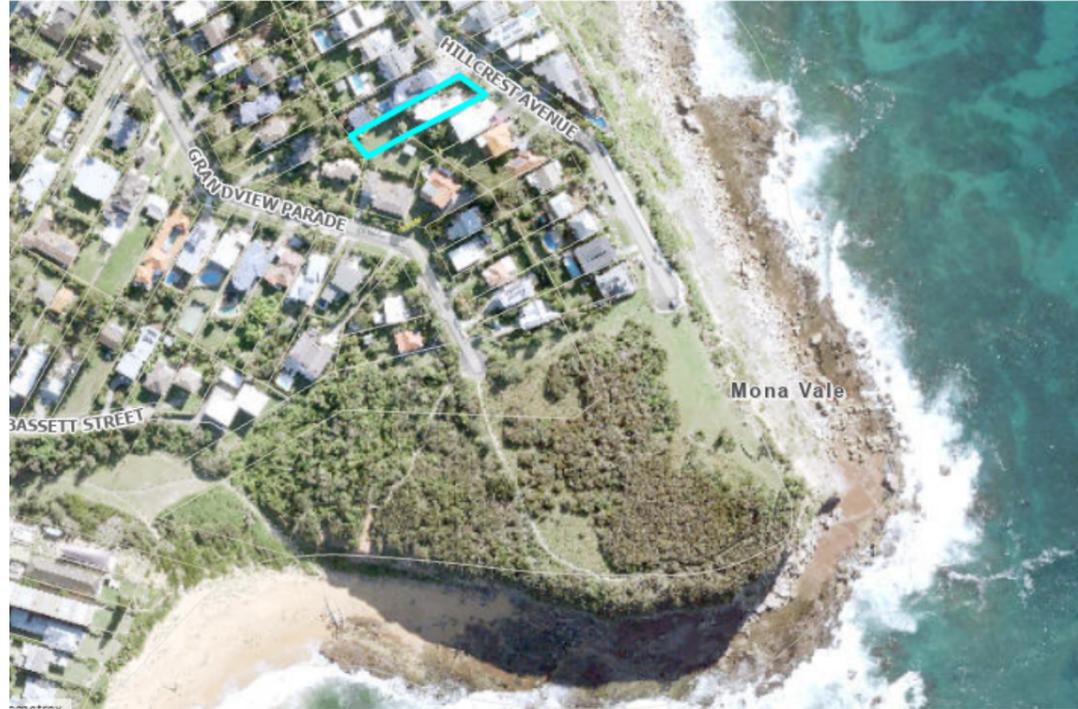


# DEVELOPMENT APPLICATION

ALTERATIONS & ADDITIONS TO AN EXISTING DWELLING AT  
45 HILLCREST AVENUE, MONA VALE 2103

Prepared By *JJ Drafting Australia P/L.*



EXISTING FRONT VIEW



PROPOSED REAR VIEW

\*MODEL IS AN IMPRESSION ONLY, NOT INDICATIVE OF ACCURATE  
LANDSCAPING, COLOURS & MATERIALS

## INDEX

Layout ID	Layout Name
DA.01	COVER PAGE
DA.02	SITE ANALYSIS PLAN
DA.03	EXISTING GROUND FLOOR PLAN
DA.04	EXISTING FIRST FLOOR PLAN
DA.05	EXISTING ELEVATIONS SHEET 1
DA.06	EXISTING ELEVATIONS SHEET 2
DA.07	PROPOSED GROUND FLOOR PLAN
DA.08	PROPOSED FIRST FLOOR PLAN
DA.09	PROPOSED ROOF PLAN
DA.10	PROPOSED ELEVATIONS SHEET 1
DA.11	PROPOSED ELEVATIONS SHEET 2
DA.12	PROPOSED ELEVATIONS SHEET 3
DA.13	SECTION A / SPECIFICATION
DA.14	LANDSCAPED AREA CALCULATION PLAN
DA.15	EROSION & SEDIMENT CONTROL / WASTE MANAGEMENT PLAN
DA.16	SHADOW DIAGRAM JUNE 21 9:00 am
DA.17	SHADOW DIAGRAM JUNE 21 12 noon
DA.18	SHADOW DIAGRAM JUNE 21 3:00 pm

### NOTES (E & OE)

- All structures including stormwater & drainage to engineer's details.
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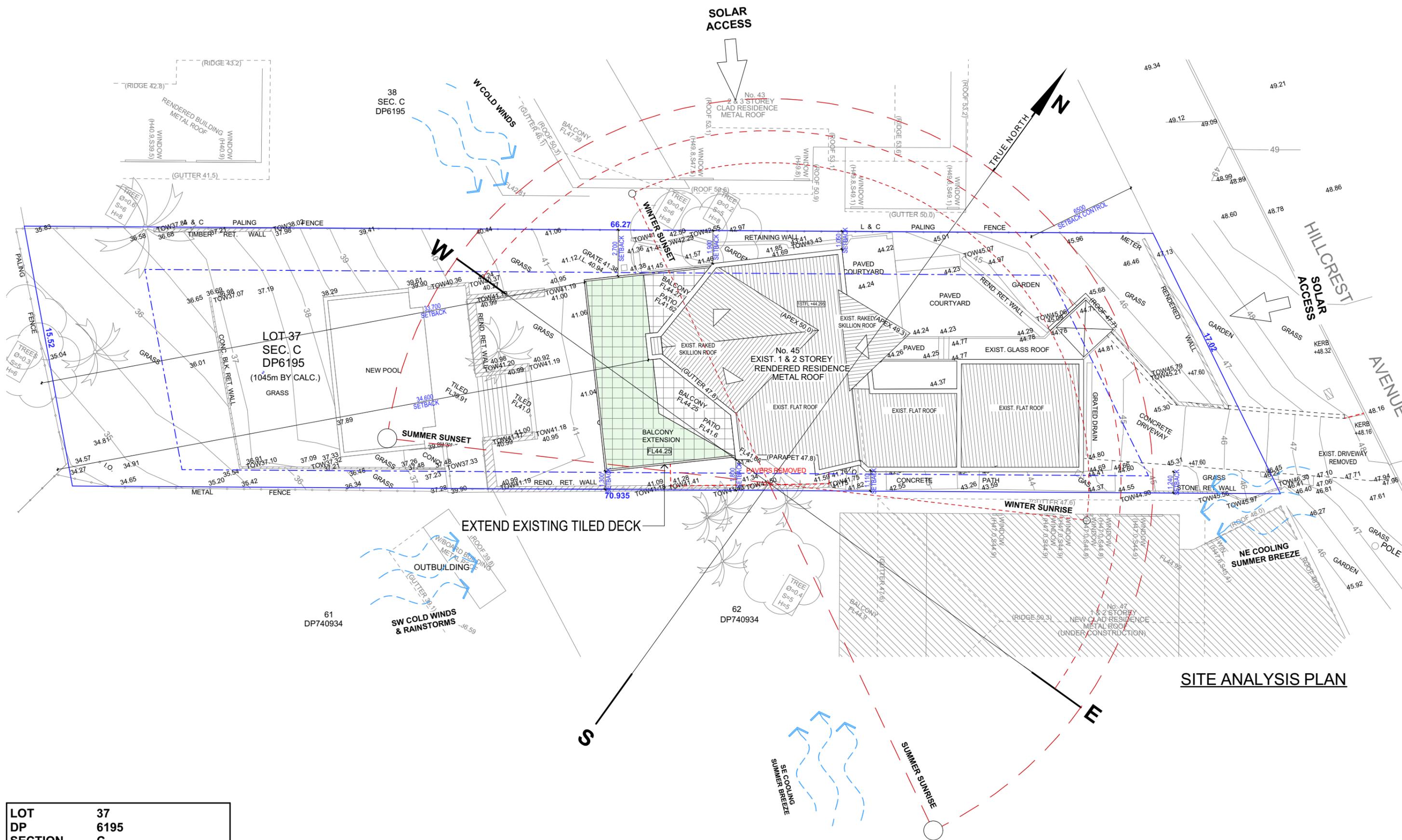
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ACN 651 693 346

REV:	DATE:	DESCRIPTION:
A	28/10/2024	Preliminary Plans
B	27/11/2024	Development Application

PROPOSED ALTERATIONS AND ADDITIONS 45 HILLCREST AVE, MONA VALE 2103 CLIENT: STEPHEN WOODS & KERRIE WILSON
DRAWING TITLE: COVER PAGE

DATE: NOV/24	DRAWN BY: PP	SCALE: 1:1 @ A3
JOB No: 1077/22	CHECKED BY: JJ	DRAWING No: <b>DA.01</b>



**SITE ANALYSIS PLAN**

**LOT 37**  
**DP 6195**  
**SECTION C**  
**SITE AREA = 1045 m<sup>2</sup>**

**TRUE NORTH:**



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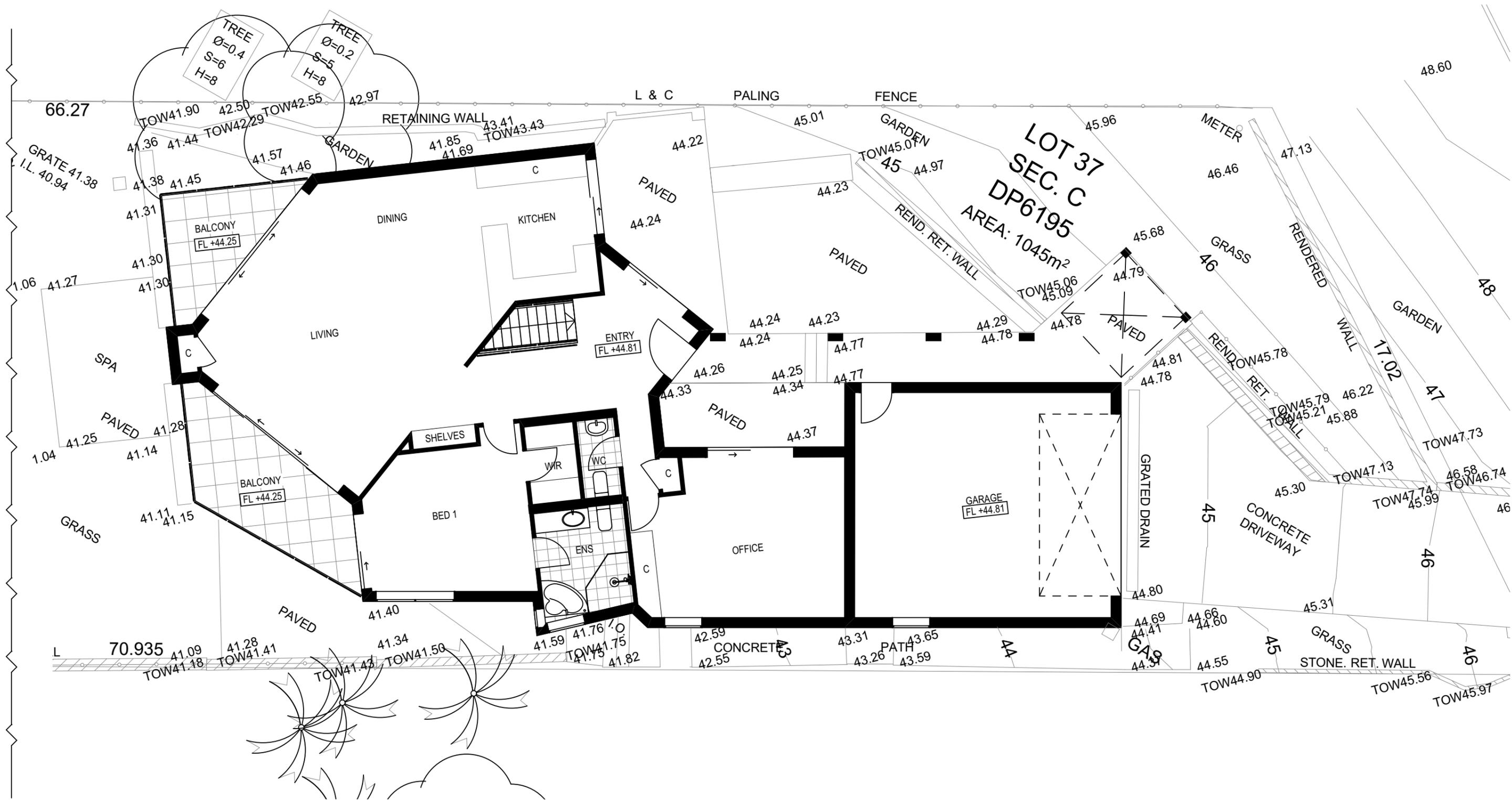
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**45 HILLCREST AVE, MONA VALE 2103**  
**CLIENT:**  
**STEPHEN WOODS & KERRIE WILSON**  
**DRAWING TITLE:**  
**SITE ANALYSIS PLAN**

<b>DATE:</b> NOV/24	<b>DRAWN BY:</b> PP	<b>SCALE:</b> 1:200 @ A3
<b>JOB No:</b> 1077/24	<b>CHECKED BY:</b> JJ	<b>DRAWING No:</b> <b>DA.02</b>





FIRST FLOOR AREA	
EXISTING FIRST FL. AREA	134 m <sup>2</sup>
EXISTING GARAGE FL. AREA (EXCLUDED FROM TOTAL)	42 m <sup>2</sup>

**EXISTING FIRST FLOOR PLAN**

**TRUE NORTH:**

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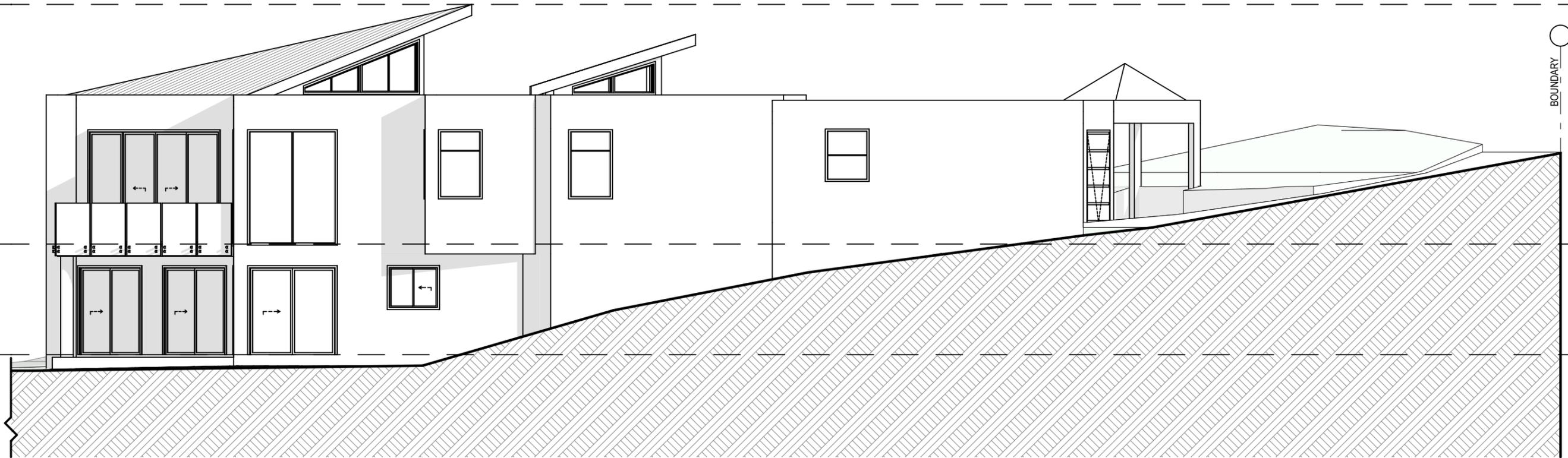
DRAWING TITLE:  
 EXISTING FIRST FLOOR PLAN

DATE: NOV/24	DRAWN BY: PP	SCALE: 1:100 @ A3
JOB No: 1077/24	CHECKED BY: JJ	DRAWING No: <b>DA.04</b>

+50.00  
EXIST. RL RIDGE

+44.30  
FIRST FLOOR

+41.66  
GROUND FLOOR



BOUNDARY

EXISTING SOUTH ELEVATION

+50.00  
EXIST. RL RIDGE

+44.30  
FIRST FLOOR

+41.66  
GROUND FLOOR



BOUNDARY  
VARIES

EXISTING NORTH ELEVATION

**NOTES (E & OE)**

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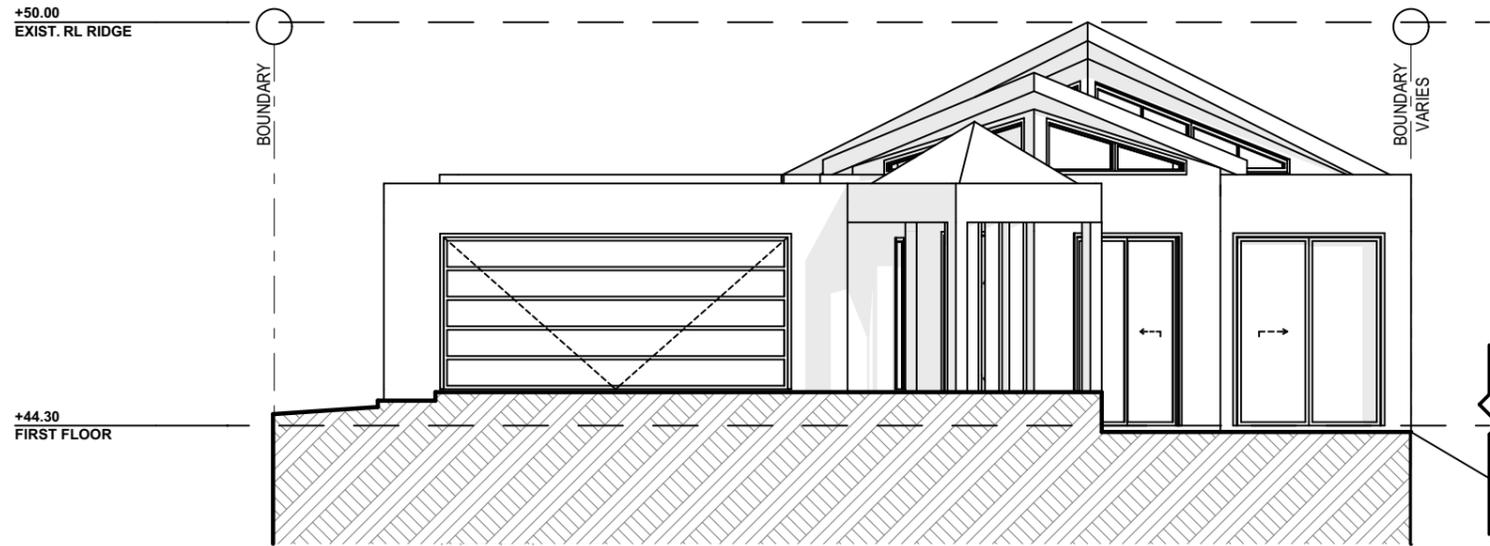
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DRAWING TITLE: EXISTING ELEVATIONS SHEET 1

DATE: NOV/24	DRAWN BY: PP	SCALE: 1:100 @ A3
JOB No: 1077/22	CHECKED BY: JJ	DRAWING No: <b>DA.05</b>



**EXISTING EAST ELEVATION**



**EXISTING WEST ELEVATION**

TRUE NORTH:



**NOTES (E & OE)**

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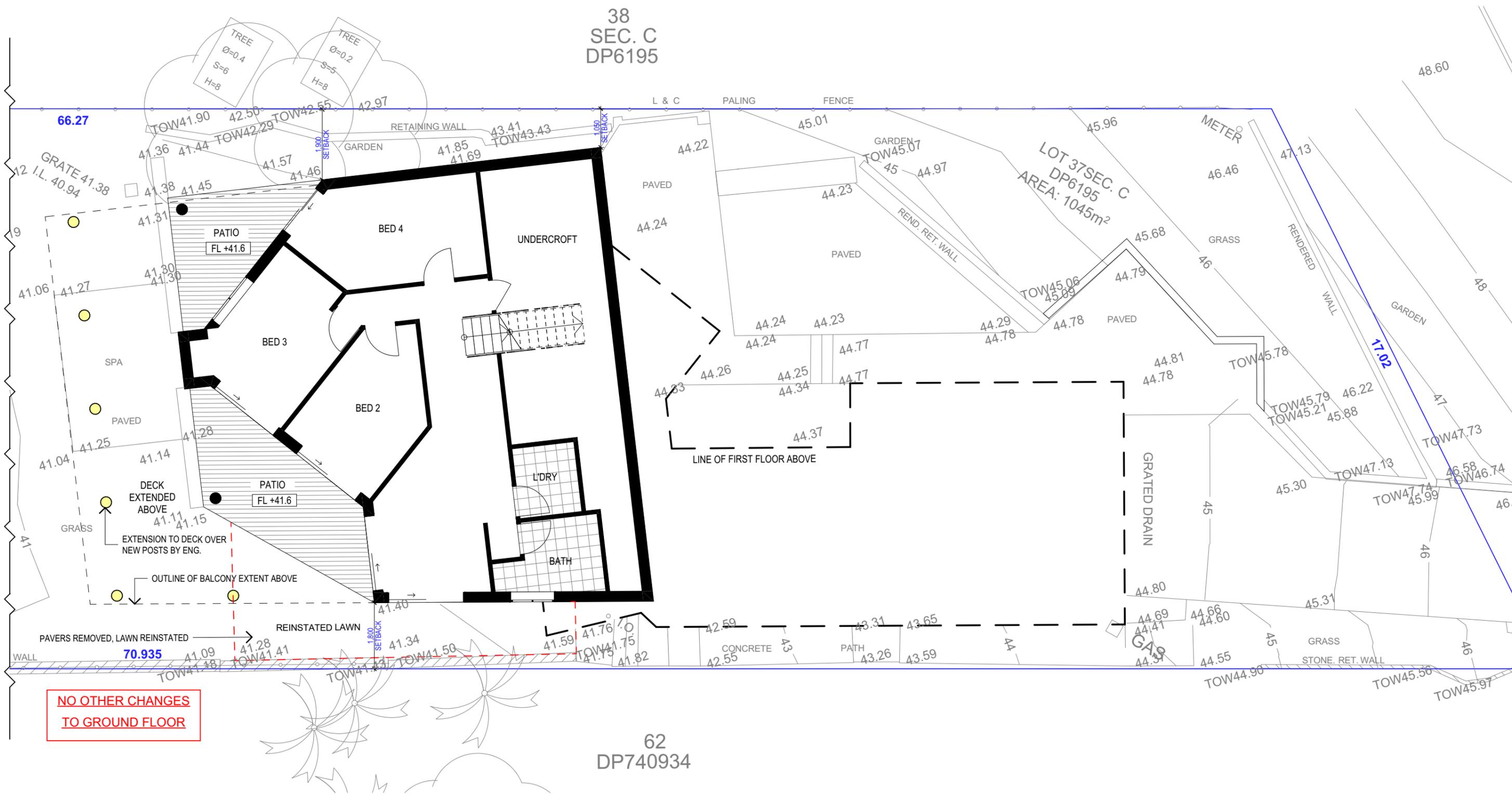
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PROPOSED ALTERATIONS AND ADDITIONS 45 HILLCREST AVE, MONA VALE 2103 CLIENT: STEPHEN WOODS & KERRIE WILSON
DRAWING TITLE: EXISTING ELEVATIONS SHEET 2

DATE: NOV/24	DRAWN BY: PP	SCALE: 1:100 @ A3
JOB No: 1077/24	CHECKED BY: JJ	DRAWING No: <b>DA.06</b>

38  
SEC. C  
DP6195



**NO OTHER CHANGES  
TO GROUND FLOOR**

GROUND FLOOR AREA	
EXISTING GROUND FL. AREA	111 m <sup>2</sup>
NEW GROUND FL. AREA	NO CHANGE

**NOTES**  
ALL DEMOLITION WORK TO COMPLY WITH AS 2601 & SAFE WORK AUSTRALIA CODE OF PRACTICE.

**PROPOSED GROUND FLOOR PLAN**

TRUE NORTH:

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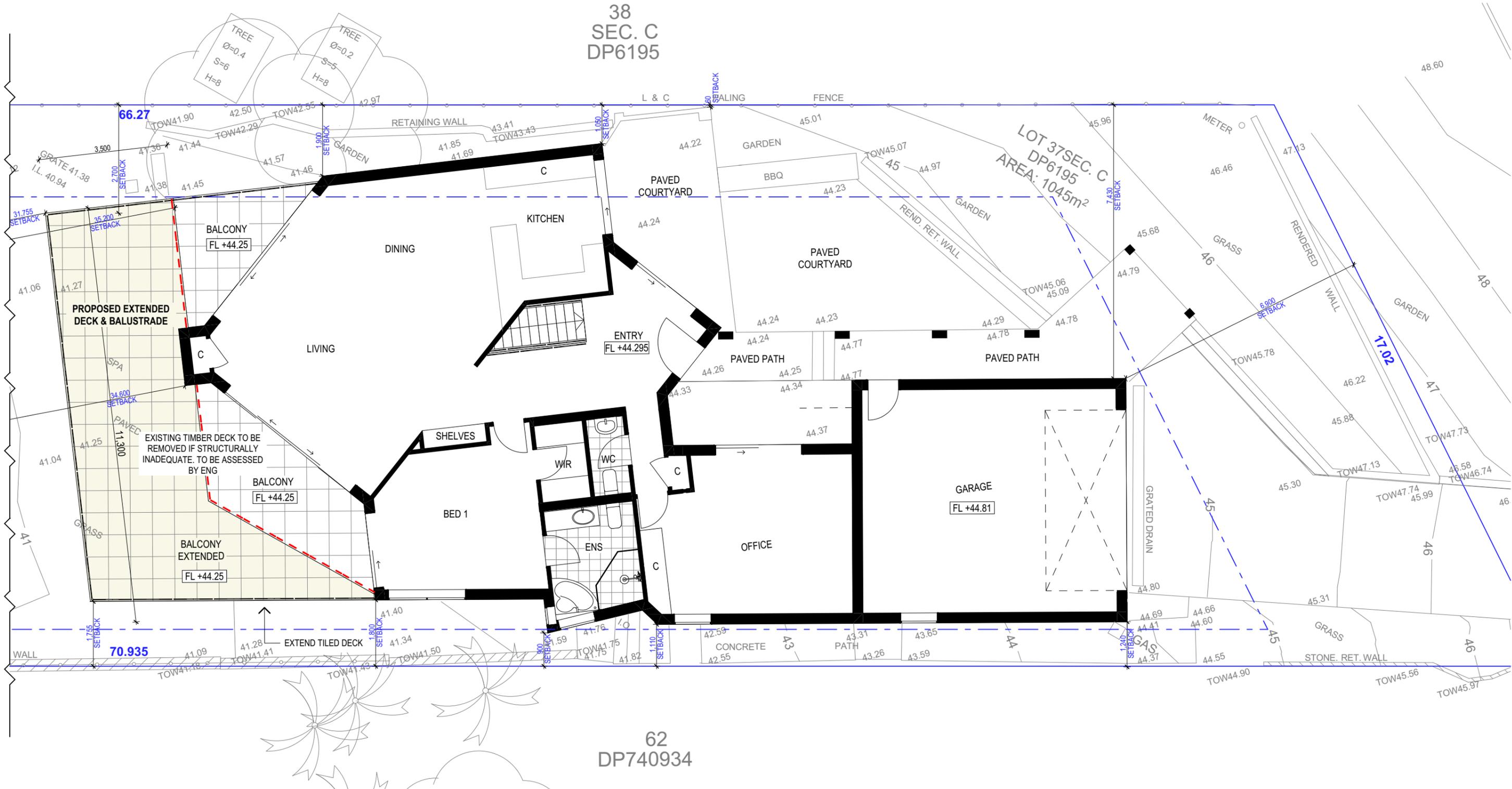
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CLIENT:  
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DRAWING TITLE:  
PROPOSED GROUND FLOOR PLAN

DATE: NOV/24	DRAWN BY: PP	SCALE: 1:100 @ A3
JOB No: 1077/24	CHECKED BY: JJ	DRAWING No: <b>DA.07</b>

38  
SEC. C  
DP6195



62  
DP740934

FIRST FLOOR AREA	
EXISTING FIRST FL. AREA	148 m <sup>2</sup>
NEW FIRST FL. AREA	NO CHANGE

**NOTES**  
ALL DEMOLITION WORK TO COMPLY WITH AS 2601 & SAFE WORK AUSTRALIA CODE OF PRACTICE.

**PROPOSED FIRST FLOOR PLAN**

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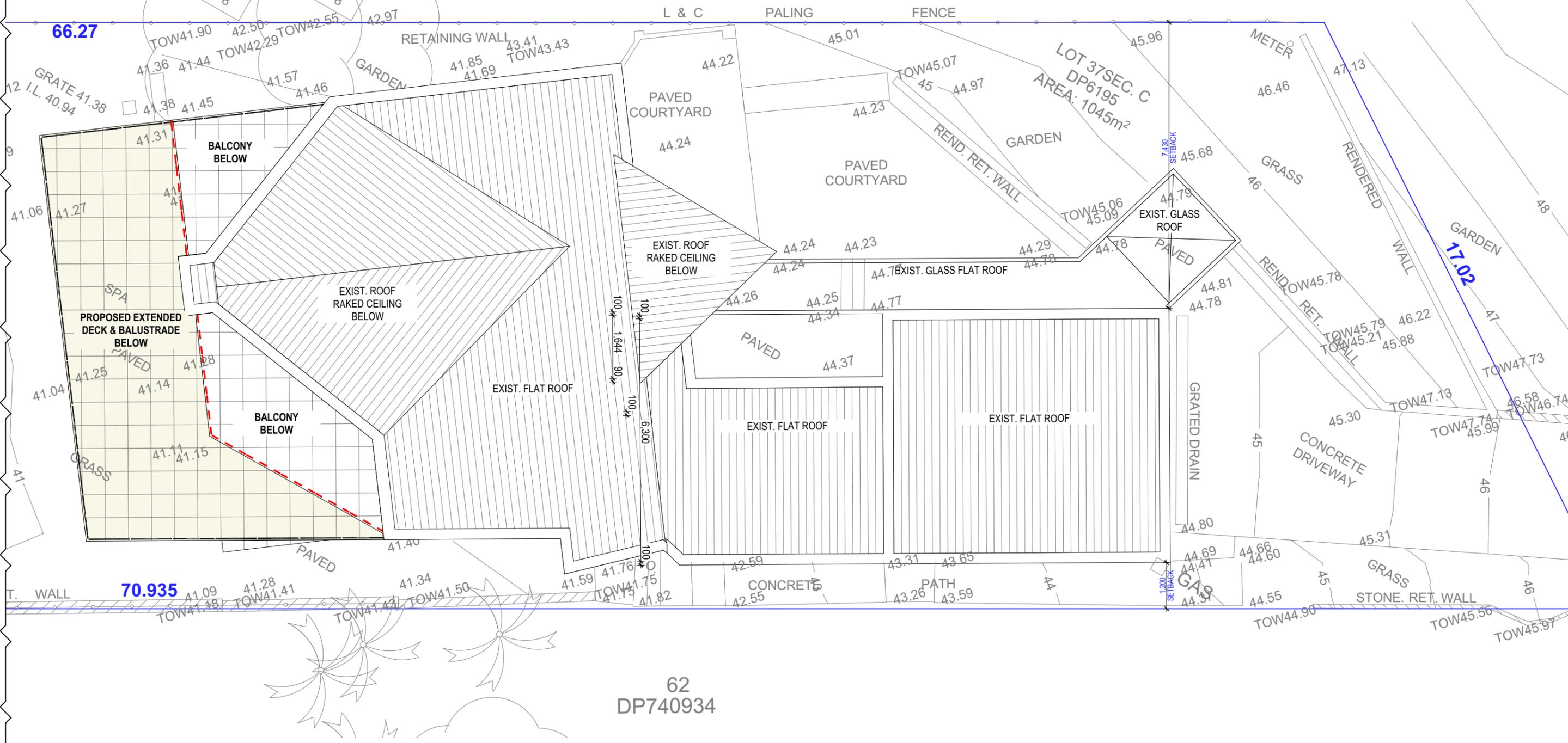
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DRAWING TITLE:  
PROPOSED FIRST FLOOR PLAN

DATE: NOV/24	DRAWN BY: PP	SCALE: 1:100 @ A3
JOB No: 1077/24	CHECKED BY: JJ	DRAWING No: <b>DA.08</b>

38  
SEC. C  
DP6195



<b>SECOND FLOOR AREA</b>
EXISTING SECOND FL. AREA    0 m <sup>2</sup>

**NOTES**  
ALL DEMOLITION WORK TO COMPLY WITH AS 2601 & SAFE WORK AUSTRALIA CODE OF PRACTICE.

**PROPOSED SECOND FLOOR PLAN**

TRUE NORTH:

**NOTES (E & OE)**

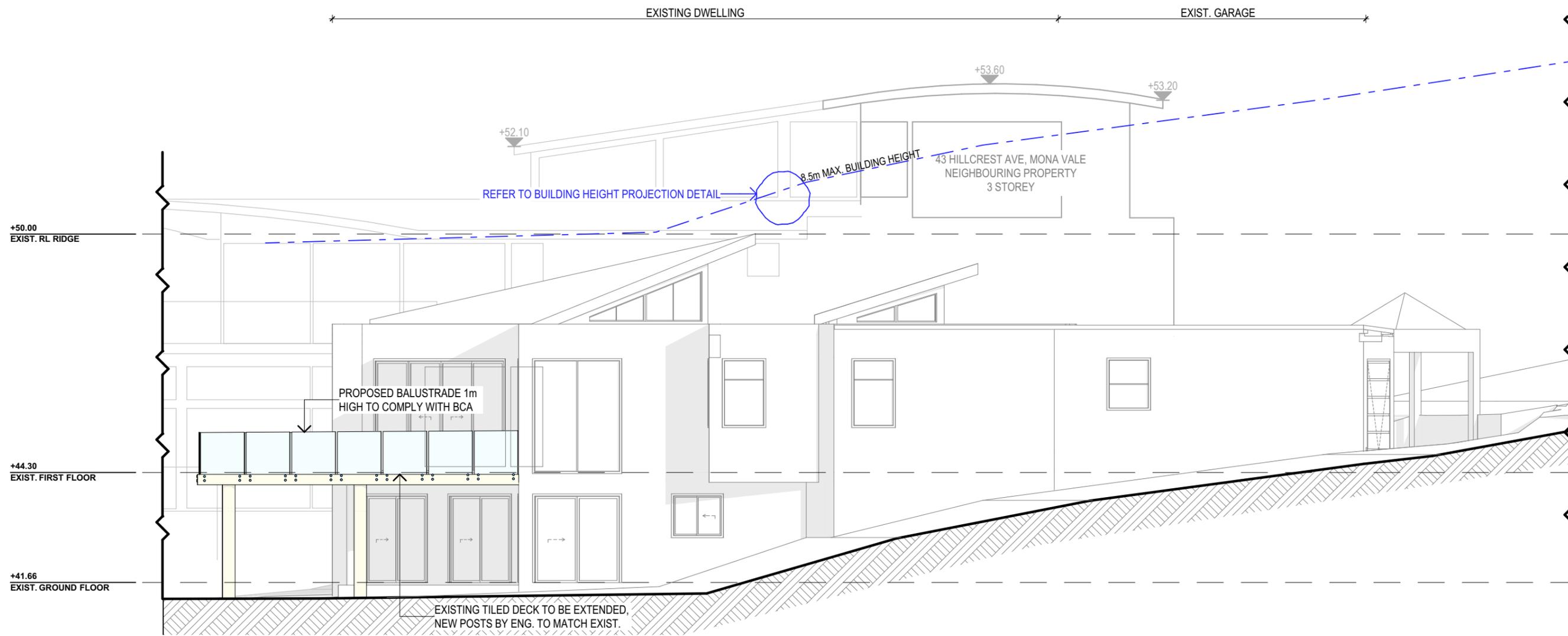
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45 HILLCREST AVE, MONA VALE 2103  
CLIENT:  
STEPHEN WOODS & KERRIE WILSON  
DRAWING TITLE:  
PROPOSED ROOF PLAN

DATE: NOV/24	DRAWN BY: PP	SCALE: 1:100 @ A3
JOB No: 1077/24	CHECKED BY: JJ	DRAWING No: <b>DA.09</b>



**PROPOSED SOUTH ELEVATION**

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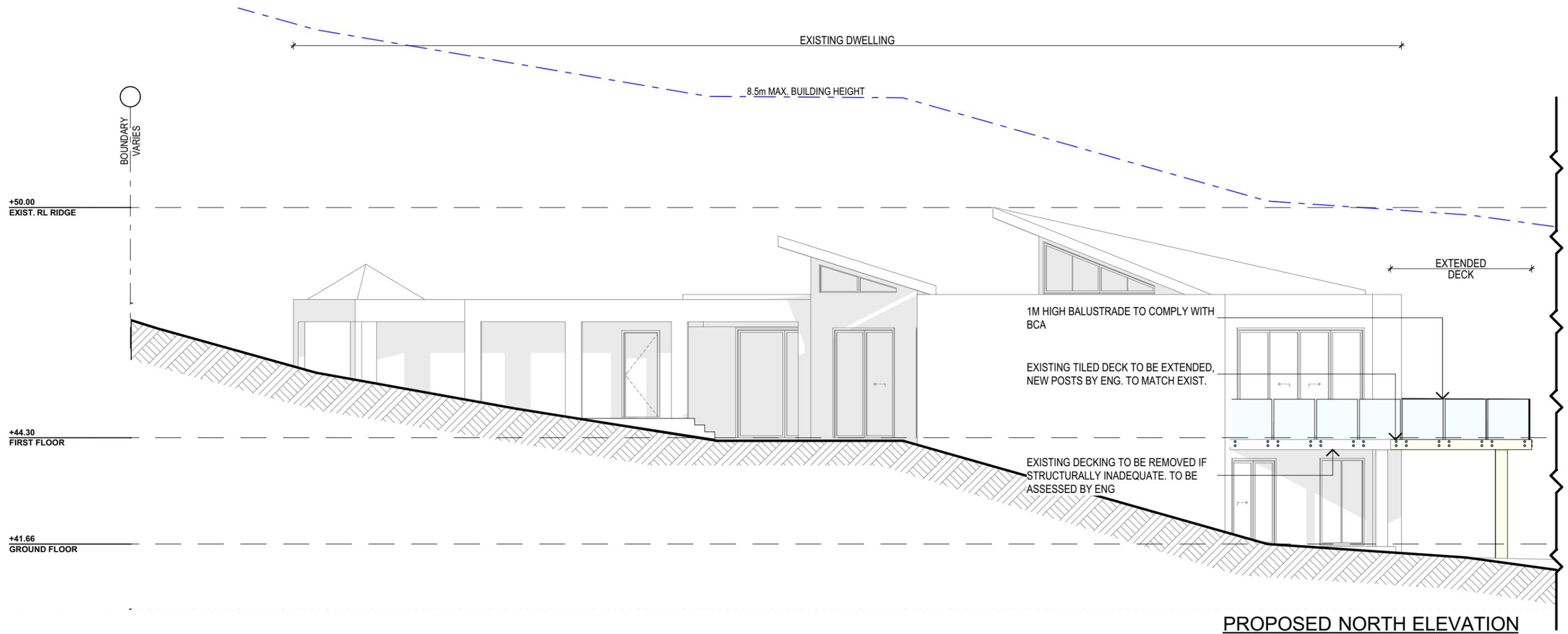
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DRAWING TITLE: PROPOSED ELEVATIONS SHEET 1

DATE: NOV/24	DRAWN BY: PP	SCALE: 1:100 @ A3
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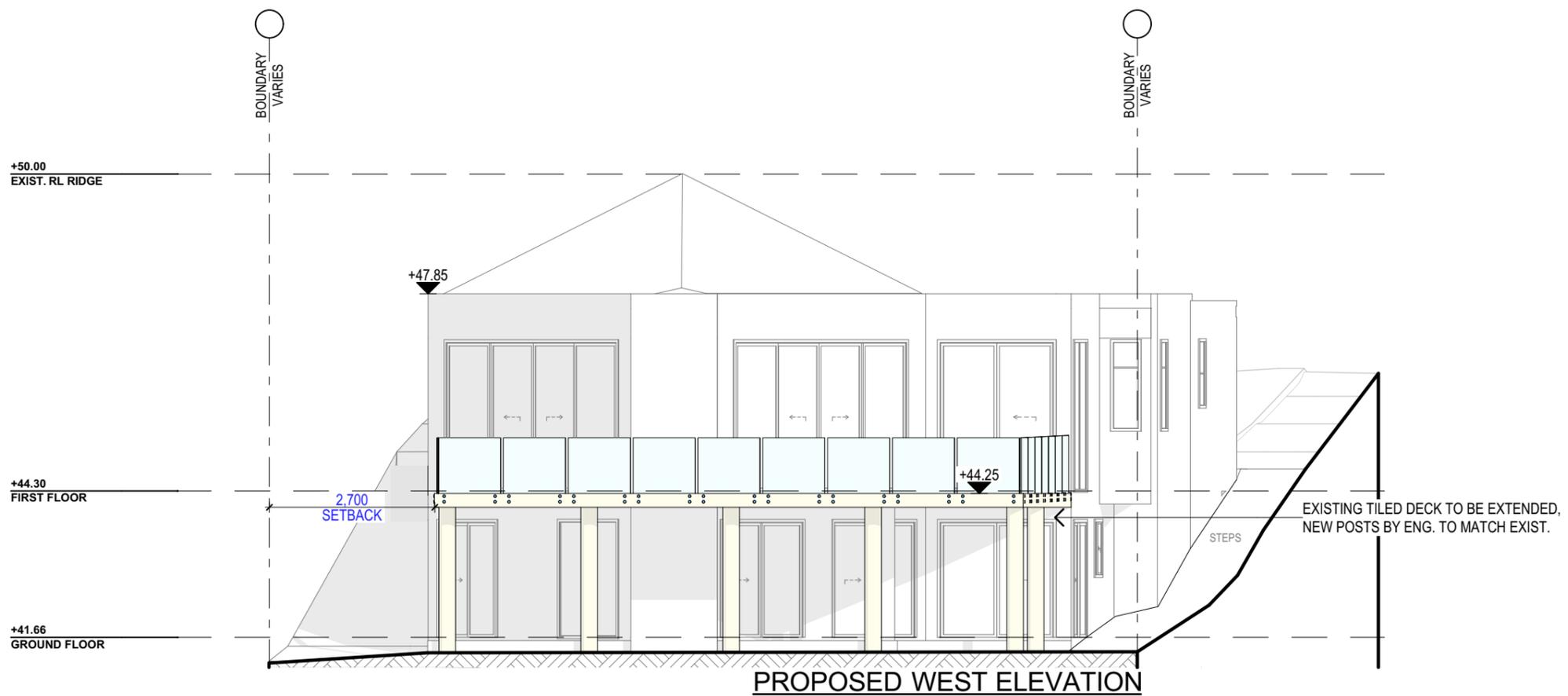
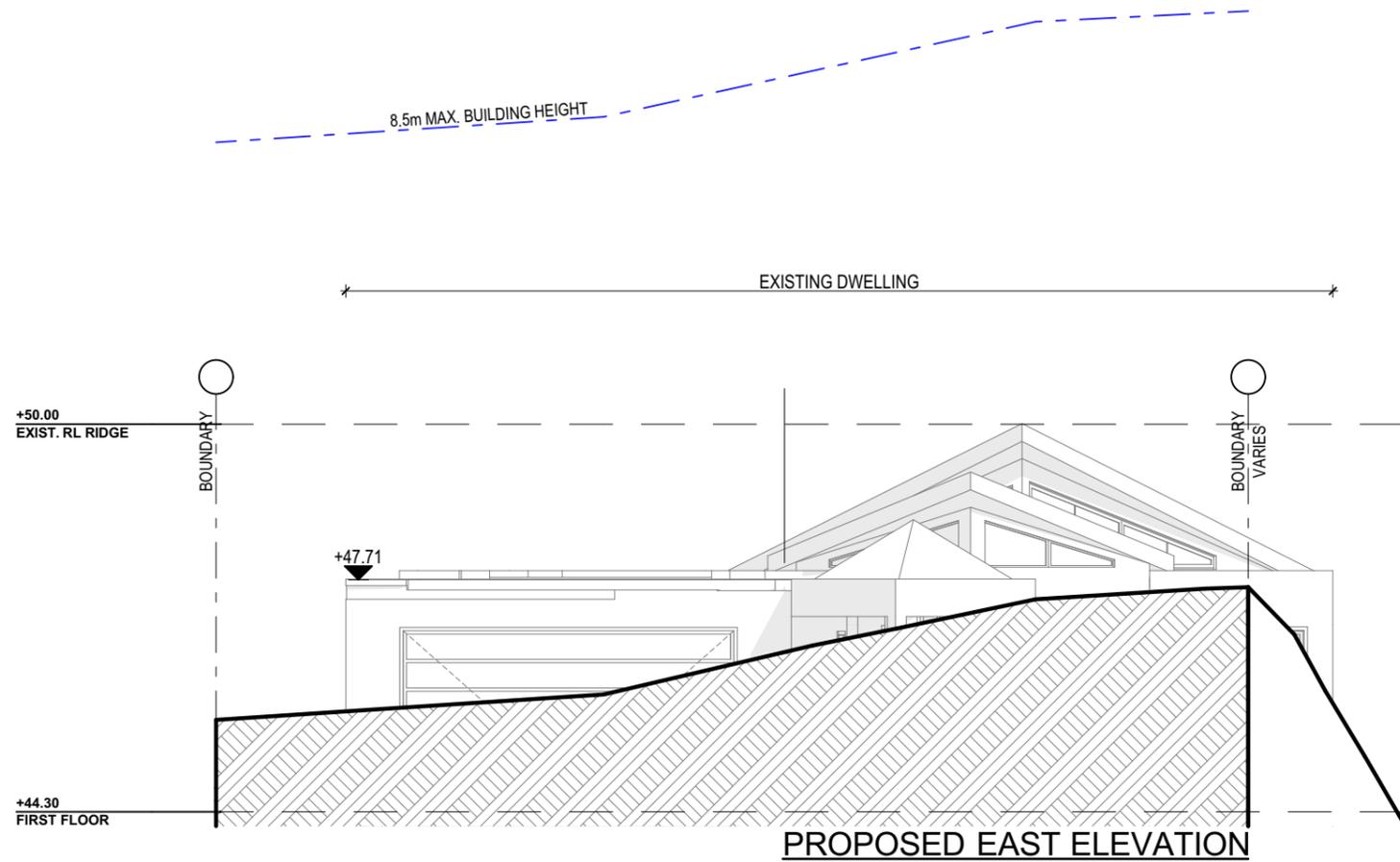
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DRAWING TITLE: PROPOSED ELEVATIONS SHEET 2

DATE: NOV/24	DRAWN BY: PP	SCALE: 1:100 @ A3
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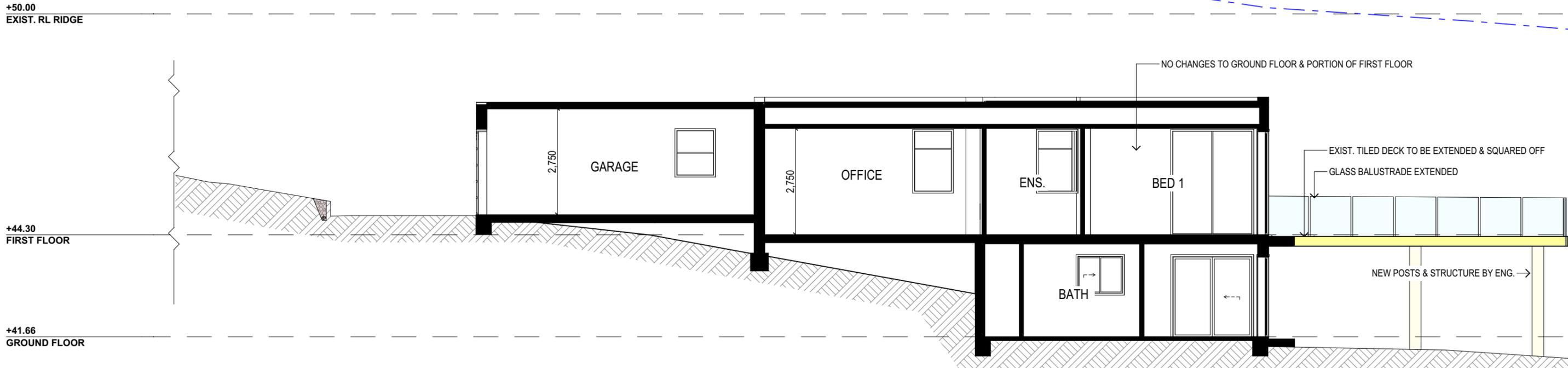
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DRAWING TITLE: PROPOSED ELEVATIONS SHEET 3

DATE: NOV/24	DRAWN BY: PP	SCALE: 1:100 @ A3
JOB No: 1077/22	CHECKED BY: JJ	DRAWING No: <b>DA.12</b>



**SECTION A**

**SPECIFICATION NOTES**

**INTERNAL LINING**  
 - PROVIDE PLASTERBOARD LINING.  
 - INSTALL TO MANUFACTURERS SPECIFICATIONS & AS 2589

**EXTERNAL WALLS:**  
 - BRICK VENEER WALLS WITH SELECTED BRICKS TO DWELLING.  
 - LIGHTWEIGHT TIMBER OR COMPOSITE WALL CLADDING IN ACCORDANCE WITH NCC VOL 2 PART 3.5.4.  
 - LIGHTWEIGHT METAL WALL CLADDING IN ACCORDANCE WITH NCC VOL 2 PART 3.5.5.

**FLOOR:**  
 - GROUND FLOOR TO BE REINFORCED CONCRETE SLAB IN ACCORDANCE WITH AS2870.  
 - FIRST FLOOR TO BE TIMBER FRAMED FINISHED WITH T&G HARDWOOD FLOORING.

**WET AREAS:**  
 - ALL WATERPROOFING TO AS 3740  
 - PROVIDE A GUARANTEED FLEXIBLE WATERPROOF MEMBRANE TO ALL WET AREA FLOORS & SHOWERS WALLS TO MANUFACTURES INSTRUCTIONS

**BEARERS AND JOISTS:**  
 - SHALL BE INSTALLED TO COMPLY WITH AS1684 AS AMENDED FOR TIMBER COMPONENTS OR AS3620 FOR LIGHTWEIGHT STEEL FRAMING SECTIONS OR AS PER THE NASH ALTERNATIVES TO AS 3623.

**ANT CAPS:**  
 - SHALL BE INSTALLED IN ACCORDANCE WITH AS3660.

**PROFILED STEEL ROOF:**  
 - COLORBOND ROOF CLADDING  
 - NCC VOL.2 PART 3.5.1.  
 - DESIGN AND INSTALLATION SHALL BE IN ACCORDANCE WITH AS/NZS 1562.

**ROOF TILES OR SHINGLES:**  
 - NCC VOL.2 PART 3.5.2.

**CONCRETE:**  
 - SHALL BE IN ACCORDANCE WITH NCC VOL.1 PART B1.4 OR VOL.2 PART 3.2.3.  
 - ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH CURRENT EDITIONS OF THE AS3600.

**FOOTINGS:**  
 - FOOTINGS TO BE IN ACCORDANCE WITH AS1480.  
 - FOOTINGS TO BE IN ACCORDANCE WITH NCC VOL.2 PARTS 3.2.3, 3.2.4 AND 3.2.5  
 - ALL REINFORCEMENTS SHALL CONFORM TO AS1302, AS1303 AND AS1304.

**BRICK AND BLOCKWORK:**  
 - CONSTRUCTION OF MASONRY BUILDINGS SHALL BE AS PER AS3700 OR AS4773.

**CARPENTRY:**  
 - TIMBER TO COMPLY WITH AS1170.2 OR AS4055.  
 - ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS1684 AND 1720 AS APPLICABLE.

**TIMBER FRAMING:**  
 - TO COMPLY WITH NCC VOL.2 PART 3.4  
 - GROUND FLOOR TIMBERS SHALL BE ONLY OF HARDWOOD, CYPRESS PINE OR PRESSURE TREATED RADIATA OR CANADA PINE BELOW A HEIGHT OF 300mm ABOVE FINISHED GROUND LEVEL AND MUST NOT BE BUILT INTO BRICKWORK.  
 - SUBFLOOR VENTILATION SHALL CONFORM TO NCC VOL.2 PART 3.4.1.  
 - IN BUSHFIRE PRONE AREAS SPECIAL CONDITIONS APPLY.  
 - WHERE TERMITE BARRIERS NEED TO BE INSPECTED, 400mm CLEARANCE IS REQUIRED BETWEEN THE UNDERSIDE OF BEARER AND GROUND SURFACE.  
 - USE TREATED TIMBER WHERE REQUIRED FOR DURABILITY.  
 - DO NOT USE TIMBER UNSUITABLE FOR EXPOSURE TO MOISTURE IN EXPOSED LOCATION.  
 - PROVIDE STRUCTURE BRACING IN ACCORDANCE WITH AS1684  
 - PROVIDE STRUCTURE TIEDOWN IN ACCORDANCE WITH AS1684  
 - USE GALVANISED FIXINGS WHERE EXPOSED TO WEATHER.

**TERMITE CONTROL:**  
 - TO BE IN ACCORDANCE WITH TO AS3660.1  
 - SHALL BE IN ACCORDANCE WITH NCC VOL.2 PART 3.1.4 OR VOL.1 PART B1.4.

**FLASHING AND CAPPINGS:**  
 - SELECTION AND INSTALLATION OF METAL RAINWATER GOODS REFER TO AS2180  
 - FLASH PROJECTIONS ABOVE THE ROOF WITH TWO PART FLASHINGS CONSISTING OF AN APRON FLASHING AND OVER FLASHING, WITH AT LEAST 100mm OVERLAP.  
 - PROVIDE FOR INDEPENDENT MOVEMENT BETWEEN ROOF AND PROJECTION.

**CONCRETE BLOCKS OR BRICKS:**  
 - TO COMPLY WITH TO AS4455 MASONRY BUILDING BLOCKS/PAVER.

**LIGHTING:**  
 - 40% OF NEW OR ALTERED LIGHT FIXTURES TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS

**DOORS & WINDOWS:**  
 - ALL FRAMED WINDOWS SHALL BE INSTALLED IN ACCORDANCE WITH AS2047-48 FOR ALUMINIUM WINDOWS AND AS2047 FOR TIMBER WINDOWS.  
 - ALUMINIUM FRAMED WINDOWS AND DOORS.  
 - WEATHER STRIPPING IS TO BE PROVIDED TO ALL EXTERNAL WINDOWS AND DOORS.

**STAIRS, HANDRAILS AND BALUSTRADES:**  
 - NCC VOL.2 PARTS 3.9.1 AND 3.9.2  
 - RELATIONSHIP OF RISER TO GOING SHALL BE BETWEEN 1:2 AND 1:1.35 UNLESS OTHERWISE DIRECTED TO GOING SHALL BE BETWEEN 1:2 AND 1:1.35 UNLESS OTHERWISE DIRECTED OR AS PERMITTED IN AS1657.  
 - BALUSTRADES SHALL BE PROVIDED TO ALL LANDINGS, RAMPS, DECKS, ROOFS AND OTHER ELEVATED PLATFORMS WHERE THE VERTICAL DISTANCE FROM THAT LEVEL IS MORE THAN 1m ABOVE THE ADJOINING FLOOR OR FINISHED GROUND LEVEL.  
 - THE HEIGHT OF BALUSTRADE MUST BE A MINIMUM OF 1m HIGH ABOVE LANDING AND NOT LESS THAN 865mm ABOVE THE NOSINGS OF ANY STAIR TREADS OR FLOOR RAMP AND HAVE NO OPENING GREATER THAN 125mm.  
 - THE HEIGHT OF BALUSTRADE TO THE NEW STAIRCASES IS TO BE MEASURED A MINIMUM 865mm ABOVE THE NOSING LINE AND HAVE NO OPENING GREATER NO OPENING GREATER THAN 125mm.

**SLIP RESISTANCE:**  
 - MATERIALS TO BE USED FOR SURFACES OF FLOORS, STAIR LANDING, STEPS AND NOSINGS SHALL BE IN ACCORDANCE WITH THE CLASSIFICATIONS FOR SLIP RESISTANCE AS APPLY IN AS4586 AND HB198.

**STORMWATER:**  
**EAVES GUTTERS, VALLEY GUTTERS AND DOWPIPES**  
 - TO COMPLY WITH AS/NZS 2179 FOR METAL AND AS1273 FOR UPVC COMPONENTS.  
 - IN ACCORDANCE WITH NCC VOL 2 PART 3.5.3  
 - NEW DOWNPIPES TO BE CONNECTED INTO EXISTING STORMWATER LINE  
 - COLORBOND GUTTERS AND DOWNPIPES  
 - MINIMUM SLOPE OF EAVES AND GUTTERS 1:200

**WATERPROOFING FOR EXTERNAL TILED BALCONIES:**  
 - WATERPROOFING TO COMPLY WITH AS4654

**GLAZING:**  
 - NCC VOL.1 PARTS B 1.4, D 3.12, F1.13 OR NCC VOL.2 PART 3.6

**SMOKE DETECTORS/ALARMS:**  
 - NCC VOL 2 PART 3.7.5. FIRE/SMOKE DETECTORS COMPLYING WITH THE REQUIREMENTS OF THE LOCAL GOVERNMENT ACT AND/OR STATE OR TERRITORY REGULATIONS MUST BE FITTED IN THE LOCATIONS REQUIRED AND APPROVED BY THE AUTHORITY AND SHALL BE INSTALLED IN ACCORDANCE WITH AS3786.  
 - INSTALLATIONS IN BUILDINGS OTHER THAN CLASS 1 AND 10 MUST BE INSTALLED AND MANAGED TO COMPLY WITH NCC SPEC. E2.2a.  
 - MULTIPLE ALARMS WITHIN HOUSES AND SOLE OCCUPANCY UNITS MUST BE HARD WIRED AND INTERCONNECTED.

**WASTE MANAGEMENT:**  
 - ALL WASTE SHALL BE TAKEN AWAY BY TRUCKS TO A SUITABLE LANDFILL OR RECYCLE DEPOT.  
 - ALL WASTE SHALL BE COVERED DURING TRANSPORTATION.  
 - WASTE GENERATED DURING CONSTRUCTION SHALL BE PLACED IN STEEL BINS AND TAKEN AWAY BY AN APPROVED CONTRACTOR TO A APPROVED LANDFILL SITE.

**SEDIMENT CONTROL:**  
 - A FILTER CLOTH SYSTEM SHALL BE INSTALLED TO STOP ANY SEDIMENT ENTERING COUNCILS STORMWATER SYSTEM.

**NOTE:**  
 ALL PLANS ARE TO BE READ IN CONJUNCTION AND COMPLY WITH THE BASIX CERTIFICATE, BUSHFIRE AND GEOTECH REPORTS.

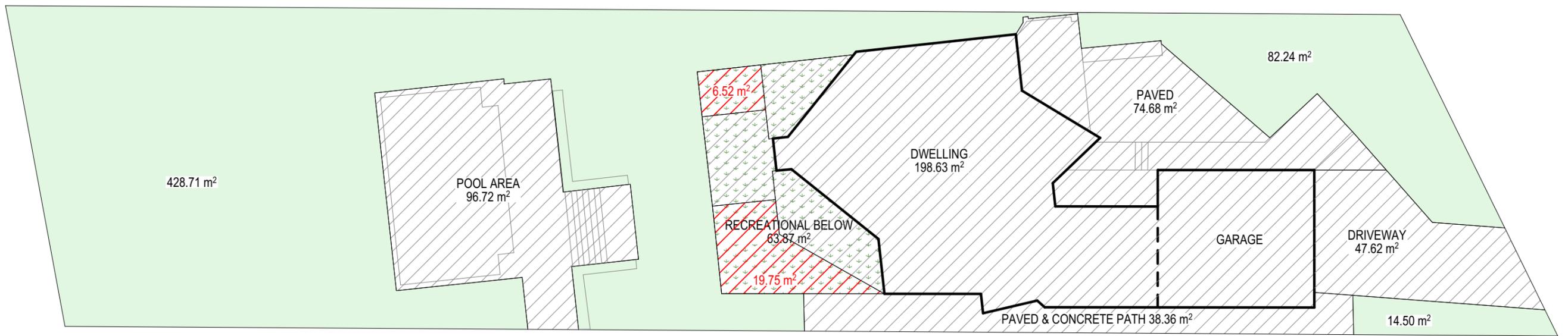
**NOTES (E & OE)**  
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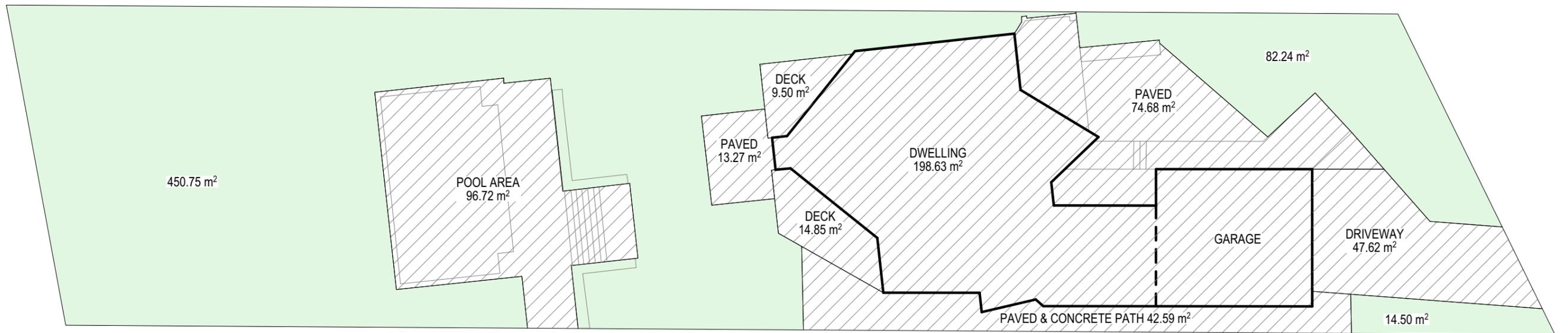
REV:	DATE:	DESCRIPTION:
A	28/10/2024	Preliminary Plans
B	27/11/2024	Development Application

PROPOSED ALTERATIONS AND ADDITIONS 45 HILLCREST AVE, MONA VALE 2103 CLIENT: STEPHEN WOODS & KERRIE WILSON
DRAWING TITLE: SECTION A / SPECIFICATION

DATE: NOV/24	DRAWN BY: PP	SCALE: 1:100 @ A3
JOB No: 1077/22	CHECKED BY: JJ	DRAWING No: <b>DA.13</b>

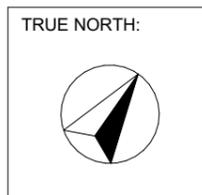


**PROPOSED LANDSCAPED AREA PLAN**



**EXISTING LANDSCAPED AREA PLAN**

CALCULATIONS			
SITE AREA			1045m <sup>2</sup>
LANDSCAPE CONTROL		60%	627m <sup>2</sup>
RECREATIONAL AREA		6.1%	63.8m <sup>2</sup>
EXISTING LANDSCAPED AREA		52.39%	547.4m <sup>2</sup>
TOTAL NEW LANDSCAPED AREA (RECREATIONAL AREA INCLUDED)		56.38%	589.25m <sup>2</sup>
EXISTING HARD SURFACE AREA			497.86m <sup>2</sup>
NEW HARD SURFACE AREA			26.27m <sup>2</sup>
TOTAL NEW HARD SURFACE AREA			524.13m <sup>2</sup>



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45 HILLCREST AVE, MONA VALE 2103  
CLIENT:  
STEPHEN WOODS & KERRIE WILSON  
DRAWING TITLE:  
LANDSCAPED AREA CALCULATION PLAN

DATE: NOV/24	DRAWN BY: PP	SCALE: 1:1, 1:200 @ A3
JOB No: 1077/24	CHECKED BY: JJ	DRAWING No: <b>DA.14</b>

**NOTES**

**DESIGNATED SITE MANAGER/BUILDER**

PRIOR TO COMMENCEMENT OF WORK A SITE MANAGER OR BUILDER MUST BE NOMINATED. THE SITE MANAGER OR BUILDER WILL BE RESPONSIBLE AND LIABLE FOR ALL WORKS CARRIED OUT ON THE SITE. THIS ASSUMES THE RESPONSIBILITY FOR THE ACTIONS OF ALL SUBCONTRACTED PARTIES AS WELL AS ADVISING THEM OF COUNCIL'S REQUIREMENTS WHEN CARRYING OUT WORKS.

**TOPSOIL MANAGEMENT**

PRIOR TO THE STRIPPING OF TOPSOIL, THE VEGETATIVE COVER MUST BE REDUCED BY EITHER SLASHING OR MOWING. ALL TOPSOIL IS TO BE RETAINED AND PROTECTED FOR REUSE ON SITE. SOIL STOCKPILES MUST NOT BE LOCATED ON NATURE STRIPS, FOOTPATHS, ROADWAYS, KERBS, ACCESSWAYS, WITHIN DRAINAGE LINES/FLOWS/PATHS OR AROUND OR AGAINST TREE SHRUBS. SEDIMENT CONTROL MEASURES MUST BE INCORPORATED WITH ANY RESULTING STOCKPILE. THE STOCKPILE CAN BE PROTECTED FROM EROSION BY COVERING IT WITH AN IMPERVIOUS MATERIAL, IN CONJUNCTION WITH THE INSTALLATION OF A SEDIMENT FENCE AROUND IT. IF STOCKPILES ARE TO REMAIN FOR MORE THAN ONE MONTH THEY ARE TO BE GRASSED IMMEDIATELY AND STABILISED WITHIN FOURTEEN DAYS. SURPLUS TOPSOIL MUST BE REASONABLY REMOVED FROM SITE.

**BUILDING MATERIAL STOCKPILING**

SUFFICIENT AREA MUST BE ALLOCATED WITHIN THE SITE FOR SUCH STORAGE OF BUILDING MATERIALS, DEMOLITION WASTE, WASTE CONTAINERS, ETC. AS WILL BE REQUIRED.

**SEDIMENT FENCES**

A SEDIMENT FENCE SHOULD BE LOCATED ALONG THE DOWNSLOPE BOUNDARY(S) OF THE SITE, ON THE CONSTRUCTION SIDE OF THE TURF FILTER STRIP OR NATIVE VEGETATION, AND AROUND ALL STOCKPILES OF MATERIAL ON THE SITE.

**DUST CONTROL**

ALL TRUCKS/UTES MUST COVER THEIR LOADS AT ALL TIMES. APPROPRIATE METHODS ARE TO BE EMPLOYED TO PREVENT BLOWING DUST CREATING AN UNACCEPTABLE HAZARD OR NUISANCE ON THE SITE OR DOWN WIND. PRODUCTION OF DUST CAN BE MINIMISED BY LIMITING AREA OF EARTHWORKS, WATERING AND PROGRESSIVE VEGETATION. WHERE DUST IS CREATED AS A RESULT WORKS AND/OR SOIL EXPOSURE, THE BARE SOIL AREAS MUST BE WATERED, DURING AND/OR AT THE END OF EACH DAY TO LAY THE DUST. EARTH MOVING ACTIVITIES SHOULD BE AVOIDED WHERE WINDS ARE SUFFICIENTLY STRONG ENOUGH TO RAISE VISIBLE DUST.

**EROSION & SEDIMENT CONTROLS**

APPROPRIATE EROSION AND SEDIMENT CONTROLS MUST BE IMPLEMENTED ON ALL SITES THAT INVOLVE SOIL DISTURBANCE. THE MEASURES MUST BE IN PLACE PRIOR TO THE COMMENCEMENT OF WORK. THOSE CONTROLS ARE TO BE MONITORED AND MAINTAINED IN ORDER TO SERVE THEIR INTENDED FUNCTION FOR THE DURATION OF THE WORKS OR UNTIL SUCH TIME AS THE SITE IS FULLY STABILISED. IF ANY CONTROLS ARE DAMAGED OR BECOME INEFFECTIVE DURING THE COURSE OF THE WORKS THEY ARE TO BE REINSTATED OR REPLACED IMMEDIATELY. SUFFICIENT ACCESS TO THESE CONTROLS MUST BE PROVIDED IN CASE OF THE NEED TO REPAIR.

**SEDIMENT TRAPS**

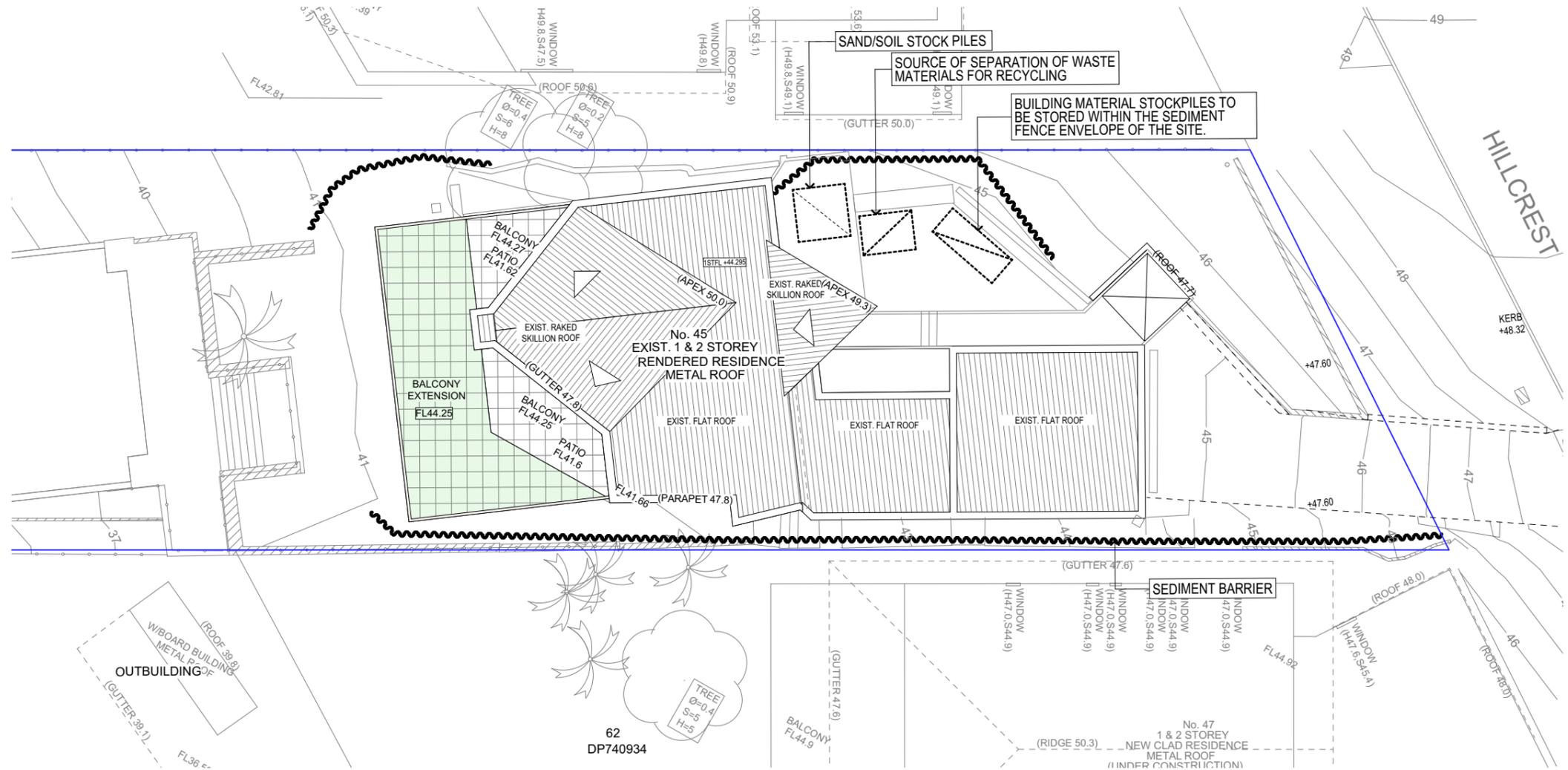
WHERE A SEDIMENT FENCE IS NOT USED APPROPRIATE SEDIMENT TRAPS SHOULD BE LOCATED AT ALL POINTS WHERE STORMWATER LEAVES THE CONSTRUCTION SITE OR LEAVES THE GUTTER AND ENTERS THE DRAINAGE SYSTEM. A COMMON TECHNIQUE IS THE GRAVEL SAUSAGE.

**DIVERSION CHANNELS**

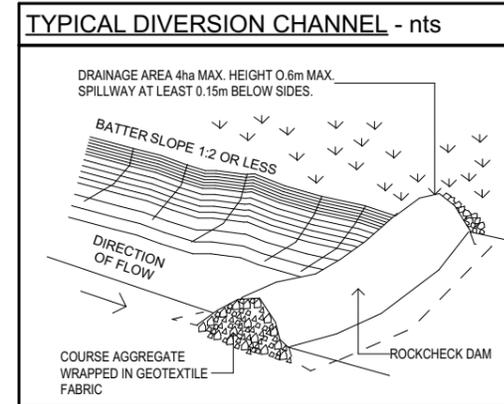
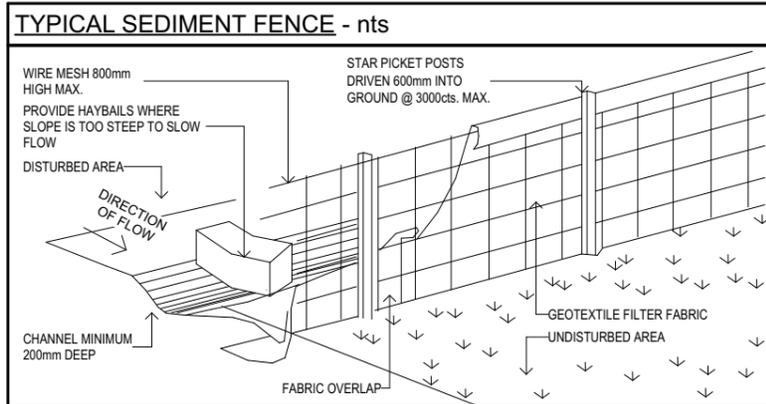
A DIVERSION CHANNEL IS AN EXCAVATED EARTH DITCH OR PATH. THESE STRUCTURES ARE USED TO INTERCEPT AND DIRECT RUN-OFF TO A DESIRED LOCATION WHERE POSSIBLE. ALL STORMWATER RUN-OFF FLOWING ONTO DISTURBED AREAS, INCLUDING STOCKPILES, MUST BE INTERCEPTED, DIVERTED AND/OR SAFELY DISPOSED OF. THIS CAN BE ACHIEVED BY CONSTRUCTING A TEMPORARY EARTH BANK AROUND THE UPSLOPE EXTENT OF THE CONSTRUCTION SITE WHERE THE DIVERSION DOES NOT AFFECT THE NEIGHBOURING PROPERTIES.

**VEHICLE MOVEMENTS**

TO LIMIT DISTURBANCE TO THE SITE AND TRACKING OF MATERIAL ONTO THE STREET ALL VEHICLES AND PLANT EQUIPMENT ARE TO USE A SINGLE ENTRY/EXIT POINT UNLESS COUNCIL HAS APPROVED ALTERNATIVE ARRANGEMENTS. ACCESS POINTS AND PARKING AREAS ARE TO BE STABILISED WITH COMPACTED SUB-GRADE ASAP AFTER THEIR FORMATION. IF SPILLAGE DOES OCCUR IT IS TO BE CONTAINED IMMEDIATELY AND CAREFULLY REMOVED. THE AREA AFFECTED IS TO BE RESTORED TO A STANDARD EQUAL TO OR BETTER THAN ITS PREVIOUS CONDITION. ALL VEHICLES ARE TO BE WASHED PRIOR TO EXISTING THE SITE. THIS SERVES THE PURPOSE OF REMOVING SITE MATERIAL ON THE VEHICLE AND PREVENTS IT FROM BEING DEPOSITED ON THE ROAD NETWORK ADJACENT TO THE SITE AND THUS, THE STORMWATER SYSTEM. NO VEHICLE ASSOCIATED WITH THE WORK IS TO BE PARKED ON A FOOTPATH OR PUBLIC RESERVE. ALL VEHICLES VISITING THE SITE DURING DEMOLITION, EXCAVATION AND/OR CONSTRUCTION WORKS, ARE TO COMPLY WITH THE PARKING REQUIREMENTS IN THAT AREA.



**EROSION & SEDIMENT CONTROL PLAN**



TRUE NORTH:

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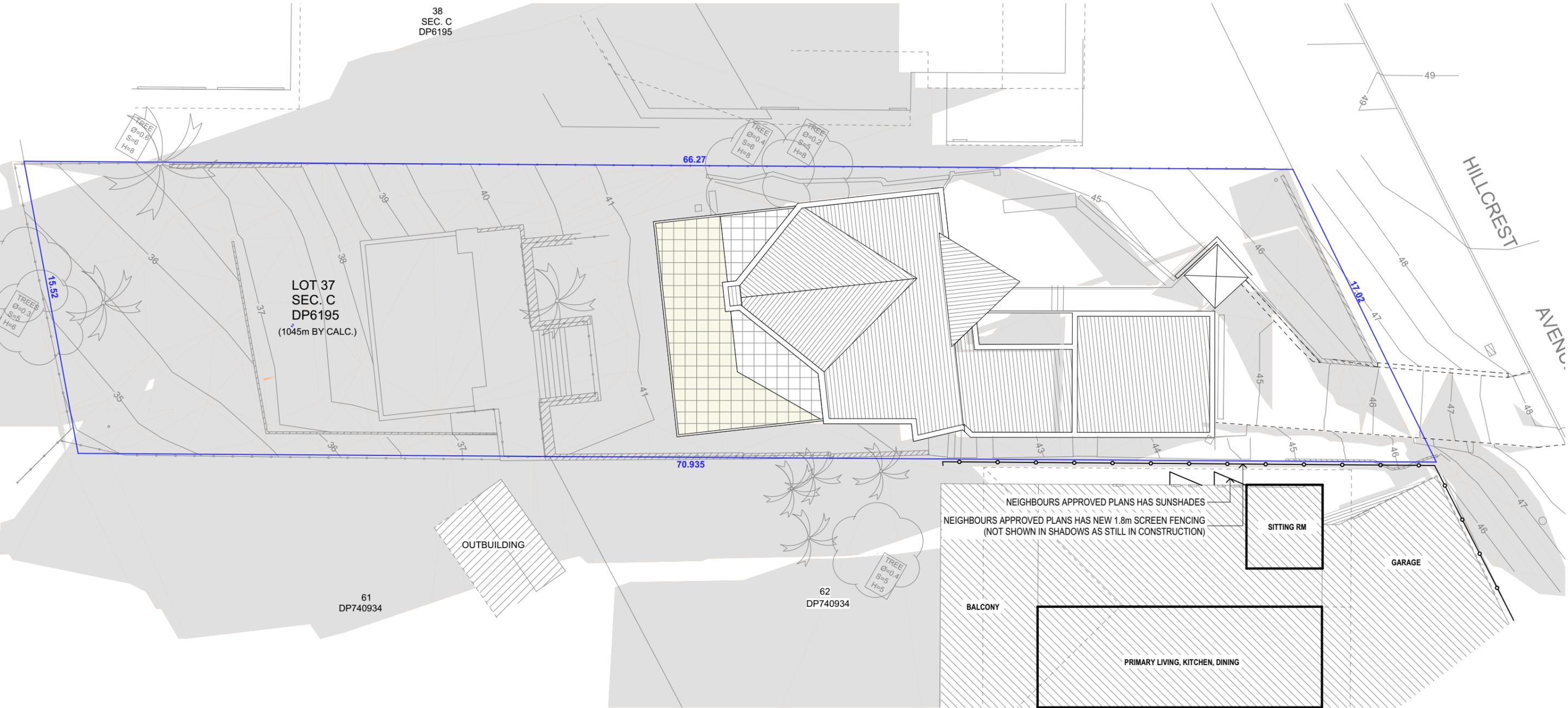
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 STEPHEN WOODS & KERRIE WILSON

DRAWING TITLE:  
 EROSION & SEDIMENT CONTROL / WASTE  
 MANAGFMFNT PI AN

DATE: NOV/24	DRAWN BY: PP	SCALE: 1:200 @ A3
JOB No: 1077/24	CHECKED BY: JJ	DRAWING No: DA.15



**JUNE 21 9AM**

**21 JUNE SHADOW DIAGRAM LEGEND**

EXISTING SHADOWS 

NEW SHADOWS 

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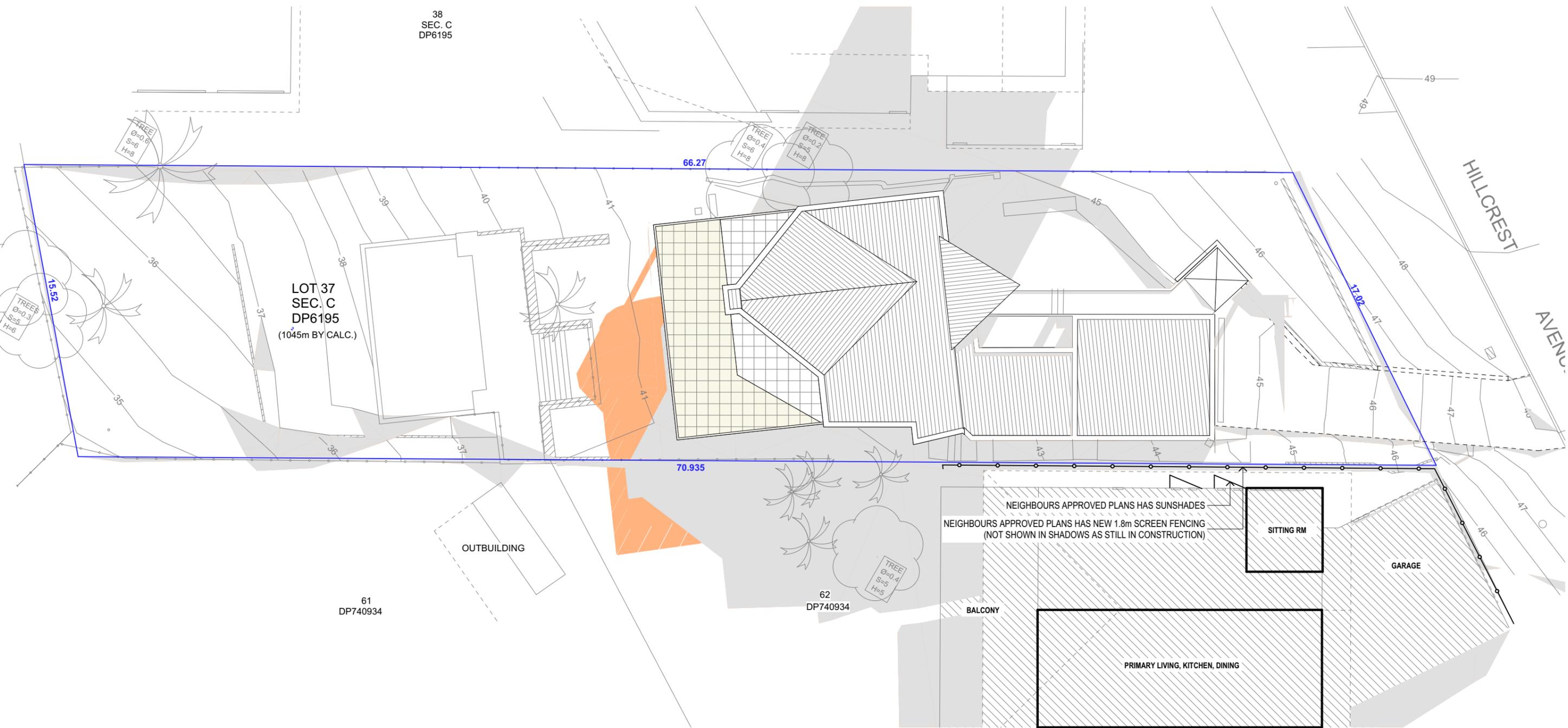
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 STEPHEN WOODS & KERRIE WILSON

DRAWING TITLE:  
 SHADOW DIAGRAM JUNE 21 9:00 am

DATE: NOV/24	DRAWN BY: PP	SCALE: 1:200 @ A3
JOB No: 1077/24	CHECKED BY: JJ	DRAWING No: <b>DA.16</b>



**JUNE 21 12PM**

**21 JUNE SHADOW DIAGRAM LEGEND**

EXISTING SHADOWS

NEW SHADOWS

**TRUE NORTH:**



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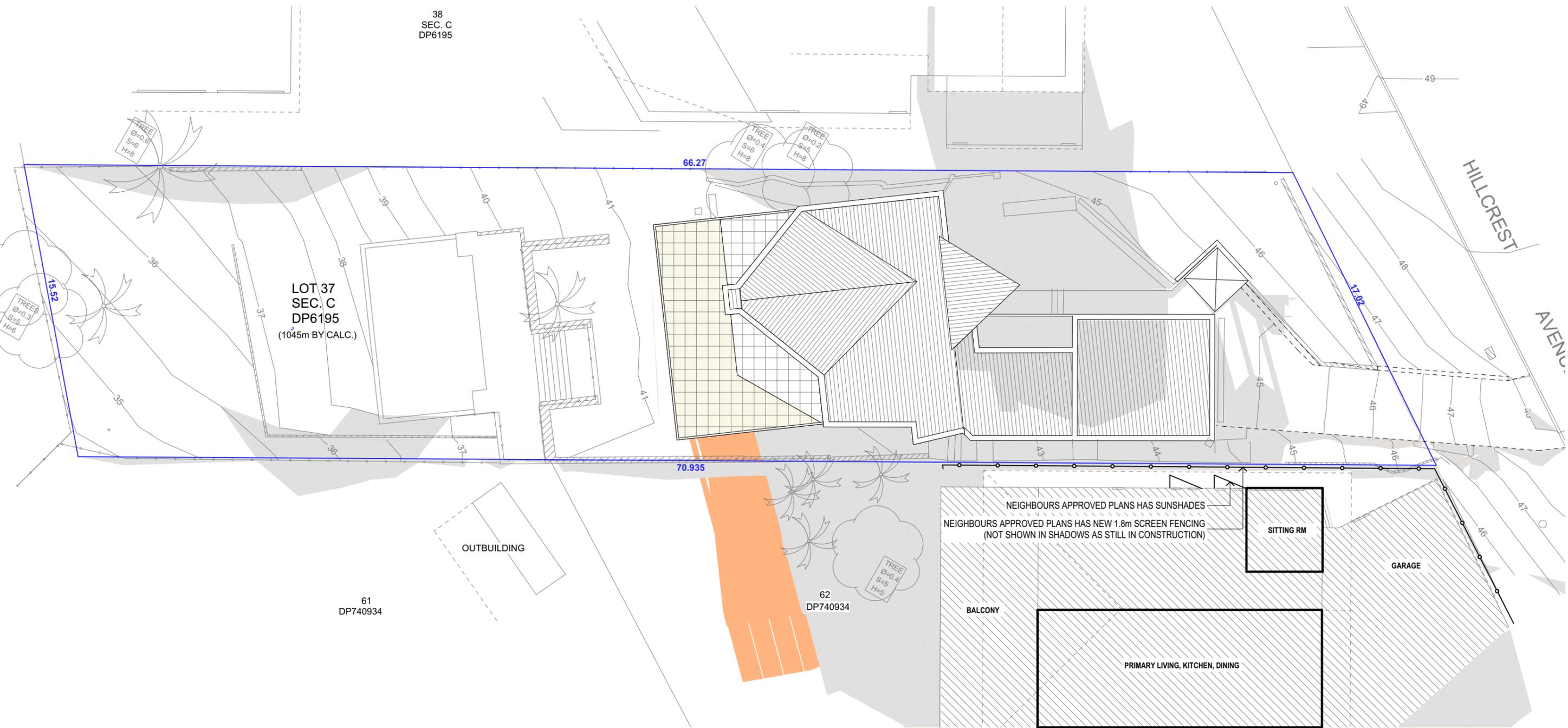
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 SHADOW DIAGRAM JUNE 21 12 noon

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JOB No: 1077/24	CHECKED BY: JJ	DRAWING No: <b>DA.17</b>



**JUNE 21 3PM**

**21 JUNE SHADOW DIAGRAM LEGEND**

EXISTING SHADOWS

NEW SHADOWS

**TRUE NORTH:**



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 SHADOW DIAGRAM JUNE 21 3:00 pm

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