes
DA06	Side Elevations & Finishes
DA07	Shadow Diagram Plan
DA08	Shadow Diagram Elevation
DA09	Landscape Plan
DA10	Area Calculation
DA11	Erosion Control Plan
DA12	Proposed Subdivision Plan
DA13	Notification Plan

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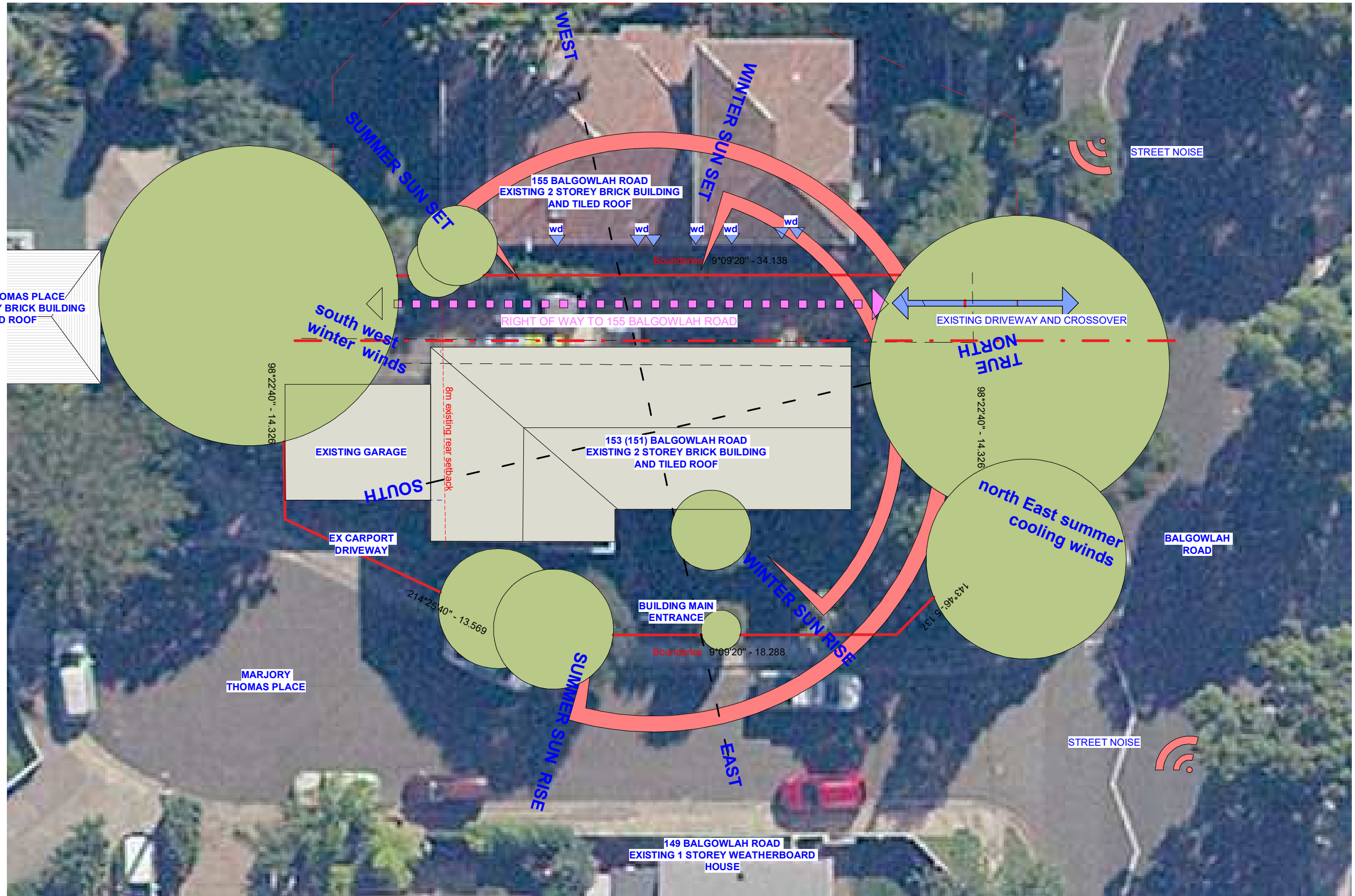
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5 MARJORY THOMAS PLACE
EXISTING 2 STOREY BRICK BUILDING
AND TILED ROOF



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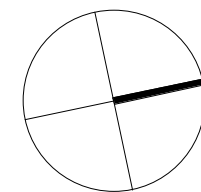
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D	11.05.2022	Issued for DA	CV
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Project
Austin Ware & Charlotte Vergnolle
3/153 Balgowlah Rd, Balgowlah NSW
Drawing Title
Site Analysis

Scale at A3
1 : 200

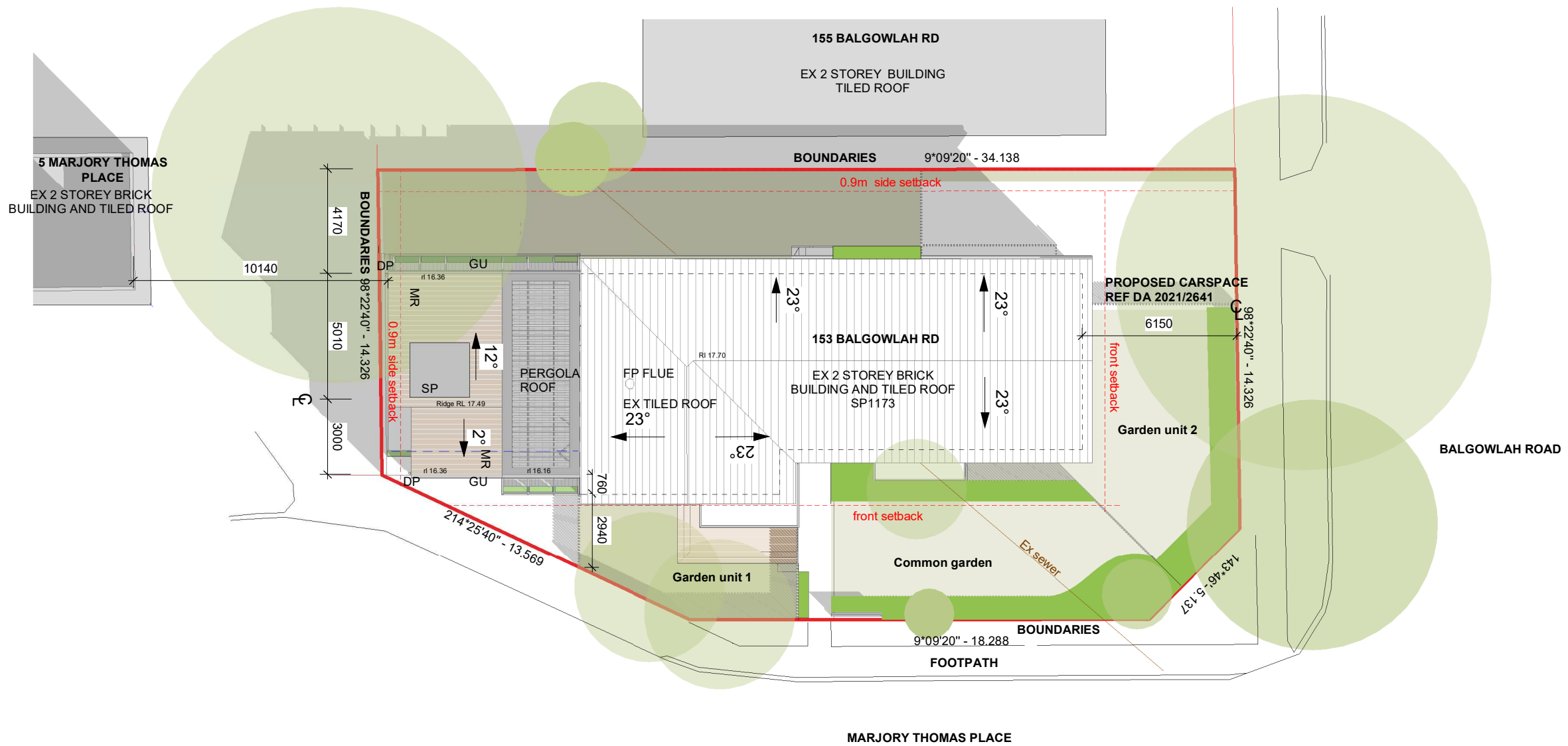
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2101

Rev No.

Revision Date.
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D **DA01**



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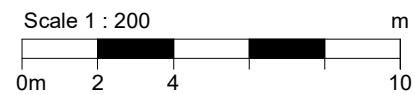
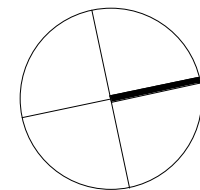
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Drawing Title
Proposed Site Plan

Scale at A3
1 : 200

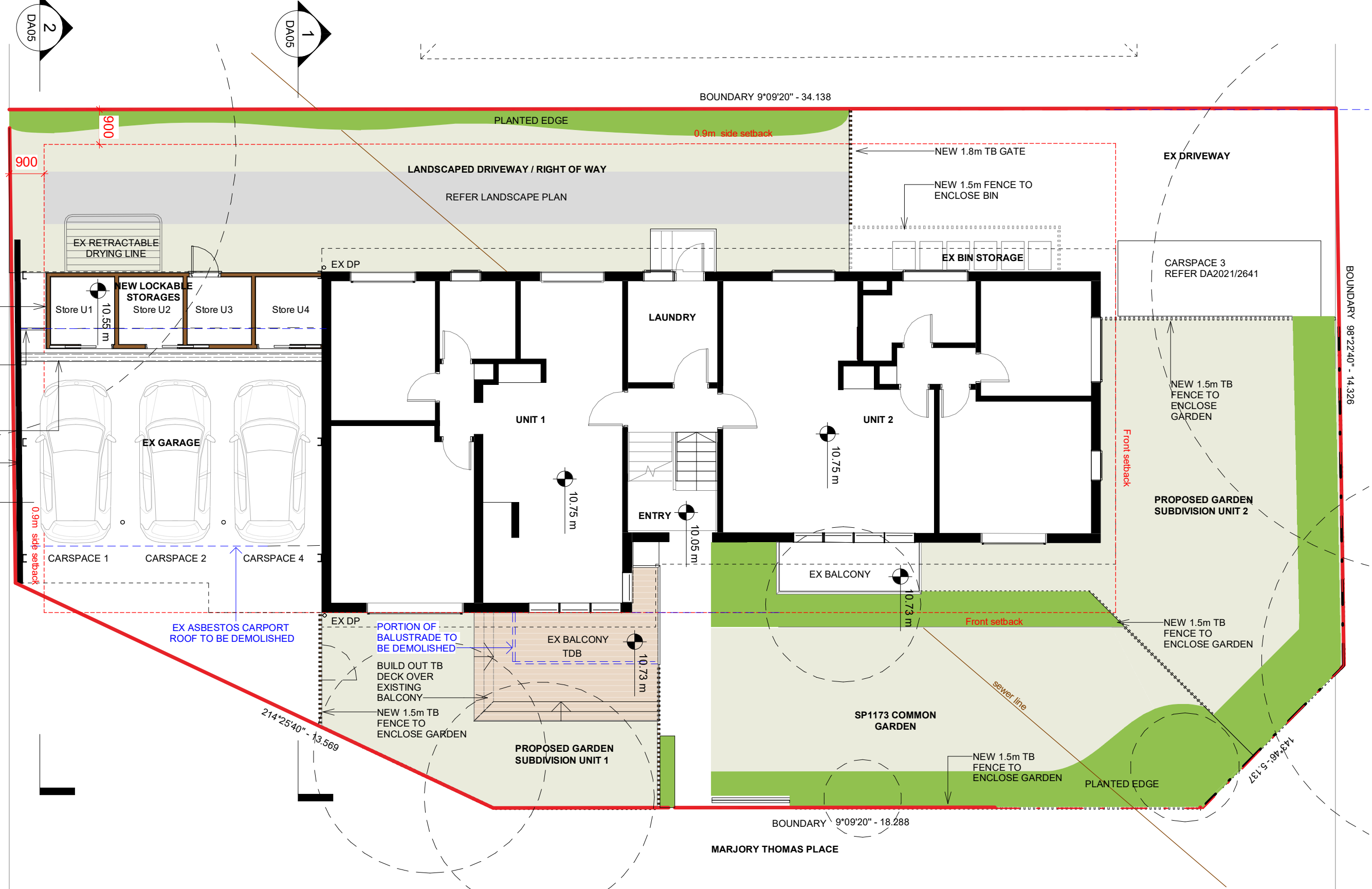
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2101

Rev No.

D

Revision Date.
11.05.2022

Drawing No.
DA02



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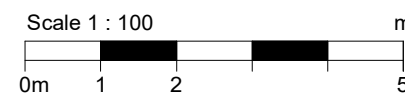
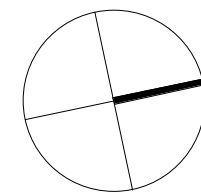
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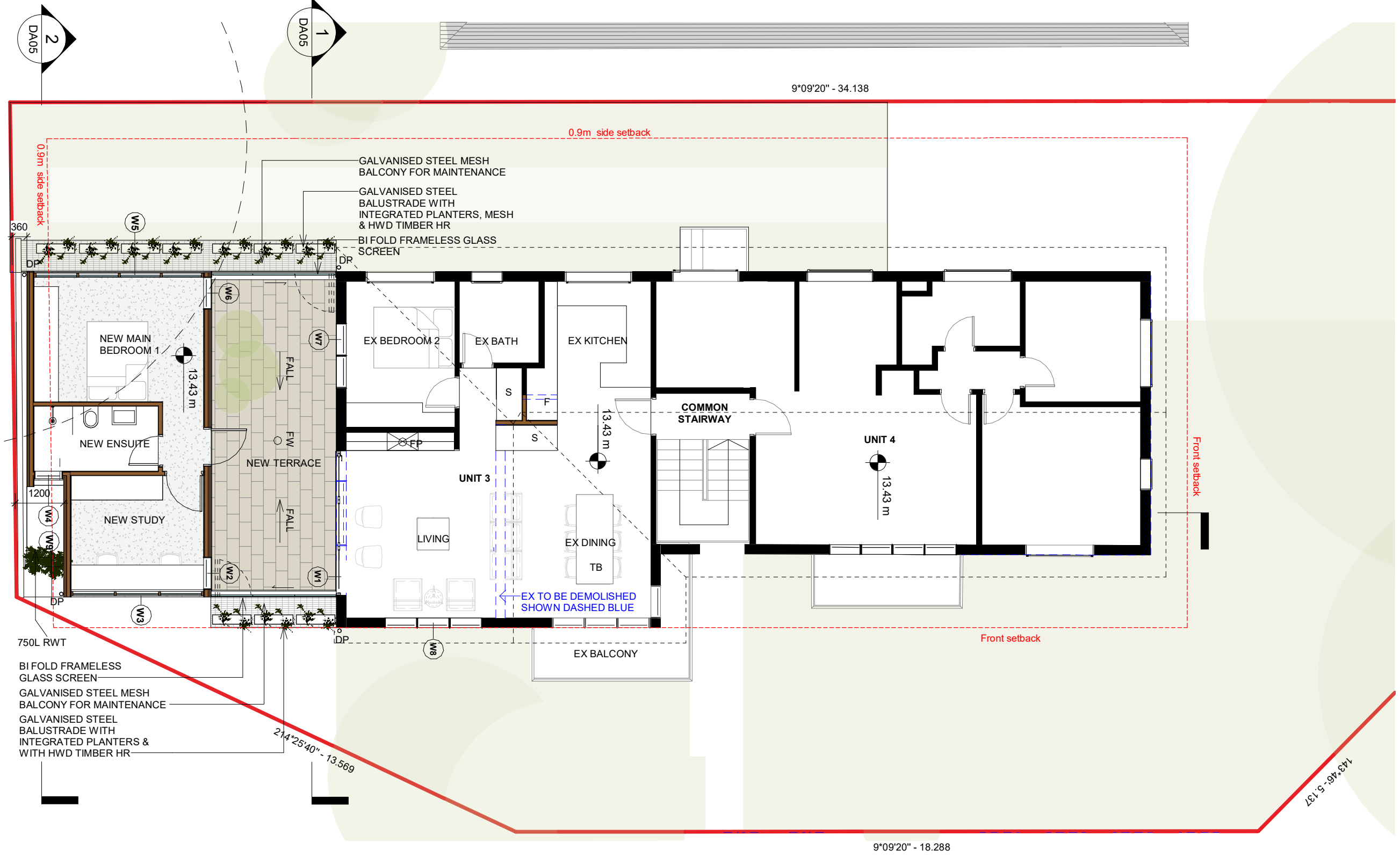
Project
Austin Ware & Charlotte Vergnolle
3/153 Balgowlah Rd, Balgowlah NSW
Drawing Title
Ground Floor Proposed plan

Scale at A3
1 : 100

Project No.
2101

Revision Date.
11.05.2022

Rev No. **D**
Drawing No. **DA03**



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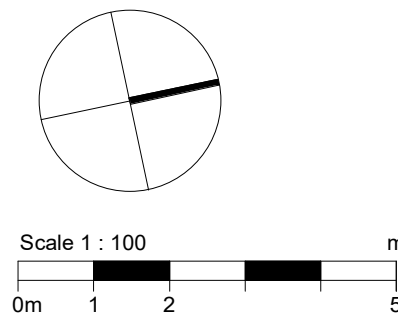
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Project
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3/153 Balgowlah Rd, Balgowlah NSW
Drawing Title
Level 1 proposed plan

Scale at A3
1 : 100

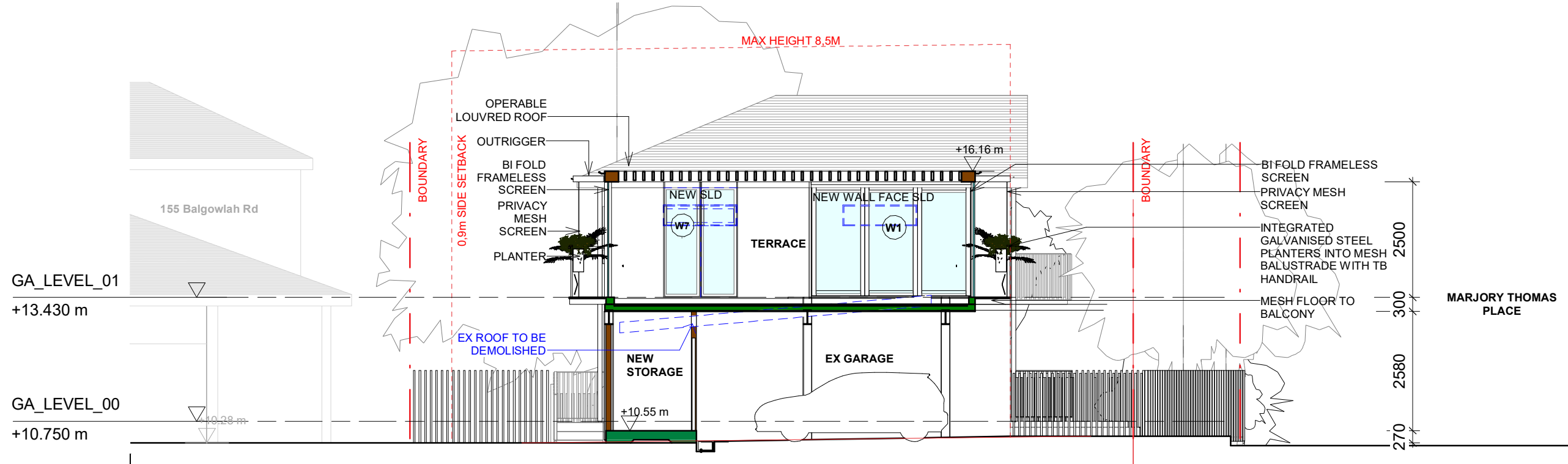
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Revision Date.
11.05.2022

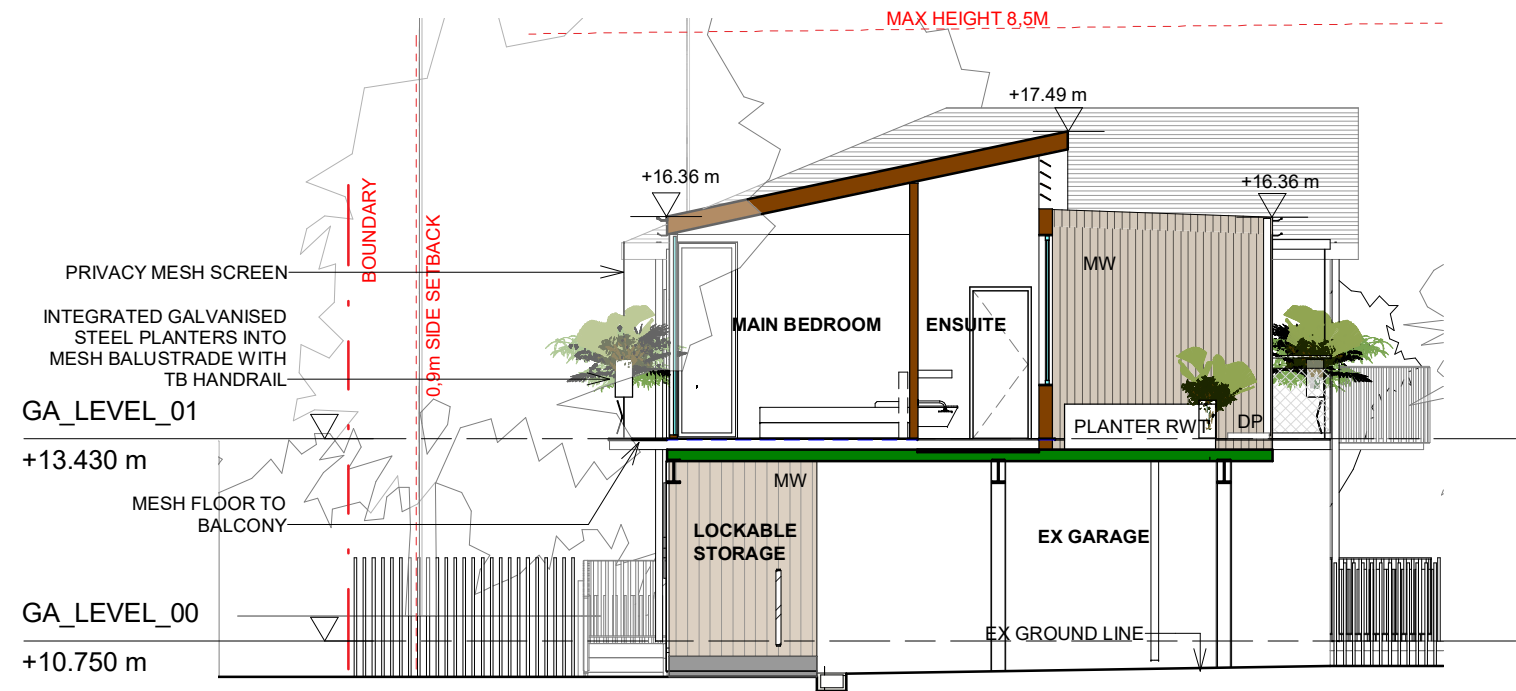
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Drawing No.
DA04

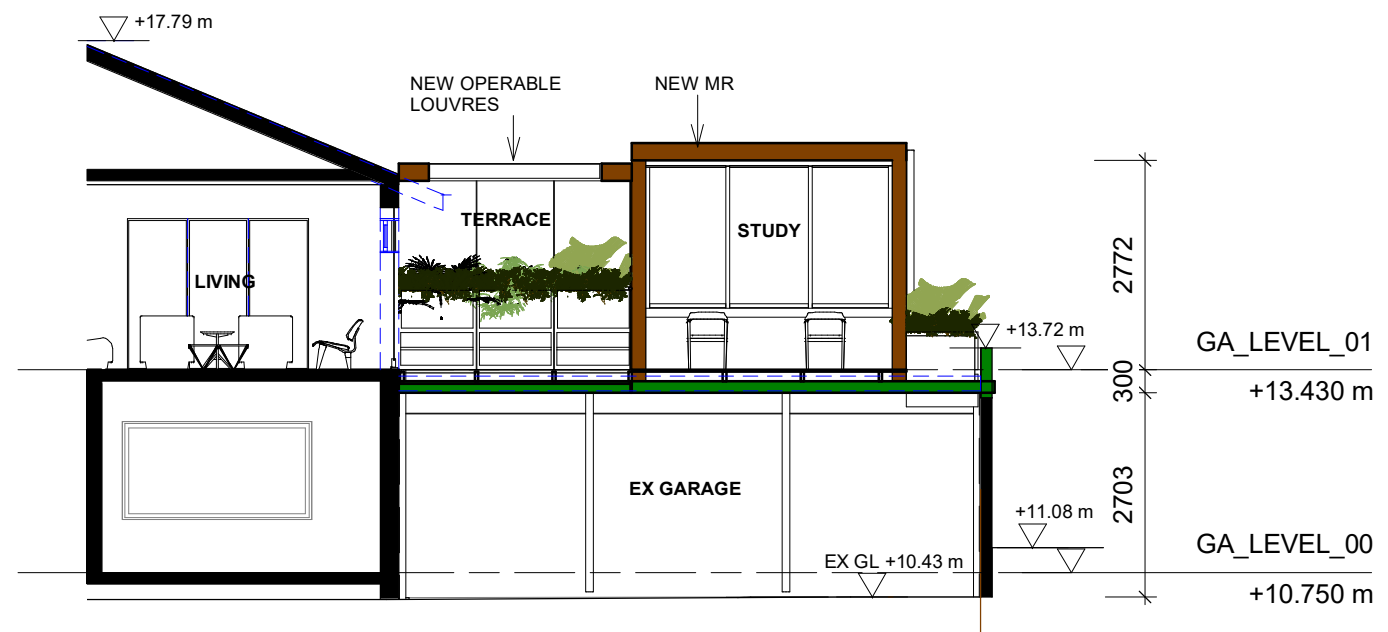
D



1 East West Section through terrace
1 : 100 REF:1/A2000



2 East West Section through main bed
1 : 100 REF:1/DA03



3 North South Section
1 : 100 REF:1/A2000

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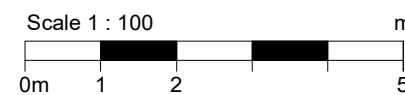
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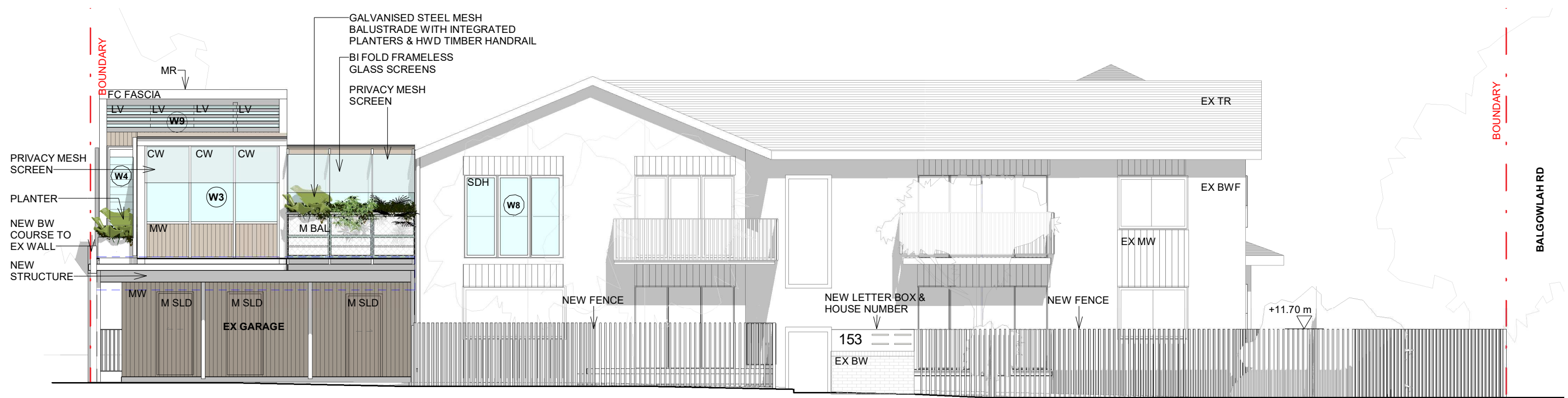
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Project
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3/153 Balgowlah Rd, Balgowlah NSW
Drawing Title
Sections
Scale at A3
1 : 100
Project No.
2101
Revision Date.
11.05.2022
Rev No.
D
Drawing No.
DA05



1 Proposed East Elevation - Marjory Thomas Place
1 : 100



2 North Elevation- Balgowlah Road
1 : 100

FINISHES



EX BRICKWORK



METAL WALL AND ROOFING



GALVANISED STEEL



GALVANISED STEEL PLANTER



WHITE ALUMINUM WINDOW
FC WHITE FINISH



GALVANISED MESH STEEL

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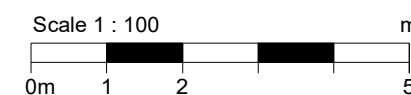
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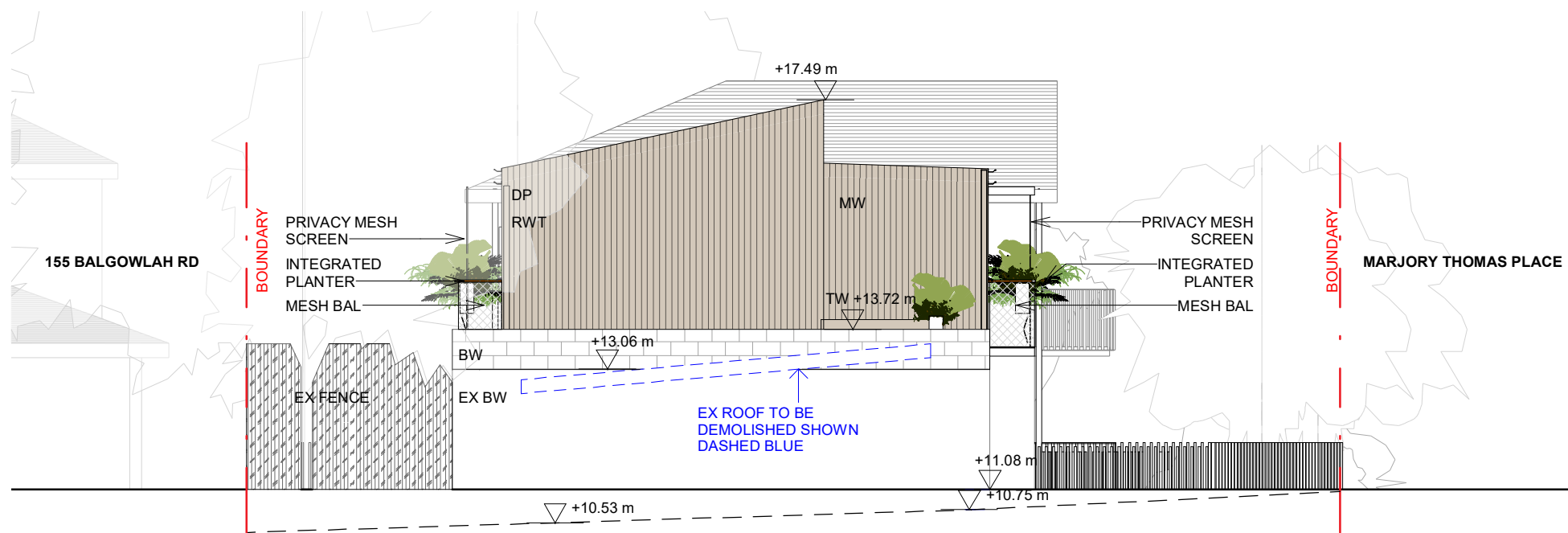
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Project
Austin Ware & Charlotte Vergnolle
3/153 Balgowlah Rd, Balgowlah NSW
Drawing Title
Street Elevations & Finishes
Scale at A3
1 : 100
Project No.
2101
Revision Date.
11.05.2022
Rev No.
D
Drawing No.
DA06



1 South Elevation
1 : 100

FINISHES



EX BRICKWORK



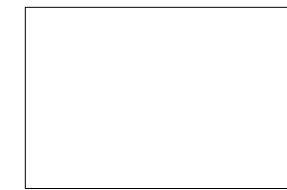
METAL WALL AND ROOFING



STAINLESS STEEL



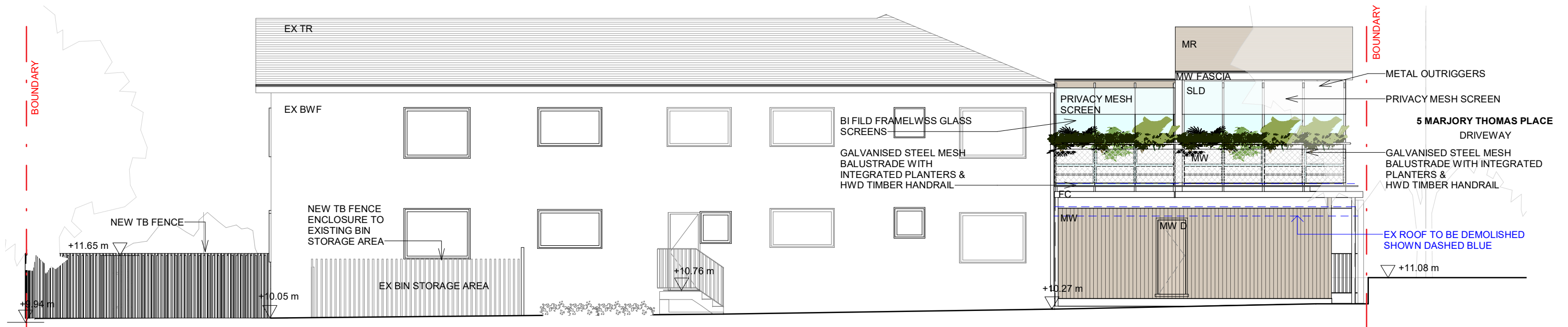
STAINLESS STEEL PLANTER



WHITE ALUMINUM WINDOW
FC WHITE FINISH



WHITE PAINTED TB FENCE



2 West Elevation.
1 : 100

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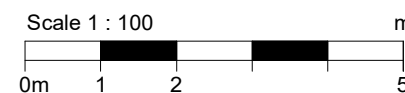
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DRAWING STATUS

REV	Date	Reason For Issue	Chk
D	11.05.2022	Issued for DA	CV
C	02.05.2022	Issued for owner consent	CV
B	27.04.2022	Issued for Information	CV
A	23.03.2022	Issue for Information	CV

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Project
Austin Ware & Charlotte Vergnolle
3/153 Balgowlah Rd, Balgowlah NSW
Drawing Title
Side Elevations & Finishes

Scale at A3
1 : 100

Project No.
2101

Revision Date.
11.05.2022

Rev No.

Drawing No.
DA07

D

SEDIMENT AND EROSION CONTROL NOTES

SEDIMENT AND EROSION CONTROL SHALL BE EFFECTIVELY MAINTAINED AT ALL TIMES DURING THE COURSE OF CONSTRUCTION AND SHALL NOT BE REMOVED UNTIL THE SITE HAS BEEN STABILISED OR LANDSCAPED TO THE PRINCIPAL'S SATISFACTION.

A SINGLE ALL WEATHER ACCESS WAY WILL BE PROVIDED WHERE FRONECESSARY CONSISTING OF 50-75 AGGREGATE OR SIMILAR MATERIAL AT A MINIMUM THICKNESS OF 150 LAID OVER NEEDLE-PUNCHED GEOTEXTILE FABRIC AND CONSTRUCTED PRIOR TO COMMENCEMENT OF WORKS.

THE CONTRACTOR SHALL ENSURE THAT NO SPOIL OR FILL ENCROACHES UPON ADJACENT AREAS FOR THE DURATION OF WORKS.

THE CONTRACTOR SHALL ENSURE THAT KERB INLETS AND DRAINS RECEIVING STORMWATER SHALL BE PROTECTED AT ALL TIMES DURING DEVELOPMENT. KERB INLET SEDIMENT TRAPS SHALL BE INSTALLED ALONG THE IMMEDIATE VICINITY ALONG THE STREET FRONTAGE.

SEDIMENT FENCING SHALL BE SECURED BY POST (WHERE METAL STAR PICKETS ARE USED PLASTIC SAFETY CAPS SHALL BE USED) AT 2000 INTERVALS WITH GEOTEXTILE FABRIC EMBEDDED 200 IN SOIL.

ALL TOPSOIL STRIPPED FORM THE SITE AND STOCKPILED DOES NOT INTERFERE WITH DRAINAGE LINES AND STORMWATER INLETS AND WILL BE SUITABLY COVERED WITH AN IMPERVIOUS MEMBRANE MATERIAL AND SCREENED BY SEDIMENT FENCING.

SOIL CONSERVATION NOTE:

PRIOR TO COMMENCEMENT OF CONSTRUCTION PROVIDE 'SEDIMENT FENCE,' 'SEDIMENT TRAP' AND WASHOUT AREA TO ENSURE THE CAPTURE OF WATER BORNE MATERIAL GENERATED FROM THE SITE.

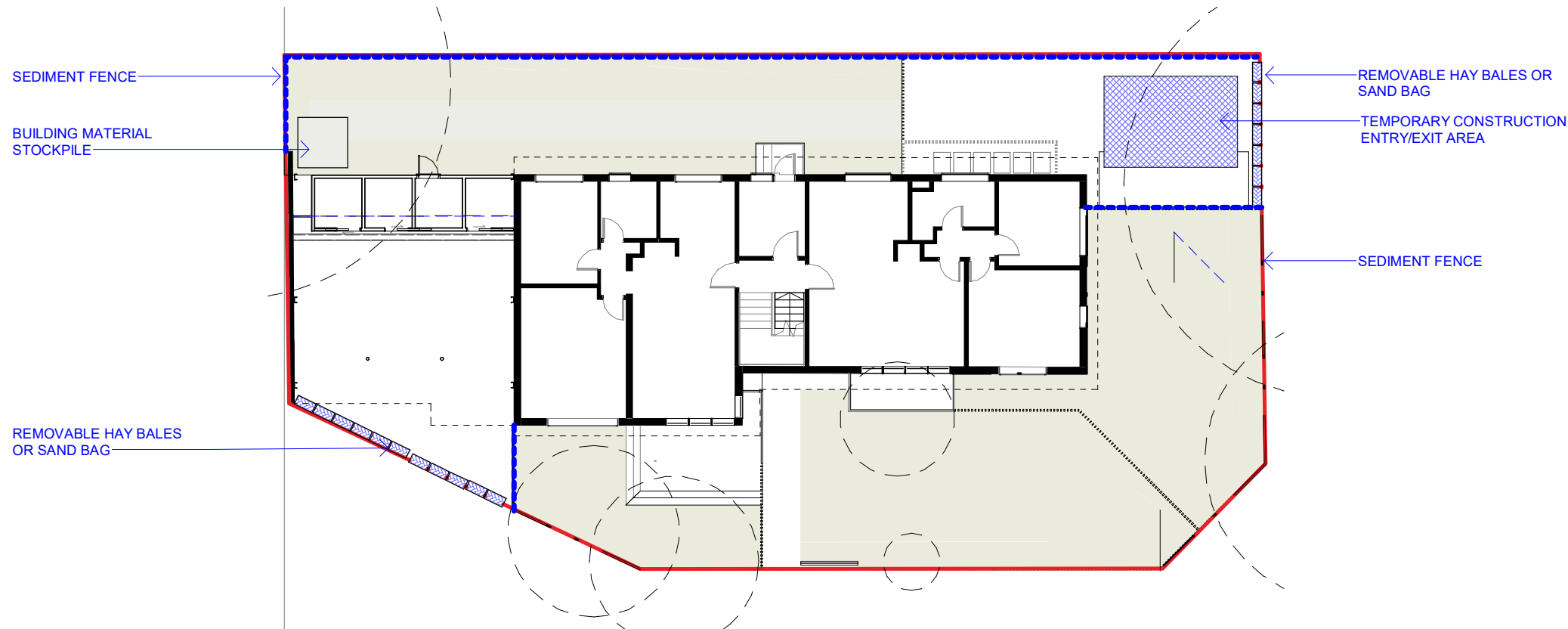
MAINTAIN THE ABOVE DURING THE COURSE OF CONSTRUCTION, AND CLEAR THE 'SEDIMENT TRAP' AFTER EACH STORM.

SEDIMENT TRAP

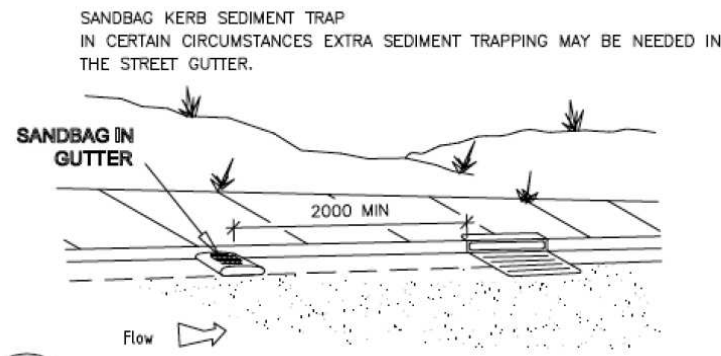
900 x 900 WIDE 500 DEEP PIT, LOCATED AT THE LOWEST POINT TO THE TRAP SEDIMENT.

WASHOUT AREA

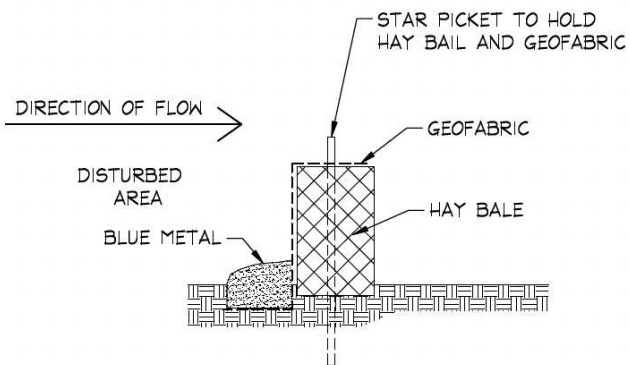
TO BE 900 x 900 ALLOCATED FOR THE WASHING OF TOOL & EQUIPMENT.



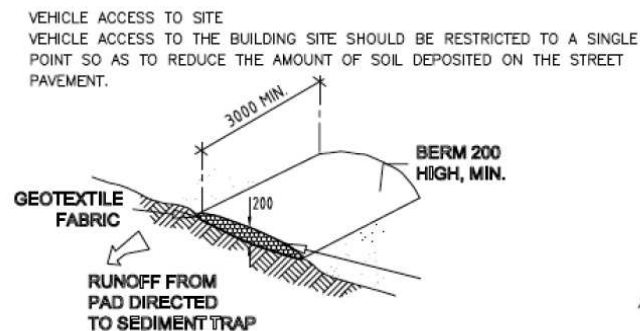
SANDBAG KERB INLET SEDIMENT TRAP TYPICAL DETAIL



SEDIMENT FENCE TYPICAL DETAIL



TEMPORARY CONSTRUCTION ENTRY TYPICAL DETAIL



BUILDING MATERIAL STOCKPILES TYPICAL DETAIL

BUILDING MATERIAL STOCKPILES ALL STOCKPILES OF BUILDING MATERIAL SUCH AS SAND AND SOIL MUST BE PROTECTED TO PREVENT SCOUR AND EROSION. THE SHOULD NEVER BE PLACED IN THE STREET GUTTER WHERE THEY WILL WASH AWAY WITH THE FIRST RAINSTORM.



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tel +61 (0) 0481 341 417
charlotte@oulalaarchitects.com

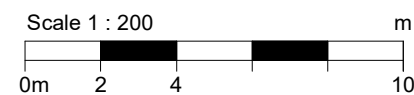
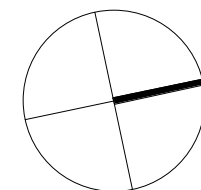
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DRAWING STATUS

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REV	Date	Reason For Issue	Chk

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Project
Austin Ware & Charlotte Vergnolle
3/153 Balgowlah Rd, Balgowlah NSW
Drawing Title
Erosion Control Plan

Scale at A3
1 : 200

Project No.
2101

Revision Date.
11.05.2022

Rev No. **C**
Drawing No. **DA12**



1 Lomandra longifolia
spiny-head mat-rush



2 Concrete



3 Grass pavers



4 Pebbles



5 Anigozanthos
Kangaroo paw



6 Banksia integrifolia



7 Dwarf thryptomene
Payne's Thryptomene



8 Grevillea



9 Crassula Arborescens
Silver Dollar Plant



10 Hardenbergia
Happy Wanderer



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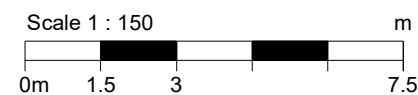
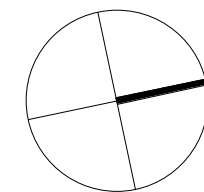
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Project
Austin Ware & Charlotte Vergnolle
3/153 Balgowlah Rd, Balgowlah NSW
Drawing Title
Landscape Plan

Scale at A3
1 : 150

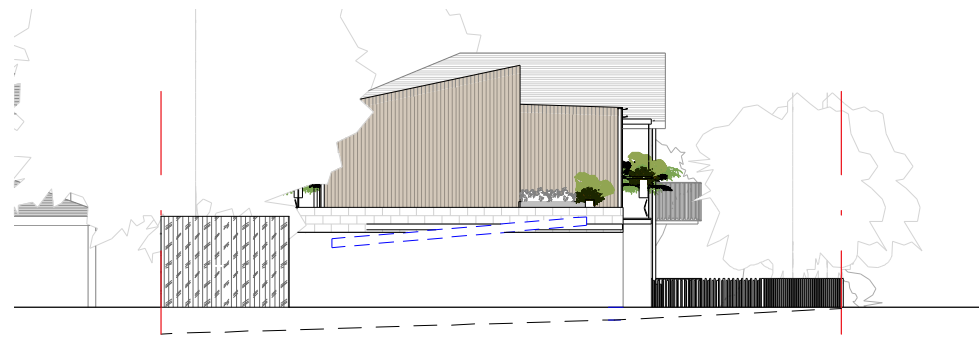
Project No.
2101

Rev No.

D

Revision Date.
11.05.2022

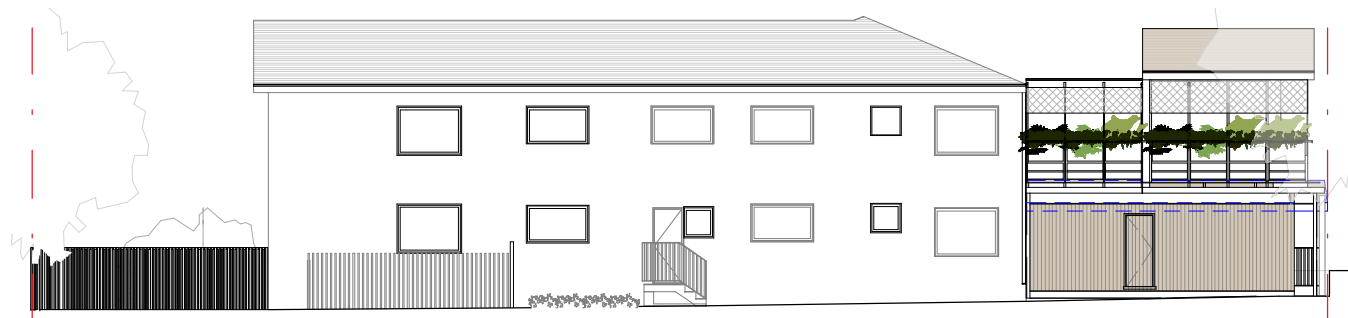
Drawing No.
DA10



SOUTHERN ELEVATION



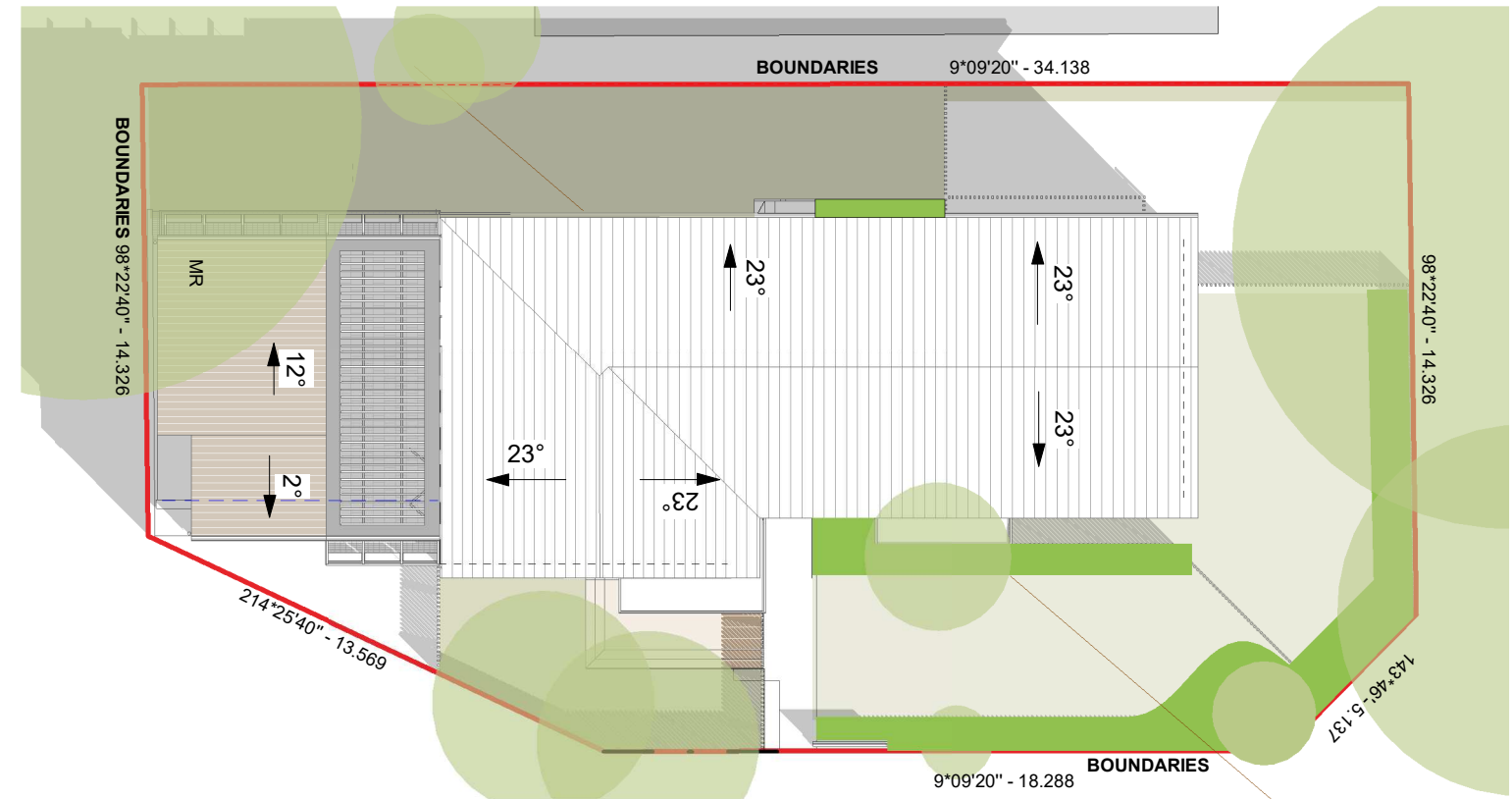
NORTH ELEVATION



WESTERN ELEVATION



EASTERN ELEVATION



SITE PLAN

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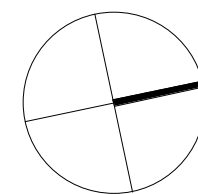
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Scale 1 : 50
0m 500 1000 2500 mm

Project
Austin Ware & Charlotte Vergnolle
3/153 Balgowlah Rd, Balgowlah NSW
Drawing Title
Notification Plan

Scale at A3
1 : 200

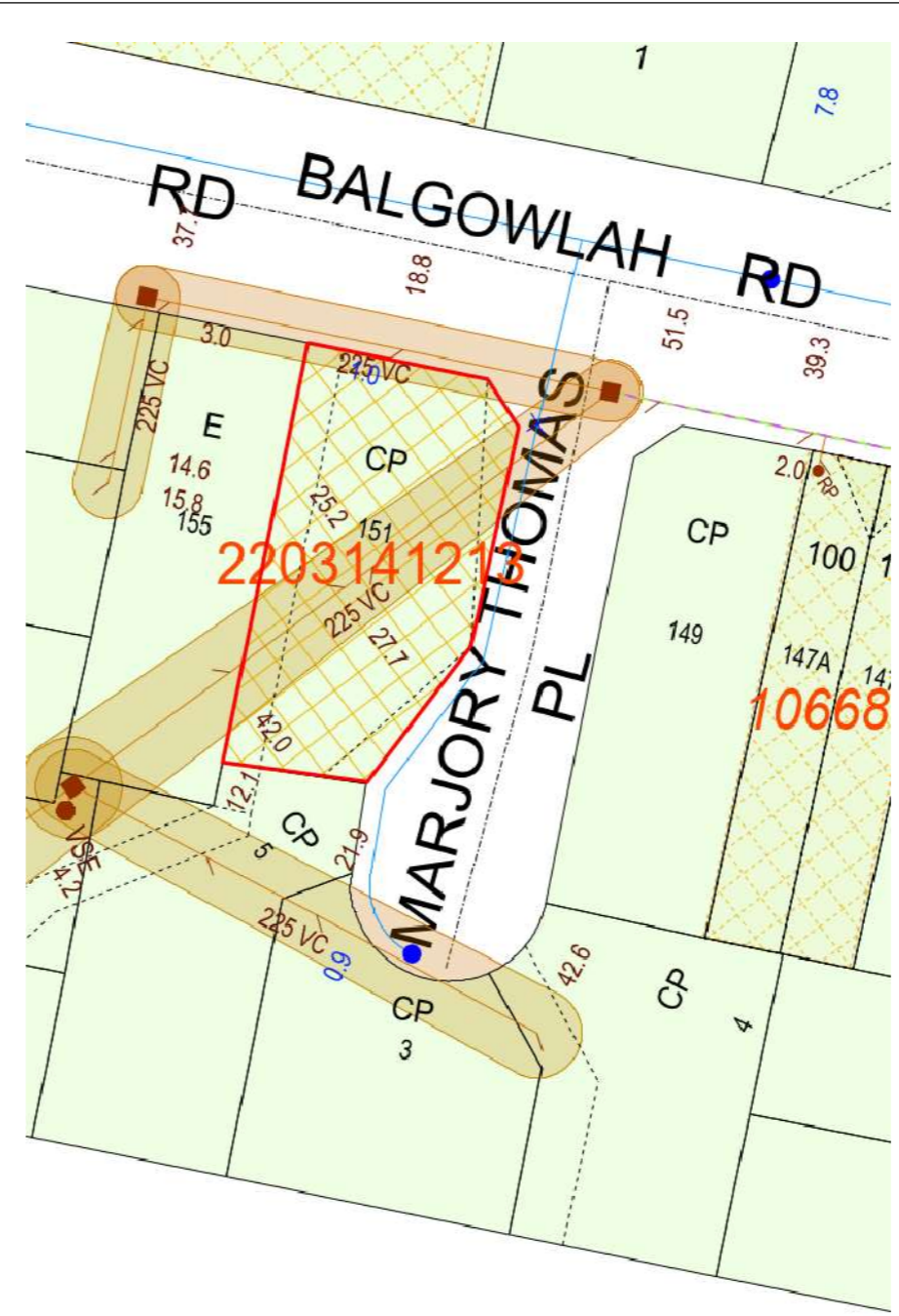
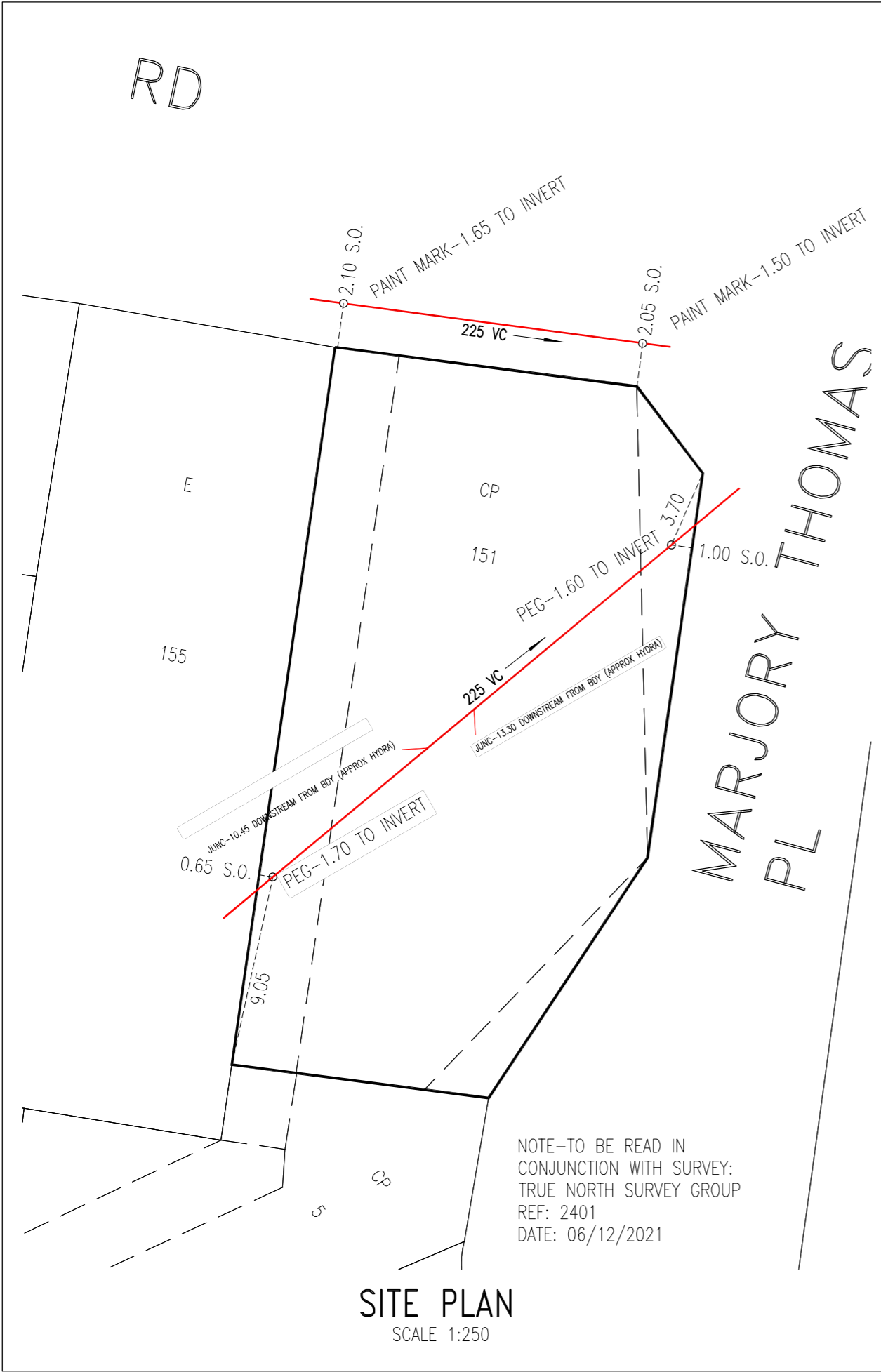
Project No.
2101

Rev No.

Revision Date.
11.05.2022

Drawing No.

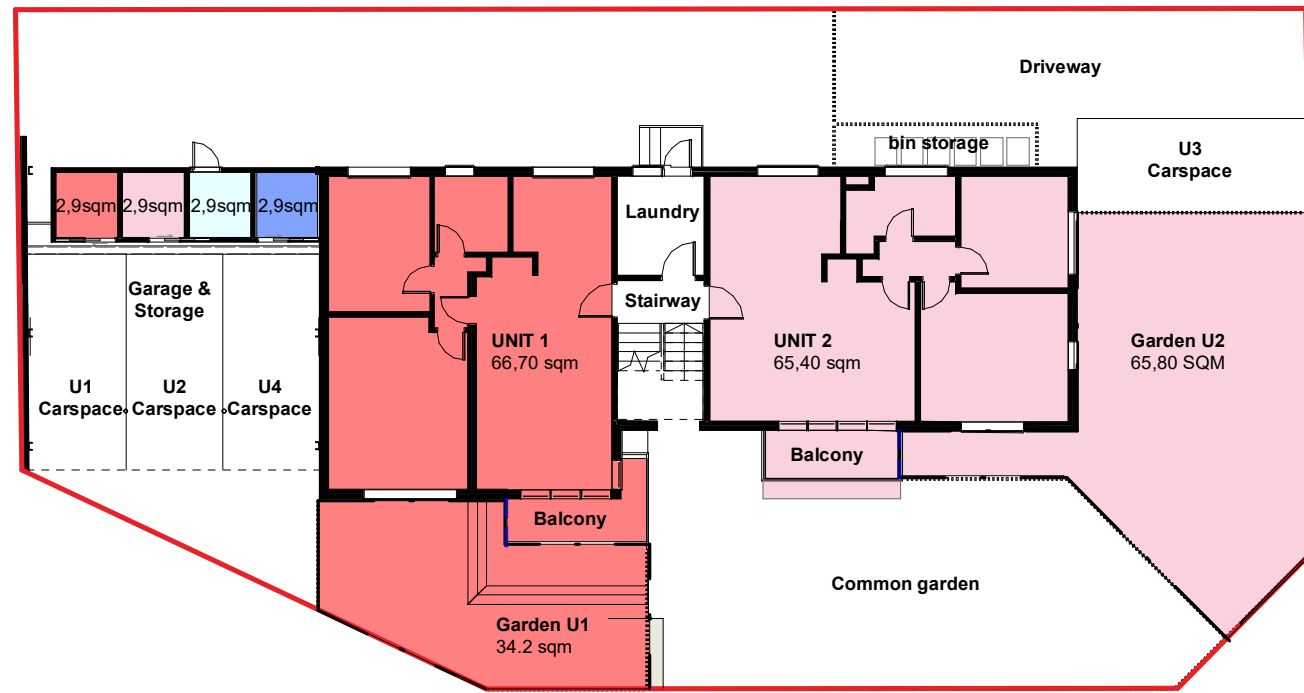
C DA14



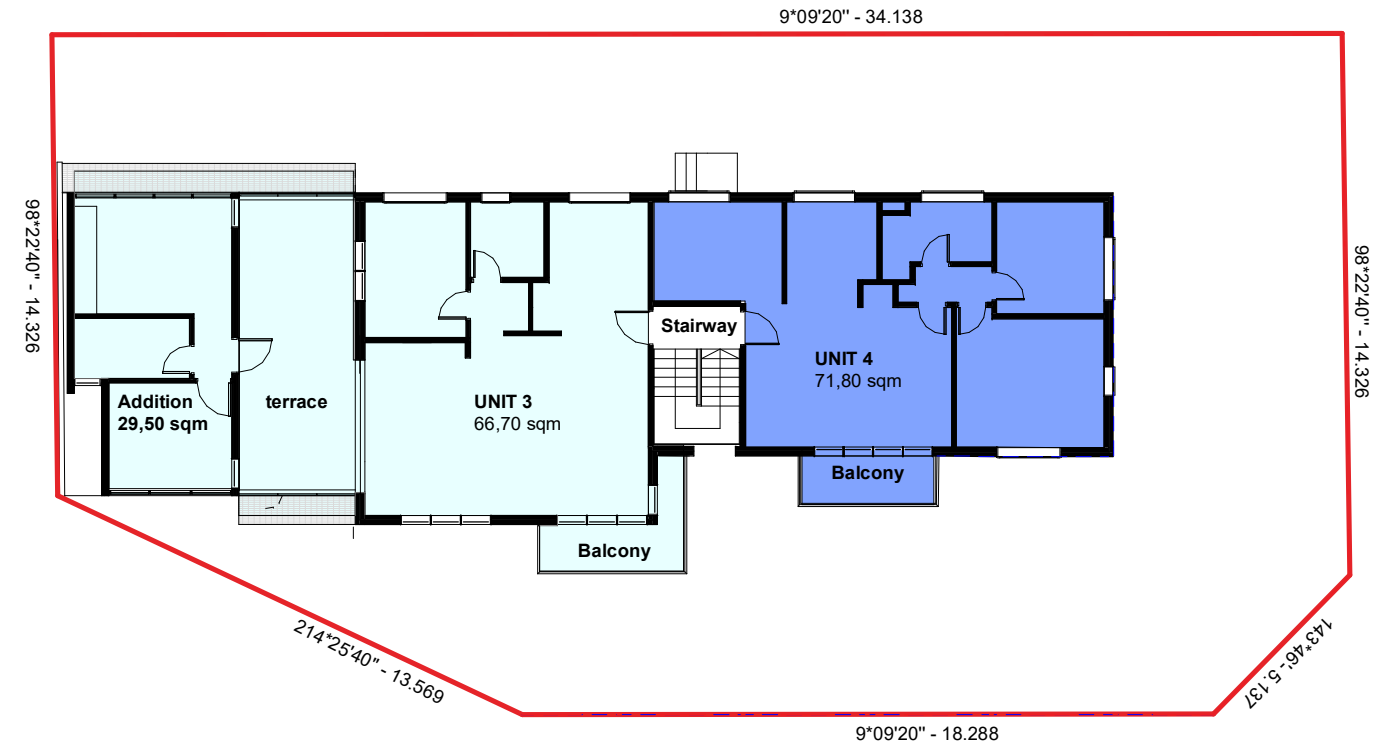
- NOTES:
1. I, MARC GAUDRY OF MGP BUILDING & INFRASTRUCTURE SERVICES PTY LTD BEING ACCREDITED TO CARRY OUT A SERVICE PROTECTION REPORT, CERTIFY THAT THE INFORMATION SHOWN ON THIS REPORT HAS BEEN PREPARED IN ACCORDANCE WITH THE RELEVANT INSTRUCTIONS AND ACCEPT FULL RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION ON THIS REPORT.
SIGN: *Marc Gaudry*
 2. FOR THE PURPOSE OF THIS REPORT, "BOUNDARY" REFERS TO THE ACTUAL PROPERTY BOUNDARY AS IDENTIFIED IN THE PROPERTY SURVEY PLAN. PHYSICAL MEASUREMENTS HAVE BEEN TAKEN FROM FIXED STRUCTURES (FENCES, RETAINING WALLS, BUILDINGS ETC) AND USED TO TIE THE LOCATION OF THE SYDNEY WATER ASSET(S) TO THE PROPERTY BOUNDARY.
 3. NO BOUNDARY SURVEY HAS BEEN UNDERTAKEN. BEARINGS, DIMENSIONS AND AREA ARE FROM TITLE ONLY AND ARE SUBJECT TO CONFIRMATION BY BOUNDARY SURVEY.
 4. SOME SURFACE EVIDENCE MAY NOT HAVE BEEN IDENTIFIED AT THE TIME OF THE SURVEY DUE TO SITE IMPEDIMENTS.
 5. SERVICES BETWEEN SURFACE EVIDENCE (SUCH AS MANHOLES) HAVE BEEN ASSUMED TO BE STRAIGHT UNLESS PLANS INDICATE OTHERWISE.
 6. WHERE THE LOCATION OF A SERVICE COULD NOT BE CONFIRMED DUE TO LACK OF INTERNAL/EXTERNAL ACCESS, LACK OF ACCESS TO THE MAINTENANCE STRUCTURES, LACK OF SURFACE EVIDENCE; THE SERVICES HAVE BEEN PLOTTED FROM SYDNEY WATER RECORDS AND NOTATED ACCORDINGLY. MGP IS TO BE CONTACTED AT THE CONSTRUCTION PHASE OF THE PROJECT TO CONFIRM THE LOCATION OF THE ASSETS AND PLACEMENT OF RECOVERABLE MARKS ONCE THESE ASSETS ARE EXPOSED BY THE DEVELOPER
 7. SEWER LOCATIONS MARKS ARE NOT NECESSARILY ON BOUNDARY.
 8. DO NOT SCALE FROM THIS PLAN, USE DIMENSIONS ONLY.
 9. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE STATED.
 10. THIS STATEMENT IS AN INTEGRAL PART OF THIS PLAN. REPRODUCTION OF THIS PLAN OR ANY PART OF IT WITHOUT THIS STATEMENT BEING INCLUDED IN FULL WILL RENDER THE INFORMATION INVALID AND NOT SUITABLE FOR USE.
 11. PLEASE NOTE THE ZONE OF INFLUENCE IS 1 IN 1.
 12. DATA OBTAINED IN THIS REPORT HAS BEEN TAKEN USING ON-SITE INSPECTION SONAR DETECTION, SURVEY & SYDNEY WATER HYDRA RECORDS.
 13. STRATA: SOIL
PIPE SIZE: 225
PIPE TYPE: VC

LEGEND:			
SEWER MAIN		RODDING POINT	
MAINTENANCE HOLE		VENT SHAFT (Induct or Educt)	
ASSET INDICATOR		VERTICAL RISER	
Water Servicing Coordinator		Drawing	
 building & infrastructure services pty ltd Suite 203, 18 Aquatic Drive, Frenchs Forest NSW 2086 T: 02 9451 7555 F: 02 9451 8555 E: info@mgp.com.au		SERVICE PROTECTION REPORT 151 BALGOWLAH ROAD BALGOWLAH 2093	
		Drawn By EC Date 15/03/2022 Design By MG Scale 1:250 Approved MG Sheet 1 OF 1 Job.No. 2022-0108 Dwg.No. SPR1 Issue 2	

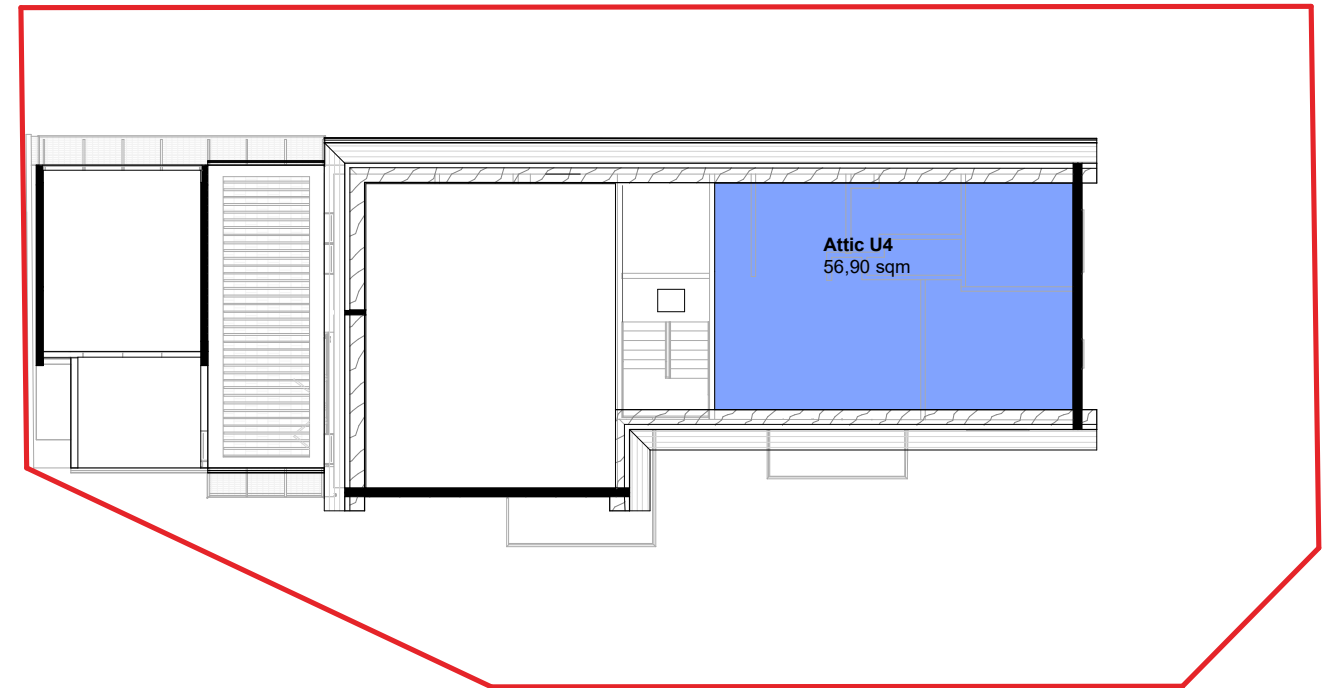
GROUND FLOOR PLAN



FIRST FLOOR PLAN



ROOF ATTIC PLAN



<p>UNIT 1</p> <p>Existing: 66,70 sqm (718 sq.ft) Garden: 34,60 sqm Storage: 2,90 sqm</p> <p>TOTAL: 104,20 sqm</p>	<p>UNIT 3</p> <p>Existing: 66,70 sqm (718 sq.ft) Addition: 29,50 sqm Open space: 33,00 sqm Storage: 2,9 qsm</p> <p>TOTAL: 132,00 sqm</p>
<p>UNIT 2</p> <p>Existing: 65,40 sqm (704 sq.ft) Garden: 67,60 sqm Storage: 2,90 sqm</p> <p>TOTAL: 135,90 sqm</p>	<p>UNIT 4</p> <p>Existing: 71,80 sqm (773 sq.ft) Attic: 56,90 sqm Storage: 2,9 qsm</p> <p>TOTAL: 131,56 sqm</p>

Area Lot Schedule
1 : 100

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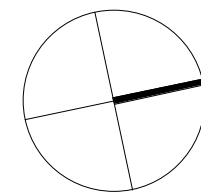
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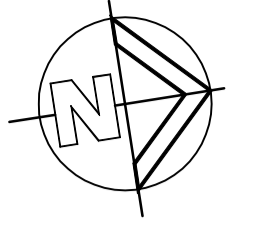
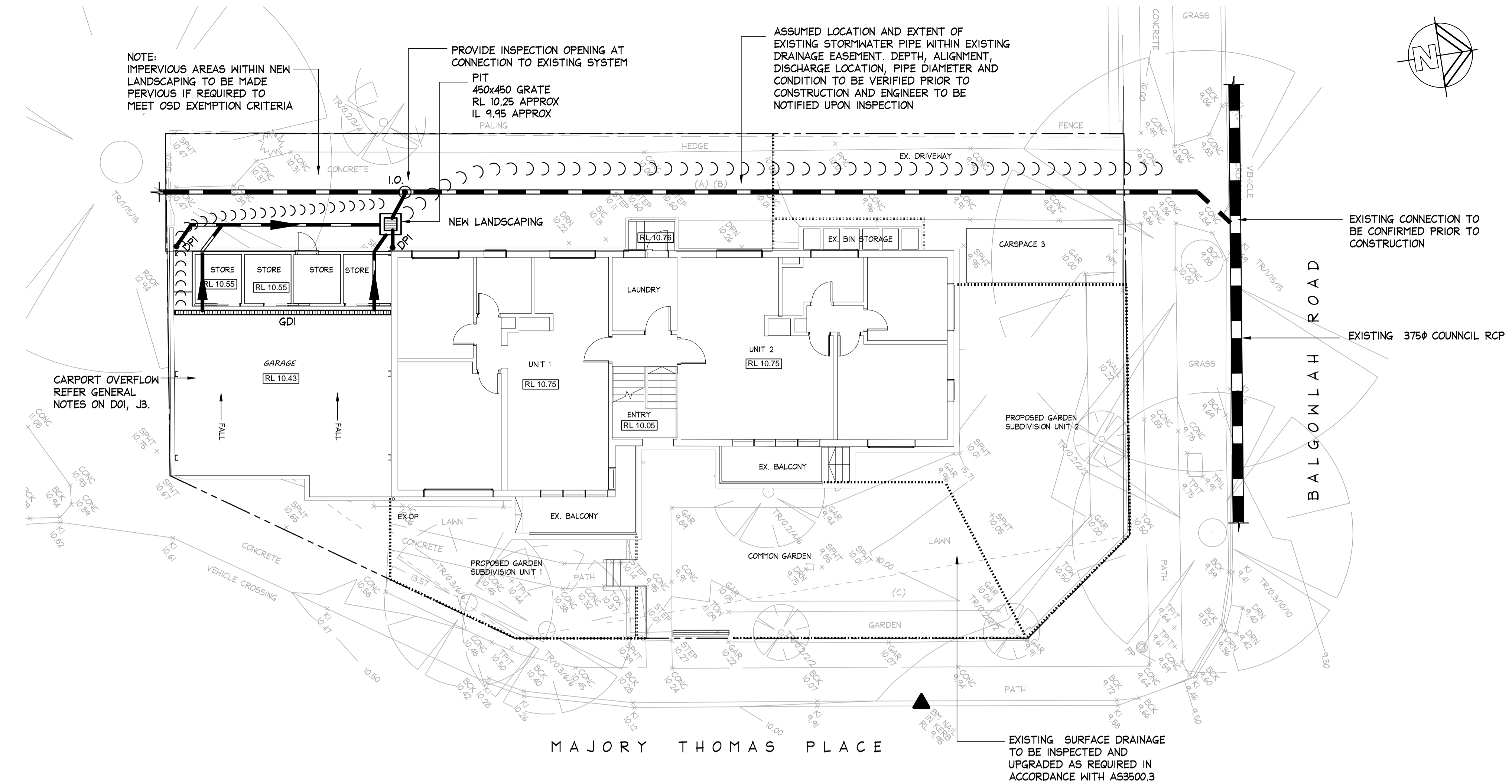
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Scale 1 : 50
 0m 500 1000 2500 mm

Project
 Austin Ware & Charlotte Vergnolle
 3/153 Balgowlah Rd, Balgowlah NSW
 Drawing Title
Proposed Subdivision Plan
 Scale at A3
 Comme indiqué
 Project No. 2101
 Rev No. C
 Revision Date.
 11.05.2022
 Drawing No.
DA13

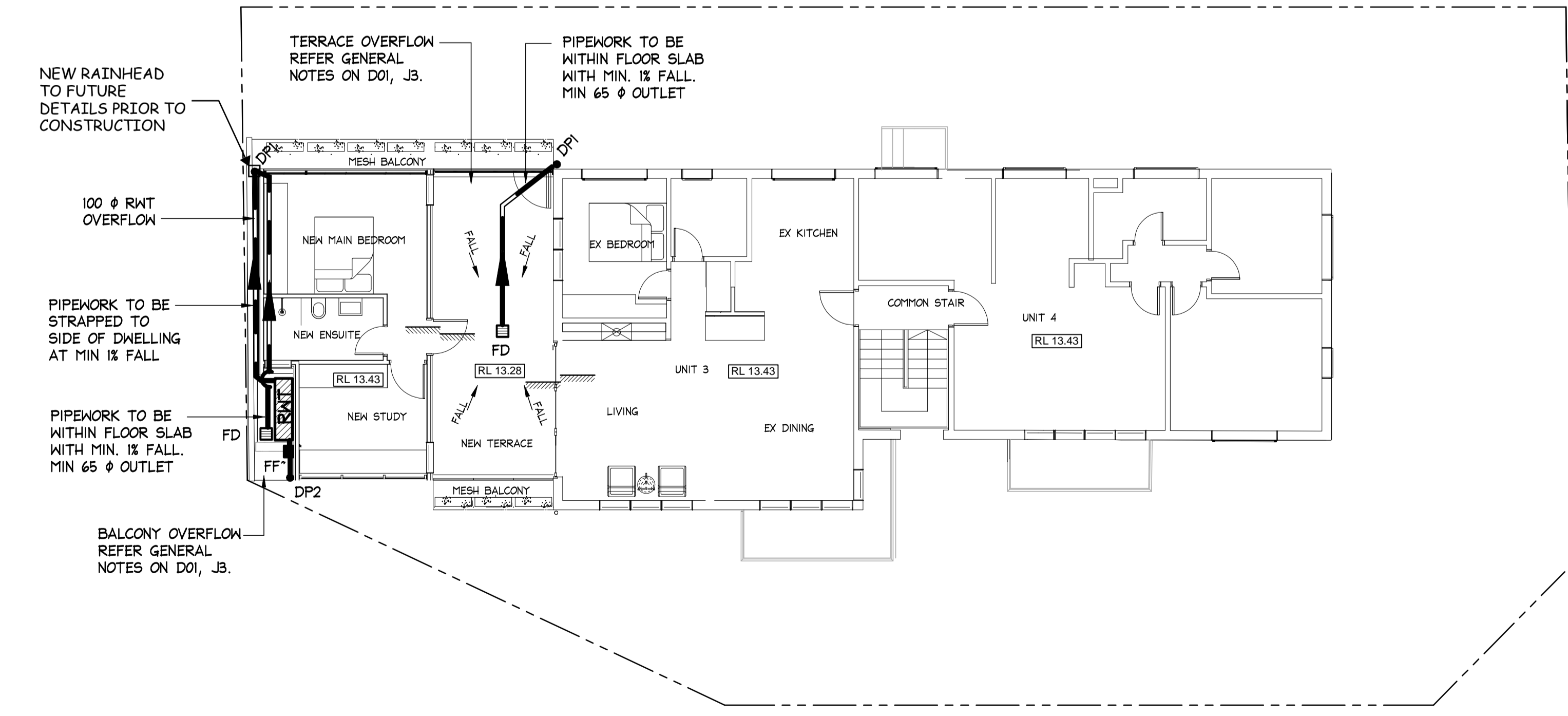


LEGEND

- DP1 • 100mm ϕ DOWNPIPE TO DISCHARGE TO EASEMENT
- DP2 • 100mm ϕ DOWNPIPE TO DISCHARGE TO RWT VIA A VERTICAL FIRST FLUSH DEVICE
- FF ■ VERTICAL FIRST FLUSH DEVICE TO MANUFACTURERS SPECIFICATIONS
- I.O. ⊙ INSPECTION OPENING
- NEW STORMWATER PIPE
- STORMWATER PIPE FLOW DIRECTION
- PIT STORMWATER PIT
- GDI GRATED DRAIN
GDI - 150 MIN DEPTH x 150 WIDE GRATED DRAIN
- FD □ 200x200 FLOOR DRAIN - REFER DETAIL
- RWT ■ RAINWATER TANK - REFER DETAILS
- STEP ■ RECOMMENDED MIN. 50 STEP TO ARCH. DETAIL
- ○ ○ ○ ○ OVERLAND FLOW PATH

NOTE: EXCAVATION AROUND TREES
CARE SHOULD BE TAKEN WHEN UNDERTAKING WORKS IN THE VICINITY OF SELECTED TREES NOT TO DISTURB THE TREE ROOT SYSTEM. HAND DIGGING OF TRENCHES ETC MAY BE NECESSARY. REFER ARBORISTS REPORT.

GROUND FLOOR - DRAINAGE PLAN
SCALE = 1 : 100



LEVEL 1 - DRAINAGE PLAN
SCALE = 1 : 100

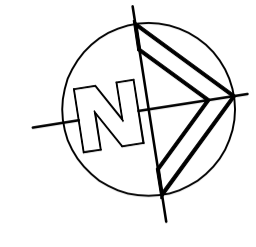
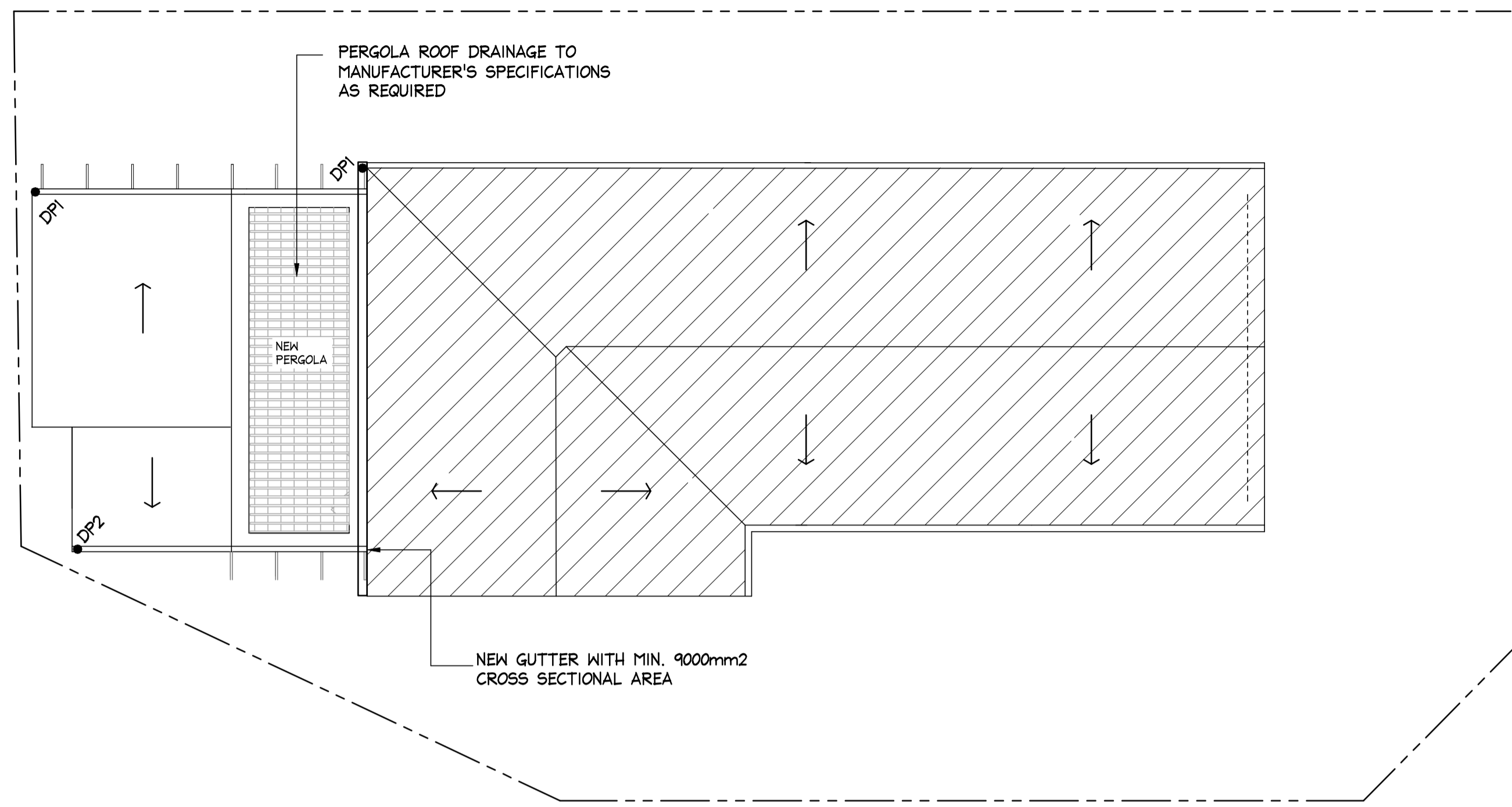
Scale check - 100mm when printed to scale

			DOCUMENT CERTIFICATION		Consulting Engineers STRUCTURAL - CIVIL - STORMWATER - REMEDIAL A.C.N. 076 121 616 A.B.N. 24 076 121 616	Architect:	STUDIO OULALA		Project:	ALTERATIONS AND ADDITIONS 153 BALGOWLAH ROAD, BALGOWLAH		Date:	MARCH 2022	Design:	CF	Drawn:	MC	
09-05-2022	B	REVISED TO SUIT NEW ARCH. PLANS	MC	LB		Sydney: Ph: (02) 9984 7000 Fax: (02) 9984 7444 Suite 207, 30 Fisher Road Dee Why N.S.W. 2099 Gold Coast: Ph: (07) 5631 4744 Suite 1, 30B Griffith Street Coolangatta QLD 4225 E: nb@nbconsulting.com.au W: www.nbconsulting.com.au	Client:	AUSTIN WARE AND CHARLOTTE VERGNOLLE		Drawing Title:	STORMWATER MANAGEMENT DRAINAGE PLANS		Job No:	220287		Drawn No:	D02	Issue:
Date:	Issue:	Description:	By:	Review:	The copyright of this drawing remains with Northern Beaches Consulting Engineers Pty Ltd. Trading as NB Consulting Engineers													

NB Consulting Engineers

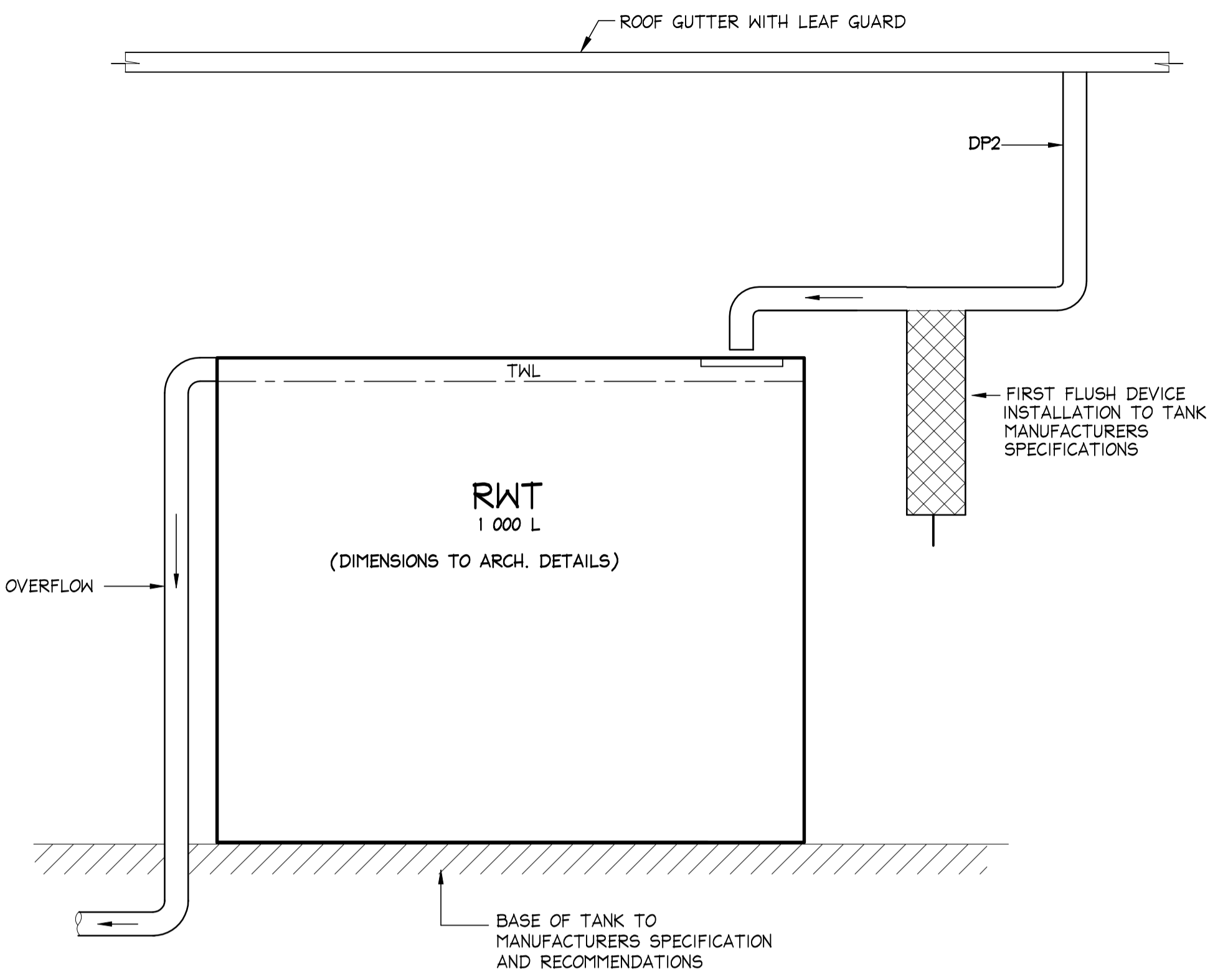
ISSUED FOR D.A. SUBMISSION ONLY
NOT FOR CONSTRUCTION

IF IN DOUBT ASK



ROOF - DRAINAGE PLAN
SCALE = 1 : 100

DENOTES EXTENT OF EXISTING ROOF. ROOF DRAINAGE TO REMAIN WHERE ADEQUATE AND UPGRADED AS REQUIRED IN ACCORDANCE WITH AS3500.3. EXISTING ROOF TO DISCHARGE TO DRAINAGE EASEMENT

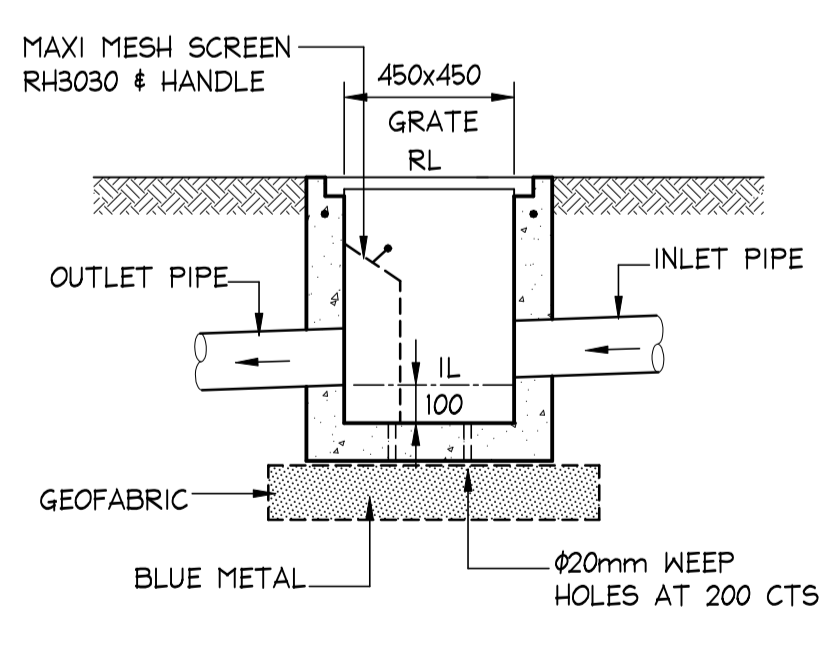


TYPICAL SECTION RAINWATER RE-USE TANK
SCALE = N.T.S.

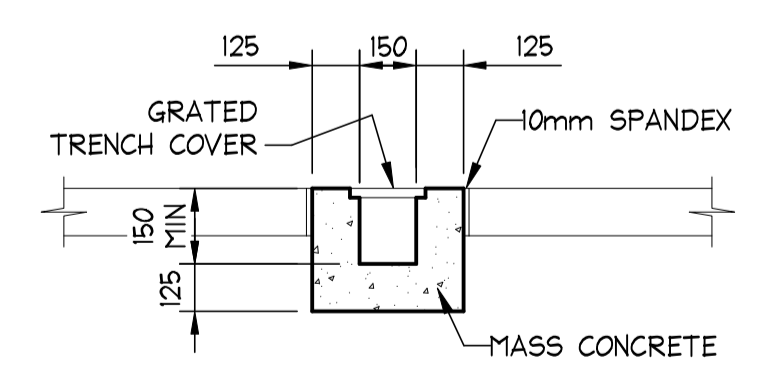


LEGEND:
BLACK ON YELLOW BACKGROUND

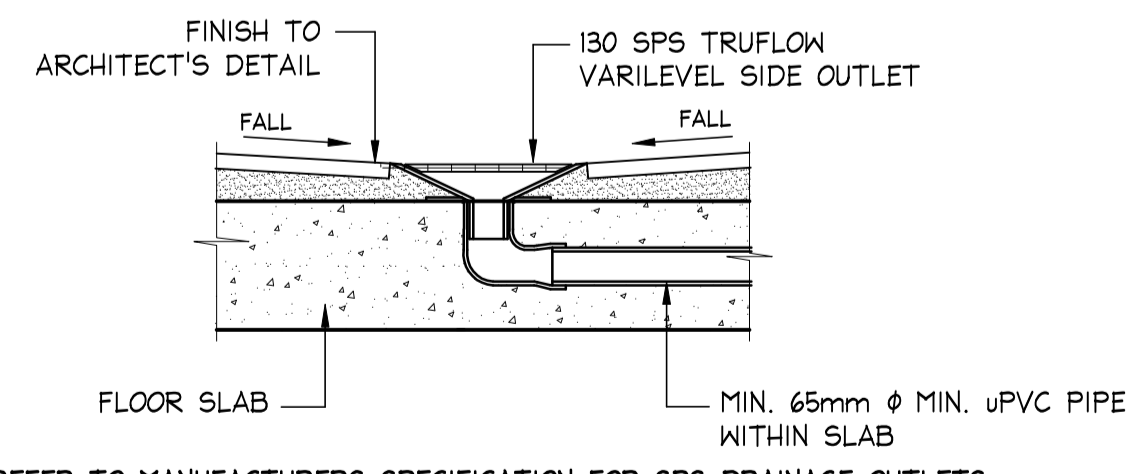
SIGN FOR RWT AND OUTLETS
SCALE = N.T.S.



TYPICAL PIT DETAIL
SCALE = N.T.S.



TYPICAL GRATED DRAIN GDI
SCALE = 1 : 20



STANDARD FLOOR DRAIN - 'FD'
SCALE = N.T.S.

ISSUED FOR D.A. SUBMISSION ONLY NOT FOR CONSTRUCTION

IF IN DOUBT ASK

Scale check - 100mm when printed to scale

				DOCUMENT CERTIFICATION		NB Consulting Engineers STRUCTURAL - CIVIL - STORMWATER - REMEDIAL A.C.N. 076 121 616 A.B.N. 24 076 121 616		Architect:	STUDIO OULALA	Project:	ALTERATIONS AND ADDITIONS 153 BALGOWLAH ROAD, BALGOWLAH	Date:	MARCH 2022	Design:	CF	Drawn:	MC
09-05-2022	B	REVISED TO SUIT NEW ARCH. PLANS	MC	LB	Date: 13 May '22	 Michael Wachjo B.E.(Civil), MIEAust. (Director NB Consulting Engineers)	Sydney: Ph: (02) 9984 7000 Fax: (02) 9984 7444	Client:	AUSTIN WARE AND CHARLOTTE VERGNOLLE	Drawing Title:	STORMWATER MANAGEMENT DRAINAGE PLAN AND DETAILS	Job No:	220287	Drawing No:	D03	Issue:	B
08-04-2022	A	ISSUED FOR D.A. SUBMISSION	MC	CHcL	The copyright of this drawing remains with Northern Beaches Consulting Engineers Pty Ltd. Trading as NB Consulting Engineers		Gold Coast: Ph: (07) 5631 4744	E: nb@nbconsulting.com.au W: www.nbconsulting.com.au									

NB Consulting Engineers

LEGEND

- BALC - BALCONY/DECK LEVEL
- BB - BOTTOM OF BANK
- BCK - BACK OF KERB
- BOW - BOTTOM OF WALL
- CL - ROAD CENTER LINE LEVEL
- COMMS - COMMUNICATIONS PIT
- CONC - CONCRETE SURFACE LEVEL
- DECK - DECK LEVEL
- EPIT - ELECTRICAL PIT
- ELEC - ELECTRICAL PILLAR
- TPIT - TELECOMMUNICATION PIT
- FLR - FLOOR LEVEL
- GAS - GAS METER
- GAR - EDGE OF GARDEN
- GRATE - GRATED PIT LEVEL
- HYD - HYDRANT REEL
- IC - INSPECTION CAP
- INV - INVERT LEVEL
- KT - TOP OF KERB LEVEL
- KI - KERB INVERT LEVEL
- LP - LIGHT POLE
- PATIO - PATIO LEVEL
- PIT - STORMWATER PIT
- PINV - PIT INVERT
- POND - POND LEVEL
- PP - POWER POLE
- RIDGE - RIDGE LEVEL
- ROCK - ROCK LEVEL
- ROOF - ROOF LEVEL
- SER - UNKNOWN SERVICES
- SHED - SHED LEVEL
- SIGN - SIGN POLE
- SIC - SEWER INSPECTION CAP
- SMH - SEWER MAINTENANCE HOLE
- SPHT - SPOT HEIGHT / NATURAL SURFACE LEVEL
- STEP - STEP LEVEL
- SEVENT - SEWER VENT
- TB - TOP OF BANK
- TG - TOP OF GUTTER
- TPIT - TELECOM PIT
- VC - VEHICLE CROSSING
- WALL - WALL LEVEL (TOW- TOP OF WALL, BOW- BOTTOM OF WALL)
- WM - WATER METER

TR/0.2/6/5 - TREE (TRUNK Dia. 0.2m, CANOPY SPREAD 6m, HEIGHT 5m) DIMENSIONS ARE APPROXIMATE

WINDOW
TW - WINDOW TOP
BW - WINDOW BOTTOM

DOOR
TD - WINDOW TOP
BD - WINDOW BOTTOM

CONTOUR INTERVAL - 0.5m

NOTES:

1. A FIELD BOUNDARY SURVEY (BOUNDARY IDENTIFICATION) HAS BEEN UNDERTAKEN WITH BOUNDARIES DEFINED UTILISING SP1173, DP1132831 & DP223224. BOUNDARY DIMENSIONS CAN MOVE TO A DEGREE WITH THE LODGEMENT OF A PLAN AT THE TITLES OFFICE OF THE SUBJECT LOT OR OF A LOT IN THE VICINITY.
2. ORIGIN OF LEVELS & MGA ORIENTATION DETERMINED UTILIZING GNSS TECHNOLOGY
3. BEARINGS ARE ON MGA GRID NORTH.
4. DIMENSIONED STRUCTURES (IN RED) ARE IN RELATION TO THIS BOUNDARY SURVEY.
5. RELATIONSHIP OF OTHER IMPROVEMENTS, DETAIL AND ADJOINING BUILDINGS TO THE BOUNDARY, IF CRITICAL, WILL REQUIRE FURTHER SURVEY. IF ANY FENCING OR BUILDING NEAR THE SUBJECT BOUNDARIES IT IS RECOMMENDED THAT THE BOUNDARIES BE PHYSICALLY MARKED BY A REGISTERED SURVEYOR.
6. SERVICES SHOWN ARE BASED ON VISIBLE SURFACE INDICATORS EVIDENT AT THE DATE OF SURVEY ONLY. DIAL BEFORE YOU DIG AND ALL SERVICE AUTHORITIES SHOULD BE CONTACTED PRIOR TO ANY DEVELOPMENT.
7. ROOF AND EAVE & GUTTER HEIGHTS HAVE BEEN OBTAINED BY AN INDIRECT METHOD AND ARE ACCURATE FOR PLANNING PURPOSES ONLY.
8. ADJOINING BUILDINGS AND DWELLINGS HAVE BEEN PLOTTED FOR DIAGRAMMATIC PURPOSES ONLY AND SPECIFIC DETAILS, IF CRITICAL, WILL REQUIRE FURTHER SURVEY.
9. THE DIAMETER OF TREE TRUNKS CONTAINED WITHIN TREE SYMBOLS ARE NOT TO SCALE AND ARE INDICATIVE ONLY.
10. COVENANTS (DEALING A612338 & A743015) ARE NOTED ON TITLE.

NOTES ON TITLE CP/SP1173 :

1. ATTENTION IS DIRECTED TO CLAUSE 3 SCHEDULE 4 STRATA SCHEMES (FREEHOLD DEVELOPMENT) ACT 1973 REGARDING BOUNDARIES BETWEEN LOTS AND COMMON PROPERTY IN STRATA SCHEMES REGISTERED BEFORE 1-7-1974.
2. CONSOLIDATION OF REGISTERED (DEALING AN560850).

WINDOW SCHEDULE

No.	TW	BW
1	12.80	11.47
2	15.40	14.10
3	12.85	12.08
4	15.43	14.72
5	15.40	14.12
6	12.77	11.47
7	15.42	12.55
8	12.77	10.79
9	15.39	14.23
10	12.81	11.54
11	15.82	14.11
12	15.47	14.94
13	15.45	14.93
14	12.85	11.46
15	15.44	14.06
16	15.45	14.67
17	12.86	12.08
18	15.44	14.41
19	12.87	11.83
20	15.44	14.40
21	12.81	11.77
22	15.44	14.40
23	12.86	11.82
24	15.45	14.70
25	12.86	12.08

DOOR SCHEDULE

No.	TD	BD
30	12.77	10.79
31	15.40	13.40
32	11.99	9.96
33	12.80	10.75
34	15.43	13.36
35	12.80	10.75

- (A) - RIGHT OF WAY 3.05m WIDE (DEALING B869448)
- (B) - EASEMENT TO DRAIN WATER 3.05m WIDE (DEALING J78634)
- (C) - SITE OF PROPOSED AERIAL TRANSMISSION LINE EASEMENTS VARIABLE WIDTH (CP/SP1173) - NOT NOTED ON TITLE

REVISION	BY	REVISION DESCRIPTION	DATE
0	AK	INITIAL ISSUE	06/12/2021

**PLAN OF DETAIL OVER
151 BALGOWLAH ROAD,
BALGOWLAH NSW 2093.**

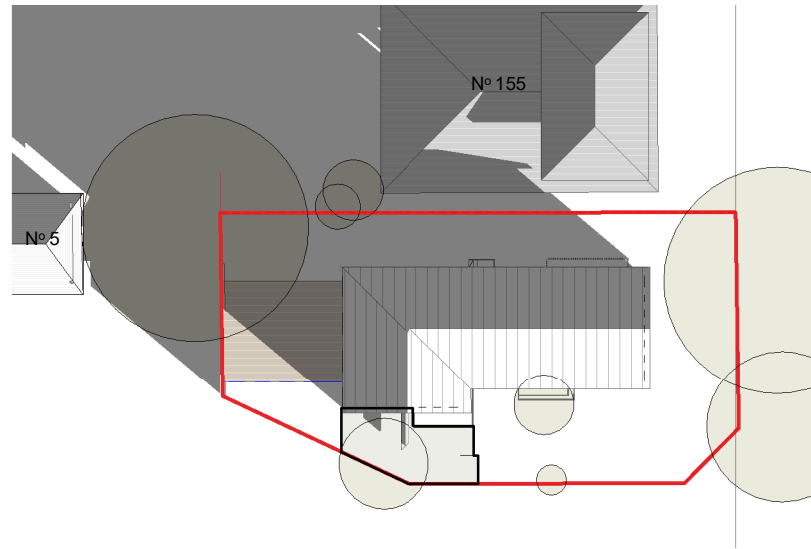


TRUENORTH SURVEY GROUP
A.B.N. 97 106 447 198
Registered Consulting Surveyors
16/9 Narabang Way
Belrose NSW 2085
Tel : (02) 9450 0868
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Email : andrew@truenorthsurveys.com.au

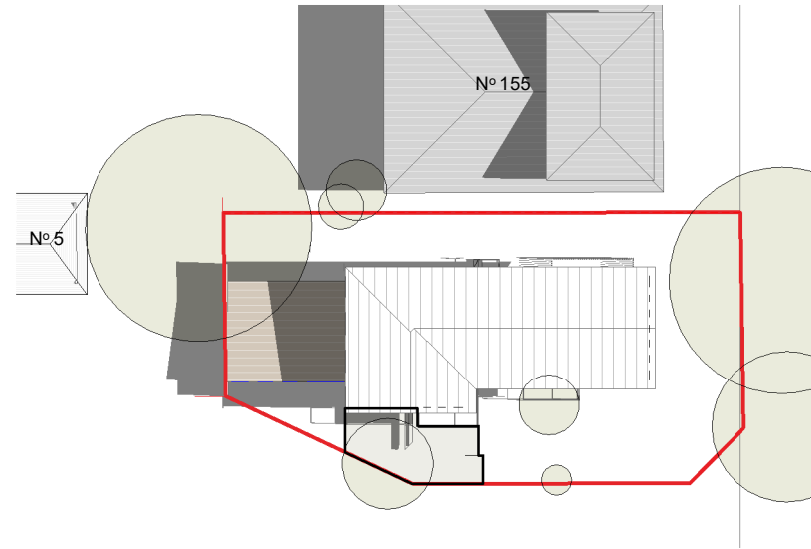
WALL TO BOUNDARIES AS SHOWN IN RED

Andrew Korompay
ANDREW KOROMPAY ID No. SU000114
Surveyor Registered under The Surveying Act, 2002.

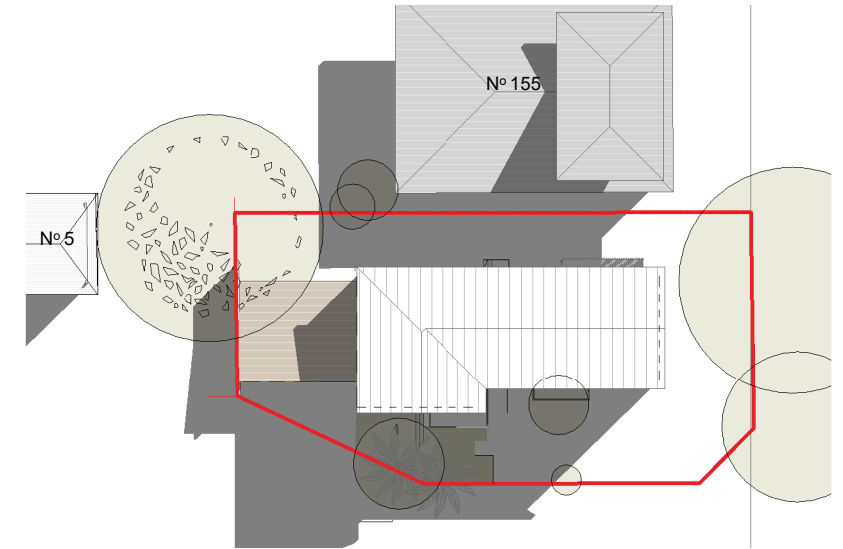
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CLIENT: THE OWNERS OF SP1173	DATUM: AHD	
JOB No. 2401	SHEET 1 OF 1	
DRAWN	CHECKED	APPROVED
SJ/GP	AK	AK
DRAWING No. 2401	REVISION 0	



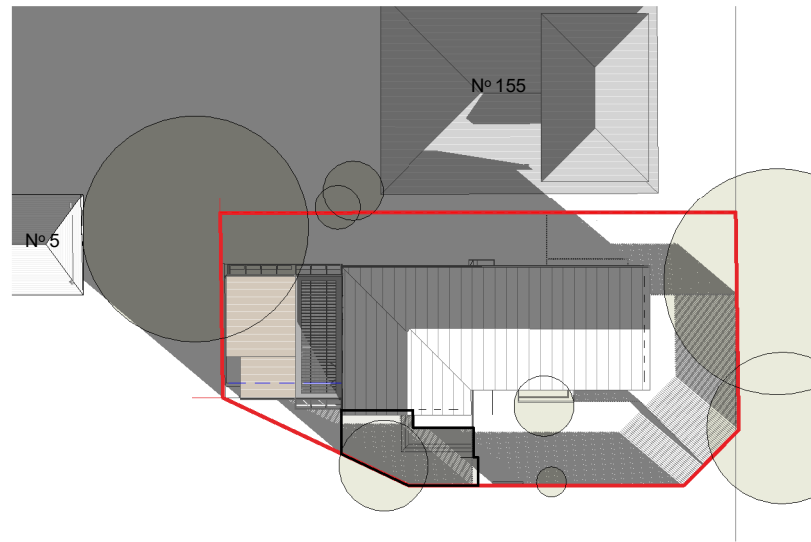
EXISTING PLAN VIEW 9AM WINTER SOLSTICE



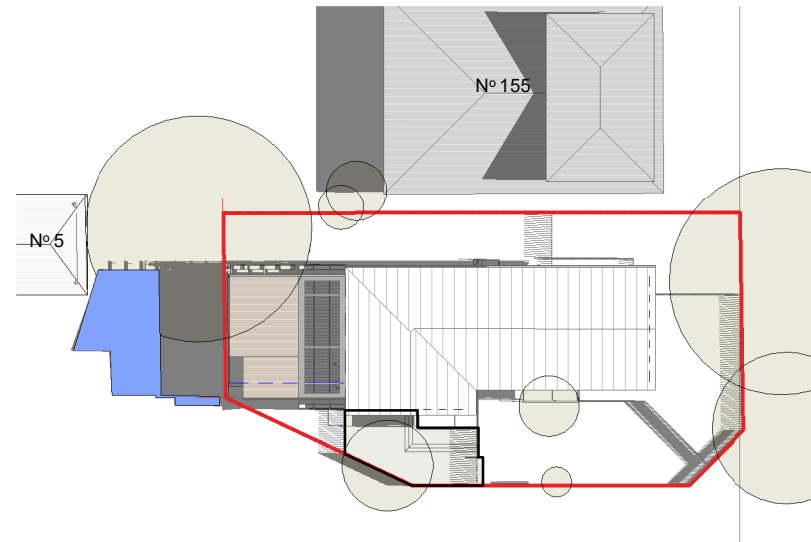
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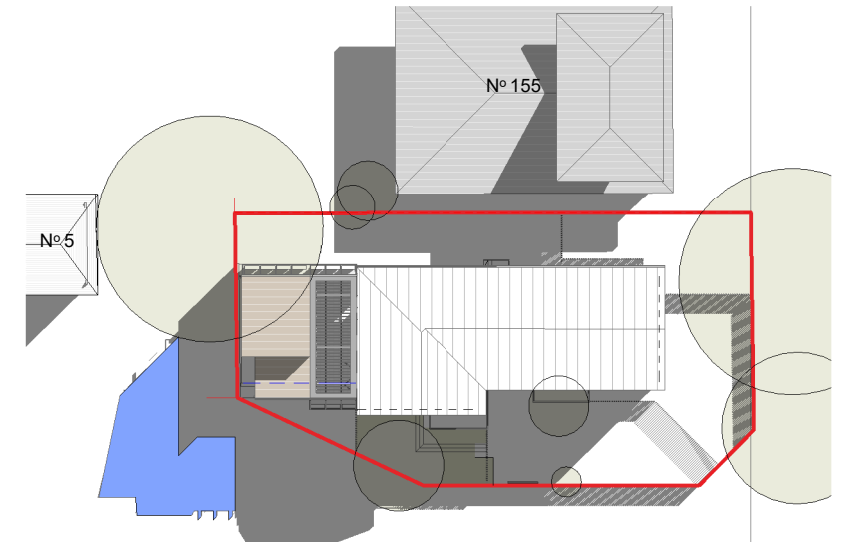
EXISTING PLAN VIEW 3PM WINTER SOLSTICE



PROPOSED PLAN VIEW 9AM WINTER SOLSTICE



PROPOSED PLAN VIEW 12PM WINTER SOLSTICE



PROPOSED PLAN VIEW 3PM WINTER SOLSTICE

LEGEND

- EXISTING SHADOW
- ADDITIONAL SHADOW

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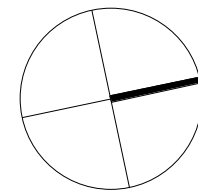
Unit 13, 28-34 Roseberry Street
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tel +61 (0) 0481 341 417
charlotte@oulalaarchitects.com
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DRAWING STATUS

D	11.05.2022	Issued for DA	CV
C	02.05.2022	Issued for owner consent	CV
B	27.04.2022	Issued for Information	CV
A	23.03.2022	Issue for Information	CV
REV	Date	Reason For Issue	Chk

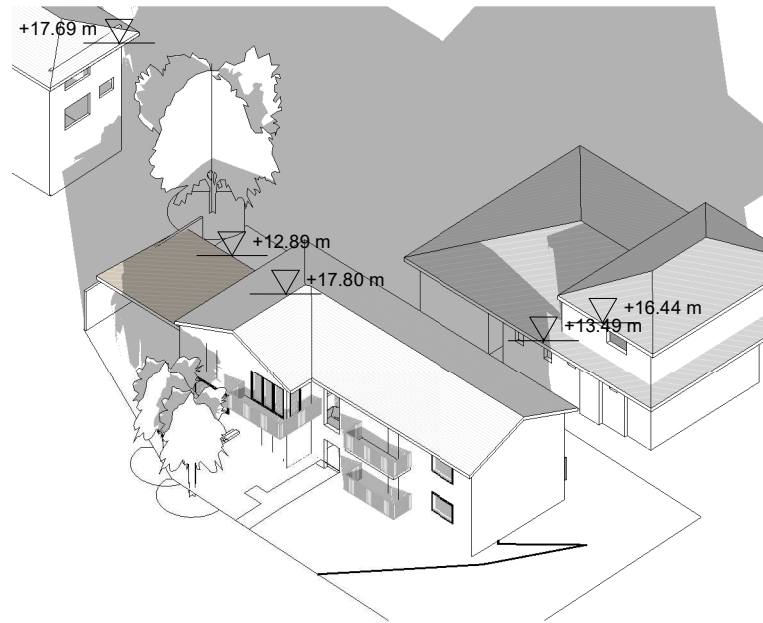
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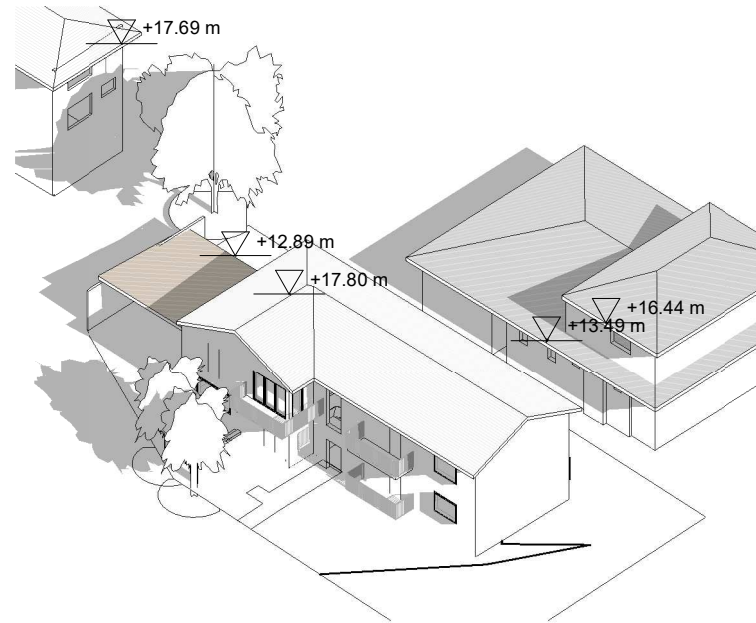


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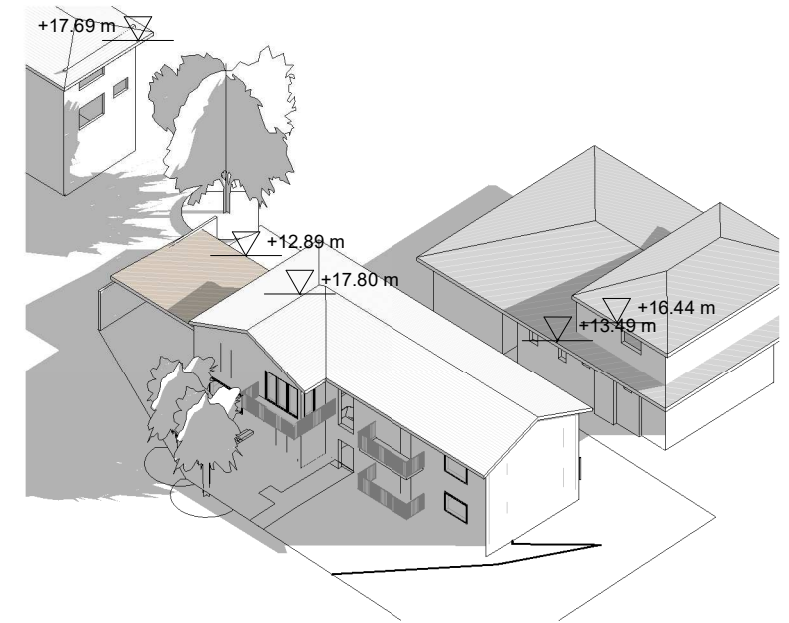
Project
Austin Ware & Charlotte Vergnolle
3/153 Balgowlah Rd, Balgowlah NSW
Drawing Title
Shadow Diagram Plan
Scale at A3
Comme
indiqué
Project No.
2101
Revision Date.
11.05.2022
Rev No.
D
Drawing No.
DA08



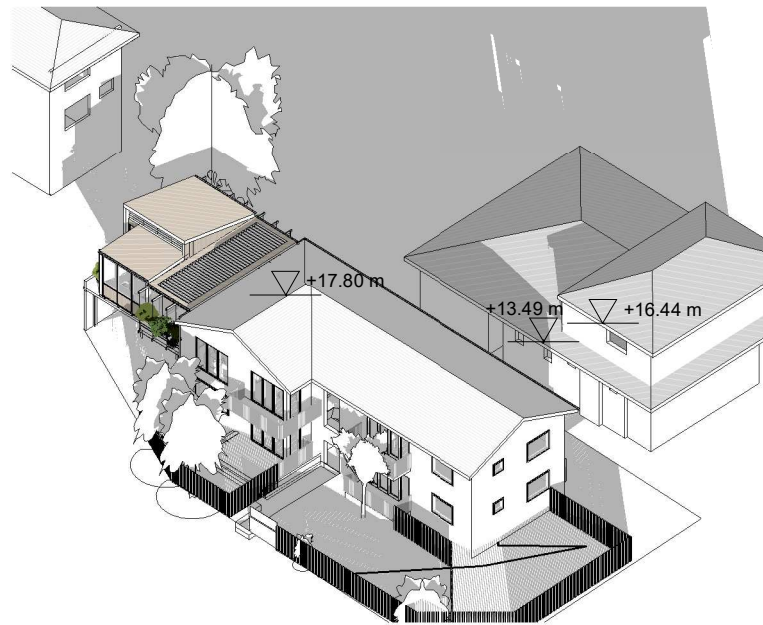
EXISTING PLAN VIEW 9AM WINTER SOLSTICE



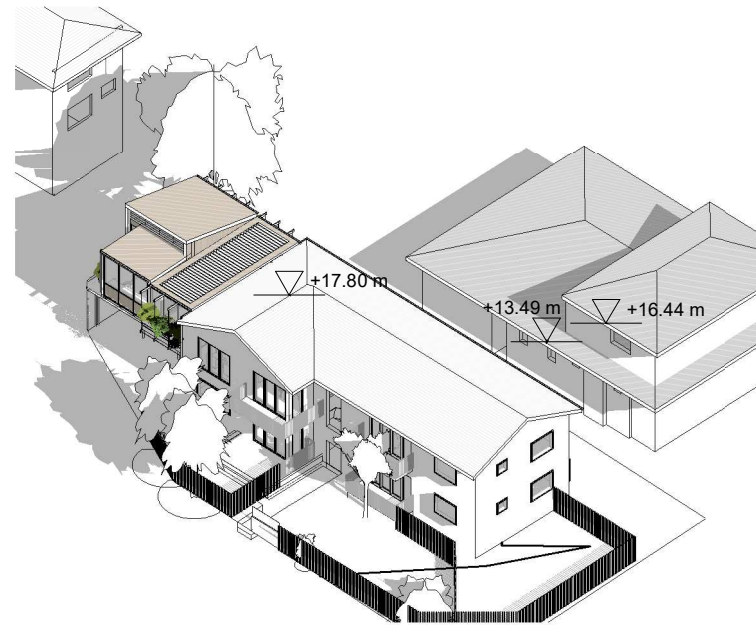
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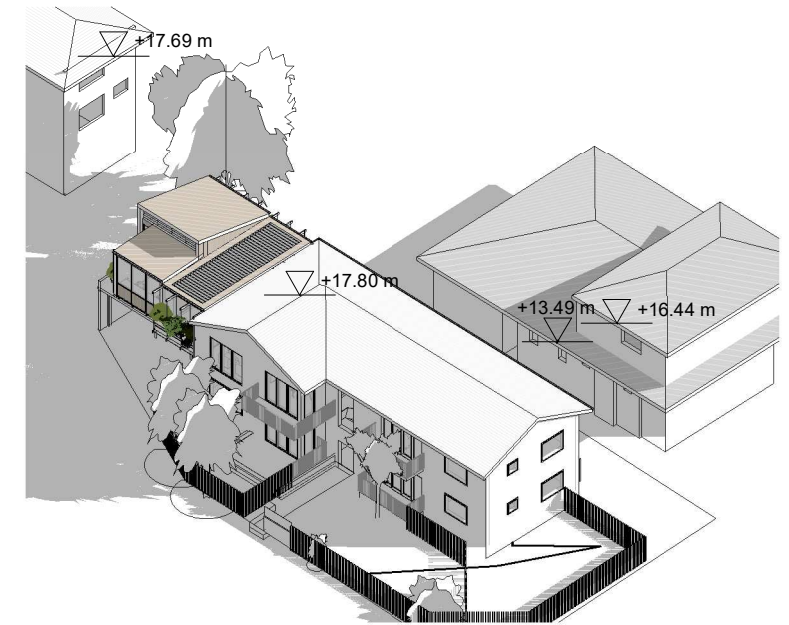
EXISTING PLAN VIEW 3PM WINTER SOLSTICE



PROPOSED PLAN VIEW 9AM WINTER SOLSTICE



PROPOSED PLAN VIEW 12PM WINTER SOLSTICE



PROPOSED PLAN VIEW 3PM WINTER SOLSTICE

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Project
Austin Ware & Charlotte Vergnolle
3/153 Balgowlah Rd, Balgowlah NSW
Drawing Title
Shadow Diagram Elevation

Scale at A3

Revision Date.

11.05.2022

Project No.
2101

Rev No.

D

Drawing No.

DA09