

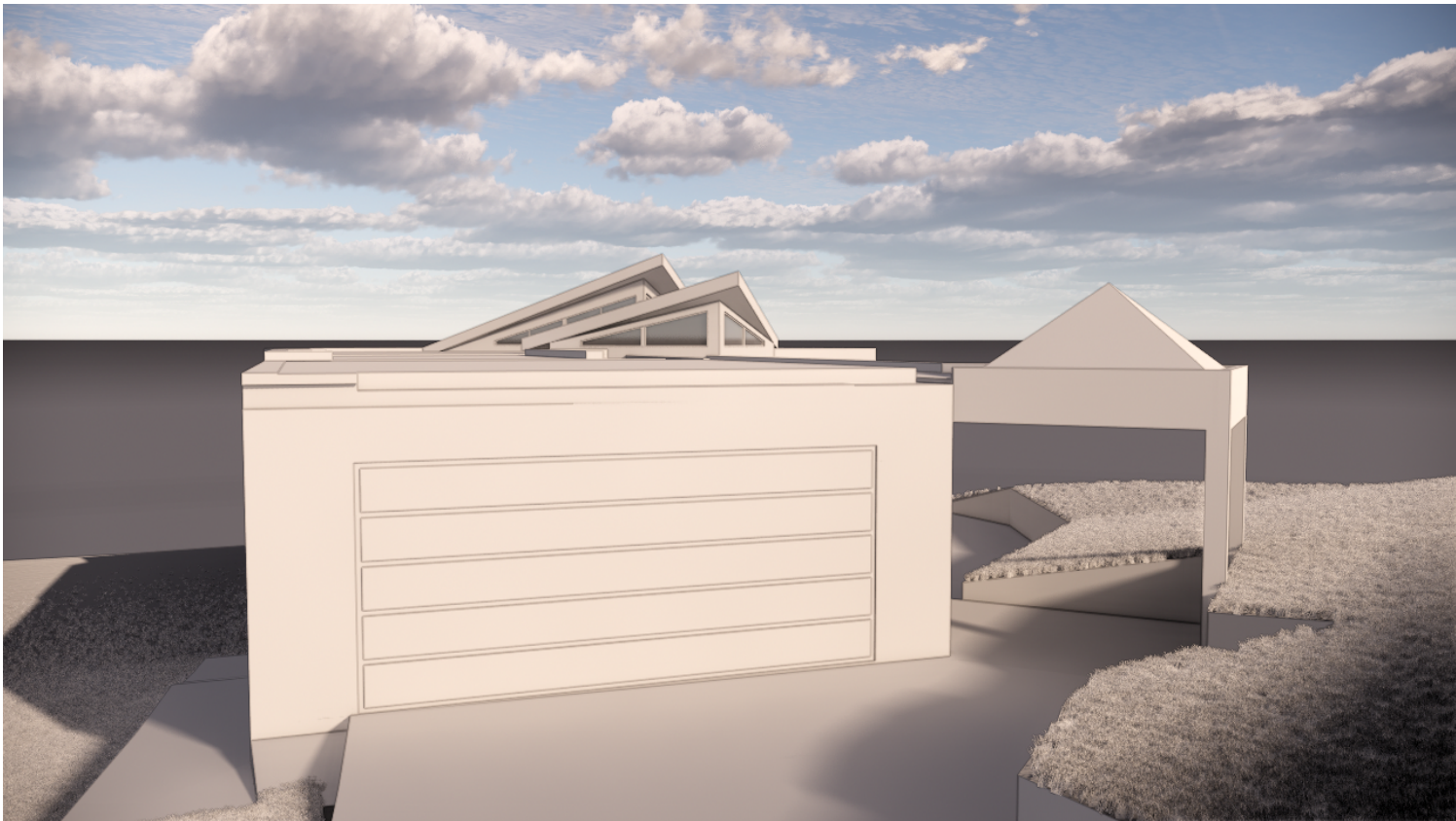
# DEVELOPMENT APPLICATION

ALTERATIONS & ADDITIONS TO AN EXISTING DWELLING AT  
45 HILLCREST AVENUE, MONA VALE 2103

Prepared By JJ Drafting Australia P/L.



INDEX	
Layout ID	Layout Name
DA.01	COVER PAGE
DA.02	SITE ANALYSIS PLAN
DA.03	EXISTING GROUND FLOOR PLAN
DA.04	EXISTING FIRST FLOOR PLAN
DA.05	EXISTING ELEVATIONS SHEET 1
DA.06	EXISTING ELEVATIONS SHEET 2
DA.07	PROPOSED GROUND FLOOR PLAN
DA.08	PROPOSED FIRST FLOOR PLAN
DA.09	PROPOSED ROOF PLAN
DA.10	PROPOSED ELEVATIONS SHEET 1
DA.11	PROPOSED ELEVATIONS SHEET 2
DA.12	PROPOSED ELEVATIONS SHEET 3
DA.13	SECTION A / SPECIFICATION
DA.14	LANDSCAPED AREA CALCULATION PLAN
DA.15	EROSION & SEDIMENT CONTROL / WASTE MANAGEMENT PLAN
DA.16	SHADOW DIAGRAM JUNE 21 9:00 am
DA.17	SHADOW DIAGRAM JUNE 21 12 noon
DA.18	SHADOW DIAGRAM JUNE 21 3:00 pm



EXISTING FRONT VIEW

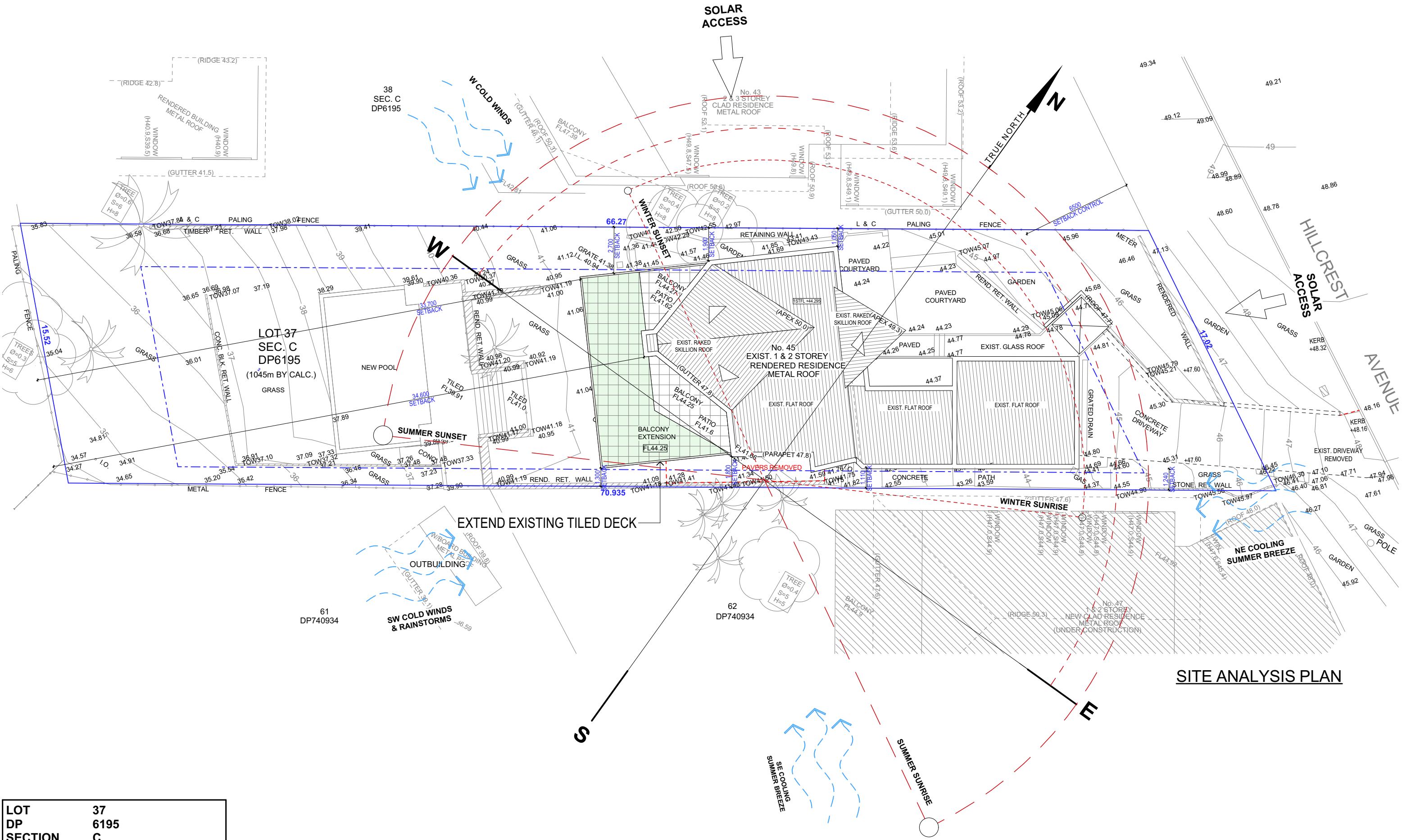


PROPOSED REAR VIEW

\*MODEL IS AN IMPRESSION ONLY, NOT INDICATIVE OF ACCURATE  
LANDSCAPING, COLOURS & MATERIALS

<div>NOTES (E &amp; OE)</div> <div><ul style="list-style-type: none"><li>• All structures including stormwater &amp; drainage to engineer's details.</li><li>• Do not obtain dimensions by scaling drawings.</li><li>• All dimensions are to be checked on site prior to starting work.</li><li>• These drawings are to be read in conjunction with all other consultant's drawings and specifications.</li><li>• All workmanship &amp; materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards &amp; local council requirements.</li><li>• New materials are to be used throughout unless otherwise noted.</li><li>• Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.</li></ul></div>	<div>JJ Drafting Australia P/L.</div> <div>26/90 Mona Vale Road, Mona Vale, NSW, 2103 PO Box 687, Dee Why, NSW, 2099 Mob. 0414 717 541   Email. <a href="mailto:jjdraft@tpg.com.au">jjdraft@tpg.com.au</a> <a href="http://www.jjdrafting.com.au">www.jjdrafting.com.au</a> ACN 651 693 346</div>	REV:	DATE:	DESCRIPTION:	PROPOSED ALTERATIONS AND ADDITIONS 45 HILLCREST AVE, MONA VALE 2103 CLIENT: STEPHEN WOODS & KERRIE WILSON	DATE: NOV/24	DRAWN BY: PP	SCALE: 1:1 @ A3
		A	28/10/2024	Preliminary Plans		DRAWING TITLE: COVER PAGE	JOB No: 1077/22	CHECKED BY: JJ
		B	27/11/2024	Development Application				





SITE ANALYSIS PLAN

LOT 37  
DP 6195  
SECTION C

SITE AREA = 1045 m<sup>2</sup>

TRUE NORTH:

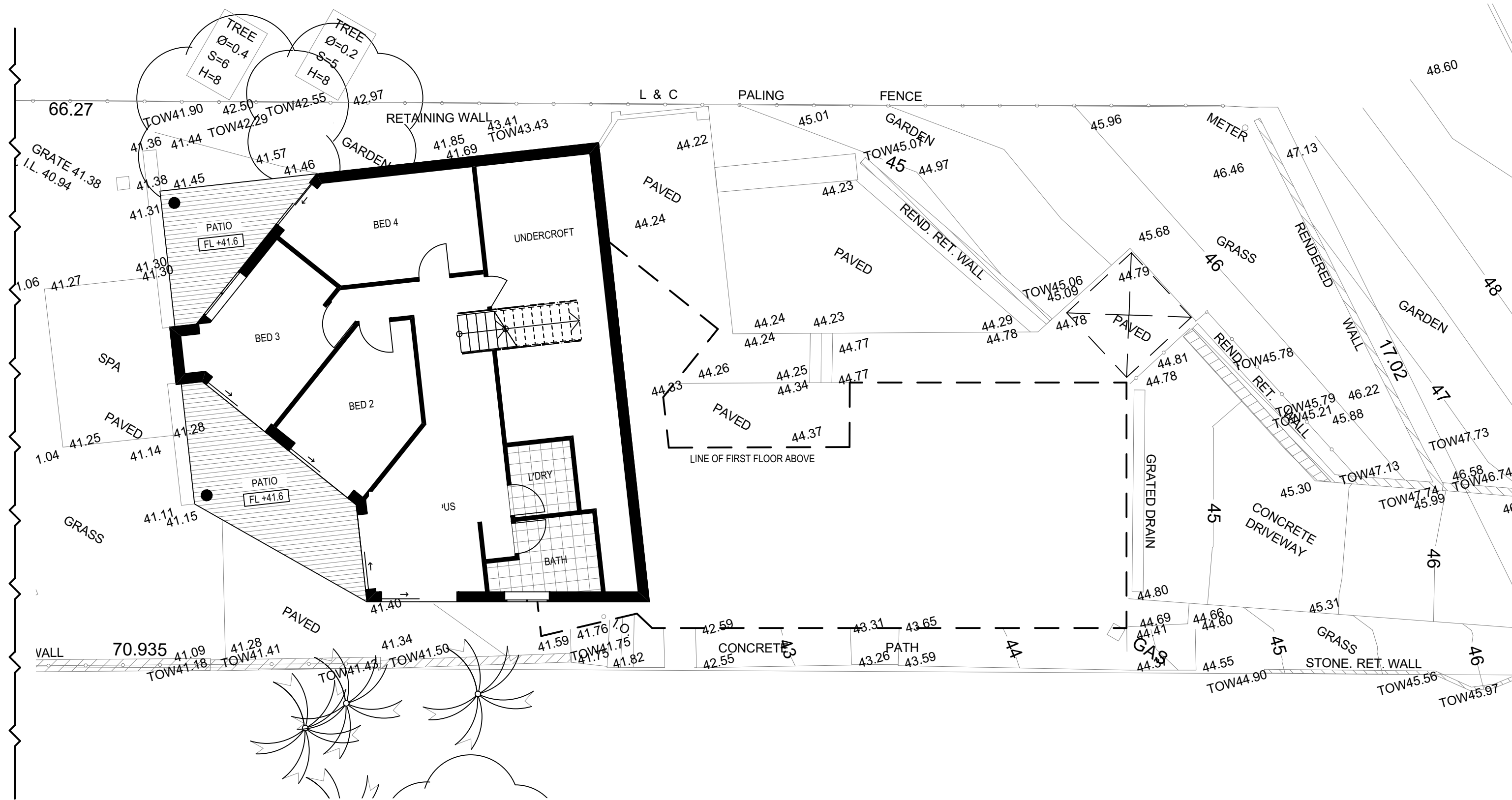
NOTES (E & OE)

- All structures including stormwater & drainage to engineer's details.
- Do not obtain dimensions by scaling drawings.
- All dimensions are to be checked on site prior to starting work.
- These drawings are to be read in conjunction with all other consultant's drawings and specifications.
- All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.
- New materials are to be used throughout unless otherwise noted.
- Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.

JJ Drafting  
Australia P/L.  
26/90 Mona Vale Road, Mona Vale, NSW, 2103  
PO Box 687, Dee Why, NSW, 2099  
Mob. 0414 717 541 | Email. jjdraft@tpg.com.au  
www.jjdrafting.com.au  
ACN 651 693 346

REV:	DATE:	DESCRIPTION:
A	28/10/2024	Preliminary Plans
B	27/11/2024	Development Application

PROPOSED ALTERATIONS AND ADDITIONS 45 HILLCREST AVE, MONA VALE 2103 CLIENT: STEPHEN WOODS & KERRIE WILSON	DATE: NOV/24	DRAWN BY: PP	SCALE: 1:200 @ A3
DRAWING TITLE: SITE ANALYSIS PLAN	JOB No: 1077/24	CHECKED BY: JJ	DRAWING No: DA.02



GROUND FLOOR AREA	
EXISTING GROUND FL. AREA	70.8 m <sup>2</sup>

EXISTING GROUND FLOOR PLAN

TRUE NORTH:

NOTES (E & OE)

- All structures including stormwater & drainage to engineer's details.
- Do not obtain dimensions by scaling drawings.
- All dimensions are to be checked on site prior to starting work.
- These drawings are to be read in conjunction with all other consultant's drawings and specifications.
- All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.
- New materials are to be used throughout unless otherwise noted.
- Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.

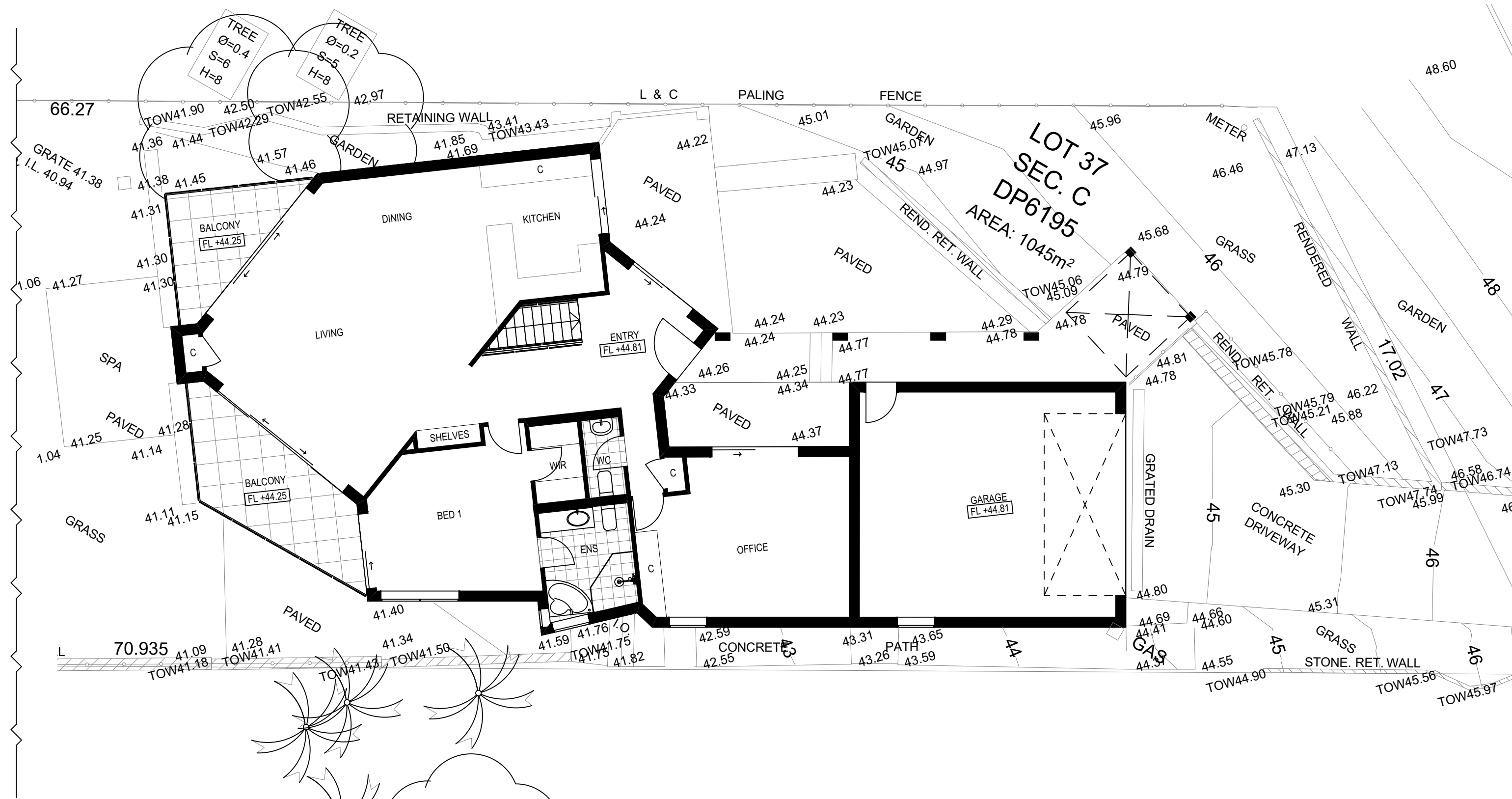
*JJ Drafting*  
*Australia P/L.*

26/90 Mona Vale Road, Mona Vale, NSW, 2103  
PO Box 687, Dee Why, NSW, 2099  
Mob. 0414 717 541 | Email. [jjdraft@tpg.com.au](mailto:jjdraft@tpg.com.au)  
[www.jjdrafting.com.au](http://www.jjdrafting.com.au)  
ACN 651 693 346

REV:	DATE:	DESCRIPTION:
A	28/10/2024	Preliminary Plans
B	27/11/2024	Development Application

PROPOSED ALTERATIONS AND ADDITIONS 45 HILLCREST AVE, MONA VALE 2103 CLIENT: STEPHEN WOODS & KERRIE WILSON	DRAWING TITLE: EXISTING GROUND FLOOR PLAN
--	--

DATE: NOV/24	DRAWN BY: PP	SCALE: 1:100 @ A3
JOB No: 1077/24	CHECKED BY: JJ	DRAWING No: DA.03



FIRST FLOOR AREA	
EXISTING FIRST FL. AREA	134 m <sup>2</sup>
EXISTING GARAGE FL. AREA (EXCLUDED FROM TOTAL)	42 m <sup>2</sup>

EXISTING FIRST FLOOR PLAN

TRUE NORTH:

**NOTES (E & OE)**

- All structures including stormwater & drainage to engineer's details.
- Do not obtain dimensions by scaling drawings.
- All dimensions are to be checked on site prior to starting work.
- These drawings are to be read in conjunction with all other consultant's drawings and specifications.
- All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.
- New materials are to be used throughout unless otherwise noted.
- Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.

**JJ Drafting**  
*Australia P/L.*

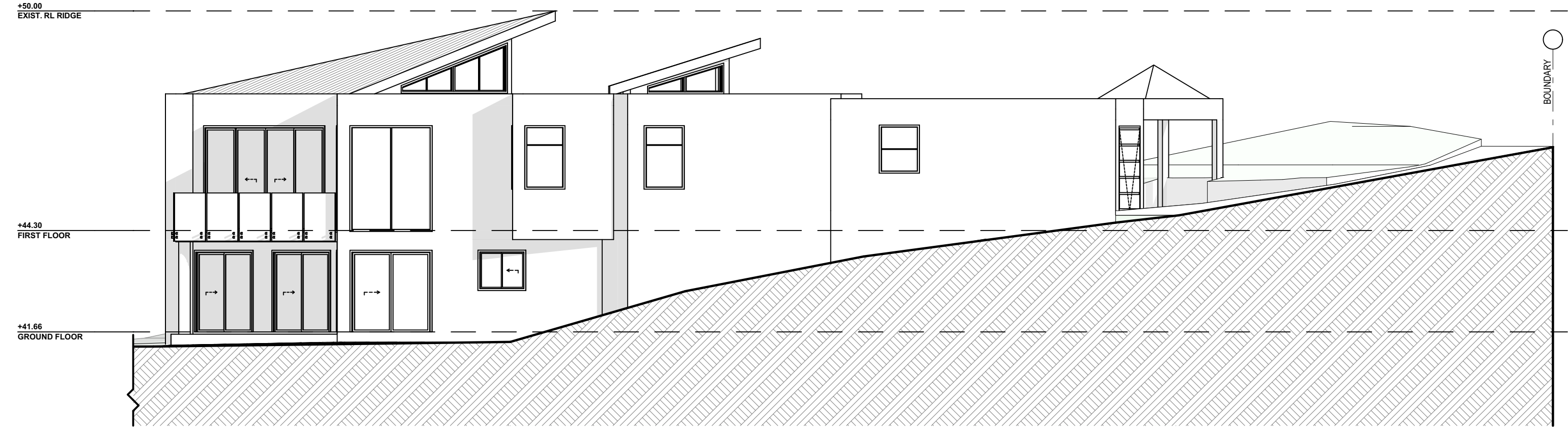
26/90 Mona Vale Road, Mona Vale, NSW, 2103  
PO Box 687, Dee Why, NSW, 2099  
Mob. 0414 717 541 | Email. [jjdraft@tpg.com.au](mailto:jjdraft@tpg.com.au)  
[www.jjdrafting.com.au](http://www.jjdrafting.com.au)  
ACN 651 693 346

REV:	DATE:	DESCRIPTION:
A	28/10/2024	Preliminary Plans
B	27/11/2024	Development Application

PROPOSED ALTERATIONS AND ADDITIONS  
45 HILLCREST AVE, MONA VALE 2103  
CLIENT:  
STEPHEN WOODS & KERRIE WILSON

DRAWING TITLE:  
EXISTING FIRST FLOOR PLAN

DATE: NOV/24	DRAWN BY: PP	SCALE: 1:100 @ A3
JOB No: 1077/24	CHECKED BY: JJ	DRAWING No: <b>DA.04</b>



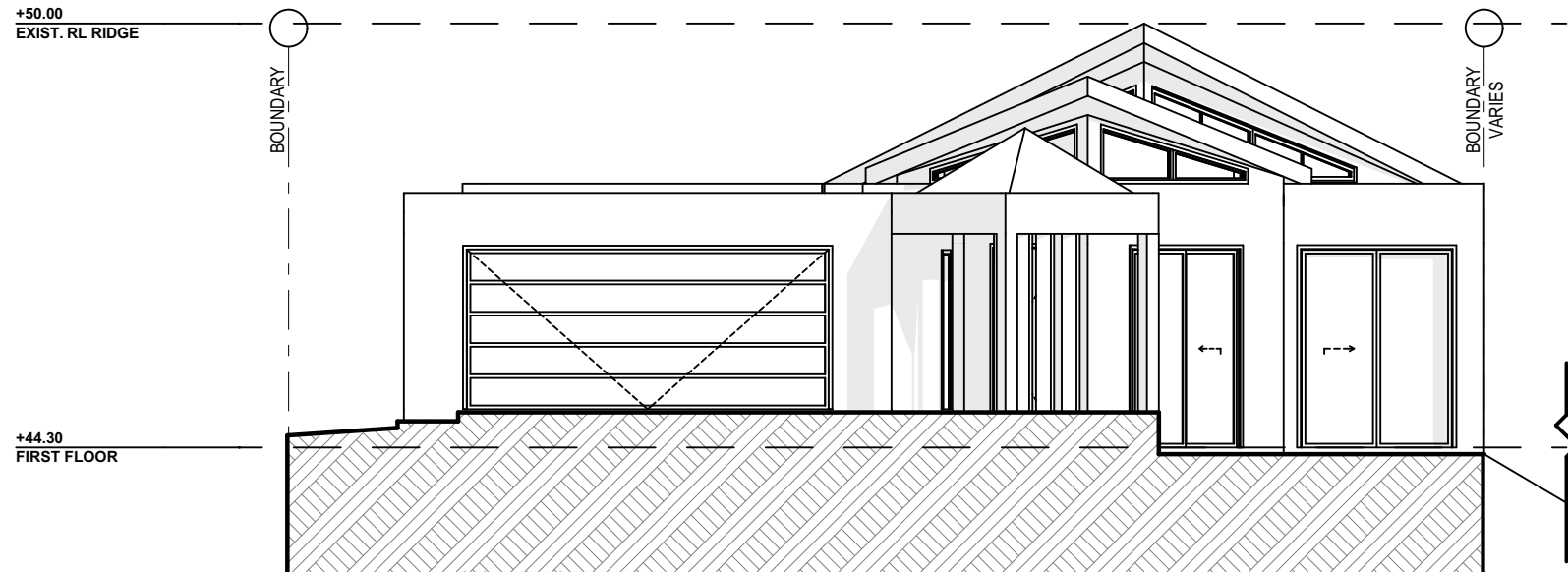
EXISTING SOUTH ELEVATION



EXISTING NORTH ELEVATION

<div>NOTES (E &amp; OE)</div> <ul style="list-style-type: none"><li>• All structures including stormwater &amp; drainage to engineer's details.</li><li>• Do not obtain dimensions by scaling drawings.</li><li>• All dimensions are to be checked on site prior to starting work.</li><li>• These drawings are to be read in conjunction with all other consultant's drawings and specifications.</li><li>• All workmanship &amp; materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards &amp; local council requirements.</li><li>• New materials are to be used throughout unless otherwise noted.</li><li>• Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.</li></ul>	<div>JJ Drafting</div> <div>Australia P/L.</div> <div>26/90 Mona Vale Road, Mona Vale, NSW, 2103</div> <div>PO Box 687, Dee Why, NSW, 2099</div> <div>Mob. 0414 717 541   Email. <a href="mailto:jjdraft@tpg.com.au">jjdraft@tpg.com.au</a></div> <div><a href="http://www.jjdrafting.com.au">www.jjdrafting.com.au</a></div> <div>ACN 651 693 346</div>	<div>REV: DATE: DESCRIPTION:</div> <div>A 28/10/2024 Preliminary Plans</div> <div>B 27/11/2024 Development Application</div>	<div>PROPOSED ALTERATIONS AND ADDITIONS</div> <div>45 HILLCREST AVE, MONA VALE 2103</div> <div>CLIENT:</div> <div>STEPHEN WOODS &amp; KERRIE WILSON</div>	<div>DATE:</div> <div>NOV/24</div>	<div>DRAWN BY:</div> <div>PP</div>	<div>SCALE:</div> <div>1:100 @ A3</div>
			<div>DRAWING TITLE:</div> <div>EXISTING ELEVATIONS SHEET 1</div>	<div>JOB No:</div> <div>1077/22</div>	<div>CHECKED BY:</div> <div>JJ</div>	<div>DRAWING No:</div> <div>DA.05</div>





EXISTING EAST ELEVATION



EXISTING WEST ELEVATION

TRUE NORTH:



**NOTES (E & OE)**

- All structures including stormwater & drainage to engineer's details.
- Do not obtain dimensions by scaling drawings.
- All dimensions are to be checked on site prior to starting work.
- These drawings are to be read in conjunction with all other consultant's drawings and specifications.
- All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.
- New materials are to be used throughout unless otherwise noted.
- Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.

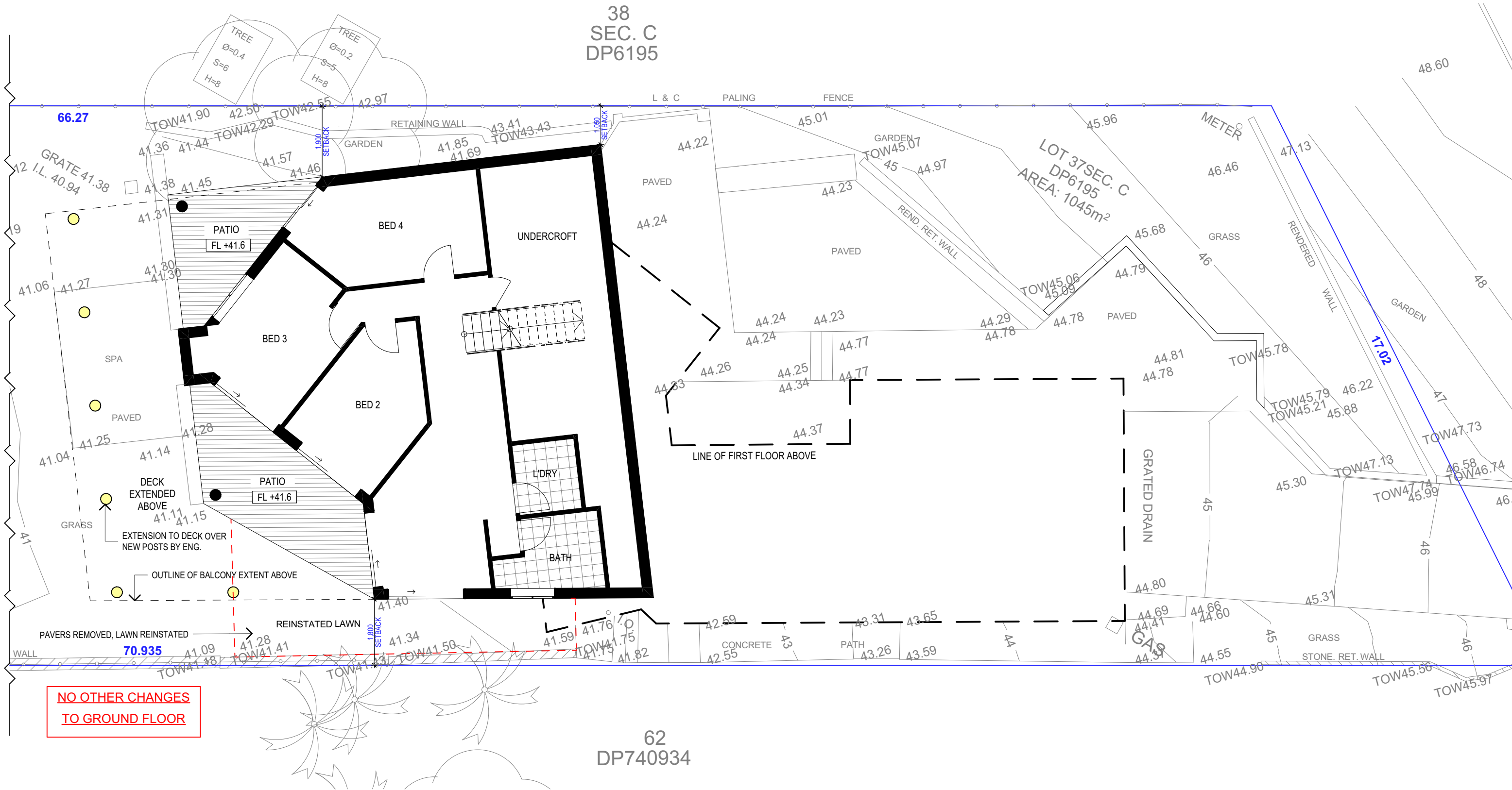
**JJ Drafting**  
*Australia P/L.*

26/90 Mona Vale Road, Mona Vale, NSW, 2103  
PO Box 687, Dee Why, NSW, 2099  
Mob. 0414 717 541 | Email. [jjdraft@tpg.com.au](mailto:jjdraft@tpg.com.au)  
[www.jjdrafting.com.au](http://www.jjdrafting.com.au)  
ACN 651 693 346

REV:	DATE:	DESCRIPTION:
A	28/10/2024	Preliminary Plans
B	27/11/2024	Development Application

PROPOSED ALTERATIONS AND ADDITIONS 45 HILLCREST AVE, MONA VALE 2103 CLIENT: STEPHEN WOODS & KERRIE WILSON	DRAWING TITLE: EXISTING ELEVATIONS SHEET 2
--	---

DATE: NOV/24	DRAWN BY: PP	SCALE: 1:100 @ A3
JOB No: 1077/24	CHECKED BY: JJ	DRAWING No: <b>DA.06</b>



GROUND FLOOR AREA	
EXISTING GROUND FL. AREA	111 m <sup>2</sup>
NEW GROUND FL. AREA	NO CHANGE

NOTES
ALL DEMOLITION WORK TO COMPLY WITH AS 2601 & SAFE WORK AUSTRALIA CODE OF PRACTICE.

PROPOSED GROUND FLOOR PLAN

TRUE NORTH:

NOTES (E & OE)

- All structures including stormwater & drainage to engineer's details.
- Do not obtain dimensions by scaling drawings.
- All dimensions are to be checked on site prior to starting work.
- These drawings are to be read in conjunction with all other consultant's drawings and specifications.
- All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.
- New materials are to be used throughout unless otherwise noted.
- Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.

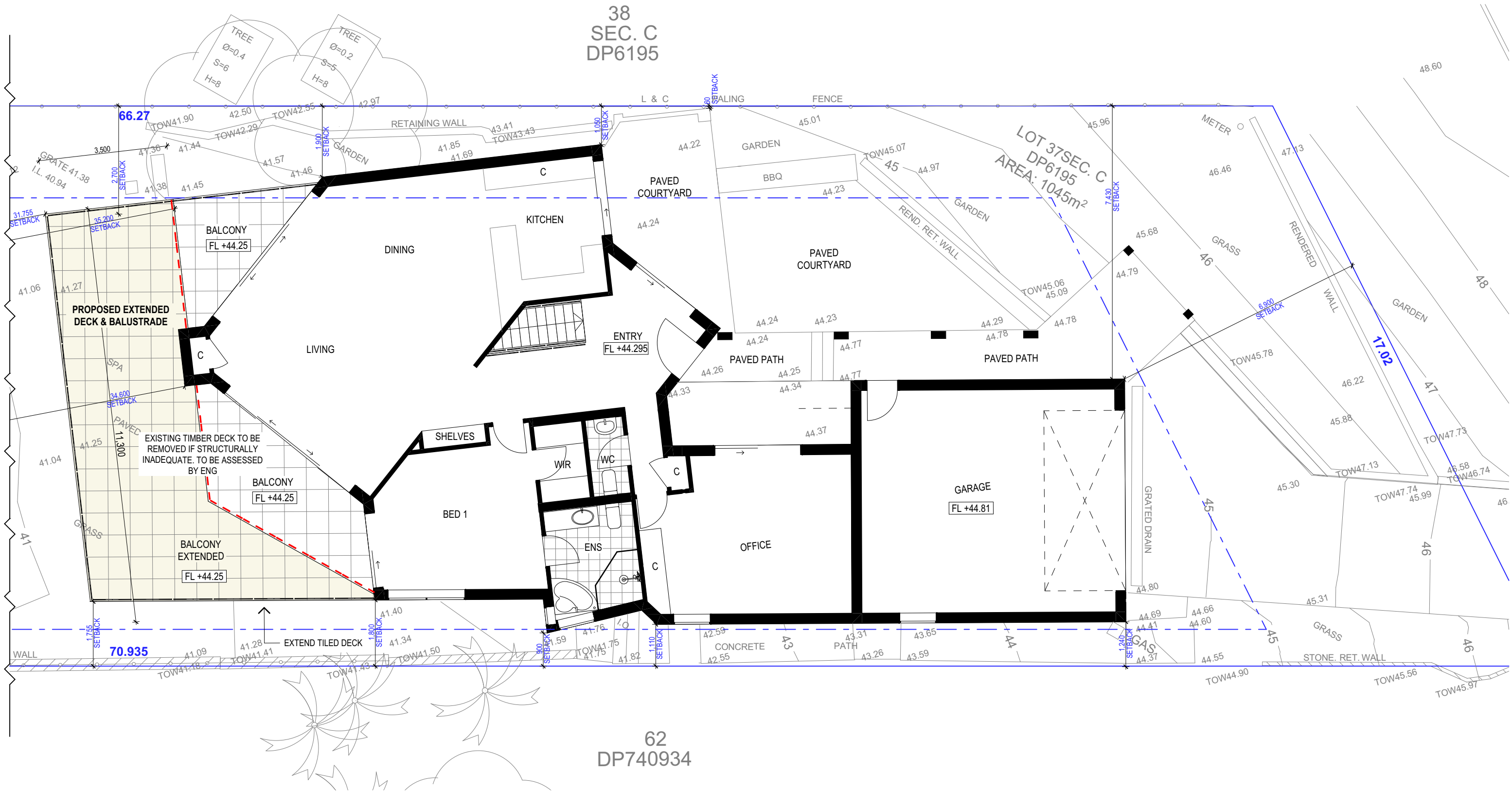
JJ Drafting  
Australia P/L.

26/90 Mona Vale Road, Mona Vale, NSW, 2103  
PO Box 687, Dee Why, NSW, 2099  
Mob. 0414 717 541 | Email. [jjdraft@tpg.com.au](mailto:jjdraft@tpg.com.au)  
[www.jjdrafting.com.au](http://www.jjdrafting.com.au)  
ACN 651 693 346

REV:	DATE:	DESCRIPTION:
A	28/10/2024	Preliminary Plans
B	27/11/2024	Development Application

PROPOSED ALTERATIONS AND ADDITIONS 45 HILLCREST AVE, MONA VALE 2103 CLIENT: STEPHEN WOODS & KERRIE WILSON	DRAWING TITLE: PROPOSED GROUND FLOOR PLAN
--	--

DATE: NOV/24	DRAWN BY: PP	SCALE: 1:100 @ A3
JOB No: 1077/24	CHECKED BY: JJ	DRAWING No: DA.07



FIRST FLOOR AREA	
EXISTING FIRST FL. AREA	148 m <sup>2</sup>
NEW FIRST FL. AREA	NO CHANGE

NOTES
ALL DEMOLITION WORK TO COMPLY WITH AS 2601 & SAFE WORK AUSTRALIA CODE OF PRACTICE.

TRUE NORTH:

**NOTES (E & OE)**

- All structures including stormwater & drainage to engineer's details.
- Do not obtain dimensions by scaling drawings.
- All dimensions are to be checked on site prior to starting work.
- These drawings are to be read in conjunction with all other consultant's drawings and specifications.
- All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.
- New materials are to be used throughout unless otherwise noted.
- Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.

**JJ Drafting**  
*Australia P/L.*

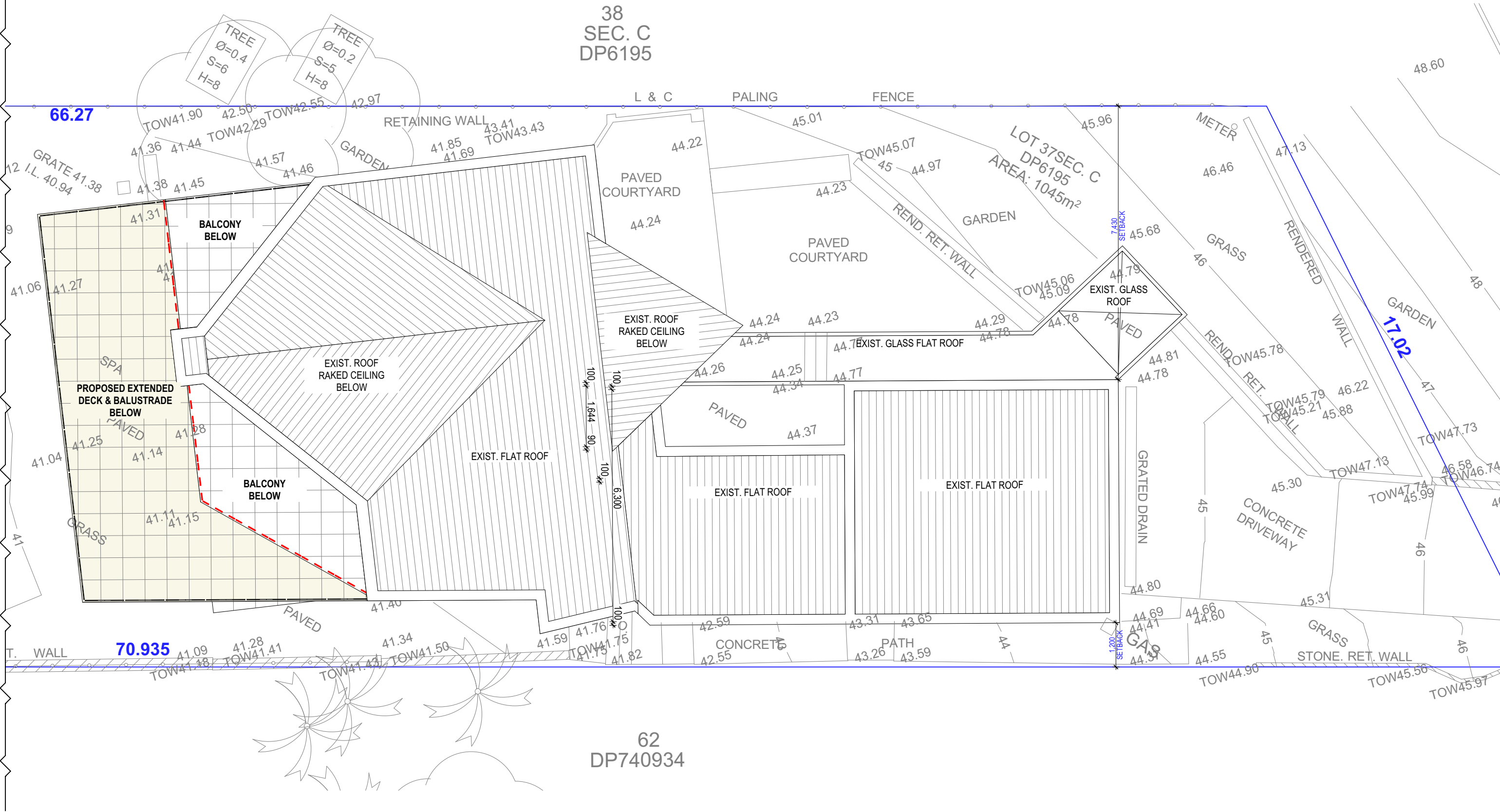
26/90 Mona Vale Road, Mona Vale, NSW, 2103  
PO Box 687, Dee Why, NSW, 2099  
Mob. 0414 717 541 | Email. jjdraft@tpg.com.au  
www.jjdrafting.com.au  
ACN 651 693 346

REV:	DATE:	DESCRIPTION:
A	28/10/2024	Preliminary Plans
B	27/11/2024	Development Application

PROPOSED ALTERATIONS AND ADDITIONS 45 HILLCREST AVE, MONA VALE 2103 CLIENT: STEPHEN WOODS & KERRIE WILSON	DRAWING TITLE: PROPOSED FIRST FLOOR PLAN
--	---

DATE: NOV/24	DRAWN BY: PP	SCALE: 1:100 @ A3
JOB No: 1077/24	CHECKED BY: JJ	DRAWING No: <b>DA.08</b>





SECOND FLOOR AREA

EXISTING SECOND FL. AREA0 m<sup>2</sup>

NOTES

ALL DEMOLITION WORK TO COMPLY WITH AS 2601 & SAFE WORK AUSTRALIA CODE OF PRACTICE.

TRUE NORTH:

NOTES (E & OE)

- All structures including stormwater & drainage to engineer's details.
- Do not obtain dimensions by scaling drawings.
- All dimensions are to be checked on site prior to starting work.
- These drawings are to be read in conjunction with all other consultant's drawings and specifications.
- All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.
- New materials are to be used throughout unless otherwise noted.
- Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.

JJ Drafting  
Australia P/L.

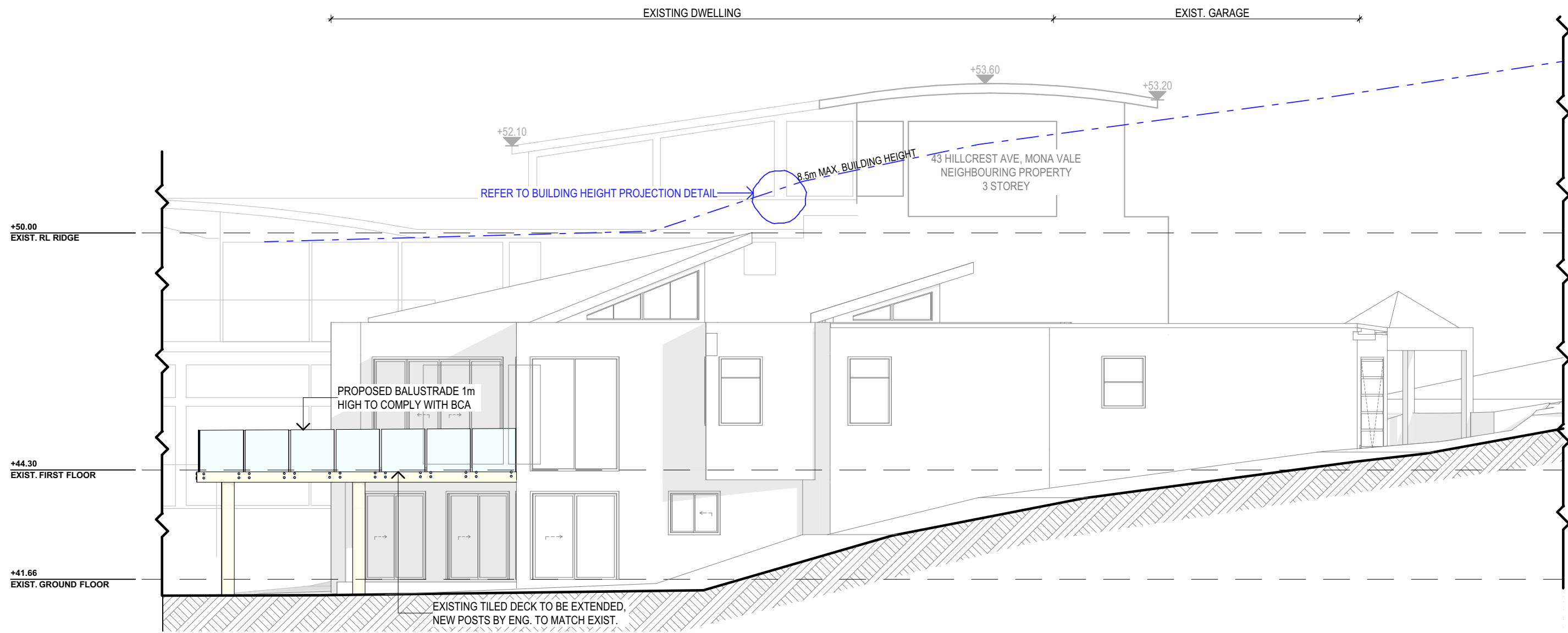
26/90 Mona Vale Road, Mona Vale, NSW, 2103  
PO Box 687, Dee Why, NSW, 2099  
Mob. 0414 717 541 | Email. [jjdraft@tpg.com.au](mailto:jjdraft@tpg.com.au)  
[www.jjdrafting.com.au](http://www.jjdrafting.com.au)  
ACN 651 693 346

REV:	DATE:	DESCRIPTION:
A	28/10/2024	Preliminary Plans
B	27/11/2024	Development Application

PROPOSED ALTERATIONS AND ADDITIONS  
45 HILLCREST AVE, MONA VALE 2103  
CLIENT:  
STEPHEN WOODS & KERRIE WILSON

DRAWING TITLE:  
PROPOSED ROOF PLAN

DATE: NOV/24	DRAWN BY: PP	SCALE: 1:100 @ A3
JOB No: 1077/24	CHECKED BY: JJ	DRAWING No: DA.09



PROPOSED SOUTH ELEVATION

NOTES (E & OE)

- All structures including stormwater & drainage to engineer's details.
- Do not obtain dimensions by scaling drawings.
- All dimensions are to be checked on site prior to starting work.
- These drawings are to be read in conjunction with all other consultant's drawings and specifications.
- All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.
- New materials are to be used throughout unless otherwise noted.
- Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.

**JJ Drafting**  
*Australia P/L.*

26/90 Mona Vale Road, Mona Vale, NSW, 2103  
PO Box 687, Dee Why, NSW, 2099  
Mob. 0414 717 541 | Email. [jjdraft@tpg.com.au](mailto:jjdraft@tpg.com.au)  
[www.jjdrafting.com.au](http://www.jjdrafting.com.au)  
ACN 651 693 346

REV:	DATE:	DESCRIPTION:
A	28/10/2024	Preliminary Plans
B	27/11/2024	Development Application

PROPOSED ALTERATIONS AND ADDITIONS  
45 HILLCREST AVE, MONA VALE 2103

CLIENT:  
STEPHEN WOODS & KERRIE WILSON

DRAWING TITLE:  
PROPOSED ELEVATIONS SHEET 1

DATE:  
NOV/24

JOB No:  
1077/22

DRAWN BY:  
PP

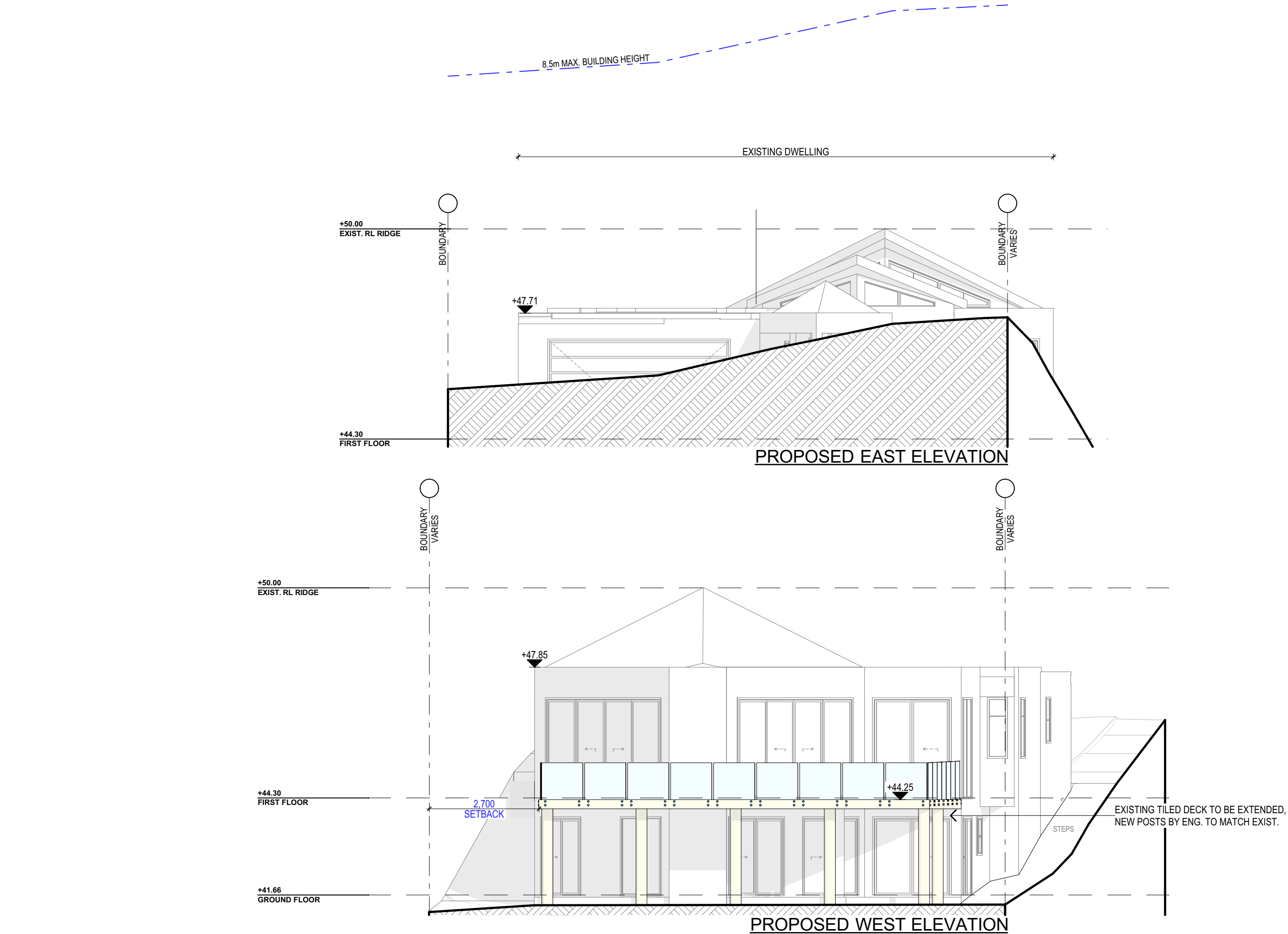
CHECKED BY:  
JJ

SCALE:  
1:100 @ A3

DRAWING No:  
**DA.10**







NOTES (E & OE)

- All structures including stormwater & drainage to engineer's details.
- Do not obtain dimensions by scaling drawings.
- All dimensions are to be checked on site prior to starting work.
- These drawings are to be read in conjunction with all other consultant's drawings and specifications.
- All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.
- New materials are to be used throughout unless otherwise noted.
- Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.

**JJ Drafting**  
*Australia P/L.*

26/90 Mona Vale Road, Mona Vale, NSW, 2103  
PO Box 687, Dee Why, NSW, 2099  
Mob. 0414 717 541 | Email. [jjdraft@tpg.com.au](mailto:jjdraft@tpg.com.au)  
[www.jjdrafting.com.au](http://www.jjdrafting.com.au)  
ACN 651 693 346

REV:	DATE:	DESCRIPTION:
A	28/10/2024	Preliminary Plans
B	27/11/2024	Development Application

PROPOSED ALTERATIONS AND ADDITIONS  
45 HILLCREST AVE, MONA VALE 2103

CLIENT:  
STEPHEN WOODS & KERRIE WILSON

DRAWING TITLE:  
PROPOSED ELEVATIONS SHEET 3

DATE:  
NOV/24

DRAWN BY:  
PP

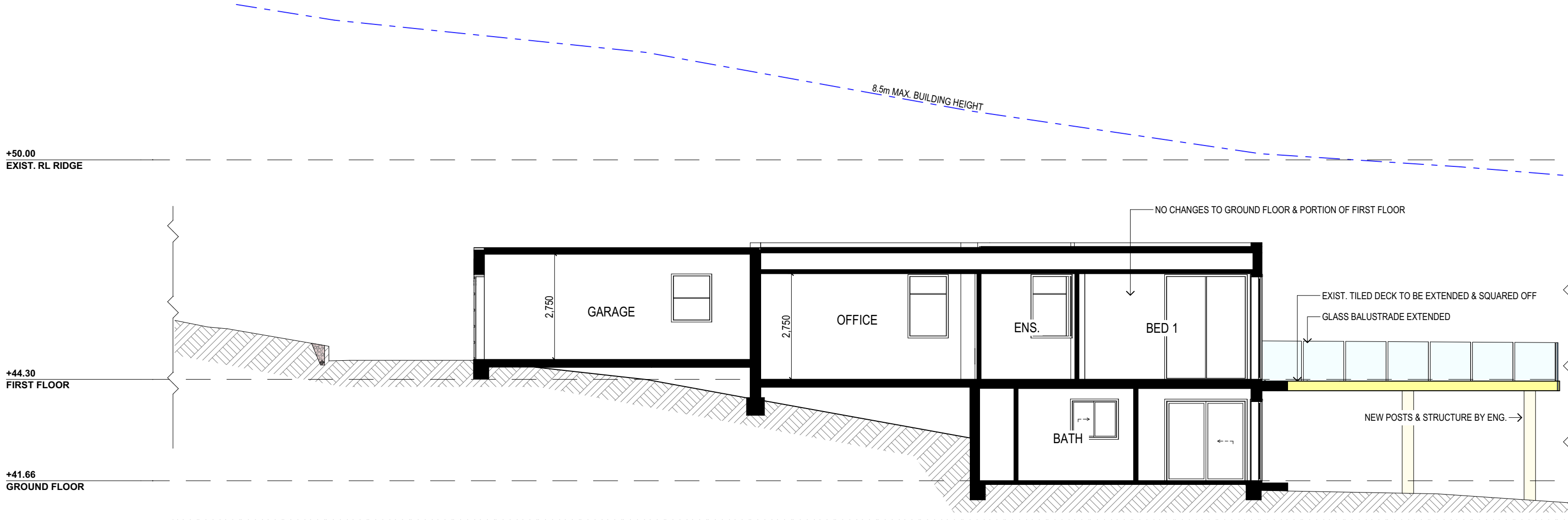
SCALE:  
1:100 @ A3

JOB No:  
1077/22

CHECKED BY:  
JJ

DRAWING No:  
**DA.12**

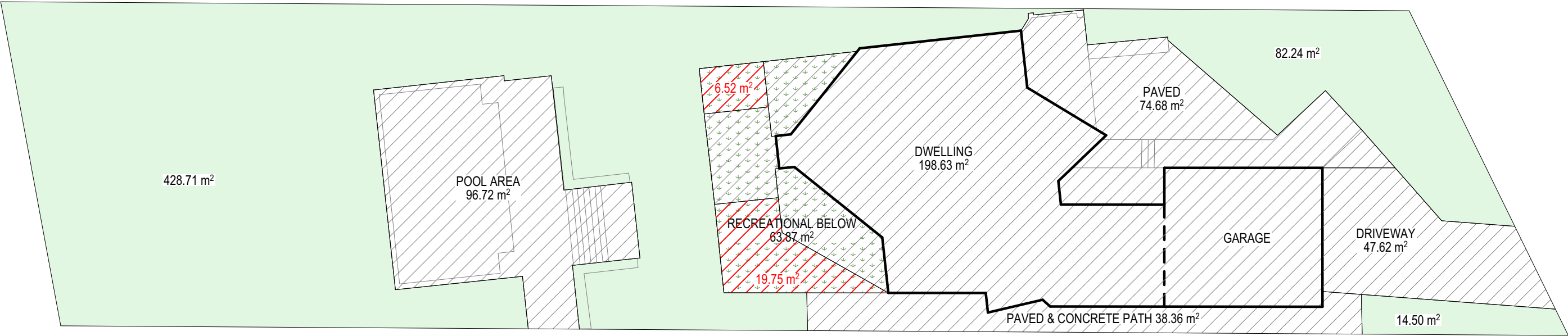




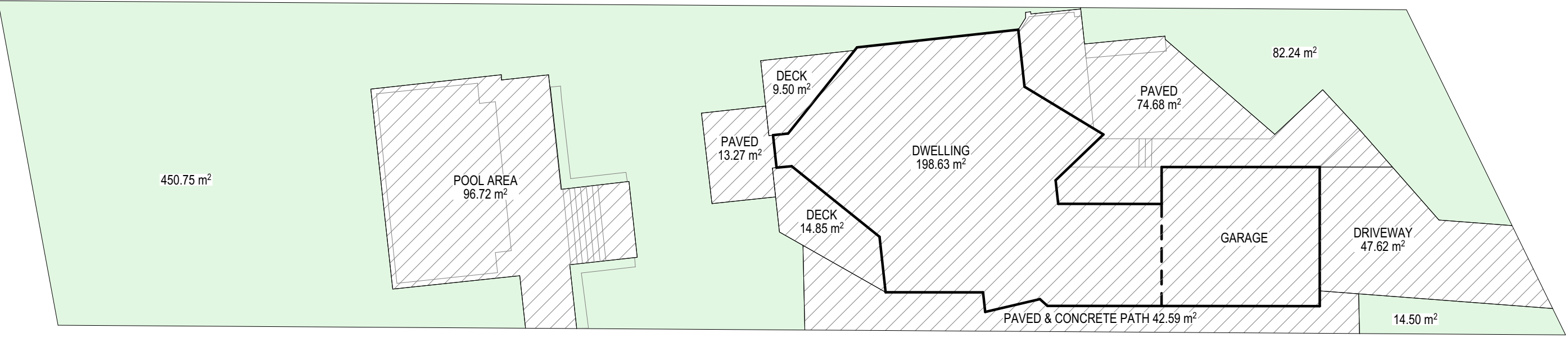
SECTION A

SPECIFICATION NOTES			
<b>INTERNAL LINING</b> <ul style="list-style-type: none"><li>- PROVIDE PLASTERBOARD LINING.</li><li>- INSTALL TO MANUFACTURERS SPECIFICATIONS &amp; AS 2589</li></ul>			
<b>EXTERNAL WALLS:</b> <ul style="list-style-type: none"><li>- BRICK VENEER WALLS WITH SELECTED BRICKS TO DWELLING.</li><li>- LIGHTWEIGHT TIMBER OR COMPOSITE WALL CLADDING IN ACCORDANCE WITH NCC VOL 2 PART 3.5.4.</li><li>- LIGHTWEIGHT METAL WALL CLADDING IN ACCORDANCE WITH NCC VOL 2 PART 3.5.5.</li></ul>			
<b>FLOOR:</b> <ul style="list-style-type: none"><li>- GROUND FLOOR TO BE REINFORCED CONCRETE SLAB IN ACCORDANCE WITH AS2870.</li><li>- FIRST FLOOR TO BE TIMBER FRAMED FINISHED WITH T&amp;G HARDWOOD FLOORING.</li></ul>			
<b>WET AREAS:</b> <ul style="list-style-type: none"><li>- ALL WATERPROOFING TO AS 3740</li><li>- PROVIDE A GUARANTEED FLEXIBLE WATERPROOF MEMBRANE TO ALL WET AREA FLOORS &amp; SHOWERS</li><li>WALLS TO MANUFACTURES INSTRUCTIONS</li></ul>			
<b>BEARERS AND JOISTS:</b> <ul style="list-style-type: none"><li>- SHALL BE INSTALLED TO COMPLY WITH AS1684 AS AMENDED FOR TIMBER COMPONENTS OR AS3620</li><li>FOR LIGHTWEIGHT STEEL FRAMING SECTIONS OR AS PER THE NASH ALTERNATIVES TO AS 3623.</li></ul>			
<b>ANT CAPS:</b> <ul style="list-style-type: none"><li>- SHALL BE INSTALLED IN ACCORDANCE WITH AS3660.</li></ul>			
<b>PROFILED STEEL ROOF:</b> <ul style="list-style-type: none"><li>- COLORBOND ROOF CLADDING</li><li>- NCC VOL.2 PART 3.5.1.</li><li>- DESIGN AND INSTALLATION SHALL BE IN ACCORDANCE WITH AS/NZS 1562.</li></ul>			
<b>ROOF TILES OR SHINGLES:</b> <ul style="list-style-type: none"><li>- NCC VOL.2 PART 3.5.2.</li></ul>			
<b>CONCRETE:</b> <ul style="list-style-type: none"><li>- SHALL BE IN ACCORDANCE WITH NCC VOL.1 PART B1.4 OR VOL.2 PART 3.2.3.</li><li>- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH CURRENT EDITIONS OF THE AS3600.</li></ul>			
<b>FOOTINGS:</b> <ul style="list-style-type: none"><li>- FOOTINGS TO BE IN ACCORDANCE WITH AS1480.</li><li>- FOOTINGS TO BE IN ACCORDANCE WITH NCC VOL.2 PARTS 3.2.3, 3.2.4 AND 3.2.5</li><li>- ALL REINFORCEMENTS SHALL CONFORM TO AS1302, AS1303 AND AS1304.</li></ul>			
<b>BRICK AND BLOCKWORK:</b> <ul style="list-style-type: none"><li>- CONSTRUCTION OF MASONRY BUILDINGS SHALL BE AS PER AS3700 OR AS4773.</li></ul>			
<b>CARPENTRY:</b> <ul style="list-style-type: none"><li>- TIMBER TO COMPLY WITH AS1170.2 OR AS4055.</li><li>- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS1684 AND 1720 AS APPLICABLE.</li></ul>			
<b>TIMBER FRAMING:</b> <ul style="list-style-type: none"><li>- TO COMPLY WITH NCC VOL.2 PART 3.4</li><li>- GROUND FLOOR TIMBERS SHALL BE ONLY OF HARDWOOD, CYPRESS PINE OR PRESSURE TREATED</li><li>RADIATA OR CANADA PINE BELOW A HEIGHT OF 300mm ABOVE FINISHED GROUND LEVEL AND MUST NOT</li><li>BE BUILT INTO BRICKWORK.</li><li>- SUBFLOOR VENTILATION SHALL CONFORM TO NCC VOL.2 PART 3.4.1.</li><li>- IN BUSHFIRE PRONE AREAS SPECIAL CONDITIONS APPLY.</li><li>- WHERE TERMITE BARRIERS NEED TO BE INSPECTED, 400mm CLEARANCE IS REQUIRED BETWEEN THE</li><li>UNDERSIDE OF BEARER AND GROUND SURFACE.</li><li>- USE TREATED TIMBER WHERE REQUIRED FOR DURABILITY.</li><li>- DO NOT USE TIMBER UNSUITABLE FOR EXPOSURE TO MOISTURE IN EXPOSED LOCATION.</li><li>- PROVIDE STRUCTURE BRACING IN ACCORDANCE WITH AS1684</li><li>- PROVIDE STRUCTURE TIEDOWN IN ACCORDANCE WITH AS1684</li><li>- USE GALVANISED FIXINGS WHERE EXPOSED TO WEATHER.</li></ul>			
<b>TERMITE CONTROL:</b> <ul style="list-style-type: none"><li>- TO BE IN ACCORDANCE WITH TO AS3660.1</li><li>- SHALL BE IN ACCORDANCE WITH NCC VOL.2 PART 3.1.4 OR VOL.1 PART B1.4.</li></ul>			
<b>FLASHING AND CAPPINGS:</b> <ul style="list-style-type: none"><li>- SELECTION AND INSTALLATION OF METAL RAINWATER GOODS REFER TO AS2180</li><li>- FLASH PROJECTIONS ABOVE THE ROOF WITH TWO PART FLASHINGS CONSISTING OF AN APRON</li><li>FLASHING AND OVER FLASHING, WITH AT LEAST 100mm OVERLAP.</li><li>- PROVIDE FOR INDEPENDENT MOVEMENT BETWEEN ROOF AND PROJECTION.</li></ul>			
<b>CONCRETE BLOCKS OR BRICKS:</b> <ul style="list-style-type: none"><li>- TO COMPLY WITH TO AS4455 MASONRY BUILDING BLOCKS/PAVER.</li></ul>			
<b>LIGHTING:</b> <ul style="list-style-type: none"><li>- 40% OF NEW OR ALTERED LIGHT FIXTURES TO BE FITTED WITH FLUORESCENT, COMPACT</li><li>FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS</li></ul>			
<b>DOORS &amp; WINDOWS:</b> <ul style="list-style-type: none"><li>- ALL FRAMED WINDOWS SHALL BE INSTALLED IN ACCORDANCE WITH AS2047-48 FOR ALUMINIUM</li><li>WINDOWS AND AS2047 FOR TIMBER WINDOWS.</li><li>- ALUMINIUM FRAMED WINDOWS AND DOORS.</li><li>- WEATHER STRIPPING IS TO BE PROVIDED TO ALL EXTERNAL WINDOWS AND DOORS.</li></ul>			
<b>STAIRS, HANDRAILS AND BALUSTRADES:</b> <ul style="list-style-type: none"><li>- NCC VOL.2 PARTS 3.9.1 AND 3.9.2</li><li>- RELATIONSHIP OF RISER TO GOING SHALL BE BETWEEN 1:2 AND 1:1.35 UNLESS OTHERWISE DIRECTED</li><li>TO GOING SHALL BE BETWEEN 1:2 AND 1:1.35 UNLESS OTHERWISE DIRECTED OR AS PERMITTED IN</li><li>AS1657.</li><li>- BALUSTRADES SHALL BE PROVIDED TO ALL LANDINGS, RAMPS, DECKS, ROOFS AND OTHER ELEVATED</li><li>PLATFORMS WHERE THE VERTICAL DISTANCE FROM THAT LEVEL IS MORE THAN 1m ABOVE THE</li><li>ADJOINING FLOOR OR FINISHED GROUND LEVEL.</li><li>- THE HEIGHT OF BALUSTRADE MUST BE A MINIMUM OF 1m HIGH ABOVE LANDING AND NOT LESS THAN</li><li>865mm ABOVE THE NOSINGS OF ANY STAIR TREADS OR FLOOR RAMP AND HAVE NO OPENING GREATER</li><li>THAN 125mm.</li><li>- THE HEIGHT OF BALUSTRADE TO THE NEW STAIRCASES IS TO BE MEASURED A MINIMUM 865mm ABOVE</li><li>THE NOSING LINE AND HAVE NO OPENING GREATER NO OPENING GREATER THAN 125mm.</li></ul>			
<b>SLIP RESISTANCE:</b> <ul style="list-style-type: none"><li>- MATERIALS TO BE USED FOR SURFACES OF FLOORS, STAIR LANDING, STEPS AND NOSINGS SHALL BE</li><li>IN ACCORDANCE WITH THE CLASSIFICATIONS FOR SLIP RESISTANCE AS APPLY IN AS4586 AND HB198.</li></ul>			
<b>STORMWATER:</b> <ul style="list-style-type: none"><li><b>EAVES GUTTERS, VALLEY GUTTERS AND DOWPIPES</b></li><li>- TO COMPLY WITH AS/NZS 2179 FOR METAL AND AS1273 FOR UPVC COMPONENTS.</li><li>- IN ACCORDANCE WITH NCC VOL 2 PART 3.5.3</li><li>- NEW DOWNPIPES TO BE CONNECTED INTO EXISTING STORMWATER LINE</li><li>- COLORBOND GUTTERS AND DOWNPIPES</li><li>- MINIMUM SLOPE OF EAVES AND GUTTERS 1:200</li></ul>			
<b>WATERPROOFING FOR EXTERNAL TILED BALCONIES:</b> <ul style="list-style-type: none"><li>- WATERPROOFING TO COMPLY WITH AS4654</li></ul>			
<b>GLAZING:</b> <ul style="list-style-type: none"><li>- NCC VOL.1 PARTS B 1.4, D 3.12, F1.13 OR NCC VOL.2 PART 3.6</li></ul>			
<b>SMOKE DETECTORS/ALARMS:</b> <ul style="list-style-type: none"><li>- NCC VOL 2 PART 3.7.5. FIRE/SMOKE DETECTORS COMPLYING WITH THE REQUIREMENTS OF THE LOCAL</li><li>GOVERNMENT ACT AND/OR STATE OR TERRITORY REGULATIONS MUST BE FITTED IN THE LOCATIONS</li><li>REQUIRED AND APPROVED BY THE AUTHORITY AND SHALL BE INSTALLED IN ACCORDANCE WITH AS3786.</li><li>- INSTALLATIONS IN BUILDINGS OTHER THAN CLASS 1 AND 10 MUST BE INSTALLED AND MANAGED TO</li><li>COMPLY WITH NCC SPEC. E2.2a.</li><li>- MULTIPLE ALARMS WITHIN HOUSES AND SOLE OCCUPANCY UNITS MUST BE HARD WIRED AND</li><li>INTERCONNECTED.</li></ul>			
<b>WASTE MANAGEMENT:</b> <ul style="list-style-type: none"><li>- ALL WASTE SHALL BE TAKEN AWAY BY TRUCKS TO A SUITABLE LANDFILL OR RECYCLE DEPOT.</li><li>- ALL WASTE SHALL BE COVERED DURING TRANSPORTATION.</li><li>- WASTE GENERATED DURING CONSTRUCTION SHALL BE PLACED IN STEEL BINS AND TAKEN AWAY BY</li><li>AN APPROVED CONTRACTOR TO A APPROVED LANDFILL SITE.</li></ul>			
<b>SEDIMENT CONTROL:</b> <ul style="list-style-type: none"><li>- A FILTER CLOTH SYSTEM SHALL BE INSTALLED TO STOP ANY SEDIMENT ENTERING COUNCILS</li><li>STORMWATER SYSTEM.</li></ul>			
<b>NOTE:</b> <p>ALL PLANS ARE TO BE READ IN CONJUNCTION AND COMPLY WITH THE BASIX CERTIFICATE, BUSHFIRE AND GEOTECH REPORTS.</p>			

<div>NOTES (E &amp; OE)</div> <div><ul style="list-style-type: none"><li>● All structures including stormwater &amp; drainage to engineer's details.</li><li>● Do not obtain dimensions by scaling drawings.</li><li>● All dimensions are to be checked on site prior to starting work.</li><li>● These drawings are to be read in conjunction with all other consultant's drawings and specifications.</li><li>● All workmanship &amp; materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards &amp; local council requirements.</li><li>● New materials are to be used throughout unless otherwise noted.</li><li>● Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.</li></ul></div>	<div>JJ Drafting Australia P/L.</div> <div>26/90 Mona Vale Road, Mona Vale, NSW, 2103</div> <div>PO Box 687, Dee Why, NSW, 2099</div> <div>Mob. 0414 717 541   Email. jjdraft@tpg.com.au</div> <div>www.jjdrafting.com.au</div> <div>ACN 651 693 346</div>	<table><tr><th>REV:</th><th>DATE:</th><th>DESCRIPTION:</th></tr><tr><td>A</td><td>28/10/2024</td><td>Preliminary Plans</td></tr><tr><td>B</td><td>27/11/2024</td><td>Development Application</td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr></table>	REV:	DATE:	DESCRIPTION:	A	28/10/2024	Preliminary Plans	B	27/11/2024	Development Application													<div>PROPOSED ALTERATIONS AND ADDITIONS</div> <div>45 HILLCREST AVE, MONA VALE 2103</div> <div>CLIENT:</div> <div>STEPHEN WOODS &amp; KERRIE WILSON</div>	<div>DATE:</div> <div>NOV/24</div>	<div>DRAWN BY:</div> <div>PP</div>	<div>SCALE:</div> <div>1:100 @ A3</div>
		REV:	DATE:	DESCRIPTION:																							
A	28/10/2024	Preliminary Plans																									
B	27/11/2024	Development Application																									
<div>JOB No:</div> <div>1077/22</div>	<div>CHECKED BY:</div> <div>JJ</div>	<div>DRAWING No:</div> <div>DA.13</div>																									



PROPOSED LANDSCAPED AREA PLAN



EXISTING LANDSCAPED AREA PLAN

CALCULATIONS			
SITE AREA			1045m²
LANDSCAPE CONTROL		60%	627m²
RECREATIONAL AREA		6.1%	63.8m²
EXISTING LANDSCAPED AREA		52.39%	547.4m²
TOTAL NEW LANDSCAPED AREA (RECREATIONAL AREA INCLUDED)		56.38%	589.25m²
EXISTING HARD SURFACE AREA			497.86m²
NEW HARD SURFACE AREA			26.27m²
TOTAL NEW HARD SURFACE AREA			524.13m²

TRUE NORTH:

NOTES (E & OE)

- All structures including stormwater & drainage to engineer's details.
- Do not obtain dimensions by scaling drawings.
- All dimensions are to be checked on site prior to starting work.
- These drawings are to be read in conjunction with all other consultant's drawings and specifications.
- All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.
- New materials are to be used throughout unless otherwise noted.
- Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.

*JJ Drafting*  
*Australia P/L.*

26/90 Mona Vale Road, Mona Vale, NSW, 2103  
PO Box 687, Dee Why, NSW, 2099  
Mob. 0414 717 541 | Email. [jjdraft@tpg.com.au](mailto:jjdraft@tpg.com.au)  
[www.jjdrafting.com.au](http://www.jjdrafting.com.au)  
ACN 651 693 346

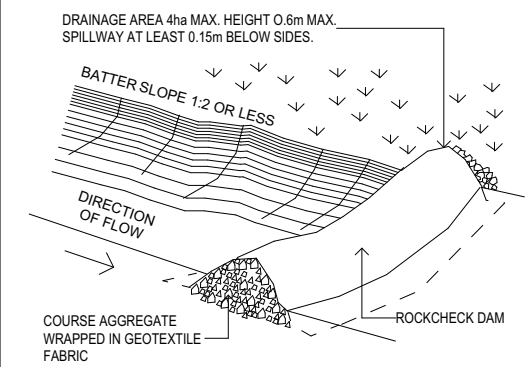
REV:	DATE:	DESCRIPTION:
A	28/10/2024	Preliminary Plans
B	27/11/2024	Development Application

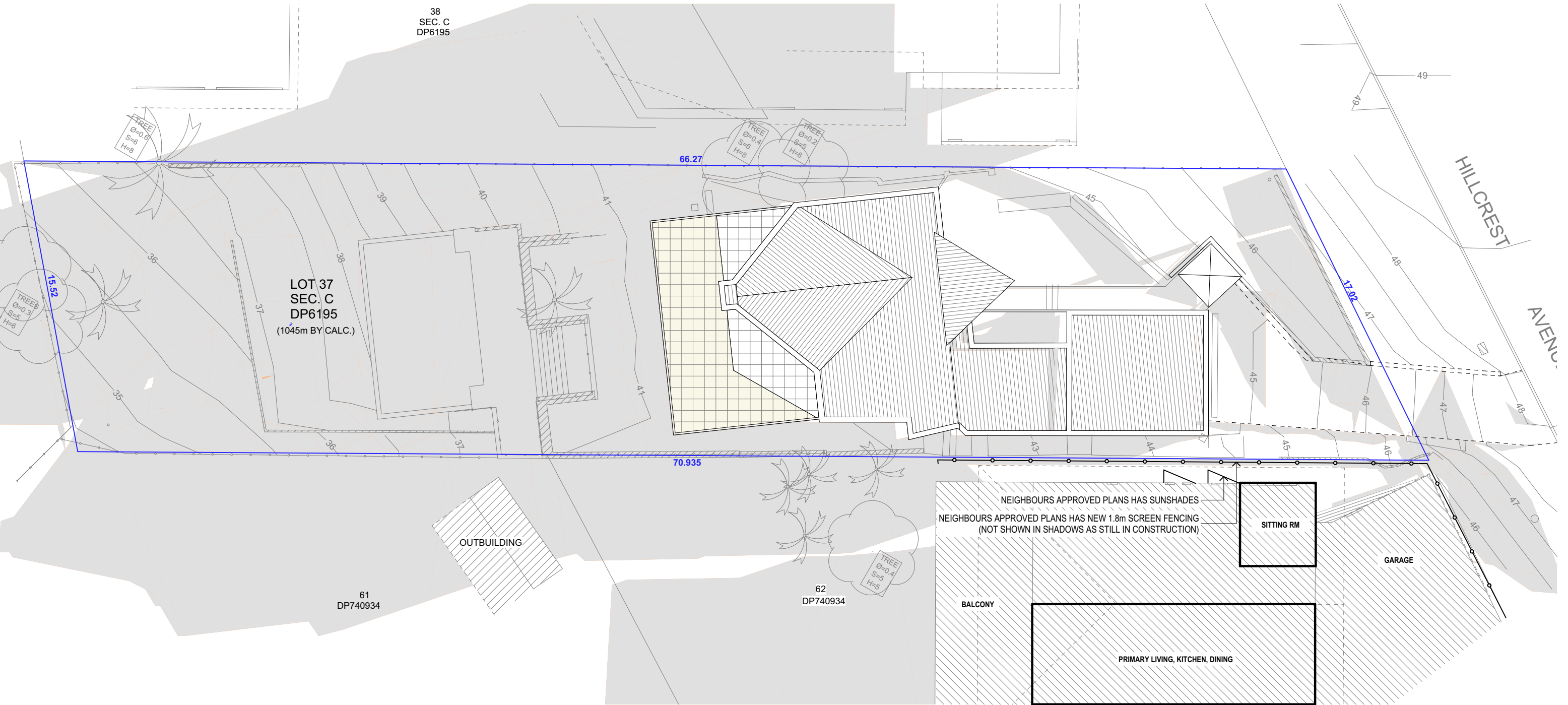
PROPOSED ALTERATIONS AND ADDITIONS  
45 HILLCREST AVE, MONA VALE 2103  
CLIENT:  
STEPHEN WOODS & KERRIE WILSON

DRAWING TITLE:  
LANDSCAPED AREA CALCULATION PLAN

DATE: NOV/24	DRAWN BY: PP	SCALE: 1:1, 1:200 @ A3
JOB No: 1077/24	CHECKED BY: JJ	DRAWING No: DA.14







JUNE 21 9AM

21 JUNE SHADOW DIAGRAM LEGEND

EXISTING SHADOWS

NEW SHADOWS

TRUE NORTH:

NOTES (E & OE)

- All structures including stormwater & drainage to engineer's details.
- Do not obtain dimensions by scaling drawings.
- All dimensions are to be checked on site prior to starting work.
- These drawings are to be read in conjunction with all other consultant's drawings and specifications.
- All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.
- New materials are to be used throughout unless otherwise noted.
- Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.

JJ Drafting  
Australia P/L.

26/90 Mona Vale Road, Mona Vale, NSW, 2103

PO Box 687, Dee Why, NSW, 2099

Mob. 0414 717 541 | Email. [jjdraft@tpg.com.au](mailto:jjdraft@tpg.com.au)

[www.jjdrafting.com.au](http://www.jjdrafting.com.au)

ACN 651 693 346

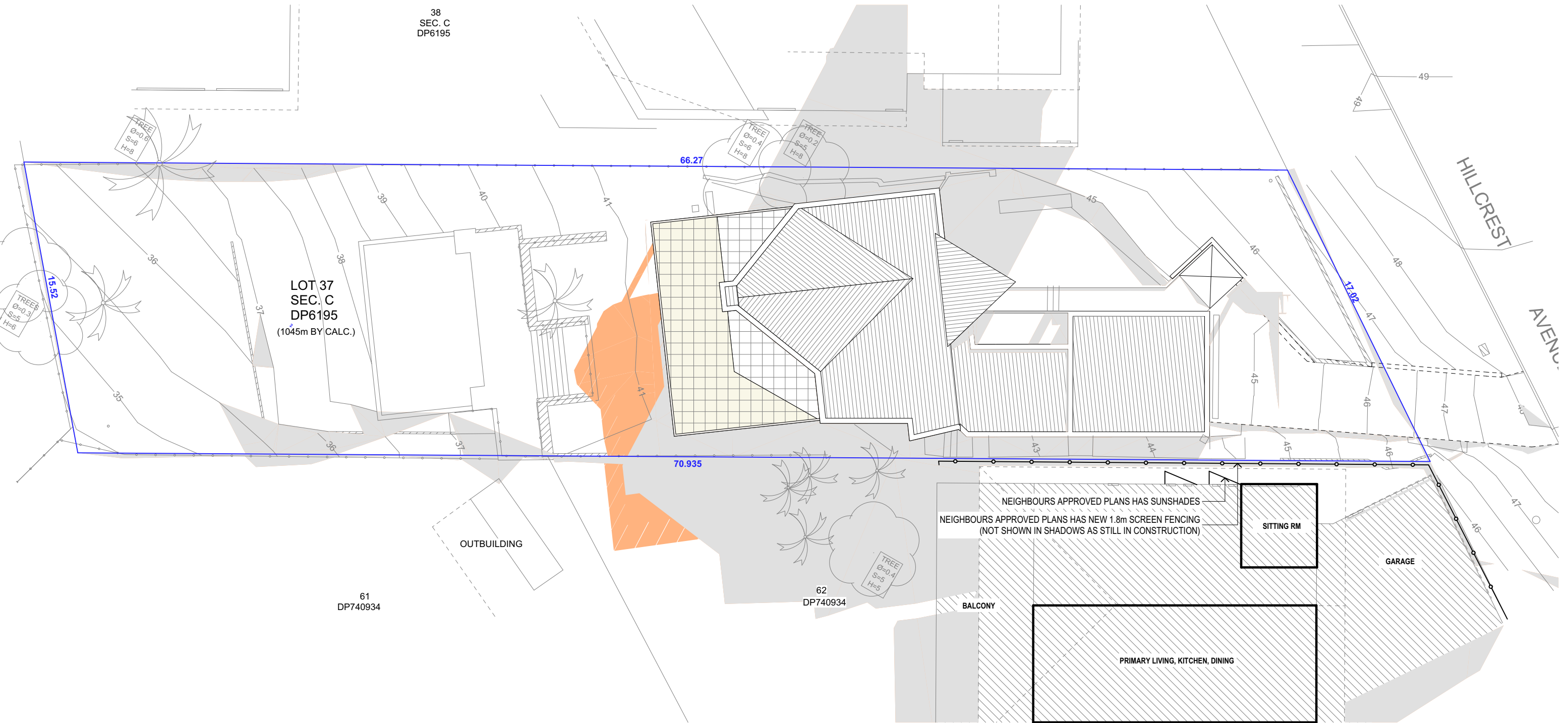
REV:	DATE:	DESCRIPTION:
A	28/10/2024	Preliminary Plans
B	27/11/2024	Development Application

PROPOSED ALTERATIONS AND ADDITIONS  
45 HILLCREST AVE, MONA VALE 2103  
CLIENT:  
STEPHEN WOODS & KERRIE WILSON

DRAWING TITLE:  
SHADOW DIAGRAM JUNE 21 9:00 am

DATE: NOV/24	DRAWN BY: PP	SCALE: 1:200 @ A3
JOB No: 1077/24	CHECKED BY: JJ	DRAWING No: DA.16





JUNE 21 12PM

21 JUNE SHADOW DIAGRAM LEGEND

EXISTING SHADOWS

NEW SHADOWS

TRUE NORTH:

NOTES (E & OE)

- All structures including stormwater & drainage to engineer's details.
- Do not obtain dimensions by scaling drawings.
- All dimensions are to be checked on site prior to starting work.
- These drawings are to be read in conjunction with all other consultant's drawings and specifications.
- All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.
- New materials are to be used throughout unless otherwise noted.
- Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.

JJ Drafting  
Australia P/L.

26/90 Mona Vale Road, Mona Vale, NSW, 2103

PO Box 687, Dee Why, NSW, 2099

Mob. 0414 717 541 | Email. [jjdraft@tpg.com.au](mailto:jjdraft@tpg.com.au)

[www.jjdrafting.com.au](http://www.jjdrafting.com.au)

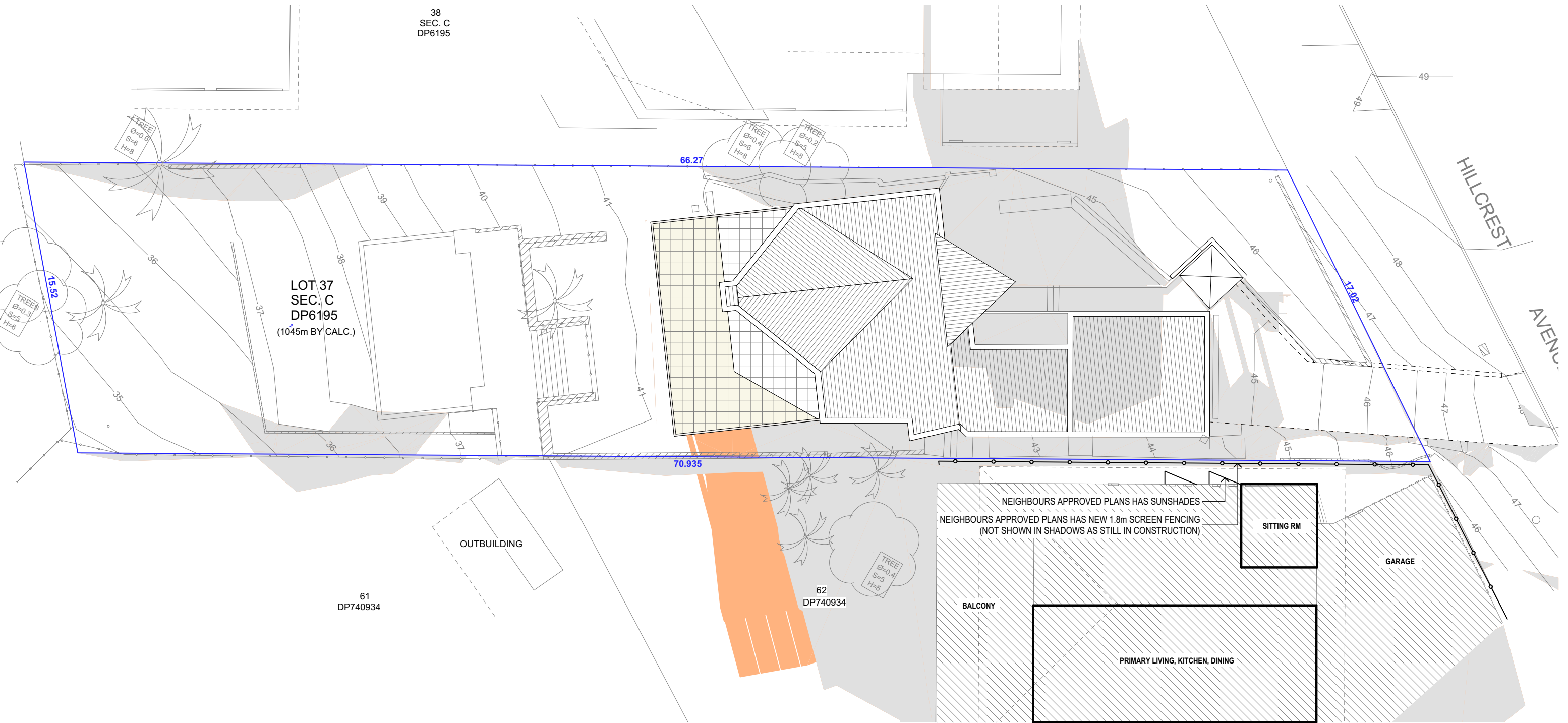
ACN 651 693 346

REV:	DATE:	DESCRIPTION:
A	28/10/2024	Preliminary Plans
B	27/11/2024	Development Application

PROPOSED ALTERATIONS AND ADDITIONS  
45 HILLCREST AVE, MONA VALE 2103  
CLIENT:  
STEPHEN WOODS & KERRIE WILSON

DRAWING TITLE:  
SHADOW DIAGRAM JUNE 21 12 noon

DATE: NOV/24	DRAWN BY: PP	SCALE: 1:200 @ A3
JOB No: 1077/24	CHECKED BY: JJ	DRAWING No: DA.17



JUNE 21 3PM

21 JUNE SHADOW DIAGRAM LEGEND

EXISTING SHADOWS

NEW SHADOWS

TRUE NORTH:

NOTES (E & OE)

- All structures including stormwater & drainage to engineer's details.
- Do not obtain dimensions by scaling drawings.
- All dimensions are to be checked on site prior to starting work.
- These drawings are to be read in conjunction with all other consultant's drawings and specifications.
- All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.
- New materials are to be used throughout unless otherwise noted.
- Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.

JJ Drafting  
Australia P/L.

26/90 Monavale Road, Monavale, NSW, 2103

PO Box 687, Dee Why, NSW, 2099

Mob. 0414 717 541 | Email. [jjdraft@tpg.com.au](mailto:jjdraft@tpg.com.au)

[www.jjdrafting.com.au](http://www.jjdrafting.com.au)

ACN 651 693 346

REV:	DATE:	DESCRIPTION:
A	28/10/2024	Preliminary Plans
B	27/11/2024	Development Application

PROPOSED ALTERATIONS AND ADDITIONS  
45 HILLCREST AVE, MONA VALE 2103  
CLIENT:  
STEPHEN WOODS & KERRIE WILSON

DRAWING TITLE:  
SHADOW DIAGRAM JUNE 21 3:00 pm

DATE: NOV/24	DRAWN BY: PP	SCALE: 1:200 @ A3
JOB No: 1077/24	CHECKED BY: JJ	DRAWING No: DA.18