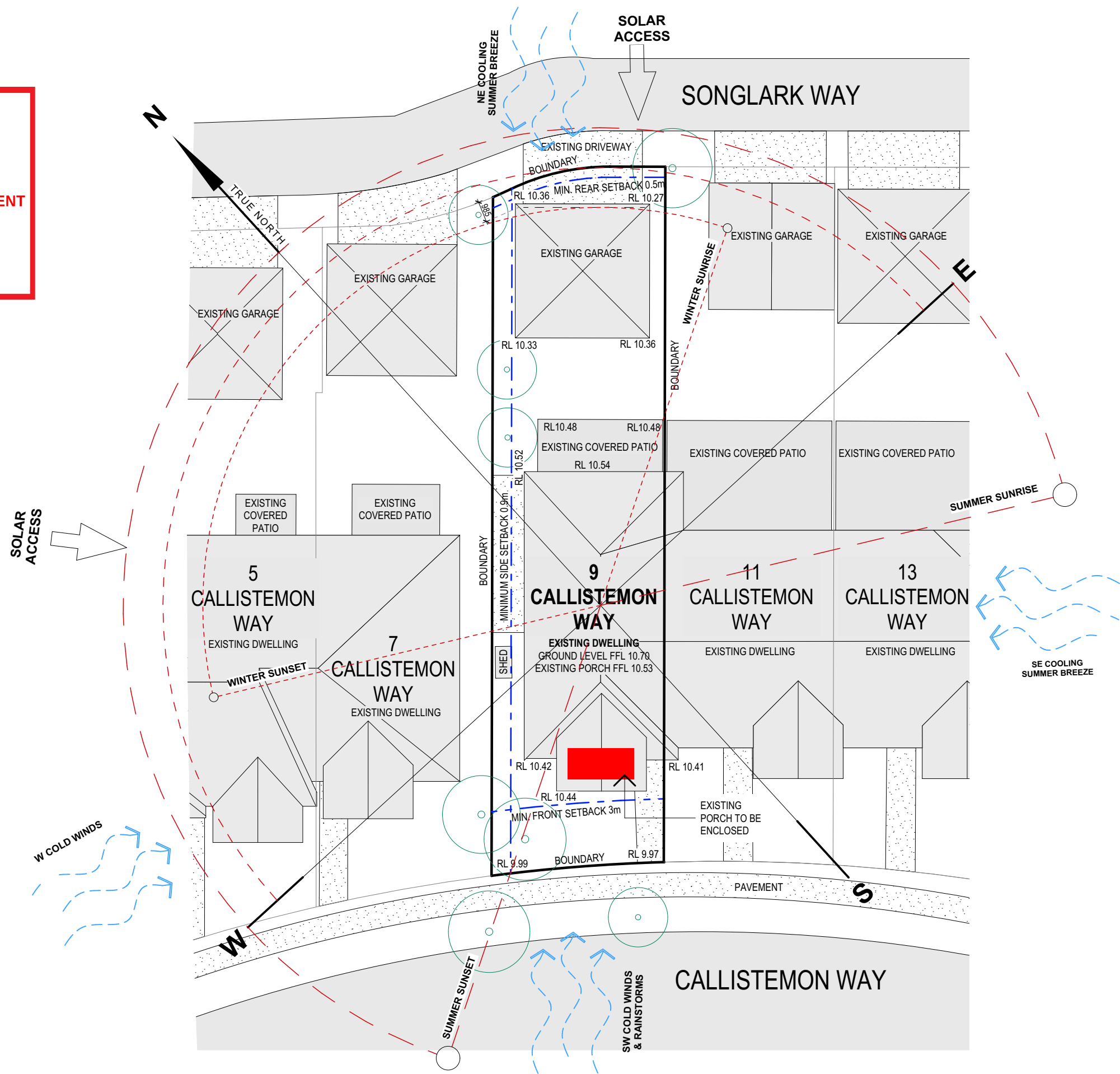





THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT

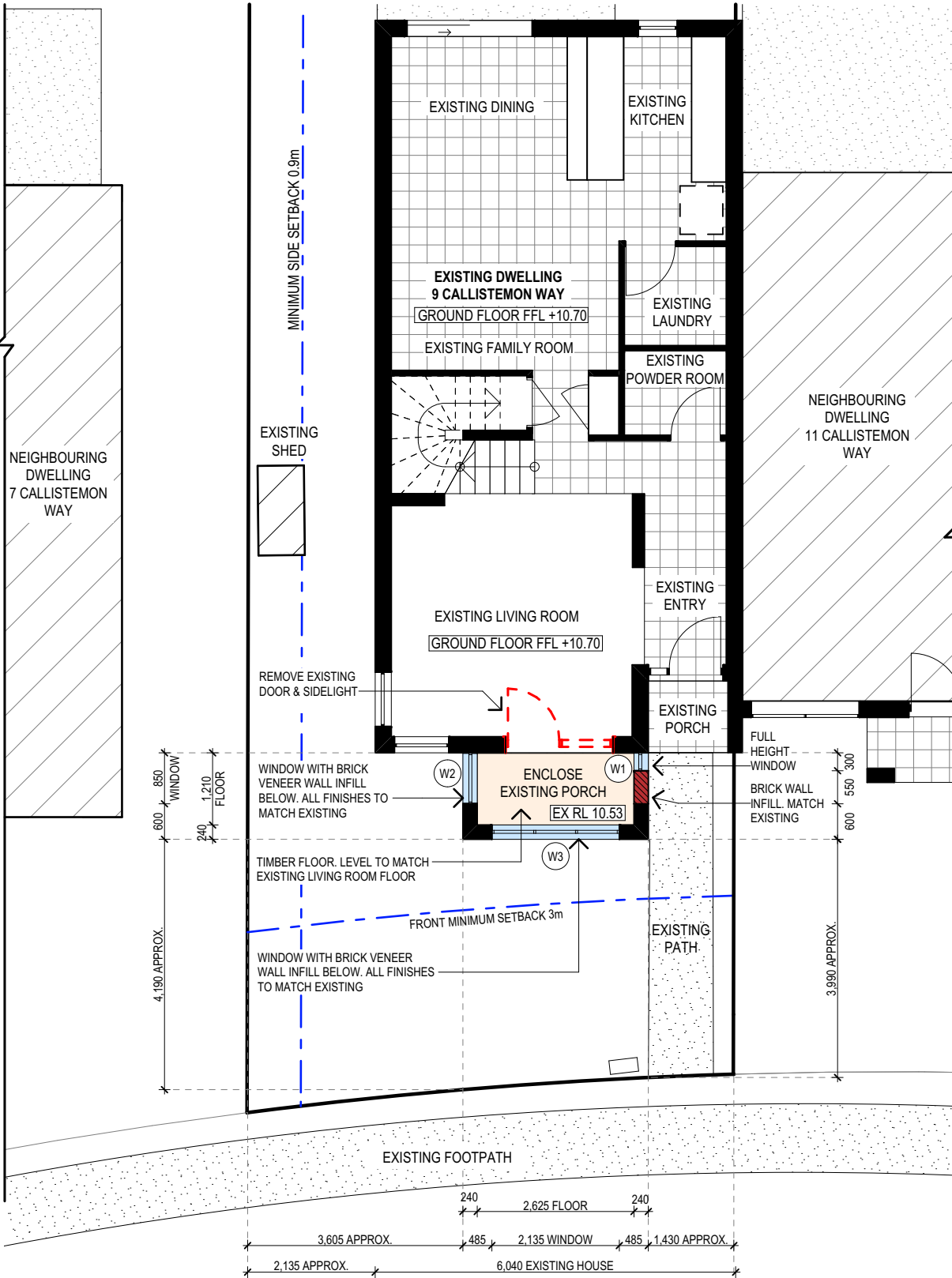
DA2020/1199



LOT	1801
DP	1103124

AREA CALCULATIONS
SITE AREA = 266.9 m <sup>2</sup>

TRUE NORTH: 	<p><b>NOTES (E &amp; OE)</b></p> <ul style="list-style-type: none"><li>• All structures including stormwater &amp; drainage to engineer's details.</li><li>• Do not obtain dimensions by scaling drawings.</li><li>• All dimensions are to be checked on site prior to starting work.</li><li>• These drawings are to be read in conjunction with all other consultant's drawings and specifications.</li><li>• All workmanship &amp; materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards &amp; local council requirements.</li><li>• New materials are to be used throughout unless otherwise noted.</li><li>• Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.</li></ul>	<p><i>JJ Drafting</i></p> <p>174 Garden St, North Narrabeen, NSW, 2101</p> <p>PO Box 687, Dee Why, NSW, 2099</p> <p>Mob. 0414 717 541</p> <p>Email. <a href="mailto:jjdraft@tpg.com.au">jjdraft@tpg.com.au</a></p> <p><a href="http://www.jjdrafting.com.au">www.jjdrafting.com.au</a></p>	<table><tr><th>REV:</th><th>DATE:</th><th>DESCRIPTION:</th></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr></table>	REV:	DATE:	DESCRIPTION:																						<table><tr><td>PROJECT DETAILS: PROPOSED ALTERATIONS &amp; ADDITIONS 9 CALLISTEMON WAY WARRIEWOOD NSW 2102</td><td>DATE: 08/20</td><td>DRAWN BY: MS</td><td>SCALE: 1:200 @ A3</td></tr><tr><td>DRAWING TITLE: SITE ANALYSIS PLAN</td><td>JOB No: 824/20</td><td>CHECKED BY: JJ</td><td>DRAWING No: DA.01</td></tr></table>	PROJECT DETAILS: PROPOSED ALTERATIONS & ADDITIONS 9 CALLISTEMON WAY WARRIEWOOD NSW 2102	DATE: 08/20	DRAWN BY: MS	SCALE: 1:200 @ A3	DRAWING TITLE: SITE ANALYSIS PLAN	JOB No: 824/20	CHECKED BY: JJ	DRAWING No: DA.01
			REV:	DATE:	DESCRIPTION:																															
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DRAWING TITLE: SITE ANALYSIS PLAN	JOB No: 824/20	CHECKED BY: JJ	DRAWING No: DA.01																																	



GROUND FLOOR PLAN 1:100

EXISTING GROSS FLOOR AREA CALCULATIONS	m²
EXISTING FIRST FLOOR	63.02
EXISTING GROUND FLOOR	63.82
TOTAL	126.84 m²

PROPOSED GROSS FLOOR AREA CALCULATIONS	m²
EXISTING FIRST FLOOR	63.02
EXISTING GROUND FLOOR	63.82
NEW ENCLOSED PORCH	3.17
TOTAL	130.01 m²

TRUE NORTH:

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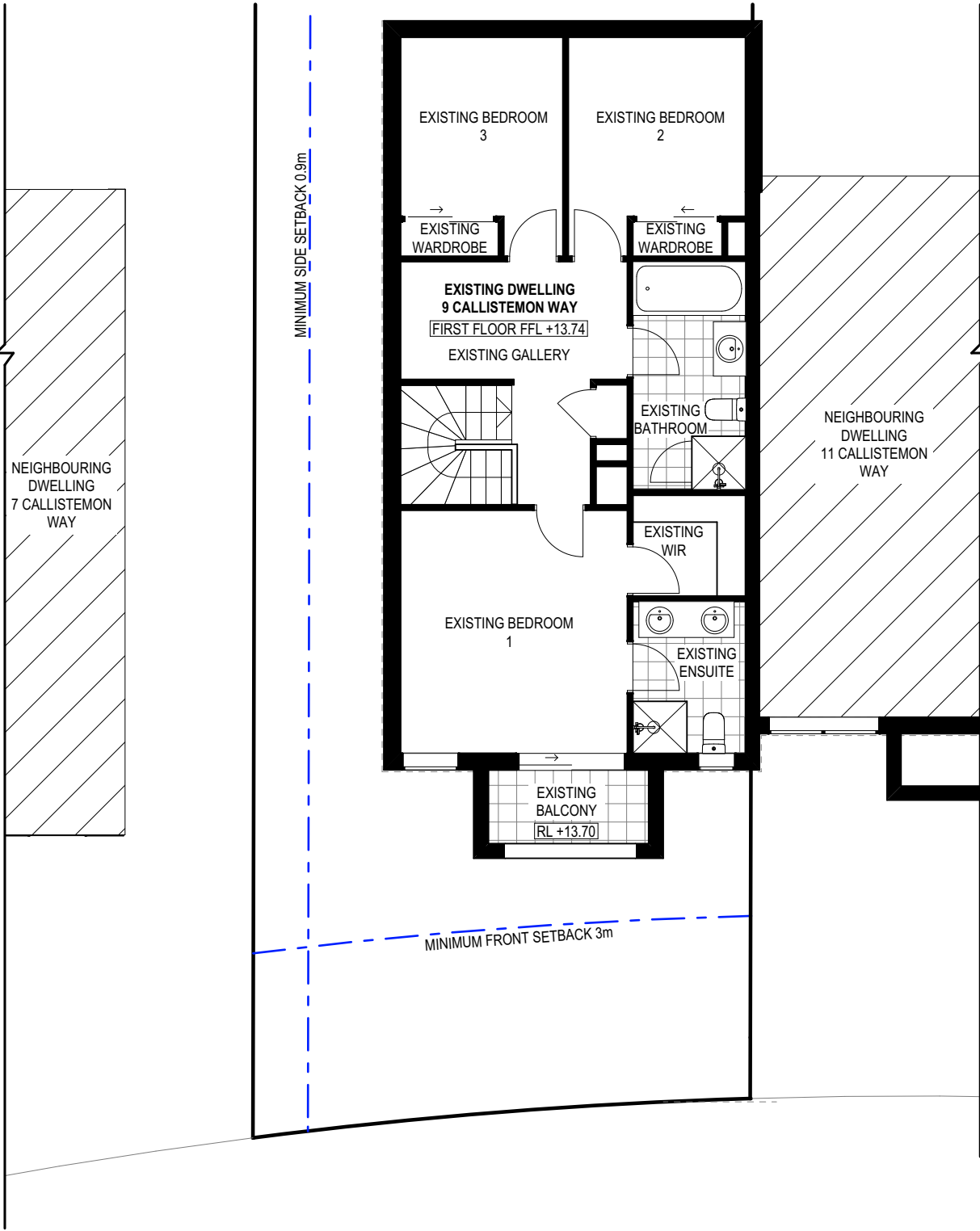
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 **northern beaches council**

**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**

**DA2020/1199**



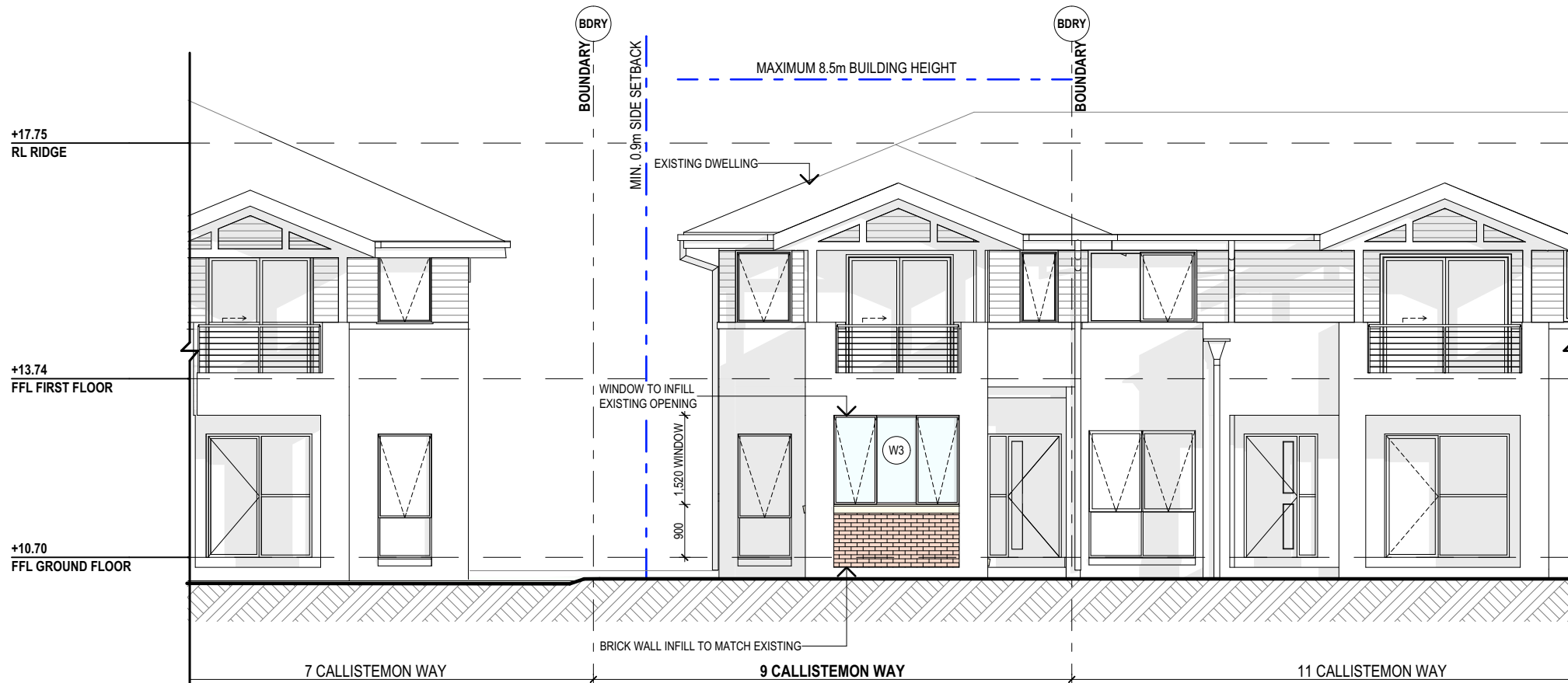
EXISTING FIRST FLOOR PLAN - NO WORKS 1:100

**NOTE:**  
NO WORKS TO EXISTING FIRST FLOOR LEVEL

REV:	DATE:	DESCRIPTION:

PROJECT DETAILS: PROPOSED ALTERATIONS & ADDITIONS 9 CALLISTEMON WAY WARRIEWOOD NSW 2102
DRAWING TITLE: FLOOR PLANS

DATE: 08/20	DRAWN BY: MS	SCALE: 1:100 @ A3
JOB No: 824/20	CHECKED BY: JJ	DRAWING No: <b>DA.02</b>



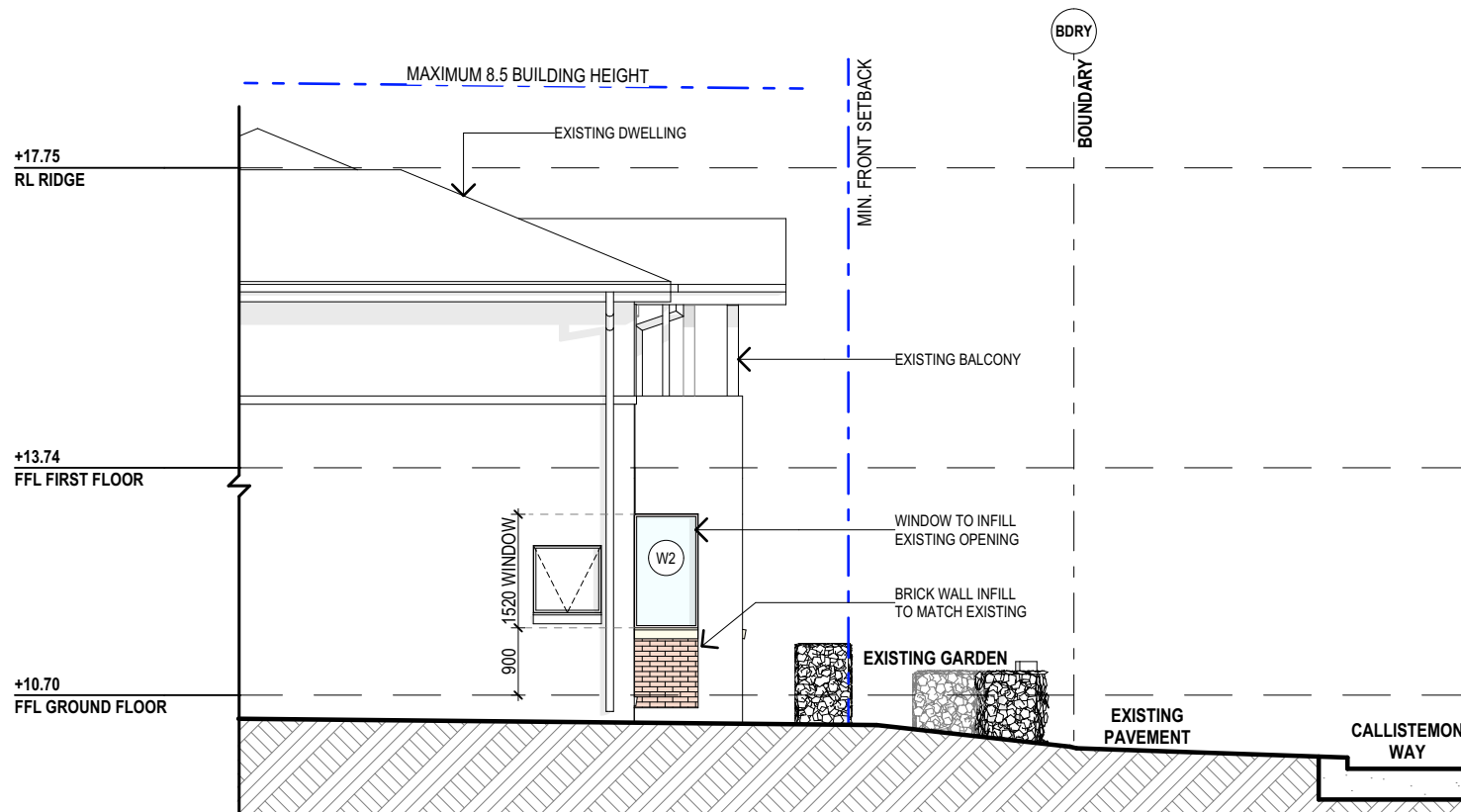
SOUTH WEST ELEVATION 1:100



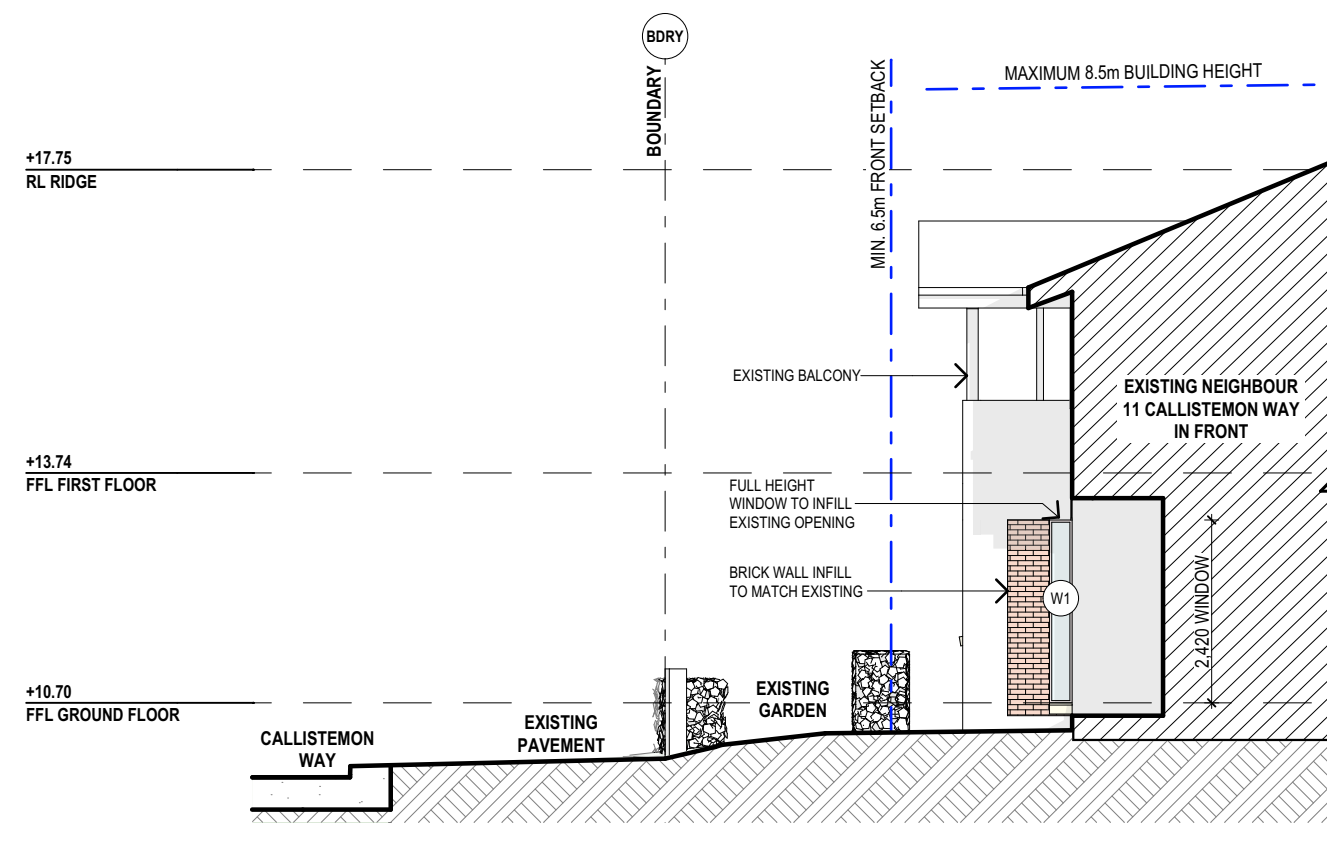
northern  
beaches  
council

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DA2020/1199

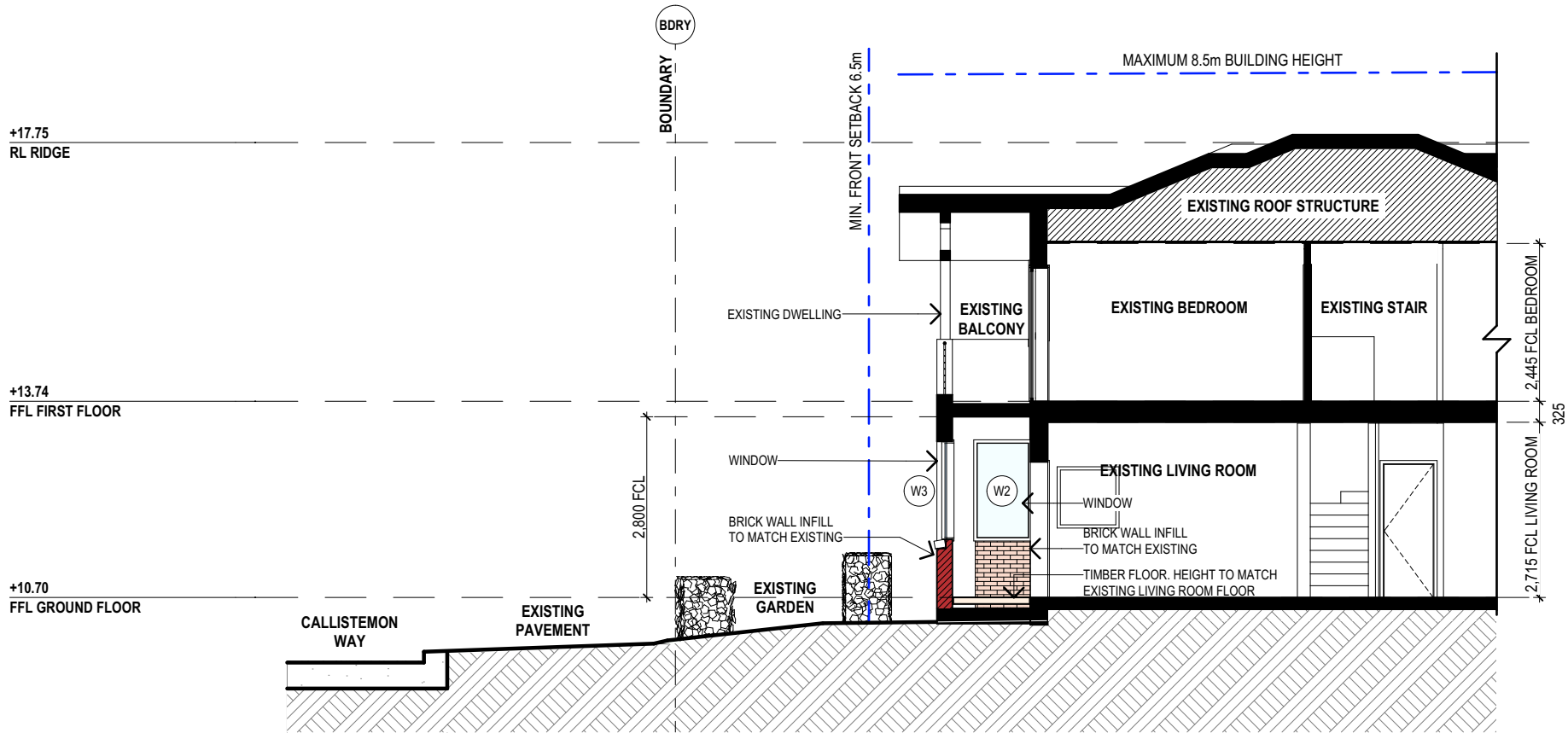


NORTH WEST ELEVATION 1:100



SOUTH EAST ELEVATION 1:100

	<b>NOTES (E &amp; OE)</b> <ul style="list-style-type: none"><li>• All structures including stormwater &amp; drainage to engineer's details.</li><li>• Do not obtain dimensions by scaling drawings.</li><li>• All dimensions are to be checked on site prior to starting work.</li><li>• These drawings are to be read in conjunction with all other consultant's drawings and specifications.</li><li>• All workmanship &amp; materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards &amp; local council requirements.</li><li>• New materials are to be used throughout unless otherwise noted.</li><li>• Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.</li></ul>	<div><i>JJ Drafting</i></div> <div>174 Garden St, North Narrabeen, NSW, 2101 PO Box 687, Dee Why, NSW, 2099 Mob. 0414 717 541 Email. jjdraft@tpg.com.au www.jjdrafting.com.au</div>	REV:	DATE:	DESCRIPTION:	PROJECT DETAILS: PROPOSED ALTERATIONS AND ADDITIONS 9 CALLISTEMON WAY WARRIEWOOD NSW 2102	DATE: 08/20	DRAWN BY: MS	SCALE: 1:100 @ A3
						DRAWING TITLE: ELEVATIONS	JOB No: 824/20	CHECKED BY: JJ	DRAWING No: DA.03



SECTION A-A 1:100



northern  
beaches  
council

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DA2020/1199

## SPECIFICATION NOTES

### GENERAL NOTES:

- ALL PLANS ARE TO BE READ IN CONJUNCTION.
- BASIX CERTIFICATE NOT REQUIRED AS ESTIMATED COST OF WORKS < \$50,000

### INTERNAL LINING

- PROVIDE PLASTERBOARD LINING.
- INSTALL TO MANUFACTURERS SPECIFICATIONS & AS 2589

### EXTERNAL WALLS:

- BRICK VENEER WALLS WITH SELECTED BRICKS TO MATCH EXISTING DWELLING.

### FLOOR:

- NEW FLOOR TO BE TIMBER FRAMED FINISHED WITH T&G HARDWOOD FLOORING.
- TIMBER TO BE REUSED OR TO COME FROM SUSTAINABLE FORESTRY PRACTICES.

### BEARERS AND JOISTS:

- SHALL BE INSTALLED TO COMPLY WITH AS1684 AS AMENDED FOR TIMBER COMPONENTS OR AS3620 FOR LIGHTEWEIGHT STEEL FRAMING SECTIONS OR AS PER THE NASH ALTERNATIVES TO AS 3623.

### ANT CAPS:

- SHALL BE INSTALLED IN ACCORDANCE WITH AS3660.

### FOOTINGS:

- FOOTINGS TO BE IN ACCORDANCE WITH AS1480.
- FOOTINGS TO BE IN ACCORDANCE WITH NCC VOL.2 PARTS 3.2.3, 3.2.4 AND 3.2.5
- ALL REINFORCEMENTS SHALL CONFORM TO AS1302, AS1303 AND AS1304.

### BRICK AND BLOCKWORK:

- CONSTRUCTION OF MASONRY BUILDINGS SHALL BE AS PER AS3700 OR AS4773.
- BRICKS TO MATCH EXISTING.

### CARPENTRY:

- TIMBER TO COMPLY WITH AS1170.2 OR AS4055.
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS1684 AND 1720 AS APPLICABLE.

### TIMBER FRAMING:

- TO COMPLY WITH NCC VOL.2 PART 3.4
- GROUND FLOOR TIMBERS SHALL BE ONLY OF HARDWOOD, CYPRESS PINE OR PRESSURE TREATED RADIATA OR CANADA PINE BELOW A HEIGHT OF 300mm ABOVE FINISHED GROUND LEVEL AND MUST NOT BE BUILT INTO BRICKWORK.
- SUBFLOOR VENTILATION SHALL CONFORM TO NCC VOL.2 PART 3.4.1.
- IN BUSHFIRE PRONE AREAS SPECIAL CONDITIONS APPLY.
- WHERE TERMITE BARRIERS NEED TO BE INSPECTED, 400mm CLEARANCE IS REQUIRED BETWEEN THE UNDERSIDE OF BEARER AND GROUND SURFACE.
- USE TREATED TIMBER WHERE REQUIRED FOR DURABILITY.
- DO NOT USE TIMBER UNSUITABLE FOR EXPOSURE TO MOISTURE IN EXPOSED LOCATION.
- PROVIDE STRUCTURE BRACING IN ACCORDANCE WITH AS1684
- PROVIDE STRUCTURE TIEDOWN IN ACCORDANCE WITH AS1684
- USE GALVANISED FIXINGS WHERE EXPOSED TO WEATHER.

### TERMITE CONTROL:

- TO BE IN ACCORDANCE WITH TO AS3660.1
- SHALL BE IN ACCORDANCE WITH NCC VOL.2 PART 3.1.3 OR VOL.1 PART B1.4.

### FLASHING AND CAPPINGS:

- SELECTION AND INSTALLATION OF METAL RAINWATER GOODS REFER TO AS2180

### LIGHTING:

- 40% OF NEW OR ALTERED LIGHT FIXTURES TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS

### DOOR & WINDOWS:

- ALL FRAMED WINDOWS SHALL BE INSTALLED IN ACCORDANCE WITH AS2047-48 FOR ALUMINIUM WINDOWS AND AS2047 FOR TIMBER WINDOWS.
- ALUMINIUM FRAMED WINDOWS AND DOORS.
- WEATHER STRIPPING IS TO BE PROVIDED TO ALL EXTERNAL WINDOWS AND DOORS.
- WINDOW FRAMING FINISHES AND COLOURS TO MATCH EXISTING

### SLIP RESISTANCE:

- MATERIALS TO BE USED FOR SURFACES OF FLOORS, STAIR LANDING, STEPS AND NOSINGS SHALL BE IN ACCORDANCE WITH THE CLASSIFICATIONS FOR SLIP RESISTANCE AS APPLY IN AS4586 AND HB198.

### GLAZING:

- NCC VOL.1 PARTS B 1.4, D 3.12, F1.13 OR NCC VOL.2 PART 3.6

### SMOKE DETECTORS/ALARMS:

- NCC VOL.2 PART 3.7.2. FIRE/SMOKE DETECTORS COMPLYING WITH THE REQUIREMENTS OF THE LOCAL GOVERNMENT ACT AND/OR STATE OR TERRITORY REGULATIONS MUST BE FITTED IN THE LOCATIONS REQUIRED AND APPROVED BY THE AUTHORITY AND SHALL BE INSTALLED IN ACCORDANCE WITH AS3786.
- INSTALLATIONS IN BUILDINGS OTHER THAN CLASS 1 AND 10 MUST BE INSTALLED AND MANAGED TO COMPLY WITH NCC SPEC. E2.2a.
- MULTIPLE ALARMS WITHIN HOUSES AND SOLE OCCUPANCY UNITS MUST BE HARD WIRED AND INTERCONNECTED.

### WASTE MANAGEMENT:

- ALL WASTE SHALL BE TAKEN AWAY BY TRUCKS TO A SUITABLE LANDFILL OR RECYCLE DEPOT.
- ALL WASTE SHALL BE COVERED DURING TRANSPORTATION.
- WASTE GENERATED DURING CONSTRUCTION SHALL BE PLACED IN STEEL BINS AND TAKEN AWAY BY AN APPROVED CONTRACTOR TO A APPROVED LANDFILL SITE.

### SEDIMENT CONTROL:

- A FILTER CLOTH SYSTEM SHALL BE INSTALLED TO STOP ANY SEDIMENT ENTERING COUNCILS STORMWATER SYSTEM.

### VEGETATION:

- ALL EXISTING TREES AND VEGETATION ON AND ADJACENT TO THE SITE TO BE RETAINED

### SITE SECURITY:

- THE SITE TO BE PROTECTED BY SITE FENCING FOR THE DURATION OF THE WORKS

### NOTES (E & OE)

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DRAWING TITLE: SECTION & SPECIFICATION NOTES

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