

Statement of Environmental Effects

ALTERATIONS AND ADDITIONS 56 CRESCENT ROAD, NEWPORT

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Introduction

This Statement of Environmental Effects accompanies details prepared by Network Design Drawing Reference No. 06-18- CRE sheets 1– 12 dated June 2018. This statement describes the subject site and the surrounding area, together with the relevant planning controls and policies relating to the site and the type of development proposed.

As a result of this assessment it is concluded that the development of the site in the manner proposed is considered to be acceptable and is worthy of the support of the council.

Property Description

The subject allotment is described as 56 Crescent Road, Newport being Lot 37L in D.P.402192

Site Description

The site is a 746.1 m² residential block, located on the west side of Crescent Road.

The site is irregular in shape with a road frontage of 25.19 metres. The block is fan shaped and has an average depth of approximately 38 metres. The rear boundary measures 14.02 metres.

Natural surface falls diagonally across the block towards the west at approximately 19%.

At its closest points the existing residence is located approximately 6.5 metres from the front boundary, 1.1 metres from the north boundary and over 8 metres from the south boundary. The residence is a one and part two storey weatherboard clad structure with a pitched tile roof at the front and metal skillion roof at the rear. There is a small entry patio at the front of the residence accessed via steps off the properties driveway. Above the patio at first floor level is a timber deck.

The house is elevated at the rear with a covered timber deck across the full width of the house. The foundation area under has been developed to provide a small laundry room on the north side and double garage along the south side. The garage is accessed via a driveway which extends along the southern boundary. The driveway continues past the garage to form a turning area for vehicles.

The front yard is on a considerable slope and is established with lawn. There are several mature trees in the northeast corner of the yard and also within the nature strip in front of the property.

The rear yard has been terraced into several paved and lawn areas. There are two mature palm trees along the southern fence line.

The adjoining properties to the north and south contain two storey residences.

The residence to the north is located approximately 4 metres from the subject residence and in the same general building zone while the residence to the south is over 20 metres away.

Details of the subject site and surrounding area are as detailed on the accompanying survey plan by DP Surveying Ref: 3060 and accompanies this application.



Aerial view of subject site and surrounding area.



Looking at No.56 from Crescent Road



Looking at No.56 from driveway



Looking at rear of house



Looking along northern side of house



Looking at rear yard

Proposed Development

Ground Floor Level

- Extend residence at rear and reformat entire ground floor to create an open plan kitchen, dining, living area, three bedrooms, bathroom and new covered deck.
- Construct new entry deck at front of residence including a decked walkway along the southern side of the residence connecting with new decking at the rear.
- Excavate front yard and construct rendered block retaining walls to form level lawn area off the new entry deck.

First Floor Level

- Demolish existing deck at front of dwelling.
- Reformat southern end of first floor to form a larger master bedroom with walk in robe.
- Renovate existing bathroom.
- Convert existing northern bedroom into an open study area.
- Replace all remaining windows with new aluminium units.
- Cut back existing roof gables to create a hipped roof form. Reclad modified roof with colorbond metal sheeting to match existing skillion roof at rear.

New Pool and Yard works

- Construct new concrete pool in rear yard with decked surrounds leading onto the existing terraced lawn area.
- Demolish existing cubby house.
- Cut back existing turning area.

Pittwater Local Environmental Plan 2014

Clause 2.3 Zone Objectives and Land Use Table

The subject site is zoned R2 Low Density Residential under Pittwater LEP 2014.

The development of and the use of the land for residential purposes within R2 Low Density Residential Zone is consistent with the zone objectives, which are noted as:

- *To provide for the housing needs of the community within a low density residential environment.*
- *To enable other land uses that provide facilities or services to meet the day to day needs of residents.*
- *To provide for a limited range of other land uses of a low intensity and scale, compatible with surrounding land uses.*

The proposed development will provide a comfortable and attractive family home for the occupants within a relatively compact footprint that will not impact on the existing landscape quality of the site and surrounding area.

Clause 4.3 Height of Buildings

The maximum building height in this part of Newport is 8.5 metres.

A small portion of first floor roofing to be modified extends beyond 8.5 metres in height.

A Clause 4.6 variation discussing this non-compliance is annexed to this document.

Clause 5.1 Heritage Conservation

The site does not contain any heritage items and is not located in a conservation area. It is also not located within close proximity of a known heritage item.

Clause 5.9 Preservation of trees or vegetation

The proposed works will not require the removal or impact on any trees. Areas affected by extensions to the building footprint are either already paved or grassed.

Clause 7.1 Acid Sulphate soils

The site has been identified on Council's zoning maps as being in a Class 5 zone.

The excavation works are not within 500 metres of a Class 1, 2, 3, or 4 land.

Clause 7.2 Earthworks

Excavation for the new level lawn area at the front of the property will require a maximum excavation of approximately 1.7 metres and the pool at the rear 0.5 metres.

As detailed in the accompanying Geotechnical Report by White Geotechnical Group the proposed development is suitable for the site and no geotechnical hazards will be created by the completion of the development providing it is carried out in accordance with this report and good engineering and building practice are followed.

Clause 7.6 Biodiversity Protection

The land is noted within Council's Biodiversity mapped area. The proposed works as discussed above do not require the removal of any trees or significant areas of natural vegetation.

The property is in a typical suburban situation with boundary fencing and domestic animals inhibiting any natural fauna habitats. The property is located adjacent a relatively busy road that would also deter any feasible habitats at the front. At the rear of the property where any feasible fauna habitats could be sustained the yard is generally open with lawn and hard surfaces providing little to no foraging opportunities.

We request therefore that in the circumstances of this case as the development will not result in the loss of any native vegetation the requirement for any Ecological and Biodiversity Reports be waived.

Clause 7.7 Geotechnical Hazards

The property is identified on Council's mapping as a Geotechnical Hazard.

A geotechnical report by White Geotechnical Group supporting the development accompanies the application.

Pittwater 21 Development Control Plan 2014

Council's Pittwater 21 DCP Section B (General Controls), Section C (Design Criteria) and Section D10 Newport Locality Statement outlines controls and objectives for development within the subject locality.

Section B General Controls

B3.1 Landslip Hazard

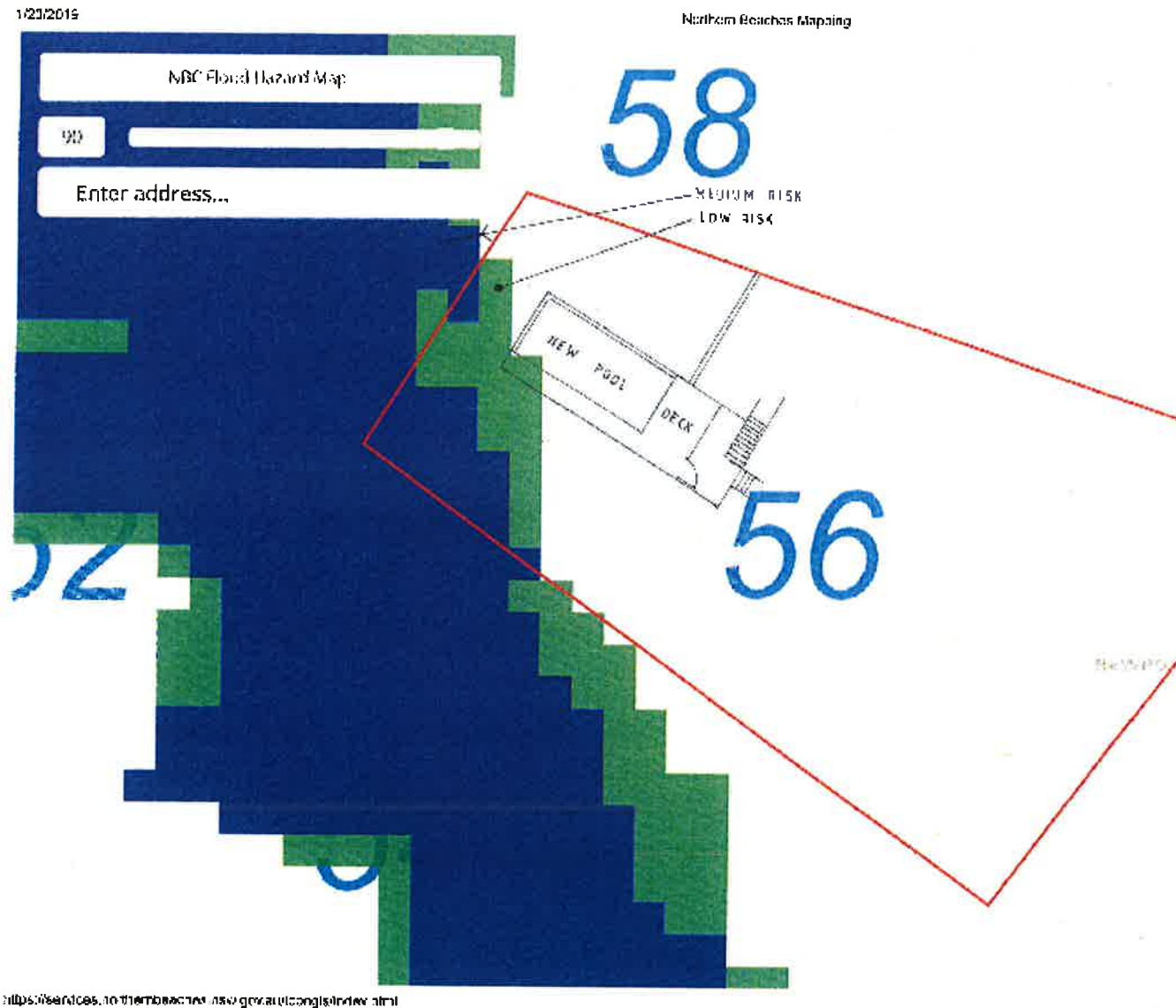
Refer Clause 7.7 above for comment.

B3.2 Bushfire Hazard

The property is not identified on Council's Mapping as being located within a bushfire prone area.

B3.11 Flood Prone Land

The rear western corner of the property is identified on Council's mapping as being medium to low risk flood prone. A small portion of the new swimming pool structure falls just inside the low risk zone. We submit that this minor intrusion will not result in any impact on the flow of flood water through this part of the property or adjoining properties.



B4.5 Landscape and Flora and Fauna Enhancement

Refer Clause 7.6 above for comment.

B4.6 Wildlife Corridors

Refer Clause 7.6 above for comment.

B5.7 Stormwater Management – On-Site Detention

The proposed development results in an increase in built upon area of 46.5m² and will not therefore require an OSD system to be installed.

B5.10 Stormwater Discharge into Public Drainage System

Stormwater from the property currently drains via a system of pipes and pits into a Council stormwater pipe passing through the rear western corner of the property. Drainage from new roofing will be connected into this existing system. For details refer to the Stormwater Management Plan accompanying this application.

B6.3 Off-Street Vehicle Parking Requirements – Low Density Residential

The existing garage provides accommodation for two vehicles which are able to enter and exit the property in the forward direction.

B8.1 Construction & demolition – excavation and landfill

Refer to Clause 7.2 above for comment.

B8.2 Construction & demolition – Erosion and Sediment Management

Sediment control measures will be implemented prior to the start of construction.
Refer to Site Plan for details.

B8.3 Construction & demolition – Waste Minimisation

All waste will be removed from site by builder or waste contractor to Kimbriki Waste Centre.
Where appropriate demolition material will be separated for recycling.

B8.4 Construction & demolition – Site Fencing and Security

The rear of the site where the majority of the proposed work will be carried out is secured with fences and gates. Temporary fencing will be installed as necessary to works at the front of the property. Statutory site signage will also be installed at the front of the property.

Section C Design Criteria

The Design Criteria applicable to the proposed development are summarised as:

C1.1 Landscaping

As discussed above the development will require the removal of lawn areas only with the remaining landscaping on-site unaffected by the proposed works.

C1.2 Safety and Security

The proposed works will not affect the properties existing safety and security. The rear part of the property is secured with fences and gates whilst the front of the property including entry points are quite visible from the street.

C1.3 View Sharing

There will be no loss of outlook from either adjoining properties which are both orientated away from the subject residence.

C1.4 Solar Access

As detailed on the accompanying shadow plans there will be no significant impact on the adjoining property to the south No.54. During the early morning period additional shadow will fall in the rear corner of this properties rear yard and a band through the middle portion of the yard reaching the underside of an elevated enclosed balcony at the rear of the residence. There will be no windows affected by additional shadow. We note that the additional shadow described will be negated significantly by existing thick vegetation within this properties yard as shown in the photo below. During the remainder of the day additional shadow will be confined to the subject properties side yard.



Looking towards No. 54 yard and residence beyond

C1.5 Visual Privacy

There are no new windows or doors at ground and first floor level that will result in any undue additional overlooking opportunities.

The new deck at the rear of ground floor incorporates solid walling with hilite louvres along its northern side to prevent cross-viewing towards the adjoining property No.58.

The adjoining residence to the south is located approximately 20 metres from the subject residence and screened heavily by existing thick vegetation within its grounds. See above photo.

C1.6 Acoustic Privacy

The generous separation between the properties primary living spaces will ensure their aural amenity is maintained. The proposed pool is located centrally within the rear yard 15 metres from No.58 and over 18 metres from No.54 and will not therefore impact unreasonably on either of those residences.

C1.7 Private Open Space

The properties existing extensive areas of private open space at the rear will not alter with the proposed pool providing a valuable recreation facility for the family. The new covered deck and level lawn area at the front will provide an alternative outdoor recreation space for the occupants.

C1.17 Swimming Pool Safety

The new swimming pool will be fenced in accordance with the relevant Australian Standards including mandatory warning notices.

Section D Locality Specific Development Controls

The **D10 Newport Locality Statement** contains a number of outcomes for development in the locality. In regards to those outcomes we submit that the development is well designed and consistent with community vision for development in Pittwater in that it is:

- Well designed to take advantage of the open and light amenity at the rear of the property.
- Will not result in the loss of any native vegetation or trees.
- Significantly improve the build quality of the aged house (front) and surrounds.
- Provide additional outdoor recreation spaces and facilities for the enjoyment of the occupants.

A summary of the DCP controls for the D10 Newport Locality is as follows:

D10.1 Character as viewed from a Public Place

To achieve the desired future character of the Locality.

To ensure new development responds to, reinforces and sensitively relates to the spatial characteristics of the existing built and natural environment.

To enhance the existing streetscapes and promote a scale and density that is in keeping with the height of the natural environment.

The visual impact of the built form is secondary to landscaping and vegetation, or in commercial areas and the like, is softened by landscaping and vegetation.

High quality buildings designed and built for the natural context and any natural hazards.

Buildings do not dominate the streetscape and are at 'human scale'.

To preserve and enhance district and local views which reinforce and protect the Pittwater's natural context.

To enhance the bushland vista of Pittwater as the predominant feature of the landscape with built form, including parking structures being a secondary component.

To ensure that development adjacent to public domain elements such as waterways, streets, parks, bushland reserves and other public open spaces, compliments the landscape character, public use and enjoyment of that land.

The proposed building works will be contained within a footprint that will not impact on the properties existing landscaped environment which includes numerous trees both at the front and rear of the property.

From the street the existing aged structure will be transformed by a softer hipped roof form and a traditional roofed entry verandah. Both these elements along with new windows and painting will result in a higher quality building that will benefit the broad streetscape.

The proposed works will not interfere with any existing public vistas or outlook from adjoining development. Spatial separation to adjoining development will be maintained protecting their existing amenity.

D10.3 Scenic Protection - General

Refer to D10.1 above.

D10.4 Building Colours, Materials and Construction

The new work incorporates traditional materials that are typical of the surrounding coastal environment and will be coloured in earthy tones to compliment the surrounding areas landscape character.

D10.7 Front Building Line

The relevant control is to maintain a 6.5 metre setback to all new structure at the front of the property.

The proposed roofed deck at the front of the residence will be located 4.1 metres from the front boundary at its closest point and the retaining wall for the new level lawn area 400mm.

Due to the close proximity of the existing residence to the front boundary these new building elements will be unavoidably within the front setback zone. As discussed above we submit that the new covered deck and changed roof form will significantly improve the appearance of the residence from the street whilst the level lawn area will open up the residences visibility to the street where currently it sits behind a steeply rising bank. The amenity at the front of the residence will also improve with greater light penetration into the structure.

We note that the property is located on a bend with a wide nature strip up to 9 metres wide therefore providing good separation from the street. When viewed on-site the proposed works will not appear out of context to adjoining and surrounding development located within the front setback zone.

D10.8 Side and Rear Building Line

The relevant control is to maintain a minimum side boundary setback of 2.5 metres for at least one side and minimum 1 metre setback for the other side.

At the rear the control requires a minimum 6.5 metre setback.

Swimming pools require a 1 metre setback to boundaries when no higher than 1 metre off ground.

The proposed covered front deck will be setback 8.6 metres from the northern side boundary and 8.2 metres from the southern boundary.

Proposed new building structure at the rear will be setback 1.1 metres from the northern side boundary, 6.9 metres from the southern boundary and 15.4 metres from the rear boundary.

All new building structure at both the front and rear will conform to the required setbacks.

The new pool and ancillary decking will be setback 4.35 metres from the northern side boundary, 6.4 metres from the southern boundary and 3.35 metres from the rear boundary.

The pool however is elevated out of ground by 1.75 metres. The nearest residence to the pool at the rear is approximately 15 metres away and separated by significant vegetation and will not therefore be unduly impacted by the pools elevated location.

D10.11 Building Envelope

All new structure is contained within relevant building envelopes.

D10.12 Landscaped Area – General

The relevant control is to limit residential development in order to maintain a minimum landscaped area of 50% of site area (373.1m²).

The development will result in the site having a landscaped area of 374.5m² or 50.2% of site area. The calculation is based on the following:

- All vegetated areas.(357m²)
- The new front entry deck included as impervious landscaping. (17.5m² or 2.3% of site area))

Conclusion

The principle objective of the proposed works is to renovate and upgrade the existing internally aged dwelling into a modern family home with practical indoor and outdoor living spaces including a new swimming pool that take advantage of the open and light amenity available at the rear of the property.

We submit that the development as described above and detailed in the accompanying documentation meets the objectives of council's controls and maintains the amenity of the adjoining properties.

We therefore request the issue of Development Consent under the delegation of Council.

**OBJECTION PURSUANT TO CLAUSE 4.6 OF PITTWATER LOCAL
ENVIRONMENTAL PLAN 2014**

56 CRESCENT ROAD, NEWPORT

**ALTERATIONS AND ADDITIONS TO AN EXISTING DWELLING HOUSE INCLUDING
DECKING AND NEW SWIMMING POOL**

**DEVELOPMENT STANDARD REGARDING HEIGHT OF BUILDINGS AS DETAILED IN
CLAUSE 4.3 OF PITTWATER LOCAL ENVIRONMENTAL PLAN 2014**

Pittwater Local Environmental Plan 2014

4.3 Height of Buildings

As per the Height of Buildings Map accompanying PLEP 2014 the property falls within Area I which restricts buildings to a maximum height of 8.5 metres.

The development proposes a first floor addition which has part of its roof extending beyond 8.5 metres. The roof reaches a maximum height of approximately 9 metres.

4.6 Exceptions to Development Standards

- 1) The objectives of this clause are as follows:
 - a) to provide an appropriate degree of flexibility in applying certain development standards to particular development
 - b) to achieve better outcomes for and from development by allowing flexibility in particular circumstances
- 2) Development consent may, subject to this clause, be granted for development even though the development would contravene a development standard imposed by this or any other environmental planning instrument. However, this clause does not apply to a development standard that is expressly excluded from the operation of this clause
- 3) Development consent must not be granted for development that contravenes a development standard unless the consent authority has considered a written request from the applicant that seeks to justify the contravention of the development standard by demonstrating:
 - a) that compliance with the development standard is unreasonable or unnecessary in the circumstances of the case, and
 - b) there are sufficient environmental planning grounds to justify contravening the development standard

In this regard we request that Council consider a variation to Clause 4.3 Height of Buildings development standard based on the following:

- The offending portion of structure is existing roofing that is to be modified. The modification involves converting two existing gable ends into a hipped roof form. The proposed roofing modification will result in less visual bulk and a softer roof line when viewed from Crescent Road offering a positive benefit to the character of the surrounding area.

We submit that compliance with the development standard is unreasonable or unnecessary in the circumstances of this case and there are sufficient environmental planning grounds to justify contravening the development standard.

We therefore request Council consider a variation to Clause 4.3 Height of Buildings development standard in this instance.