



PITTWATER COUNCIL

EPC103

## Construction Certificate Application

Environmental Planning and Assessment Act 1979, Section 109C  
EP&A Regulation 2000, Clauses 139 (1) and 148

PO Box 882, Mona Vale NSW 1660

Tel: (612) 9970 1111

Fax: (612) 9970 1200

Internet: [www.pittwater.nsw.gov.au](http://www.pittwater.nsw.gov.au)

Email: [pittwater\\_council@pittwater.nsw.gov.au](mailto:pittwater_council@pittwater.nsw.gov.au)

Please tick one:

- ☒ New Construction Certificate  
☐ Modification of previously issued Construction Certificate  
CC \_\_\_\_\_/\_\_\_\_

### SITE DETAILS

Unit/Suite:	Street No: 4	Street: NAREEN PARADE
Suburb: NORTH NARRABEEN	Lot No: 56	Deposit /Strata Plan: 11356

### DEVELOPMENT CONSENT

Development Application No: NO144/13	Determination Date: 03.07.2013
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### APPLICANT DETAILS

Name/Company: LIVING SPACE CONSTRUCTION	Contact Person: SHAUN HANLEY
Postal Address: 60, DICKSON AVENUE ARTARMON, NSW 2064	Contact Numbers: Phone (H/B): 9966 4255 Mobile: 0423 629 493 Fax: 9966 4355
Signature of Applicant: 	Date: 15.07.2013

### OWNERS DETAILS

Name: DAVID J MENZIES, & KAREN M MENZIES	If Company, contact person:
Postal Address: 4, NAREEN PARADE, NORTH NARRABEEN, NSW 2101	Contact Numbers: Phone (H/B): 9446 0331 Mobile: 0402 090 606 Fax:

As the owner of the land to which this application relates, I consent to this application. I also give consent for the authorised Council Officer to enter the land to carry out inspections.

Signature of Owners:

Date:

9 July 2013

9 July 2013

If more than one owner, every owner must sign. If the owner is a company, the form must be signed by an authorised director and the common seal must be stamped on this application.  
If the property has been recently purchased, written confirmation from the purchaser's Solicitor must be provided.  
If the contracts have been exchanged for the purchase of the land, the current owner is to sign the application.

**DEVELOPMENT DETAILS**

Type of Work:	<input checked="" type="checkbox"/> Building Work
OR	
	<input type="checkbox"/> Subdivision Work
Description of proposal – (Provide brief, concise details): DEMOLITION OF AN EXISTING FAILED RETAINING WALL & CONSTRUCTION OF A NEW RETAINING WALL	

**WHO WILL BE DOING THE BUILDING WORKS?**

<input type="checkbox"/> Owner Builder	
Owner Builders Permit No: .....	
Copy of Owner Builders permit attached:	<input type="checkbox"/> Yes <input type="checkbox"/> No – to be provided with Notice of Commencement Form
<i>If you are an Owner-Builder for the residential building work exceeding \$5000 you must apply for a permit at NSW Office of Fair Trading, 1 Fitzwilliam Street, Parramatta NSW 2150 Australia. Tel: 61 2 98950111 Fax: 61 2 9895 0222. <a href="http://www.fairtrading.nsw.gov.au">www.fairtrading.nsw.gov.au</a></i>	

OR

<input checked="" type="checkbox"/> Licensed Builder Builder's License Number 190017C	
Name of Builder: LIVING SPACE CONSTRUCTION	Phone: 9966 4255
Contact person: SHAUN HANLEY	Mobile: 0423 629 493
Address: 60, DICKSON AVE, ARTARMON, NSW 2064	Fax: 9966 4355
Insurance Company: QBE INSURANCE LTD	Insurance Certificate attached: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No – to be provided with Notification of Commencement form
<i>From 1 February 2012 if you are using a licensed builder for residential building work exceeding \$20,000 you must obtain Home Warranty Insurance issued under the Home Building Act. A certificate of insurance must be provided with this application or submitted with the Notification of Commencement form.</i>	

**VALUE OF PROPOSED DEVELOPMENT**Value of Works: \$ 402,782.00 (including full cost of labour and materials)**DO YOU NEED TO PAY THE BUILDING INDUSTRY LONG SERVICE LEVY?**☒ Yes☐ No

Only required if the development involves building and construction works costing \$25,000.00 and above. Further details are available from the Long Service Corporation on telephone 13 14 41 or [www.longservice.nsw.gov.au](http://www.longservice.nsw.gov.au).

**OFFICE USE ONLY**

Fee Type	Cashier's Code	Fee Amount
Construction Certificate Application Fee	TCER	1789.17
Modification of Construction Certificate Fee	TCER	
Long Service Levy Fee	QLSL	
Driveway/Street Levels	ESTR	
Sec 94 Contributions		
Bonds/Guarantees		
Other Fees		
<b>TOTAL</b>		<b>\$1789.17</b>
Date of Receipt: 15/7/2013.	Receipt No: 343472	Accepted By: JANE R
New Application Number issued (not required for modification of CC)		CC <u>  1  </u>

**PRIVACY AND PERSONAL INFORMATION PROTECTION NOTICE**

Purpose of collection:	To enable Council to assess your proposal.
Intended recipients:	Council Staff/Consultants and any other relevant government agency that may be required to assess the proposal.
Supply:	The information is required by legislation.
Consequence of Non-provision:	Your application may not be accepted, not processed or rejected for lack of information
Storage:	Pittwater Council will store details of the application and any subsequent decision in a register that can be viewed by the public.
Retention period:	Hard copies of the application will be destroyed after 7 years and electronic records will be kept indefinitely.
Please contact Council if this information you have provided is incorrect or changes.	

STATISTICAL RETURN FOR AUSTRALIAN BUREAU OF STATISTICS

What is the area of the land?	Area in square metres	945	
Gross floor area of existing building?	Area in square metres	150	
If no existing building, write "NIL"			
What is the existing building or site used for at present?	Main uses:	PRIVATE DWELLING	
	Other uses:		
Does the site contain a dual occupancy?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	
Gross floor area of proposed building?	Proposed floor area in square metres	N/A	
What will the proposed building to be used for?	Main uses:	PRIVATE DWELLING	
	Other uses:	-	
How many dwellings:			
Are pre-existing at this property?	Dwellings:	01	
Are proposed to be demolished?	Dwellings:	N/A	
Are proposed to be constructed?	Dwellings:	N/A	
How many storeys will building consist of?	Storeys:	N/A	
What are the main building materials?			
Walls		Roof	
Full Brick	<input type="checkbox"/>	Aluminium	<input type="checkbox"/>
Brick veneer	<input type="checkbox"/>	Concrete or slate	<input type="checkbox"/>
Concrete, masonry	<input type="checkbox"/>	Tile	<input type="checkbox"/>
Steel	<input type="checkbox"/>	Fibrous cement	<input type="checkbox"/>
Fibrous cement	<input type="checkbox"/>	Steel	<input type="checkbox"/>
Timber/weatherboard	<input type="checkbox"/>	Other	<input type="checkbox"/>
Cladding-aluminium	<input type="checkbox"/>	Unknown	<input type="checkbox"/>
Curtain glass	<input type="checkbox"/>		
Other	<input type="checkbox"/>		
Unknown	<input type="checkbox"/>		
Floor		Frame	
Concrete	<input type="checkbox"/>	Timber	<input type="checkbox"/>
Timber	<input type="checkbox"/>	Steel	<input type="checkbox"/>
Other	<input type="checkbox"/>	Other	<input type="checkbox"/>
Unknown	<input type="checkbox"/>	Unknown	<input type="checkbox"/>



APPLICANT'S CHECK LIST

<p>Note: This list is intended as a guide to the type of information to be submitted. Some items may not be required and Section B of the Conditions of Development Consent for the building works may specify further additional information required with submission of your Construction Certificate Application.</p>	
<p>Application Form –</p>	<div><input checked="" type="checkbox"/> Owner's Consent</div> <div><input checked="" type="checkbox"/> Applicant's Signature</div> <div><input checked="" type="checkbox"/> Long Service Levy</div> <div><input type="checkbox"/> Driveway/Street levels Application</div>
<p>Supporting Documentation - (3 copies of each)</p>	<div><input checked="" type="checkbox"/> Architectural Plans</div> <div><input type="checkbox"/> Quick Check Plans endorsed by Sydney Water</div> <div><input checked="" type="checkbox"/> Construction Specifications for Building Works</div> <div><input checked="" type="checkbox"/> Structural Engineer's Plans</div> <div><input type="checkbox"/> Structural/Geotechnical Certificates</div> <div><input type="checkbox"/> Landscape Plans</div> <div><input checked="" type="checkbox"/> Driveway Level Plans</div> <div><input type="checkbox"/> On-site Stormwater Detention Plans</div> <div><input type="checkbox"/> Drainage Plans on Site Storm Management</div> <div><input type="checkbox"/> Erosion and Sediment Management Plan</div> <div><input type="checkbox"/> Sydney Water Quick Check Plans</div> <div><input type="checkbox"/> Subdivision Work Plans</div> <div><input type="checkbox"/> Schedule of External Finishes/Colours</div> <div><input type="checkbox"/> Fire Safety Measures Schedule</div> <div><input checked="" type="checkbox"/> Form No. 2 – "Geotechnical Risk Management Policy for Pittwater"</div> <div><input type="checkbox"/> Details and location of fencing for Swimming Pool to comply with AS 1926-1986 "Fences and Gates for Private Swimming Pools"</div> <div><input type="checkbox"/> Specifications for construction of buildings in Bushfire-prone areas</div> <div><input type="checkbox"/> Security Deposit / Section 94 contributions</div> <div><input type="checkbox"/> Building Code of Australia – Alternative solution report that has been peer reviewed by a separate suitably qualified person</div>

MM DP5332222

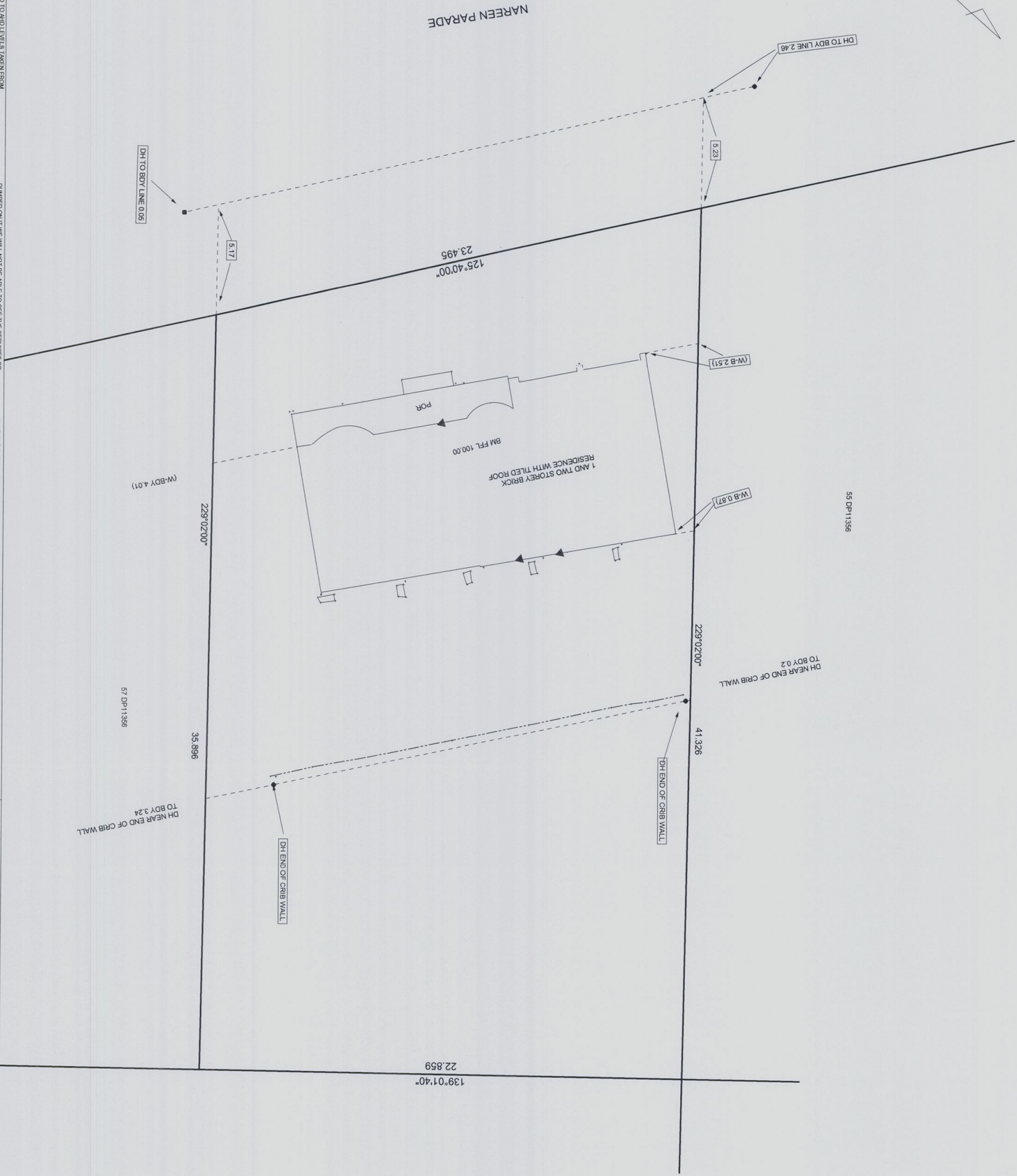


SHEET 1 OF 2  
SEE SHEET 2 FOR OFFSET MARKS TO BOUNDARY

1. DATA OBSERVED TO AND LEVELS TAKEN FROM
  2. RELATIONSHIP OF IMPROVEMENTS TO BOUNDARIES IS DIAGRAMATIC ONLY
  3. FURTHER SURVEY IS CRITICAL THEY SHOULD BE CONFIRMED BY
  4. LEVELS SHOWN, THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY
  5. OBSERVED NOT INTERPOLATED FROM THE CONTIGUOUS
  6. POSITION A SHAPE OF THEES APPROX & DIAGRAMATIC ONLY THE TREE
  7. THE SKETCHED HAD LOSS OF CRITICAL DATA HAS BEEN OBTAINED
  8. AN UNKNOCKED ONE IS A PRELIMINARY COPY ONLY A DIGITAL COPY
  9. SERVICES ONLY LOCATED WHERE VISIBLE ON THE DATE OF SURVEY
  10. WE DID NOT PROBE OR SHIFT THINGS ABOUT TO LOCATE THEM
  11. IF THE SITE IS OVERGROWN OR THERE IS TILL OR OTHER OBSTACLE
- DIMENSION ON IT WE WILL NOT BE ABLE TO SEE THE SERVICES OR OBTAIN AN ACCURATE CONTIGUOUS PLAN
7. IT IS CRITICAL THAT BEFORE ANY EXCAVATION IS CARRIED OUT ON THE SITE A PLAN SHOWING WHERE THE KNOWN SERVICE LINE IS EVEN THEN NOT ALL EXISTING SERVICES MAY BE SHOWN
- IF REQUIRED AT AN ADDITIONAL FEE WE MAY BE ABLE TO OBTAIN A SERVICE LAYOUT PLAN SHOWING ALL KNOWN SERVICES ON THE
8. NO LEVELS OR SERVICES WERE LOCATED OR OBSERVED IN THE NEIGHBOURING LOT
- BECAUSE IF THE SUBJECT LOT IS CUT OR FILLED THE BOUNDARY OF THE BOUNDARY LINE TO THE NATURAL SURFACE AS IT EXISTED ON THE DATE OF SURVEY
9. NEIGHBOURING STRUCTURES WERE ONLY LOCATED FROM AIR-SET LOT OR FROM STREET WE DO NOT GO ONTO NEIGHBOURING PROPERTIES UNLESS WE ARE ACCOMPANIED BY THE CLIENT
10. NORTH POINT IS TAKEN FROM THE DEPOSITED PLAN SHOWN AND ITS TYPE SHOWN WE DO NOT CHECK CONNECTIONS TO THE SERVICE RECORD
11. IT IS LEFT UP TO THE DESIGNER TO COMMENT ON THE LIKE WHICH WILL AFFECT WHAT CAN BE BUILT ON THE SITE
12. THE PLAN SHOWS THE DETAILS AS REQUIRED BY THE ORIGINAL CLIENT ONLY
13. WHEN DESIGNING A NEW RESIDENCE OR AN EXTENSION TO THE EXISTING RESIDENCE THE ABSOLUTE MINIMUM WALL BOUNDARY SETBACK (INCLUDING COLUINS AND RENDER) IS 0.2. IF ANYTHING GOES WRONG DURING CONSTRUCTION AND THE SETBACK IS LESS THAN 0.2 THERE MAY BE EXPOSURE TO BE DONE IN ORDER TO COMPLY WITH THE SETBACK REQUIREMENTS. THE SETBACK IS 0.2 METRES FROM THE BOUNDARY TO THE SETBACK AT LEAST 0.05 BIGGER THAN THE MINIMUM SO AS TO AVOID ANY PROBLEMS

DOMENICO ZAMPERI		Pty Ltd	(REGISTERED SURVEYOR)
ABN 15 061 313 139			
CONSULTING SURVEYOR AND PLANNER			
10 DIXON STREET, ABBOTSBURY 2176			
Telephone 98235931, 98234341, Fax 98235855, Mobile 0412999762			
email: dom@zamperi.com.au www.zamperi.com.au			
PLAN:	SHOWING APPROXIMATE POSITION OF VARIOUS STRUCTURES SPOT HEIGHTS TO ASSUMED DATUM AND OFFSETS TO BOUNDARIES TO ASSUMED STRUCTURES AND MARKS ON LOT 56 IN DP11356 AT NORTH NARRAREEN		
CLIENT:	DW KNOX AND PARTNERS		
JOB NO.	5520-14-11-2012		
SCALE:	1:100		
DATE OF SURVEY	14-11-2012		
VERSION			
PRE CHECK:			
FINAL CHECK:			





1. DATUM OBSERVED TO AND LEVELS TAKEN FROM  
2. RELATIONSHIP OF IMPROVEMENTS TO BOUNDARIES IS DIAGRAMMATIC ONLY, WHERE OFFSETS ARE CRITICAL, THEY SHOULD BE CONFIRMED BY  
3. CONTROLS SHOWN DEPict THE TOPOGRAHY EXCEPT AT SPOT LEVELS SHOWN. THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY OBSERVED NOT INTERFERED WITH BY THE SURVEYOR  
4. POSITION & SHAPE OF TREES APPROX & DIAGRAMMATIC ONLY. THE TREE MAY BE LEANING. IF THIS IS CRITICAL, ITS TRUE POSITION MUST BE OBTAINED BY MEANS OF A TRIPLE TRIANGLE SURVEY  
5. AN INSURED ONE IS A PRELIMINARY COPY ONLY. A DIGITAL COPY OF THE PLAN MAY BE A PRELIMINARY PLAN ON THE DATE OF SURVEY. WE DO NOT PROBE OR SHIFT THINGS ABOUT TO LOCATE THEM. IF THE SITE IS OVERGROWN OR THERE IS FILL OR OTHER RUBBISH, DUMPED ON IT, WE WILL NOT BE ABLE TO SEE THE SERVICES OR 7. IT IS CRITICAL THAT BEFORE ANY EXCAVATION IS CARRIED OUT ON THE SITE A PLAN SHOWING WHERE THE KNOWN SERVICE LINE IS ON THE SUBJECT LOT BE OBTAINED FROM THE RELEVANT AUTHORITY, IF REQUIRED AT AN ADDITIONAL FEE. WE MAY BE ABLE TO OBTAIN A SERVICE LAYOUT PLAN SHOWING ALL KNOWN SERVICES ON THE SUBJECT LOT. WE WILL NOT CHECK ON ITS VALIDITY.  
8. NEIGHBOURING STRUCTURES WERE ONLY LOCATED FROM SUBJECT LOT OR FROM STREET. WE DO NOT CHECK THE ACCURACY OF THAT PLAN. IF TRUE NORTH IS REQUIRED THEN CONNECTIONS TO THE GRID ARE REQUIRED AT AN ADDITIONAL FEE.  
9. ON THE USE OF LOT 103, THE SURVEYOR HAS NO RESTRICTIONS TO THE DESIGNER TO COMPLY WITH THE REQUIREMENTS OF THE DESIGNER.  
10. THE PLAN SHOWS THE DETAILS AS REQUIRED BY THE ORIGINAL CLIENT ONLY.  
11. WHEN DESIGNING A NEW RESIDENCE OR AN EXTENSION TO THE EXISTING RESIDENCE, THE ABSOLUTE MINIMUM CONSTRUCTION AND THE SETBACK BECOMES 0.866 THERE MAY BE EXPENSIVE WORK TO BE DONE IN ORDER TO AVOID ANY PROBLEMS.  
12. THE PLAN SHOWS THE DETAILS AS REQUIRED BY THE ORIGINAL CLIENT ONLY.  
13. WHEN DESIGNING A NEW RESIDENCE OR AN EXTENSION TO THE EXISTING RESIDENCE, THE ABSOLUTE MINIMUM CONSTRUCTION AND THE SETBACK BECOMES 0.866 THERE MAY BE EXPENSIVE WORK TO BE DONE IN ORDER TO AVOID ANY PROBLEMS.

DOMENICO ZAMPIERI (REGISTERED SURVEYOR)

ABN 15 061 313 139  
CONSULTING SURVEYOR AND PLANNER  
10 DIXON STREET, ABOOTSLEY 2176  
Telephone 9825931, 9823434 : Fax 9823585 : Mobile 0412999762  
email : dom@zamperi.com.au www.zamperi.com.au

PLAN:  
SHOWING APPROXIMATE POSITION OF VARIOUS STRUCTURES  
SPOT HEIGHTS TO ASSUMED DATUM AND OFFSETS TO  
BOUNDARIES FROM VARIOUS STRUCTURES AND MARKS  
ON LOT 96 IN DP11386 AT NORTH NARRABEEN

JOB NO. 5820-14-11-2012  
SCALE: 1:100  
DATE OF SURVEY 14-11-2012

VERSION

PRE CHECK

CLIENT: DW KNOX AND PARTNERS

FINAL CHECK



# PROPOSED RECONSTRUCTION OF COLLAPSED RETAINING WALL 4 NAREEN PARADE, NORTH NARABEEN, N.S.W. 2101

## DRAWING LIST

S1	Cover Sheet: Drawing List & Locality Plan	N.T.S.
S2	General Notes I	N.T.S.
S3	General Notes II	N.T.S.
S4	Repair/General Scope of Works	N.T.S.
S5	Part Site Plan	1:200
S6	Retaining Wall Layout Plan	1:100
S7	Typical Section: Existing Retaining Wall Layout	1:50
S8	Typical Section: Proposed Retaining Wall Layout	1:50
S9	Structural Details	1:20/1:10



LOCATION PLAN



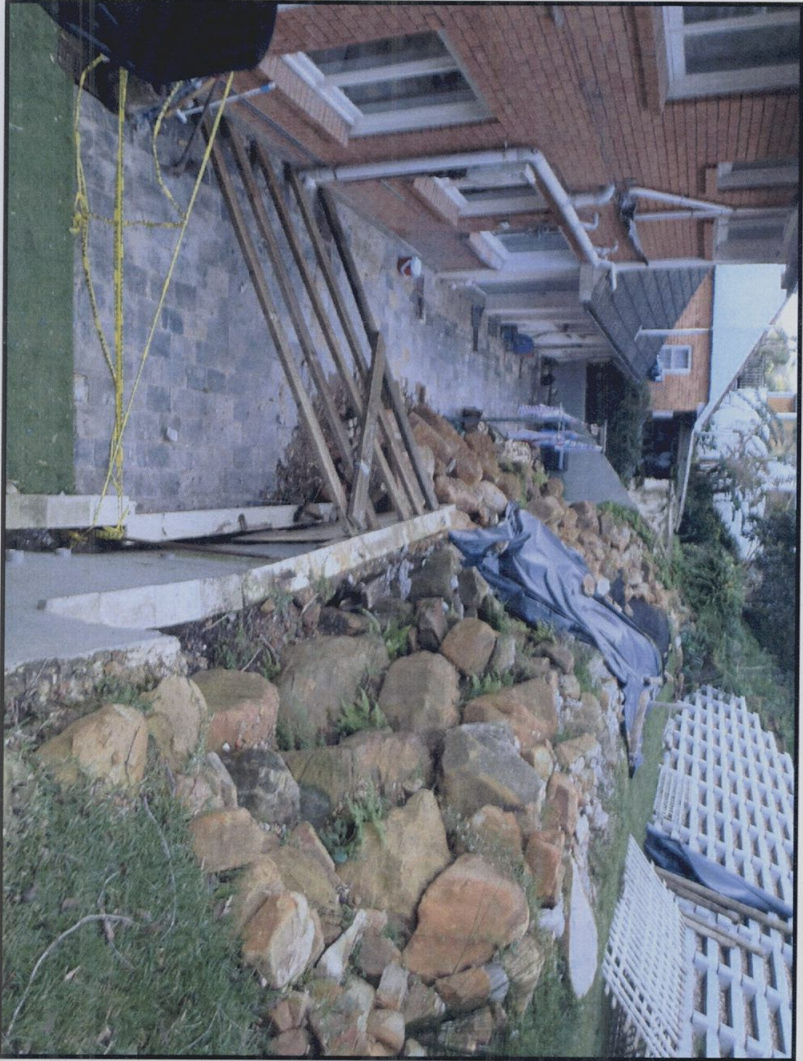
NOTE: This document has not been validated unless this control record has been completed.

CONSTRUCTION DRAWINGS	Director: Design Engineer:	10.07.13
TENDER DRAWINGS	Director: Design Engineer:	05.03.13
DOCUMENTATION TO 90%	Director: Design Engineer:	14.01.13
CONCEPT DESIGN	Director: Design Engineer:	
DRAWING STATUS	REVIEWED BY INITIALS	DATE
DOCUMENT CONTROL RECORD		

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COPYRIGHT NOTE

ISSUE	REV	DESCRIPTION	DATE
C		ISSUED FOR CONSTRUCTION	10.07.13
B		ISSUED FOR TENDER	05.03.13
A		PRELIMINARY ISSUE	14.01.13



SUBJECT PROPERTY

## APPLIES TO ALL DRAWINGS

ALL WORKS ARE TO BE IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA AND ALL CURRENT AUSTRALIAN STANDARDS, OH&S, WORK COVER, EPA, LOCAL COUNCIL APPROVALS AND REQUIREMENTS.


THIS DRAWING PACKAGE REPRESENTS A REINSTATEMENT OF THE ASSUMED EXISTING CONDITIONS PRIOR TO THE COLLAPSE.

## ISSUED FOR CONSTRUCTION


SUBJECT TO COUNCIL APPROVAL



THE WORK INDICATED ON THIS DRAWING IS TO BE CARRIED OUT IN ACCORDANCE WITH ALL WORKCOVER REQUIREMENTS AND OCCUPATIONAL HEALTH & SAFETY ACT REGULATIONS.



CONSULT AUSTRALIA  
CONSULTING & MANAGEMENT



D.W. KNOX & PARTNERS  
CONSULTING & MANAGEMENT

E: [innovation@dwknox.com.au](mailto:innovation@dwknox.com.au) | W: [www.dwknox.com.au](http://www.dwknox.com.au)  
A: Level 8, 53 Walter Street North Sydney, N.S.W. 2060  
T: +61 2 9366 1171 | F: +61 2 9366 1171  
Consulting Services Pty Ltd (Trading as D.W. KNOX & PARTNERS)  
NSW 1585 155 Street NSW 1585 155 Street

CLIENT	AAMI LIMITED (CLAIM NO: H009381867)				
PROJECT	4 NAREEN PARADE, NORTH NARABEEN, N.S.W. 2101				
DRAWING TITLE	COVER SHEET: DRAWING LIST & LOCALITY PLAN				
DRAWN	J.C.	CHECKED	M.L.	DATE	DEC. '12
SCALE # A3		APPROVED	M.L.	DRAWING NO	212501/S1
				ISSUE	C
				REV.	



GENERAL NOTES

GENERAL

- G1. DIMENSIONS SHALL NOT BE OBTAINED BY SCALING FROM DRAWINGS. ALL SETTING OUT DIMENSIONS SHALL BE VERIFIED AND DISCREPANCIES SHALL BE REFERRED TO THE ENGINEER PRIOR TO COMMENCEMENT OF WORK.
- G2. CARE IS REQUIRED DURING CONSTRUCTION SO THAT STRUCTURAL ELEMENTS ARE NOT OVERSTRESSED AND THAT THE WORKS AND EXCAVATIONS REQUIRED THEREFORE ARE KEPT STABLE AT ALL TIMES.
- G3. DESIGN, MATERIALS AND WORKMANSHIP ARE TO BE IN ACCORDANCE WITH CURENT S.A.A. STANDARDS AND STATUTORY AUTHORITY REGULATIONS EXCEPT WHERE VARIED BY THESE DOCUMENTS.
- G4. DESIGN LIVE LOADS ARE AS FOLLOWS:- RETAINING WALL SURCHARGE: 25KPa
- G5. ULTIMATE WIND SPEED V500 = N/A
- G6. THE METHOD OF CONSTRUCTION AND THE MAINTENANCE OF SAFETY DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE BUILDER. IF ANY STRUCTURAL ELEMENT PRESENTS DIFFICULTY IN RESPECT OF CONSTRUCTABILITY OR SAFETY, THE MATTER SHALL BE REFERRED TO THE STRUCTURAL ENGINEER FOR RESOLUTION BEFORE PROCEEDING WITH THE WORK. THE DETERMINATION OF A SAFE WORK METHOD REMAINS THE RESPONSIBILITY OF THE BUILDER.
- G7. DURING CONSTRUCTION THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION AND NO PART SHALL BE OVERLOADED. TEMPORARY BRACING SHALL BE PROVIDED BY THE CONTRACTOR IN ORDER TO KEEP THE BUILDING WORKS AND EXCAVATIONS STABLE AT ALL TIMES.
- G8. NO CHANGES IN ANY STRUCTURAL ELEMENT DOCUMENTED IN THESE STRUCTURAL DRAWINGS SHALL BE MADE WITHOUT REFERENCE TO THE STRUCTURAL ENGINEER. NO SUBSTITUTIONS SHALL BE MADE WITHOUT REFERENCE TO THE STRUCTURAL ENGINEER.
- G9. PROPRIETARY ITEMS SPECIED ON THE STRUCTURAL DRAWINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS WRITTEN RECOMMENDATIONS.
- G10. THE BUILDER SHALL ARRANGE SEPARATE CERTIFICATION OF ANY ADDITIONAL DESIGN AND CONSTRUCT COMPONENT BY A CHARTERED (NPER REGISTERED) STRUCTURAL ENGINEER.
- G11. ALL ARCHITECTURAL FITMENTS (GLAZING, PARTITIONS, CEILINGS) SHOULD ALLOW FOR THE SHORT AND LONG TERM MOVEMENT OF STRUCTURAL ELEMENTS. THE BUILDER SHOULD CONSULT THE STRUCTURAL ENGINEER FOR THE EXTENT OF ALLOWANCE TO BE MADE.
- G12. THE STRUCTURAL ENGINEER ACCEPTS NO RESPONSIBILITY FOR ANY WORKS NOT INSPECTED OR NOT APPROVED BY THE STRUCTURAL ENGINEER DURING CONSTRUCTION.
- G13. A MINIMUM OF FORTY EIGHT (48) HOURS NOTICE IS REQUIRED FOR ALL ENGINEERING INSPECTIONS.

FOOTINGS AND RETAINING

- F1. FOOTINGS TO BE CAST IN APPROVED MATERIAL HAVING AN ALLOWABLE BEARING CAPACITY OF 1500KPA (MEDIUM STRENGTH SANDSTONE).
- F2. FOOTINGS TO BE CONSTRUCTED AND BACKFILLED AS SOON AS POSSIBLE FOLLOWING EXCAVATION TO AVOID SOFTENING BY RAIN OR DRYING OUT BY EXPOSURE.
- F3. REFER TO 'DOUGLAS PARTNERS' REPORT, REFERENCE No. 73137.01, DATED 19/12/2012.

STEEL

- S1. ALL STEELWORK TO BE GRADE 300 STEEL. HOLLOW SECTIONS TO BE GRADE 250 OR 350 AS APPROPRIATE. DESIGN, FABRICATION AND ERECTION TO BE IN ACCORDANCE WITH AS 4100.
- S2. STEELWORK SHALL HAVE ONE OF THE FOLLOWING GRADES OF CORROSION PROTECTION:-

A. THOROUGHLY CLEANED BY WIRE BRUSHING, FOLLOWED BY TWO COATS OF ZINC PHOSPHATE PRIMER EQUIVALENT TO DULUX LUXAPRIME APPLIED BY HAND USING BRUSHES TO ACHIEVE A TOTAL DRY FILM THICKNESS OF 70 MICRONS.

B. PREPARATION

- BLAST CLEAN TO MINIMUM STANDARD CLASS 2.5 IN ACCORDANCE WITH AS 1627 PART 4

PRIMER

- 2-PACK EPOXY ZINC PHOSPHATE AT DFT 75UM (DULUX DUREPON P14)

BARRIER COAT

- 2-PACK EPOXY MICAEOUS IRON OXIDE, DFT 100UM

FINISH COAT

- 2-PACK EPOXY HIGH GLOSS ACRYLIC TO DFT 75UM (EG. DULUX ACRATHANE IF) IN AN APPROVED COLOUR

C. HOT DIP GALVANISED TO AS/NZS 4680 TO 600GM/M2 OR 400GM/M2 AS APPROPRIATE. WHERE GALVANISING COATING IS BROKEN ON SITE MAKE GOOD WITH TWO COATS OF ZINC RICH EPOXY PRIMER EQUIVALENT TO DULUX ZINCANODE 202.

S3. ALL BOLTS TO ME M16Ø GRADE 8.8/5 TO AS 4100 & AS/NZS 1252 & 4291.1. SUPPLIERS ARE TO PROVIDE APPROPRIATE TEST CERTIFICATES FOR HIGH-STRENGTH BOLTS TO CONFIRM COMPLIANCE WITH THE STANDARDS (AS 4100, AS/NZS 1252 & 4291.1.) ALL WELDS TO BE CONTINUOUS 6MM FILLET. CATEGORY SPECIAL PURPOSE (SP), U.N.O. ALL BOLTS, NUTS AND WASHERS ARE TO BE HOT DIP GALVANISED. ALL PLATES TO BE 10MM, U.N.O.

S4. WORKSHOP DRAWINGS SHALL BE PREPARED AND TWO COPIES SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO FABRICATION COMMENCEMENT.
- ALL EXTERNAL  
STEELWORK, U.N.O.
- 
- 
- THE WORK INDICATED ON THIS  
DRAWING IS TO BE CARRIED  
OUT IN ACCORDANCE WITH  
ALL WORKCOVER REQUIREMENTS  
AND OCCUPATIONAL HEALTH  
& SAFETY ACT REGULATIONS.
- NOTE: This document has not been validated unless this  
control record has been completed.
- |                         |                               |          |  |  |       |     |                         |          |
|-------------------------|-------------------------------|----------|--|--|-------|-----|-------------------------|----------|
| CONSTRUCTION DRAWINGS   | Director:<br>Design Engineer: | 10.07.13 | The information shown on this drawing is applicable to this project only and is subject to copyright. The information shall not be reproduced in part or whole, without the written permission of D.W.KNOX & PARTNERS. |  |       |     |                         |          |
| TENDER DRAWINGS         | Director:<br>Design Engineer: | 05.03.13 |  |  |       |     |                         |          |
| DOCUMENTATION TO 90%    | Director:<br>Design Engineer: | 14.01.13 |  |  |       |     |                         |          |
| CONCEPT DESIGN          | Director:<br>Design Engineer: |          |  |  |       |     |                         |          |
| DRAWING STATUS          | REVIEWED BY                   | INITIALS |  |  | DATE  |     |                         |          |
| DOCUMENT CONTROL RECORD |                               |          | COPYRIGHT NOTE   |  | ISSUE | REV | DESCRIPTION             | DATE     |
|                         |                               |          |  |  | A     |     | PRELIMINARY ISSUE       | 14.01.13 |
|                         |                               |          |  |  | B     |     | ISSUED FOR TENDER       | 05.03.13 |
|                         |                               |          |  |  | C     |     | ISSUED FOR CONSTRUCTION | 10.07.13 |

CONSULT AUSTRALIA  
CONSULTING ENGINEERS  
E: info@consultaustralia.com.au | W: www.consultaustralia.com.au  
A: Level 8, 513 Walker Street North Sydney N.S.W. 2060  
Consulting Services Pty Ltd  
ACN 136 023 945 | ABN 55 136 023 945

DOUGLAS PARTNERS  
CONSULTING ENGINEERS & ARCHITECTS  
E: info@dpn.com.au | W: www.dpn.com.au  
A: Level 8, 513 Walker Street North Sydney N.S.W. 2060  
Consulting Services Pty Ltd  
ACN 136 023 945 | ABN 55 136 023 945

CLIENT AAMI LIMITED (CLAIM NO: H009381867)			
PROJECT 4 NAREEN PARADE, NORTH NARABEEN, N.S.W. 2101			
DRAWING TITLE GENERAL NOTES 1			
DRAWN J.C.	CHECKED M.L.	DATE DEC. 12	DRAWING NO. 212501/52
SCALE @ A3 ---	APPROVED M.L.		ISSUE REV. C



GENERAL NOTES (cont)

CONCRETE

- C1. ALL WORK IS TO BE IN ACCORDANCE WITH AS 3600. CONCRETE TO HAVE 28 DAY COMPRESSIVE STRENGTH OF 40MPA. CLEAR CONCRETE COVER TO ALL REINFORCEMENT AND CONCRETE STRENGTH FOR DURABILITY SHALL BE AS FOLLOWS, UNLESS SHOWN OTHERWISE:
- | EXPOSURE CLASSIFICATION | CONCRETE GRADE | CAST AGAINST GROUND | CAST IN FORMS AND EXPOSED | CAST IN FORMS AND NOT EXPOSED |
|-------------------------|----------------|---------------------|---------------------------|-------------------------------|
| TO AS 3600              |                |                     |                           |                               |
| A1 & A2                 | N25            | 50MM                | 30MM                      | 20MM (A1)                     |
| B1                      | N32            | 60MM                | 40MM                      |                               |
| B2                      | N40            | 65MM                | 45MM                      |                               |
- PROJECT CONTROL TESTING SHALL BE CARRIED OUT IN ACCORDANCE WITH AS 3600. SLUMP TO BE 70 ± 15MM.
- C2. REINFORCEMENT SYMBOLS:-
- |    |   |  |
|----|---|--|
| N  | - | BAR, DEFORMED TO AS/NZS 4671, GRADE D500N            |
| R  | - | BAR, PLAIN ROUND TO AS 1302, GRADE 250R              |
| SL | - | WELDED MESH, SQUARE TO AS/NZS 4671, GRADE D500L      |
| RL | - | WELDED MESH, RECTANGULAR TO AS/NZS 4671, GRADE D500L |
| RF | - | WELDED MESH TO AS/NZS 4671, GRADE D500L              |
- THE NUMBER FOLLOWING THESE SYMBOLS IS THE NUMBER OF MILLIMETRES IN THE BAR DIAMETER. ALL WELDED MESH FABRIC SHALL BE SUPPLIED IN FLAT SHEETS AND SHALL COMPLY WITH AS 1304.
- C3. FORMWORK IS TO BE DESIGNED AND ERECTED TO COMPLY WITH AS 3610 AND A CERTIFICATE STATING THIS IS TO BE PROVIDED BY THE CONTRACTOR ON REQUEST.
- C4. ALL REINFORCEMENT SHALL BE FIRMLY SUPPORTED ON RIGID PLASTIC OR CONCRETE CHAIRS AT NO GREATER THAN 1 METRE CENTRES, BOTH WAYS. BARS SHALL BE TIED AT ALTERNATE INTERSECTIONS. IN EXPOSURE CONDITIONS B1 OR GREATER USE PLASTIC CHAIRS.
- C5. THE FINISHED CONCRETE SHALL BE A DENSE HOMOGENEOUS MASS, COMPLETELY FILLING THE FORMWORK, THOROUGHLY EMBEDDING THE REINFORCEMENT AND FREE OF STONE POCKETS. ALL CONCRETE INCLUDING SLABS ON GROUND AND FOOTINGS SHALL BE COMPACTED WITH MECHANICAL VIBRATORS. PROVIDE CONSTRUCTION JOINTS TO ENGINEERS APPROVAL.
- C6. CURING OF ALL CONCRETE IS TO BE ACHIEVED BY KEEPING SURFACES CONTINUOUSLY WET FOR A PERIOD OF 3 DAYS, FOLLOWED BY PREVENTION OF LOSS OF MOISTURE FOR 7 DAYS FOLLOWED BY GRADUAL DRYING OUT. APPROVED SPRAYED ON CURING COMPOUNDS MAY BE USED WHERE NO FLOOR FINISHES ARE PROPOSED. POLYTHENE SHEETING OR WET HESSIAN MAY BE USED IF PROTECTED FROM WIND AND TRAFFIC.
- C7. CONSTRUCTION SUPPORT PROPPING IS TO BE LEFT IN PLACE TO AVOID OVERSTRESSING THE STRUCTURE DUE TO CONSTRUCTION LOADING. NO BRICKWORK OR PARTITION WALLS ARE TO BE CONSTRUCTED ON SUSPENDED LEVELS UNTIL PROPPING IS REMOVED AND THE SLAB HAS ABSORBED ITS DEAD LOAD DEFLECTION AND HAS ACHIEVED DESIGN STRENGTH.
- C8. THE ENGINEER SHALL BE GIVEN 48 HOURS NOTICE FOR REINFORCEMENT INSPECTION AND CONCRETE SHALL NOT BE DELIVERED UNTIL THE REINFORCEMENT IS IN ACCORDANCE WITH DESIGN.

BRICKWORK

- BR1. BRICKWORK IS TO BE CONSTRUCTED WITH MORTAR CLASS M3, 1.0 CEMENT : 1.0 LIME : 6.0 SAND, AND TO BE ADEQUATELY CURED PRIOR TO BEING LOADED. SAND IS TO BE CLEAN SAND WITH NO CLAY CONTENT. MASONRY TO BE CONSTRUCTED TO AS 3700
- BR2. TWO LAYERS OF APPROVED METAL BASED SLIP MATERIAL SHALL BE USED OVER ALL LOAD-BEARING WALLS THAT SUPPORT CONCRETE SLABS AND PLACED ON SMOOTH BRICKWORK OR TROWELLED MORTAR FINISH. NON LOAD-BEARING WALLS SHALL HAVE 10MM COMPRESSIBLE MATERIAL AND TIES TO THE SLAB SOFFIT.
- BR3. NO BRICKWORK SHALL BE CONSTRUCTED ON SUSPENDED SLABS UNTIL ALL PROPPING HAS BEEN REMOVED FROM THE UNDERSIDE OF THE SLAB AND THE CONCRETE HAS THE SPECIFIED 28 DAY CYLINDER STRENGTH VERIFIED BY TESTS.



THE WORK INDICATED ON THIS  
DRAWING IS TO BE CARRIED  
OUT IN ACCORDANCE WITH  
ALL WORKCOVER REQUIREMENTS  
AND OCCUPATIONAL HEALTH  
& SAFETY ACT REGULATIONS.

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CONSTRUCTION DRAWINGS	Director Design Engineer:	10.07.13	The information shown on this drawing is applicable to this project only and is subject to copyright. The information shall not be reproduced in part or whole, without the written permission of D.W.KNOX & PARTNERS.						
TENDER DRAWINGS	Director Design Engineer:	05.03.13							
DOCUMENTATION TO 90%	Director Design Engineer:	14.01.13							
CONCEPT DESIGN	Director Design Engineer:								
DRAWING STATUS	REVIEWED BY	INITIALS	DATE						
DOCUMENT CONTROL RECORD				COPYRIGHT NOTE		ISSUE	REV	DESCRIPTION	DATE

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Consulting Engineers Pty. Ltd. T: 651 2 9966 F: 651 2 9966  
Fax: 651 2 9966

dwknox CONSULTING ENGINEERS & ARCHITECTS  
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Consulting Engineers Pty. Ltd. T: 651 2 9966 F: 651 2 9966  
Fax: 651 2 9966

CLIENT AAAMI LIMITED (CLAIM NO: H009381867)					
PROJECT 4 NAREEN PARADE, NORTH NARABEEN, N.S.W. 2101					
DRAWING TITLE GENERAL NOTES II					
DRAWN J.C.	CHECKED M.L.	DATE DEC. '12	DRAWING NO 212501/S3	ISSUE C	REV.
SCALE & AS		APPROVED M.L.			

ISSUED FOR CONSTRUCTION  
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REPAIR SCOPE OF WORKS

(REFER TO THE PLANS S5 TO S8)

- SC1 PROVIDE TEMPORARY SAFETY FENCING (ALLOW TO MAINTAIN ACCESS TO DWELLING) & APPROPRIATE SIGNAGE.
- SC2 TEMPORARILY CLOSE OFF ACCESS TO THE CONSTRUCTION AREA. ENSURE SECURELY LOCKED.
- SC3 LOCALLY DISCONNECT / DIVERT SERVICES AS REQUIRED.
- SC4 PROTECT EXISTING REMAINING FINISHES FROM DAMAGE DURING THE COURSE OF THE WORKS.
- SC5 PROVIDE TEMPORARY SUPPORT / PROPPING / SHORING AS REQUIRED DURING THE WORKS, INCLUDING TO EXISTING ADJACENT RETAINING STRUCTURES THAT ARE TO REMAIN.
- SC6 THE CONSTRUCTION OF THE RETAINING WALL SHOULD BE STAGED SO AS NOT TO DESTABILISE THE EXISTING / COLLAPSED RETAINING WALL, SANDSTONE BOULDERS AND UPPER CRIBWALL.
- SC7 ALLOW TO CONSTRUCT THE NEW RETAINING WALL STRUCTURE IN MAXIMUM 4M SECTIONS.
- SC8 DURING DEMOLITION / EXCAVATION OF THE EXISTING / COLLAPSED RETAINING WALL AND SANDSTONE BOULDERS INSPECTION BY THE GEOTECHNICAL ENGINEER SHALL BE CARRIED OUT. CONTACT DOUGLAS PARTNERS.
- SC9 REMOVE AND DISPOSE OF EXCAVATED MATERIAL TO A DEDICATED WASTE FACILITY.
- SC10 LOCALLY SAW CUT THE EXISTING PAVING TO ALLOW CONSTRUCTION OF THE NEW RETAINING WALL.
- SC11 DURING EXCAVATION FOR THE NEW PIERS TO THE NEW RETAINING WALL INSPECTION BY THE GEOTECHNICAL ENGINEER SHALL BE CARRIED OUT. CONTACT DOUGLAS PARTNERS.
- SC12 PRIOR TO CONCRETE FILLING THE PIERS & PIER CAPS TO THE NEW RETAINING WALL INSPECTION OF THE REINFORCEMENT BY THE STRUCTURAL ENGINEER SHALL BE CARRIED OUT. CONTACT DWKNOX & PARTNERS.
- SC13 SHOP DRAWINGS OF THE STRUCTURAL STEEL COLUMNS AND CONCRETE INFILL WALL PANELS TO THE NEW RETAINING WALL SHALL BE PROVIDED FOR REVIEW / APPROVAL PRIOR TO INSTALLATION. CONTACT DWKNOX & PARTNERS.
- SC14 PRIOR TO INSTALLATION OF THE CONCRETE INFILL WALL PANELS TO THE NEW RETAINING WALL INSPECTION OF THE INSTALLED STRUCTURAL STEEL COLUMNS BY THE STRUCTURAL ENGINEER SHALL BE CARRIED OUT. CONTACT DWKNOX & PARTNERS.
- SC15 INSTALL CONCRETE INFILL WALL PANELS TO THE NEW RETAINING WALL.
- SC16 INSTALL REAR WALL DRAINAGE & VAPOUR BARRIER.
- SC17 BACKFILL AGAINST THE REAR OF THE NEW RETAINING WALL TO PROVIDE A MAXIMUM 1:3 BATTER SLOPE BEHIND THE RETAINING WALL.
- SC18 INSTALL NEW TURF TO BATTER SLOPE.
- SC19 INSTALL NEW TIMBER FRAMED, TRANSLUCENT ROOF SHEETED PERGOLA.
- SC20 INSTALL NEW 1M MINIMUM HIGH FENCE / BALUSTRADE (TO COMPLY WITH B.C.A. REQUIREMENTS) TO THE BATTERED SLOPE BEHIND THE NEW RETAINING WALL.
- SC21 INSTALL NEW PROPRIETARY GRATED DRAIN IN THE PATIO PAVING ALONG THE FRONT OF THE NEW RETAINING WALL.
- SC22 ALLOW TO REMOVE AND REPLACE THE SLATE PAVING TO THE PATIO AREA. THE CONDITION OF THE UNDERLYING CONCRETE SLAB TO BE INSPECTED PRIOR TO INSTALLING THE NEW SLATE PAVING.
- SC23 INSTALL NEW TIMBER STAIR (TO COMPLY WITH B.C.A. REQUIREMENTS INCLUDING BALUSTRADE / HANDRAIL).
- SC24 REINSTATE CLOTHES LINE.
- SC25 REMOVE ALL TEMPORARY PROPPING / SHORING.
- SC26 RE-INSTATE SERVICES AS NECESSARY.
- SC27 MAKE GOOD ADJOINING AREAS (INCLUDING BUT NOT LIMITED TO THE EASTERN SIDE PASSAGE SYNTHETIC LAWN AREA, THE FRONT MASONRY PAVED DRIVEWAY AND PARKING AREAS) AS REQUIRED.
- SC28 REMOVE ALL DEBRIS FROM SITE DURING AND UPON COMPLETION OF WORKS AND DISPOSE OF AT A DEDICATED WASTE FACILITY.

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CONSTRUCTION DRAWINGS	Director: Design Engineer:	10.07.13
TENDER DRAWINGS	Director: Design Engineer:	05.03.13
DOCUMENTATION TO 90%	Director: Design Engineer:	14.01.13
CONCEPT DESIGN	Director: Design Engineer:	
DRAWING STATUS	REVIEWED BY INITIALS	DATE
DOCUMENT CONTROL RECORD		

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C			
		ISSUED FOR CONSTRUCTION	10.07.13
B		ISSUED FOR TENDER	05.03.13
A		PRELIMINARY ISSUE	14.01.13

GENERAL SCOPE OF WORKS


- A. ALLOW TO OBTAIN ALL RELEVANT PERMITS AND NECESSARY APPROVALS FROM LOCAL AUTHORITY PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- B. ALL MATERIALS & WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA (BCA), RELEVANT AUSTRALIAN STANDARDS, LOCAL GOVERNMENT, WORKCOVER NSW AND OCCUPATIONAL HEALTH & SAFETY & REGULATION REQUIREMENTS AS APPLICABLE AND CURRENT BUILDING PRACTICES.
- C. CONTRACTOR TO PROVIDE TEMPORARY PROPPING / BRACING AS REQUIRED UNTIL ALL REPLACEMENT FRAMING HAS BEEN INSTALLED.
- D. DEMOLITION TO BE IN ACCORDANCE WITH AS 2601 DEMOLITION OF STRUCTURES, THE PROTECTION OF THE ENVIRONMENT OPERATIONS (WASTE) REGULATION, WORKCOVER NSW AND OCCUPATIONAL HEALTH & SAFETY & REGULATION REQUIREMENTS AS APPLICABLE.
- E. FOLLOWING DEMOLITION CHECK ALL PLUMBING / PIPEWORK FOR BLOCKAGES / BREAKAGES. VERIFY ADEQUACY & MAKE GOOD AS FOUND NECESSARY.
- F. REMOVE ALL DEBRIS FROM SITE AND DISPOSE OF ALL MATERIALS ACCORDINGLY TO AN APPROVED WASTE MANAGEMENT CENTRE.
- G. PROTECT ALL IMMEDIATE SURROUNDING STRUCTURES AND TREES DURING THE DEMOLITION AND CONSTRUCTION PHASE.
- H. ALL MASONRY TO BE IN ACCORDANCE WITH AS 3700 MASONRY STRUCTURES AND AS 4773.1 MASONRY IN SMALL BUILDINGS - DESIGN.
- I. TENDERING BUILDER TO ADVISE APPROXIMATE TIME TO CARRY OUT WORKS IN TENDER SUBMISSION.
- J. WHERE ADDITIONAL WORKS ARE REQUIRED, SUCH AS REMEDIATION OF DAMAGED ITEMS UNCOVERED FOLLOWING REMOVAL OF FINISHES, THESE SHALL BE VARIATIONS TO THE SCOPE, AND WILL NEED TO BE APPROVED BY THE INSURANCE COMPANY PRIOR TO THE WORK BEING CARRIED OUT.
- K. TO BE READ IN ACCORDANCE WITH GEOTECHNICAL REPORT No. 73137.01 BY 'DOUGLAS PARTNERS', DATED 19/12/2012.
- L. REMAINING STRUCTURES BEYOND THE AREA OF THE SCOPE OF WORKS SHALL REMAIN THE RESPONSIBILITY OF THE INSURED.

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SUBJECT TO COUNCIL APPROVAL



CONSULT AUSTRALIA  
CONSULTING ENGINEERS



DWKNOX  
CONSULTING ENGINEERS

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ABN 15 153 102 546 | M: 08 93 15 102 546

CLIENT		AAAMI LIMITED (CLAIM No: H009381867)	
PROJECT		4 NAREEN PARADE, NORTH NARABEEN, N.S.W. 2101	
DRAWING TITLE			
REPAIR SCOPE OF WORKS			
DRAWN	CHECKED	DATE	DRAWING No
J.C.	M.L.	DEC. '12	212501/S4
SCALE @ A3	APPROVED		ISSUE
---	M.L.		REV.



DENOTES EXISTING CONCRETE CRIB RETAINING WALL TO REMAIN (APPROX. 2.8m MAX. HIGH)

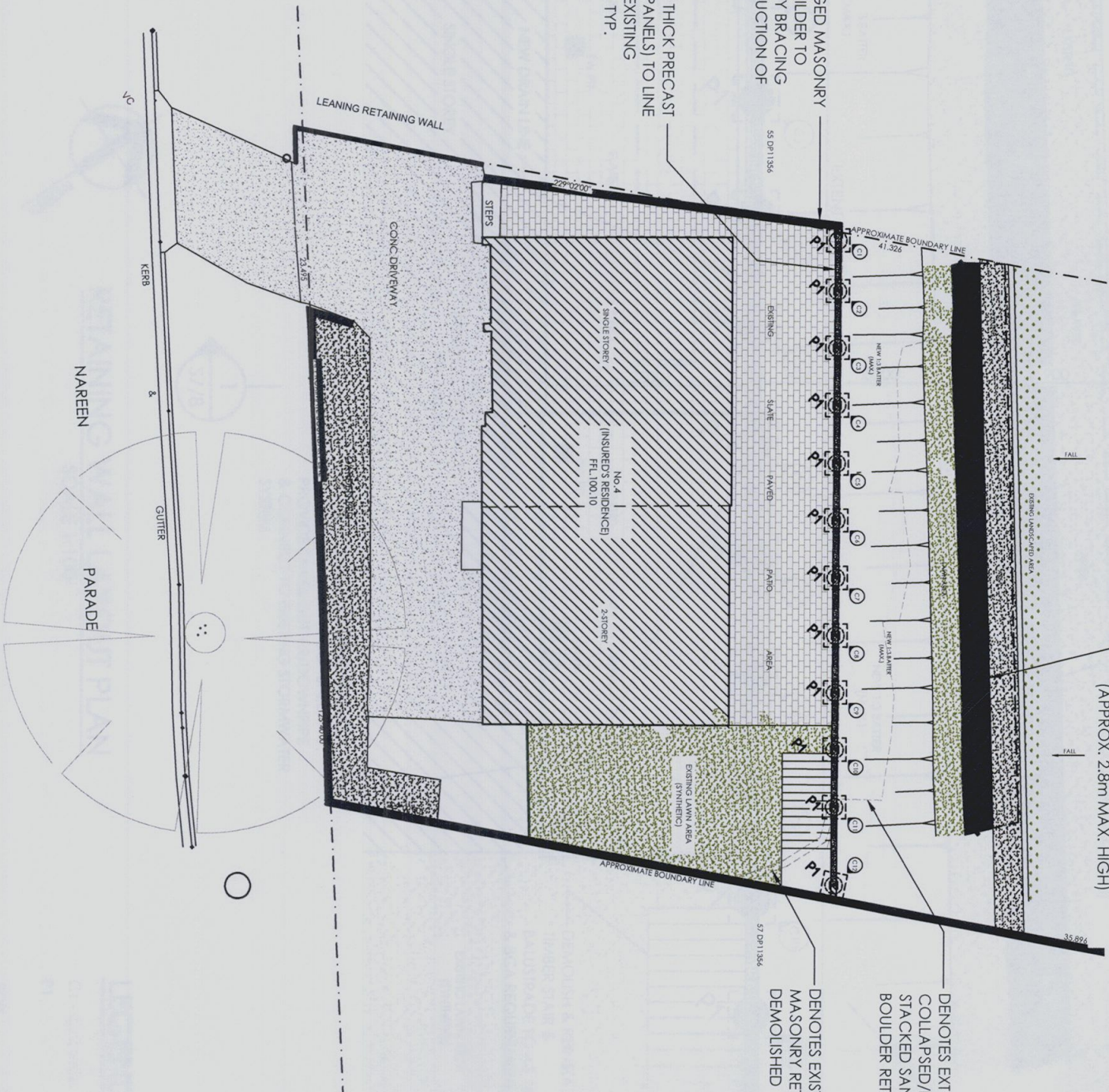
DENOTES EXISTING NON-DAMAGED MASONRY DEMOLISHED

DENOTES EXISTING NON-DAMAGED MASONRY RETAINING WALL TO BE DEMOLISHED

DENOTES EXTENT OF COLLAPSED/EXISTING DRY STACKED SANDSTONE BOULDER RETAINING WALL

DENOTES EXISTING NON-DAMAGED MASONRY TO REMAIN. BUILDER TO PROVIDE ADEQUATE TEMPORARY BRACING DURING DEMOLITION & CONSTRUCTION OF NEW RETAINING WALL, TYP.

DENOTES NEW 200 THICK PRECAST CONCRETE WALL PANELS TO LINE UP WITH FACE OF EXISTING COLLAPSED WALL, TYP.



THE WORK INDICATED ON THIS DRAWING IS TO BE CARRIED OUT IN ACCORDANCE WITH ALL WORKCOVER REQUIREMENTS AND OCCUPATIONAL HEALTH & SAFETY ACT REGULATIONS.



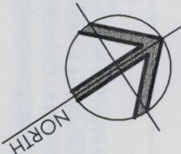
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CONSTRUCTION DRAWINGS	Director:	10.07.13
TENDER DRAWINGS	Director:	05.03.13
DOCUMENTATION TO 90%	Design Engineer:	14.01.13
CONCEPT DESIGN	Director:	
DRAWING STATUS	Design Engineer:	
	REVIEWED BY INITIALS	DATE

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B		ISSUED FOR TENDER	05.03.13
A		PRELIMINARY ISSUE	14.01.13



PART SITE PLAN  
SCALE 1:200

ISSUED FOR CONSTRUCTION  
SUBJECT TO COUNCIL APPROVAL

NOTE  
SURVEY INFORMATION OBTAINED FROM DRAWING NO.5520-14-11-2012 BY 'DOMENICO ZAMPIERI PTY. LTD.'

NOTE:  
FOR SCOPE OF WORKS & GENERAL NOTES REFER TO DRAWING NO's. 212501/S2 - S4.

CONSULT AUSTRALIA

D.W.KNOX CONSULTING ENGINEERS & ARCHITECTS

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A: Level 8, 527 North Sydney Road, North Sydney, NSW 1585  
Consulting Services Pty Ltd ABN 65 138 033 346

CLIENT	AAMI LIMITED (CLAIM NO.: H009381867)			
PROJECT	4 NAREEN PARADE, NORTH NARABEEN, N.S.W. 2101			
DRAWING TITLE	PART SITE PLAN			
DRAWN BY	J.C.	CHECKED BY	M.L.	DATE
SCALE TO	AS SHOWN	APPROVED BY	M.L.	JAN. '13
DRAWING NO.	212501/SS		SCALE	C
REV.				



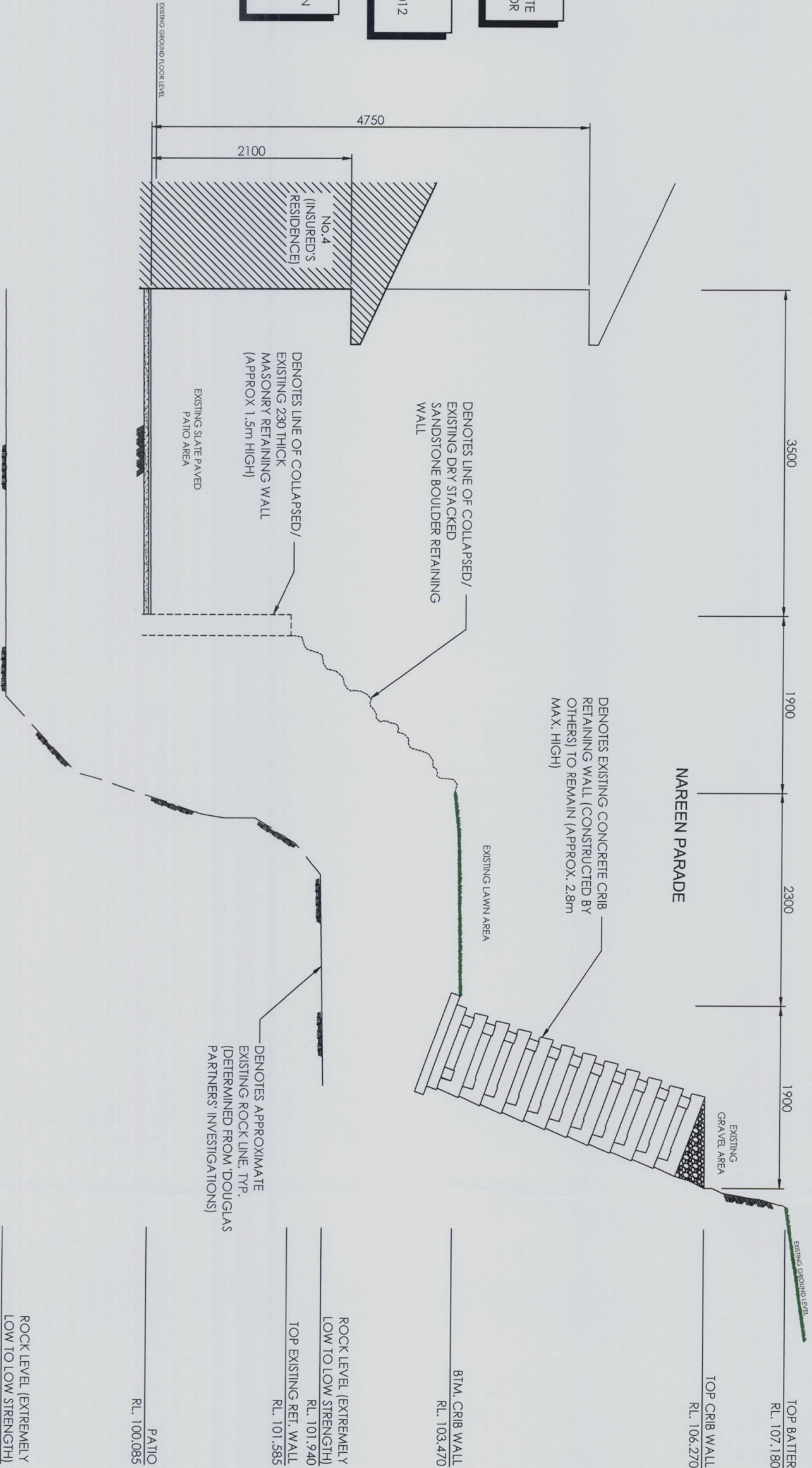




**NOTE**  
ALL DIMENSIONS ARE APPROXIMATE  
& ARE TO BE VERIFIED ON SITE PRIOR  
TO COMMENCEMENT OF WORK.

**NOTE**  
SURVEY INFORMATION OBTAINED  
FROM DRAWING NO.5520-14-1-1-2012  
BY 'DOMENICO ZAMPIERI PTY. LTD.'

**NOTE**  
GEOTECHNICAL INFORMATION  
OBTAINED FROM REPORT  
NO. 73137.01 BY 'DOUGLAS  
PARTNERS'



TYPICAL SECTION 1  
SCALE 1:50

SHOWING EXISTING  
RETAINING WALL PROFILE




THE WORK INDICATED ON THIS  
DRAWING IS TO BE CARRIED  
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ALL WORKCOVER REQUIREMENTS  
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& SAFETY ACT REGULATIONS.

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DOCUMENTATION TO 90%	Director:	14.01.13
CONCEPT DESIGN	Design Engineer:	
DRAWING STATUS	REVIEWED BY INITIALS	DATE

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A		PRELIMINARY ISSUE	14.01.13
B		ISSUED FOR TENDER	05.03.13
C		ISSUED FOR CONSTRUCTION	10.07.13



**CONSULT AUSTRALIA**  
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NO. 138 073 945 (ABN 55 138 073 945)



**Douglas Partners**  
CONSULTING ENGINEERS & ARCHITECTS  
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Consulting Services Pty Ltd trading as D.W. KNOX & PARTNERS  
NO. 138 073 945 (ABN 55 138 073 945)

ROCK LEVEL (MEDIUM STRENGTH)  
RL. 95.585

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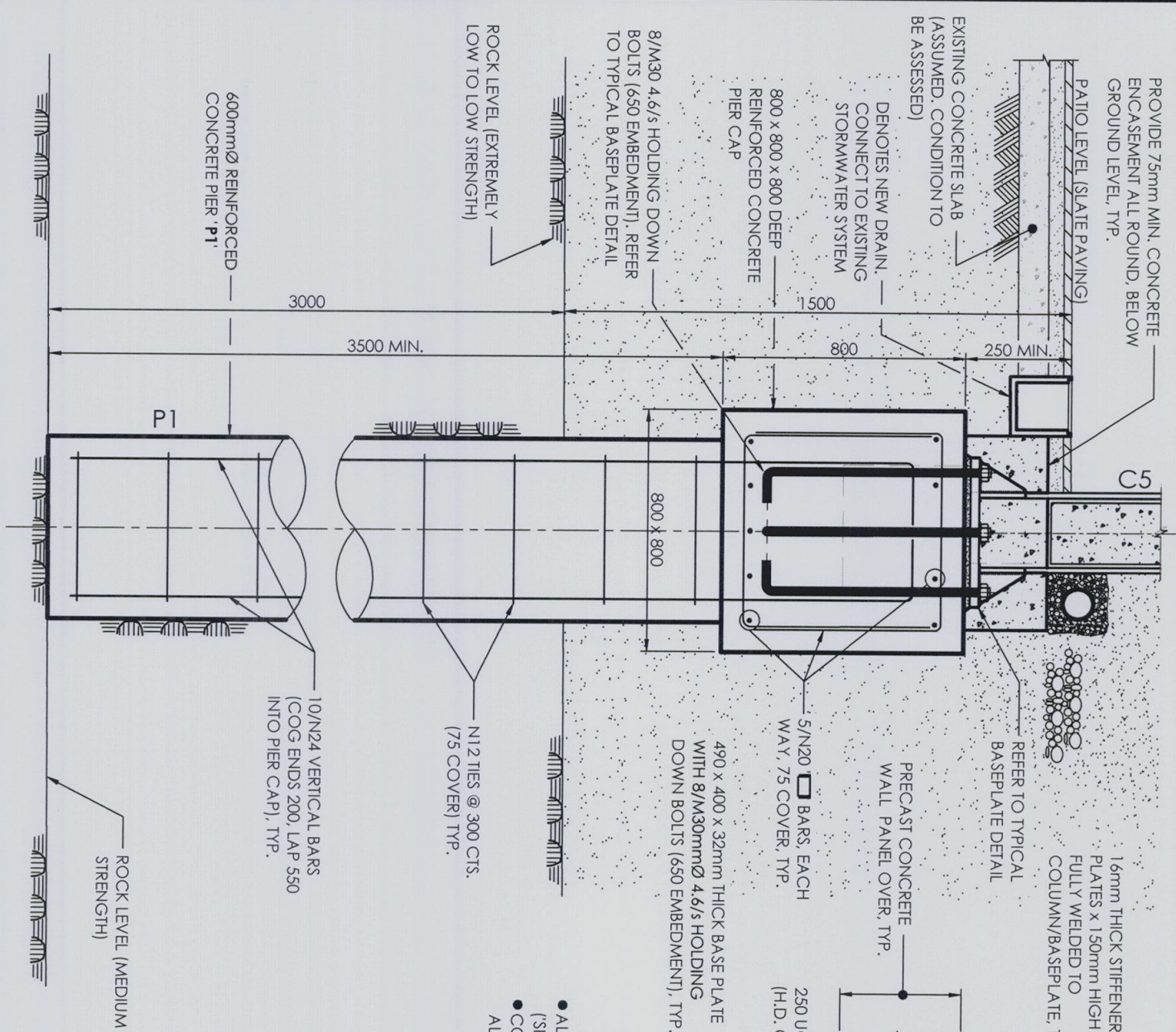
**NOTE:**  
FOR SCOPE OF WORKS & GENERAL NOTES  
REFER TO DRAWING NO'S. 212501/S2 - S4.

CLIENT	AAMI LIMITED (CLAIM NO: H009381867)				
PROJECT	4 NAREEN PARADE, NORTH NAREEEN, N.S.W. 2101				
DRAWING TITLE	TYPICAL SECTION: EXISTING RETAINING WALL LAYOUT				
DRAWN	CHECKED	DATE	DRAWING NO	SCALE	REV
J.C.	M.L.	DEC. '12	212501/S7	C	
AS SHOWN	M.L.				







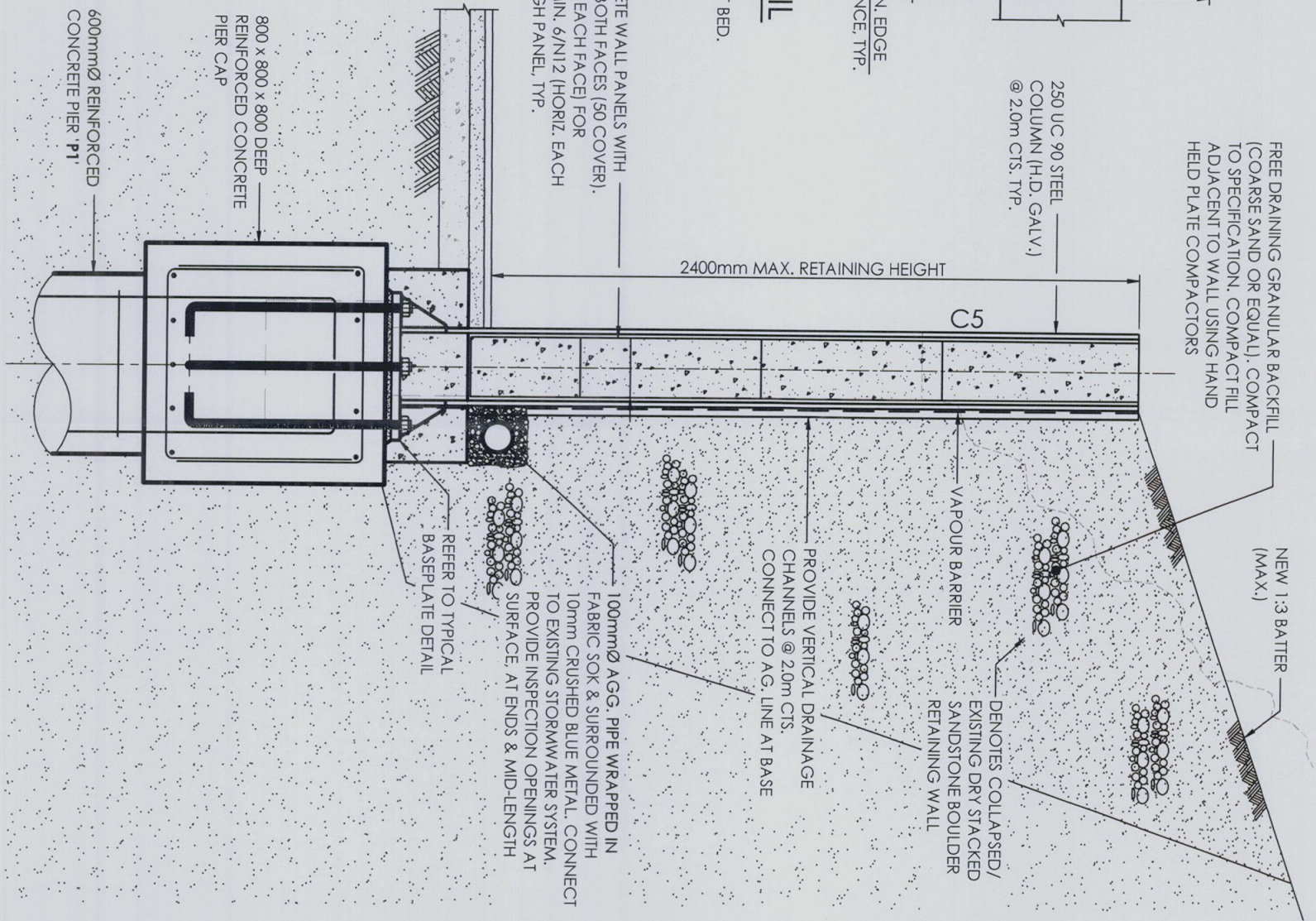


COLUMNS 'C1' - 'C12' INCL.  
TYPICAL BASEPLATE DETAIL

- ALL BASE PLATES TO HAVE 20mm NON-SHRINK GROUT BED. (Sika GROUTPACK OR AN APPROVED EQUIV.).
- COLUMN FLANGES F.P.B.W. TO BASEPLATE.
- ALL OTHER WELDS TO BE 8mm CFW, U.N.O.

SCALE 1:10

200 THICK PRECAST CONCRETE WALL PANELS WITH N12 @ 200 CTS. EACH WAY, BOTH FACES (50 COVER). PROVIDE MIN. 4/N12 (HORIZ. EACH FACE) FOR 600-800mm HIGH PANEL & MIN. 6/N12 (HORIZ. EACH FACE) FOR 1000-1200mm HIGH PANEL, TYP.



NOTE:  
FOR SCOPE OF WORKS & GENERAL NOTES  
REFER TO DRAWING No's. 212501/S2 - S4.

ISSUED FOR CONSTRUCTION  
SUBJECT TO COUNCIL APPROVAL




THE WORK INDICATED ON THIS  
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OUT IN ACCORDANCE WITH  
ALL WORKCOVER REQUIREMENTS  
AND OCCUPATIONAL HEALTH  
& SAFETY ACT REGULATIONS.

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CONSTRUCTION DRAWINGS	Director:	10.07.13
TENDER DRAWINGS	Design Engineer:	05.03.13
DOCUMENTATION TO 90%	Director:	14.01.13
CONCEPT DESIGN	Design Engineer:	
DRAWING STATUS	REVIEWED BY INITIALS	DATE

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ISSUE	REV	DESCRIPTION	DATE
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B		ISSUED FOR TENDER	05.03.13
A		PRELIMINARY ISSUE	14.01.13



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A: Level 2, 53 Market Street North Sydney N.S.W. 2060  
(Sydney CBD 111) | M: 138 013 246 | ABN 55 138 013 246



4 NAREEN PARADE, NORTH NARABEEN, N.S.W. 2101

CLIENT AAAMI LIMITED (CLAIM NO: H009381867)			
PROJECT 4 NAREEN PARADE, NORTH NARABEEN, N.S.W. 2101			
DRAWING TITLE STRUCTURAL DETAILS			
DRAWN J.C.	CHECKED M.L.	DATE DEC. '12	ISSUE REV.
AS SHOWN	M.L.	212501/S9	C



**Home Warranty Insurance  
Certificate of Insurance**



**Home Warranty  
Insurance Fund**

QBE Insurance (Australia) Ltd  
Level 3, 85 Harrington St  
SYDNEY NSW 2000  
Phone: 1300 790 723  
Fax: 02 8275 9330  
ABN: 78 003 191 035  
AFS License No: 239545



Policy Number BN0008064BWI-168

DAVID & KAREN MENZIES  
4 NAREEN PARADE  
NORTH NARRABEEN 2101

**Name of Intermediary**  
BALLINA INSURANCE BROKERS  
PO BOX 958  
BALLINA 2478

**Account Number**  
BN2047447  
**Date Issued**  
15/05/2013

**Policy Schedule Details**

**Certificate in Respect of Insurance**

Residential Building Work by Contractors

A contract of insurance complying with sections 92 and 96 of the Home Building Act 1989 has been issued by QBE Insurance (Australia) Limited as agent for and on behalf of the NSW Self Insurance Corporation (SICorp) (ABN 97 369 689 650) who is responsible for management of the Home Warranty Insurance Fund.

<b>In Respect of</b>	ALTERATIONS AND ADDITIONS STRUCTURAL
<b>At</b>	4 NAREEN PARADE NORTH NARRABEEN NSW 2101
<b>Carried Out By</b>	BUILDER LIVING SPACE CONSTRUCTIONS PTY ABN: 46 122 023 572
<b>Declared Contract Price</b>	\$402,782.00
<b>Contract Date</b>	07/05/2013
<b>Builders Registration No.</b>	U190017C
<b>Building Owner / Beneficiary</b>	DAVID & KAREN MENZIES

Subject to the Act and the Home Building Regulation 2004 and the conditions of the insurance contract, cover will be provided to the Building Owner/Beneficiary named in the domestic building contract and to the successors in title to the Building Owner/Beneficiary or the immediate successor in title to the contractor or developer who did the work and subsequent successors in title.

Signed for and on behalf of NSW Self Insurance Corporation (SICorp)

Ty Ayscough

**IMPORTANT NOTICE:**

In addition to this certificate of insurance, a policy wording which outlines the terms and conditions of the cover provided is available from the HWIF website. To access that policy wording visit [www.homewarranty.nsw.gov.au](http://www.homewarranty.nsw.gov.au)

**GEOTECHNICAL RISK MANAGEMENT POLICY FOR PITTWATER**  
**FORM NO. 2 – PART B – To be submitted with detailed design for Construction Certificate**

PART B Declaration made by Geotechnical Engineer or Engineering Geologist and/or Coastal Engineer (where applicable) in relation to the incorporation of the Geotechnical issues into the project design

I, RAY BLINMAN on behalf of DOUGLAS PARTNERS P/L  
(insert name) (trading or company name)

on this the 12 JULY 2013  
(date)

certify that I am a Geotechnical Engineer ~~or Engineering Geologist and/or Coastal Engineer~~ as defined by the Geotechnical Risk Management Policy for Pittwater - 2009 and I am authorised by the above ~~organisation/company~~ to issue this document and to certify that the ~~organisation/company~~ has a current professional indemnity policy of at least \$2million. I also certify that I have reviewed the design plans and structural design plans for the Construction Certificate Stage and that I am satisfied that:

Please mark appropriate box

- ☐ the structural design meets the recommendations as set out in the Geotechnical Report or any revision thereto.
- ☐ the structural design has considered the requirements set out in the Geotechnical Report for Excavation and Landfill both for the excavation/construction phase and the final installation in accordance with Clause 3.2 (b)(iv) of the Geotechnical Risk Management Policy.

**Geotechnical Report Details:**

Report Title:	<u>Additional Geotechnical Investigations</u>
	<u>Retaining Wall Collapse (Claim No. H009381867)</u>
Report Date:	<u>4 Nareen Parade, North Narrabeen</u>
	<u>19 December 2012</u>
Author:	<u>Ray Blinman</u>

**Documentation which relates to or is relied upon in report preparation:**

<u>DWENOX &amp; PARTNERS DRAWING Nos. 212501/S1 to</u>
<u>212501/S9, ALL ISSUE B, DATED DECEMBER 2012</u>

I am also aware that Pittwater Council relies on the processes covered by the Geotechnical Risk Management Policy, including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an "Acceptable Risk Management" level for the life of the structure taken as at least 100 years unless otherwise stated and justified.

Signature RBLio  
Name RAY BLINMAN  
Chartered Professional Status CPEng  
Membership No. 817088  
Company Douglas Partners Pty Ltd.

Please note : • A risk assessment has not been undertaken for this site.  
• Df's report addresses the reconstruction of the collapsed retaining wall only.

**GEOTECHNICAL RISK MANAGEMENT POLICY FOR PITTWATER**  
**FORM NO. 2 – PART A – To be submitted with detailed design for Construction Certificate**

Development Application for

David J Menzies & Karen M Menzies  
Name of Applicant

Address of site 4, Nareen Parade, North Narrabeen, NSW 2101 (Lot 56 DP 11356)

**PART A: Declaration made by Structural or Civil Engineer in relation to the incorporation of the Geotechnical issues into the project design**

I, Michael Loke on behalf of D.W. Knox & Partners  
(insert name) (trading or company name)

on this the 05 / 07 / 2013  
(date)

certify that I am a Structural or Civil Engineer as defined by the Geotechnical Risk Management Policy for Pittwater - 2009. I am authorised by the above organisation/company to issue this document and to certify that the organisation/company has a current professional indemnity policy of at least \$2million. I also certify that I have prepared the below listed structural documents in accordance with the recommendations given in the Geotechnical Report for the above development and that

**Please mark appropriate box**

- ☐ the structural design meets the recommendations as set out in the Geotechnical Report or any revision thereto.  
☒ ~~the structural design has considered the requirements set out in the Geotechnical Report for Excavation and Landfill both for the excavation/construction phase and the final installation in accordance with Clause 3.2 (b)(iv) of the Geotechnical Risk Management Policy.~~

**Geotechnical Report Details:**

Report Title: Retaining Wall Collapse (Claim No. H009381867) Project 73137.00 & Project 73137.01  
Report Date: 19 October 2012 & 19 December 2012  
Author: Ray Blinman  
Author's Company/Organisation: Douglas Partners

**Structural Documents list:**

Drawings 212501 / S1 to S9 all Issue B

I am also aware that Pittwater Council relies on the processes covered by the Geotechnical Risk Management Policy, including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an "Acceptable Risk Management" level for the life of the structure taken as at least 100 years unless otherwise stated and justified.

Signature: 

Name: Michael Loke

Chartered Professional Status: Structural College / NPER

Membership No.: 970146

Company: D. W. Knox & Partners



# Levy Online Payment Receipt

## Building and Construction

LIVING SPACE CONSTRUCTIONS  
60,  
DICKSON AVENUE  
ARTARMON NSW 2064

Long Service Corporation  
Level 1  
19-21 Watt Street  
Gosford NSW 2250  
Locked Bag 3000  
Central Coast MC NSW 2252  
Tel: 13 14 41  
Fax: (02) 9287 5685  
Email: [info@longservice.nsw.gov.au](mailto:info@longservice.nsw.gov.au)  
[www.longservice.nsw.gov.au](http://www.longservice.nsw.gov.au)  
ABN 93 646 090 808

### Application Details:

Applicant Name:	LIVING SPACE CONSTRUCTIONS
Levy Number:	5046677
Application Type:	DA
Application Number:	N0144/13
Approving Authority:	PITTWATER COUNCIL

### Work Details:

Site Address:	4, NAREEN PDE NORTH NARRABEEN NSW 2101
Value of work:	\$402,782
Levy Due:	\$1,410.00

### Payment Details:

LSC Receipt Number:	141196
Payment Date:	4/07/2013 9:30:53 AM
Bank Payment Reference:	707841458
Levy Paid:	\$1,410.00
Credit card surcharge:	\$5.64
<b>Total Payment Received:</b>	<b>\$1,415.64</b>



# PITTWATER COUNCIL

ABN61340837871

02 9970 1111

02 9970 1200

PO Box 882

Mona Vale NSW 1660

DX 9018, Mona Vale

## Business Hours:

8.00am to 5.30pm, Monday to Thursday

8.00am to 5.00pm, Friday

**DA No: N0144/13**

3 July 2013

LIVING SPACE CONSTRUCTIONS PTY LTD

60 DICKSON AVENUE

ARTARMON NSW 2064

Dear Sir/Madam

### **Development Application for Demolition of an existing failed retaining wall and construction of a new retaining wall at 4 NAREEN PARADE NORTH NARRABEEN NSW 2101.**

I am pleased to advise that this application has been approved and I attach for your assistance a copy of the Development Consent, the conditions of approval and a copy of the approved plans.

If building works are involved, prior to proceeding with the proposal, it will be necessary for you to lodge a Construction Certificate Application with either Council or an accredited Certifier.

I take this opportunity to direct your attention to Section C of the Consent which details the matters to be satisfied prior to issue of the Construction Certificate.

Additionally, for your reference, please find enclosed Information Sheets that will assist in providing information you will need to consider for the processes following on from receiving this consent.

If there are any matters relating to this approval which require further explanation, please contact me prior to commencing work on the site.

Enquiries relating to the Construction Certificate application should be directed to Council's Customer Service or your private certifier.

Yours faithfully



**Rebecca Englund**  
**PLANNER**

[pittwater\\_council@pittwater.nsw.gov.au](mailto:pittwater_council@pittwater.nsw.gov.au) [www.pittwater.nsw.gov.au](http://www.pittwater.nsw.gov.au)

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Village Park 1 Park Street, Mona Vale

Artarmon Customer Service Centre  
59A Old Barrenjoey Road, Avalon

Support Services  
Units 11, 12, 13 + 16/5 Vuko Place, Warriewood

Boondah Branch  
1 Boondah Road, Warriewood

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**CONSENT NO: N0144/13**  
**ENVIRONMENTAL PLANNING & ASSESSMENT ACT, 1979 (AS AMENDED)**  
**NOTICE TO APPLICANT OF DETERMINATION**  
**OF A DEVELOPMENT APPLICATION**

Applicants Name and Address:  
LIVING SPACE CONSTRUCTIONS  
60 DICKSON AVENUE  
ARTARMON NSW 2064

Being the applicant in respect of Development Application No **N0144/13**

Pursuant to section 80(1) of the Act, notice is hereby given of the determination by Pittwater Council, as the consent authority, of Development Application No **N0144/13** for:

**Demolition of an existing failed retaining wall and construction of a new retaining wall**

**At: 4 NAREEN PARADE, NORTH NARRABEEN (Lot 56 DP 11356)**

**Decision:**

The Development Application has been determined by the granting of consent based on information provided by the applicant in support of the application, including the Statement of Environmental Effects, and in accordance with

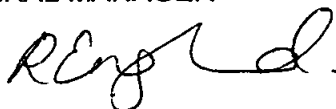
**Architectural drawings 212501/S5, 212501/S6 and 212501/S8 dated January 2013, and 212501/S9 dated December 2012, all prepared by DWKnox and Partners; and**  
**Engineering Assessment Report, reference 73137.01, prepared by Douglas Partners, dated 19 December 2012**

as amended in red (shown clouded) or as modified by any conditions of this consent.

The reason for the imposition of the attached conditions is to ensure that the development consented to is carried out in such a manner as to achieve the objectives of the Environmental Planning and Assessment Act 1979 (as amended), pursuant to section 5(a) of the Act, having regard to the relevant matters for consideration contained in section 79C of the Act and the Environmental Planning Instruments applying to the land, as well as section 80A of the Act which authorises the imposing of the consent conditions.

**Endorsement of date of consent 3 July 2013**

Mark Ferguson  
GENERAL MANAGER  
Per:



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Boondah Depot  
1 Boondah Road, Warriewood

## Conditions of Approval

This consent is not an approval to commence building work. The works associated with this consent can only commence following the issue of the Construction Certificate.

Note: Persons having the benefit of development consent may appoint either a council or an accredited certifier as the principal certifying authority for the development or for the purpose of issuing certificates under Part 4A of the Environmental Planning and Assessment Act. When considering engaging an accredited certifier a person should contact the relevant accreditation body to ensure that the person is appropriately certified and authorised to act in respect of the development.

### A. Prescribed Conditions:

1. All works are to be carried out in accordance with the requirements of the Building Code of Australia.
2. In the case of residential building work for which the *Home Building Act 1989* requires there to be a contract of insurance in force in accordance with Part 6 of that Act, there is to be such a contract in force.
3. Critical stage inspections are to be carried out in accordance with clause 162A of the *Environmental Planning & Assessment Regulation 2000*. To allow a Principal Certifying Authority or another certifying authority time to carry out critical stage inspections required by the Principal Certifying Authority, the principal contractor for the building site or the owner-builder must notify the Principal Certifying Authority at least 48 hours before building work is commenced and prior to further work being undertaken.
4. A sign must be erected in a prominent position on any site on which building work, subdivision work or demolition work is being carried out:
  - a. showing the name, address and telephone number of the Principal Certifying Authority for the work, and
  - b. showing the name of the principal contractor (if any) for any building work and a telephone number on which that person may be contacted outside working hours, and
  - c. stating that unauthorised entry to the work site is prohibited.

Any such sign is to be maintained while the building work, subdivision work or demolition work is being carried out, but must be removed when the work has been completed.

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5. Residential building work within the meaning of the Home Building Act 1989 must not be carried out unless the Principal Certifying Authority for the development to which the work relates (not being the Council) has given the Council written notice of the following information:
  - a. in the case of work for which a principal contractor is required to be appointed:
    - i. The name and licence number of the principal contractor, and
    - ii. The name of the insurer by which the work is insured under Part 6 of that Act.
  - b. in the case of work to be done by an owner-builder:
    - i. The name of the owner-builder, and
    - ii. If the owner-builder is required to hold an owner-builder permit under that Act, the number of the owner-builder permit.
6. If arrangements for doing the residential building work are changed while the work is in progress so that the information notified under subclause (2) becomes out of date, further work must not be carried out unless the Principal Certifying Authority for the development to which the work relates (not being the Council) has given the Council written notice of the updated information.
7. The hours of construction are restricted to between the hours of 7.00am and 5.00pm Monday - Friday and 7.00am to 1.00pm on Saturdays. No works are to be carried out on Sundays or Public Holidays. Internal building work may be carried out at any time outside these hours, subject to noise emissions from the building or works not being audible at any adjoining boundary.

## **B. Matters to be incorporated into the development and maintained over the life of the development:**

1. If any Aboriginal Engravings or Relics are unearthed all work is to cease immediately and the Metropolitan Local Aboriginal Land Council (MLALC) and Department of Environment & Climate Change (DECC) are to be notified.
2. Domestic pet animals are to be kept from entering wildlife habitat areas at all times. Dogs and cats are to be kept in an enclosed area or on a leash such that they cannot enter areas of bushland or foreshore, unrestrained, on the site or on surrounding properties or reserves. Ferrets and rabbits are to be kept in a locked hutch/run at all times.

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1000 Pittwater Drive, Leura  
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Support Services  
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Boondah Theatre  
1 Boondah Road, Warriewood

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3. Any vegetation planted onsite outside approved landscape zones is to be consistent with:
  - a. Species listed in the Ecological Sustainability Plan or Bushland Management Plan (if applicable)
  - b. Species listed from the Endangered Ecological Community
  - c. Locally native species growing onsite and/or selected from the list pertaining to the vegetation community growing in the locality as per the vegetation mapping and Native Plants for Your Garden available on the Pittwater Council website  
[http://www.pittwater.nsw.gov.au/environment/species\\_lists](http://www.pittwater.nsw.gov.au/environment/species_lists)
4. Prior to the completion of works, all declared noxious weeds are to be removed/controlled in accordance with the Noxious Weeds Act 1993. Environmental weeds are to be removed and controlled. Refer to Pittwater Council website [http://www.pittwater.nsw.gov.au/environment/noxious\\_weeds](http://www.pittwater.nsw.gov.au/environment/noxious_weeds) for noxious/environmental weed lists.
5. No environmental weeds are to be planted on the site. Refer to Pittwater Council website [http://www.pittwater.nsw.gov.au/environment/noxious\\_weeds](http://www.pittwater.nsw.gov.au/environment/noxious_weeds) for environmental weed lists.
6. In accordance with Pittwater Council's DCP Control B4.22 Protection of Trees and Bushland Vegetation, all existing trees as indicated in the Survey Plan and/or approved Landscape Plan shall be retained except where Council's prior written consent has been obtained, for trees that stand within the envelope of approved development areas and removal is approved through an arborist report. For all other tree issues not related to a development application, applications must be made to Council's Tree Management Officers.
7. This approval/consent relates only to the new work nominated on the approved consent plans and does not approve or regularise any existing buildings or structures within the property boundaries or within Council's road reserve.
8. The surface of the proposed retaining wall is to be finished in dark and earthy tones.

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Customer Service  
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## **C. Matters to be satisfied prior to the issue of the Construction Certificate:**

Note: All outstanding matters referred to in this section are to be submitted to the accredited certifier together. Incomplete Construction Certificate applications / details cannot be accepted.

1. Prior to issue of the Construction Certificate, Form 2 of the *Geotechnical Risk Management Policy for Pittwater* (Appendix 5 of P21 DCP) is to be completed and submitted to the Principal Certifying Authority.
2. Civil engineering details of the proposed excavation/landfill are to be submitted to the Accredited Certifier or Council with the Construction Certificate application. Each plan/sheet is to be signed by a qualified practising Civil Engineer who has corporate membership of the Institution of Engineers Australia (M.I.E) or who is eligible to become a corporate member and has appropriate experience and competence in the related field.
3. Submission of construction plans and specifications and documentation which are consistent with the approved Development Consent plans, the requirements of Building Code of Australia and satisfy all conditions shown in Part B above are to be submitted to the Principal Certifying Authority.

## **D. Matters to be satisfied prior to the commencement of works and maintained during the works:**

Note: It is an offence to commence works prior to issue of a Construction Certificate.

1. All excavations and backfilling associated with the erection or demolition of a building must be executed safely and in accordance with appropriate professional standards.
2. All excavations associated with the erection or demolition of a building must be properly guarded and protected to prevent them from being dangerous to life or property.
3. Where excavations extend below the level of the base of the footings of a building on an adjoining allotment of land, the person causing the excavation must preserve and protect the building from damage and, if necessary, underpin and support the adjoining building in an approved manner.

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Neighbourhood Customer Service Centres  
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Support Services  
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Technical Services  
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4. Temporary sedimentation and erosion controls are to be constructed prior to commencement of any work to eliminate the discharge of sediment from the site.
5. Adequate measures shall be undertaken to remove clay from vehicles leaving the site so as to maintain public roads in a clean condition.
6. No works are to be carried out in Council's Road Reserve without the written approval of the Council.
7. No skip bins or materials are to be stored on Council's Road Reserve.
8. A clearly legible *Site Management Sign* is to be erected and maintained throughout the course of the works. The sign is to be centrally located on the main street frontage of the site and is to clearly state in legible lettering the following:
  - o The builder's name, builder's telephone contact number both during work hours and after hours.
  - o That no works are to be carried out in Council's Road Reserve without the written approval of the Council.
  - o That a Road Opening Permit issued by Council must be obtained for any road openings or excavation within Council's Road Reserve associated with development of the site, including stormwater drainage, water, sewer, electricity, gas and communication connections. During the course of the road opening works the Road Opening Permit must be visibly displayed at the site.
  - o That no skip bins or materials are to be stored on Council's Road Reserve.
  - o That the contact number for Pittwater Council for permits is 9970 1111.
9. Any proposed demolition works shall be carried out in accordance with the requirements of AS2601-2001 *The Demolition of Structures*.

Amongst others, precautions to be taken shall include compliance with the requirements of the WorkCover Authority of New South Wales, including but not limited to:

[pittwater\\_council@pittwater.nsw.gov.au](mailto:pittwater_council@pittwater.nsw.gov.au) or [pittwater.nsw.gov.au](http://pittwater.nsw.gov.au)

Head Office  
Village Park 1 Park Street, Mona Vale

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- Protection of site workers and the general public.
- Erection of hoardings where appropriate.
- Asbestos handling and disposal where applicable.
- Any disused service connections shall be capped off.

Council is to be given 48 hours written notice of the destination/s of any excavation or demolition material. The disposal of refuse is to be to an approved waste disposal depot.

10. A stamped copy of the approved plans is to be kept on the site at all times, during construction.

## **E. Matters to be satisfied prior to the issue of Occupation Certificate:**

Note: Prior to the issue of an Occupation Certificate the principal certifying authority is to ensure that Council's assets, including road, kerb and gutter and drainage facilities adjacent or near to the site have not been damaged as a result of the works. Where such damage has occurred, it is to be repaired to Council's written satisfaction prior to the issue of an Occupation Certificate or suitable arrangements put in place to effect those repairs at a future date to Council's written satisfaction. Should this process not be followed, Council will pursue action against the principal accredited certifier in relation to the recovery of costs to effect such works.

Note: It is an offence to occupy the building or part thereof to which this consent relates prior to the issue of an Occupation Certificate.

1. Prior to issue of the Occupation Certificate, Form 3 of the *Geotechnical Risk Management Policy* (Appendix 5 of P21 DCP) is to be completed and submitted to the Principal Certifying Authority.
2. An Occupation Certificate application stating that the development complies with the Development Consent, the requirements of the Building Code of Australia and that a Construction Certificate has been issued must be obtained before the building is occupied or on completion of the construction work approved by this Development Consent.

## **F. Matters to be satisfied prior to the issue of Subdivision Certificate:**

N/A

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Administration and Finance Centre  
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Support Services  
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Building Services  
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## G. Advice:

1. Failure to comply with the relevant provisions of the *Environmental Planning and Assessment Act, 1979* (as amended) and/or the conditions of this Development Consent may result in the serving of penalty notices (on-the-spot fines) under the summary offences provisions of the above legislation or legal action through the Land and Environment Court, again pursuant to the above legislation.
2. The applicant is also advised to contact the various supply and utility authorities, i.e. Sydney Water, Sydney Electricity, Telstra etc. to enquire whether there are any underground utility services within the proposed excavation area.
3. It is the Project Managers responsibility to ensure that all of the Component Certificates/certification issued during the course of the project are lodged with the Principal Certifying Authority. Failure to comply with the conditions of approval or lodge the Component Certificates/certification will prevent the Principal Certifying Authority issuing an Occupation Certificate.
4. In accordance with Section 95(1) of the Act, this consent will lapse if the development, the subject of this consent, is not physically commenced within 5 years after the date from which this consent operates.
5. To ascertain the date upon which the determination becomes effective and operates, refer to Section 83 of the *Environmental Planning and Assessment Act, 1979* (as amended).
6. Should any of the determination not be acceptable, you are entitled to request reconsideration under Section 82A of the *Environmental Planning and Assessment Act, 1979*. Such request to Council must be made in writing, together with appropriate fees as advised at the time of lodgement of such request, within 1 year from the date of determination.
7. If you are dissatisfied with this decision, Section 97 of the *Environmental Planning and Assessment Act, 1979*, gives you a right of appeal to the Land and Environment Court within 6 months of the date of endorsement of this Consent.

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**Support Services**  
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**Boondah Road**  
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8. The approved plans must be submitted to a Sydney Water Quick Check agent or Customer Centre to determine whether the development will affect Sydney Waters sewer and water mains, stormwater drains and/or easements, and if further requirements need to be met. The approved plans will be appropriately stamped. For Quick Check agent details please refer to the web site at [www.sydneywater.com.au](http://www.sydneywater.com.au) then see Building Developing and Plumbing then Quick Check, or telephone 13 20 92.

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Suburban Services  
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Residential Services  
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