

GENERAL NOTES

- ALL DIMENSIONS TO BE CONFIRMED ON SITE BY THE BUILDER/ SUBCONTRACTOR, ANY INCONGRUENCE MUST BE REPORTED TO THE DESIGNER BEFORE COMMENCEMENT OF ANY WORK.

- IN THE EVENT OF ENCOUNTERING ANY DISCREPANCIES ON THESE DRAWINGS, SPECIFICATION OR SUBSEQUENT INSTRUCTION ISSUED, THE BUILDER/ SUBCONTRACTOR SHALL CONTACT THE DESIGNER BEFORE PROCEEDING FURTHER WITH ANY WORK.

- THE BUILDER/ SUBCONTRACTOR WILL BE HELD RESPONSIBLE FOR THE WATER TIGHTNESS OF THE WHOLE BUILDING FOR A MINIMUM PERIOD OF TWO YEARS AFTER THE DATE OF PRACTICAL COMPLETION.

- ALL CONSTRUCTION CONTROL JOINTS AND EXPANSION JOINTS IN THE WALL, FLOORS, & OTHER LOCATIONS SHALL BE IN STRICT ACCORDANCE WITH ARCHITECTURAL AND/ OR STRUCTURAL ENGINEERING DETAILS. NO JOINTS OR BREAKS OTHER THAN SPECIFIED ARE ALLOWED WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT AND/ OR ENGINEER.

- MEASUREMENTS FOR THE FABRICATION OF SECONDARY COMPONENTS SUCH AS WINDOWS, DOORS, INTERNAL FRAMES, STRUCTURAL STEEL COMPONENTS AND THE LIKE ARE NOT TO BE TAKEN FROM THESE DOCUMENTS. MEASUREMENTS MUST BE TAKEN ON SITE TO SUIT THE WORK AS CONSTRUCTED.

- ALL STRUCTURAL COMPONENTS SHALL BE IN STRICT ACCORDANCE TO DETAILS AND SPECIFICATIONS AS PREPARED BY STRUCTURAL ENGINEER, AND THOSE DETAILS FORM PART OF THE TOTAL SPECIFICATION.

- ALL EXISTING STRUCTURES NEED TO BE EXAMINED FOR STRUCTURAL ADEQUACY. AND IT IS THE BUILDERS AND/ OR CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT A CERTIFICATE OF STRUCTURAL ADEQUACY IS AVAILABLE PRIOR TO THE START OF ANY WORK.

- NO CONSTRUCTION WORK SHALL COMMENCE UNTIL A SITE SURVEY HAS BEEN COMPLETED. THIS WORK MUST BE PERFORMED BY A REGISTERED SURVEYOR.

- ALL TIMBER WORK IS TO COMPLY WITH THE REQUIREMENTS OF THE "LIGHT TIMBER FRAMING CODE" S.A.A. CODES AND STRUCTURAL ENGINEER'S DETAILS AND SPECIFICATIONS.

NOTE REGARDING WINDOW AND DOOR SCHEDULES

THE CONTRACTOR MUST ALLOW FOR ALL LABOUR AND MATERIALS NECESSARY FOR THE SUPPLY AND INSTALLATION OF ALL WINDOWS AND DOORS INDICATED THROUGHOUT THE PROPOSED BUILDING. HE MUST ALSO ALLOW FOR THE PREPARATION OF A DETAILED WINDOW AND DOOR SCHEDULE THAT PROVIDES DETAIL INFORMATION AS TO THE TYPE, NUMBER AND CONFIGURATION OF EACH AND EVERY DOORS AND WINDOWS FOR THE APPROVAL OF THE OWNERS BEFORE ORDERING OF THE DOORS AND WINDOWS. THIS DETAIL SCHEDULE IS NOT PART OF THE CONSTRUCTION CERTIFICATE DOCUMENTATION AND MUST BE ALLOWED FOR BY THE CONTRACTOR IN THE TENDER PRICE. ALL WINDOW AND DOOR DIMENSIONS ARE TO BE VERIFIED ON SITE PRIOR TO ORDERING THESE ITEMS. TIMBER FRAME WINDOWS & GLAZED DOORS AS PER THE BASIX CERTIFICATE REQUIREMENTS & AS SELECTED BY THE PROPRIETORS.

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ALTERATION & ADDITION @
173 SEAFORTH CRESCENT
SEAFORTH

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<div></div> <div>mobile: 0410 274 753 email: jay@jayndesign.com.au</div>	drawn by Jay Nam	notes #Notes	true north 	project 173 SEAFORTH CRESCENT SEAFORTH NSW 2092	FOR DA			
	amendments			client TITUS THESEIRA	dwg title COVER PAGE	scale NTS		
					project # 2017.P003			
					dwg #. 01	date 20- 08- 20	issue L	

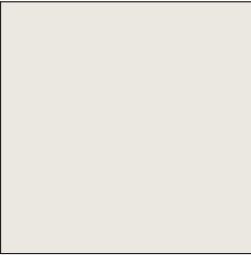


STREET VIEW



PERSPECTIVE

EXTERNAL FINISHES SCHEDULE



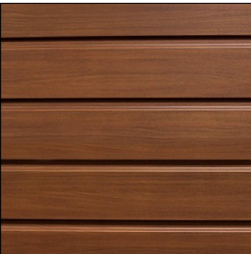
PAINT
 SPECIFICATION: DULUX NATURAL WHITE (PN1E1) OR SIMILAR
 FINISH: SEMI GLOSS
 LOCATION: EXTERNAL RENDERED WALLS



STONE MASONRY
 SPECIFICATION: AUSTRAL MASONRY HERRON LIMESTONE OR SIMILAR
 FINISH: NATURAL
 LOCATION: RETAINING WALLS



ROOF TILES
 SPECIFICATION: FRENCH TERRACOTTA FEDERATION OR SIMILAR TO MATCH EXISTING
 FINISH:
 LOCATION: FRONT PORCH ROOF




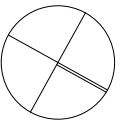
GARAGE DOOR
 SPECIFICATION: B&D GARAGE DOOR (NEO) OR SIMILAR
 FINISH:
 LOCATION: GARAGE DOOR



WINDOW FRAMES
 SPECIFICATION: COLORBOND SURFMIST OR SIMILAR
 FINISH:
 LOCATION: WINDOWS AND GLAZED DOORS

NOTE
 ALL EXISTING BOUNDARY FENCE TO BE RETAINED UNLESS SPECIFIED.
 PLANS MUST BE READ IN CONJUNCTION WITH STRUCTURAL/ STORMWATER ENGINEER'S PLANS.
 REFER TO LANDSCAPING ARCHITECT'S PLAN FOR LANDSCAPING SPECIFICATIONS.

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	amendments				dwg title <div>FINISHES SCHEDULE</div>	scale <div>NTS</div>	project # <div>2017.P003</div>
				client <div>TITUS THESEIRA</div>	dwg #. <div>02</div>	date <div>20- 08- 20</div>	issue <div>L</div>



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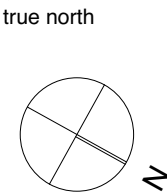


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amendments

notes
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project
**173 SEAFORTH CRESCENT
SEAFORTH
NSW 2092**

client
TITUS THESEIRA

FOR DA

dwg title
DEMOLITION PLAN

dwg #.
03

scale
1:100

project #
2017.P003

date
20- 08- 20

issue
L

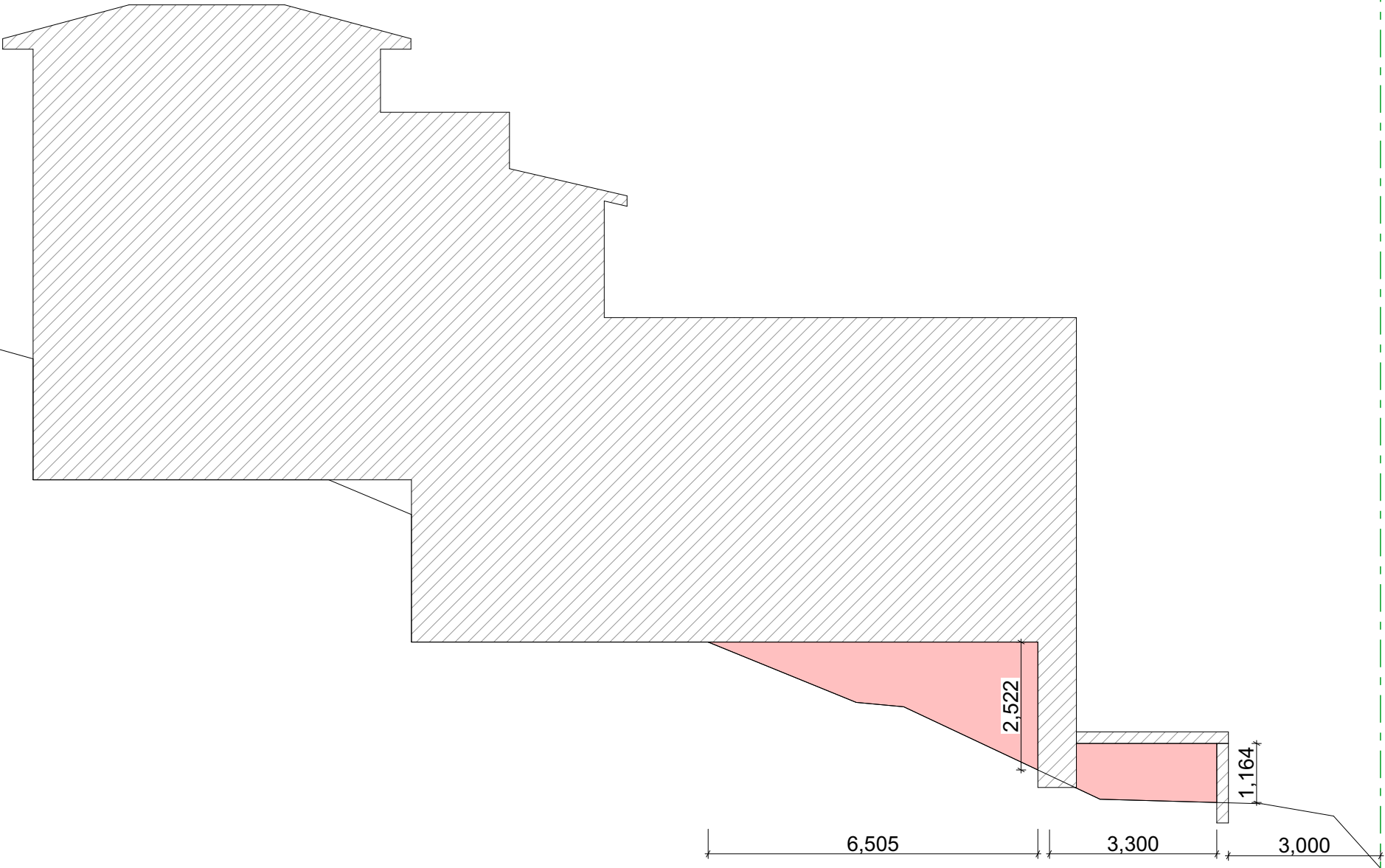
FRONT BOUNDARY

REAR BOUNDARY


LEGENDS

EXISTING & PROPSOED STRUCTURES

FILL



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	amendments						dwg title	EXCAVATION & FILL PLAN	scale	NTS		
									project #	2017.P003		
							client	TITUS THESEIRA	date	20- 08- 20		
							dwg #.	04	issue	L		

NORTHERN BEACHES LEP & DCP_ COMPLIANCE TABLE					
173 SEAFORTH CRESCENT, SEAFORTH (R2 Low Density Residential Zone)					
DESCRIPTION	EXISTING	PROPOSED	RELEVANT CODE	LIMIT	COMPLIANCE
TOTAL SITE AREA	888.5m2		—	—	—
FLOOR SPACE RATIO		LG2 66m2 + LG 127.6m2 + G 100.34m2 + FF 80.45m2 = 374.39m2 (42%)	Northern Beaches LEP FSR map 002	40%	COMPLIES
HEIGHT OF BUILDING	10m	9.1m	Northern Beaches LEP FSR map 002	Max 8.5m	COMPLIES
WALL HEIGHT			DCP 4.1.2.1 Wall Height	Max 6.8m	COMPLIES
ROOF HEIGHT		1.45m	DCP 4.1.2.3 Roof Height	Max 2.5m Above actual wall height	COMPLIES
FRONT SETBACK	4.35m	4.35m	DCP 4.1.4.1 Street front Setbacks	6m	
SIDE SETBACK			DCP 4.1.4.2 Side Setbacks	Min 1/3 of Wall height	
REAR SETBACK		8m	DCP 4.1.4.4 Rear Setbacks	8m	COMPLIES
OPEN SPACE		32% (280m2)	DCP 4.1.5.1 Minimum residential open space requirements	Min 60% of site area (533.1m2)	DOES NOT COMPLY
LANDSCAPING AREA		105m2	DCP 4.1.5.1 Minimum residential open space requirements	Min 40% of Open space (213.2m2)	DOES NOT COMPLY
LANDSCAPING AREA			DCP 4.1.5.2 Landscaped area	Min 4 Native trees	
PRIVAE OPEN SPACE			DCP 4.1.5.3 Private open space	Min 18m2	COMPLIES
PARKING			DCP 4.1.6.1 Parking	Max 50% of Frontage. Max 6.2m	COMPLIES

LEGEND

EXISTING WALLS

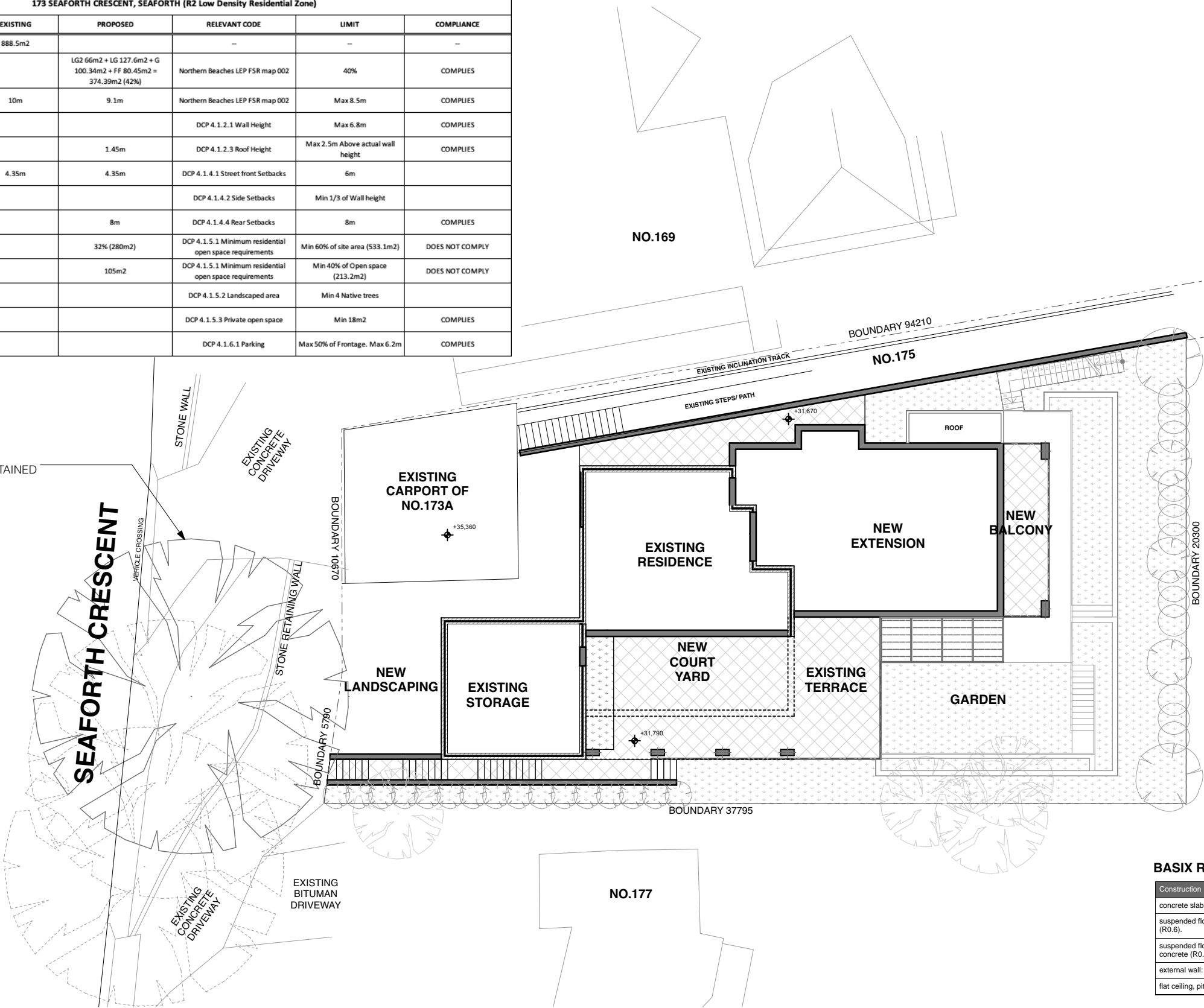
PROPOSED NEW WALLS

NOTE

ALL EXISTING BOUNDARY FENCE TO BE RETAINED UNLESS SPECIFIED.

PLANS MUST BE READ IN CONJUNCTION WITH STRUCTURAL/ STORMWATER ENGINEER'S PLANS.

REFER TO LANDSCAPING ARCHITECT'S PLAN FOR LANDSCPING SPECIFICATIONS.



FLOOR SPACE RATIO CALCULATIONS

LOWER FLOOR 2: 66m2
LOWER FLOOR: 127.6m2
GROUND FLOOR: 100.34m2
FIRST FLOOR: 80.45m2
TOTAL FLOOR SPACE: 374.39m2 (42%)

BASIX REQUIREMENTS

Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
suspended floor with open subfloor: concrete (R0.6).	R0.9 (down) (or R1.50 including construction)	
suspended floor with enclosed subfloor: concrete (R0.6).	R0.70 (down) (or R1.30 including construction)	
external wall: brick veneer	R1.16 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R3.00 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)

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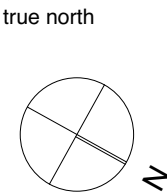


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notes
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project
173 SEAFORTH CRESCENT
SEAFORTH
NSW 2092

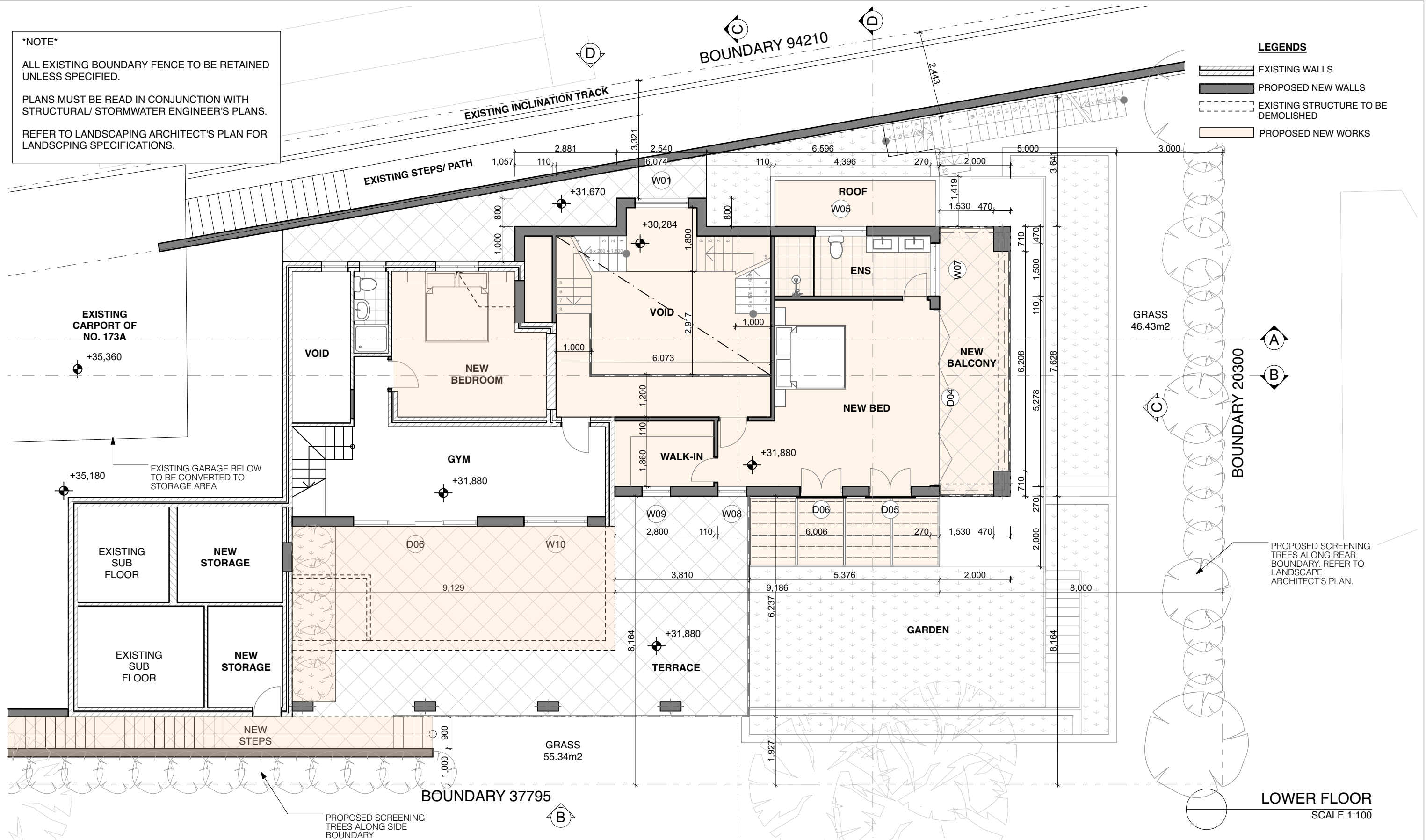
client
TITUS THESEIRA

FOR DA		
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dwg #. 05	date 20- 08- 20	issue L

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LEGENDS

- EXISTING WALLS
- PROPOSED NEW WALLS
- EXISTING STRUCTURE TO BE DEMOLISHED
- PROPOSED NEW WORKS



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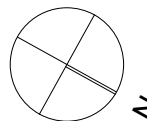
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amendments

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#Notes

true north



project

173 SEAFORTH CRESCENT
SEAFORTH
NSW 2092

client

TITUS THESEIRA

FOR DA

dwg title

LOWER FLOOR

dwg #.

07

scale

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project #

2017.P003

date

20- 08- 20

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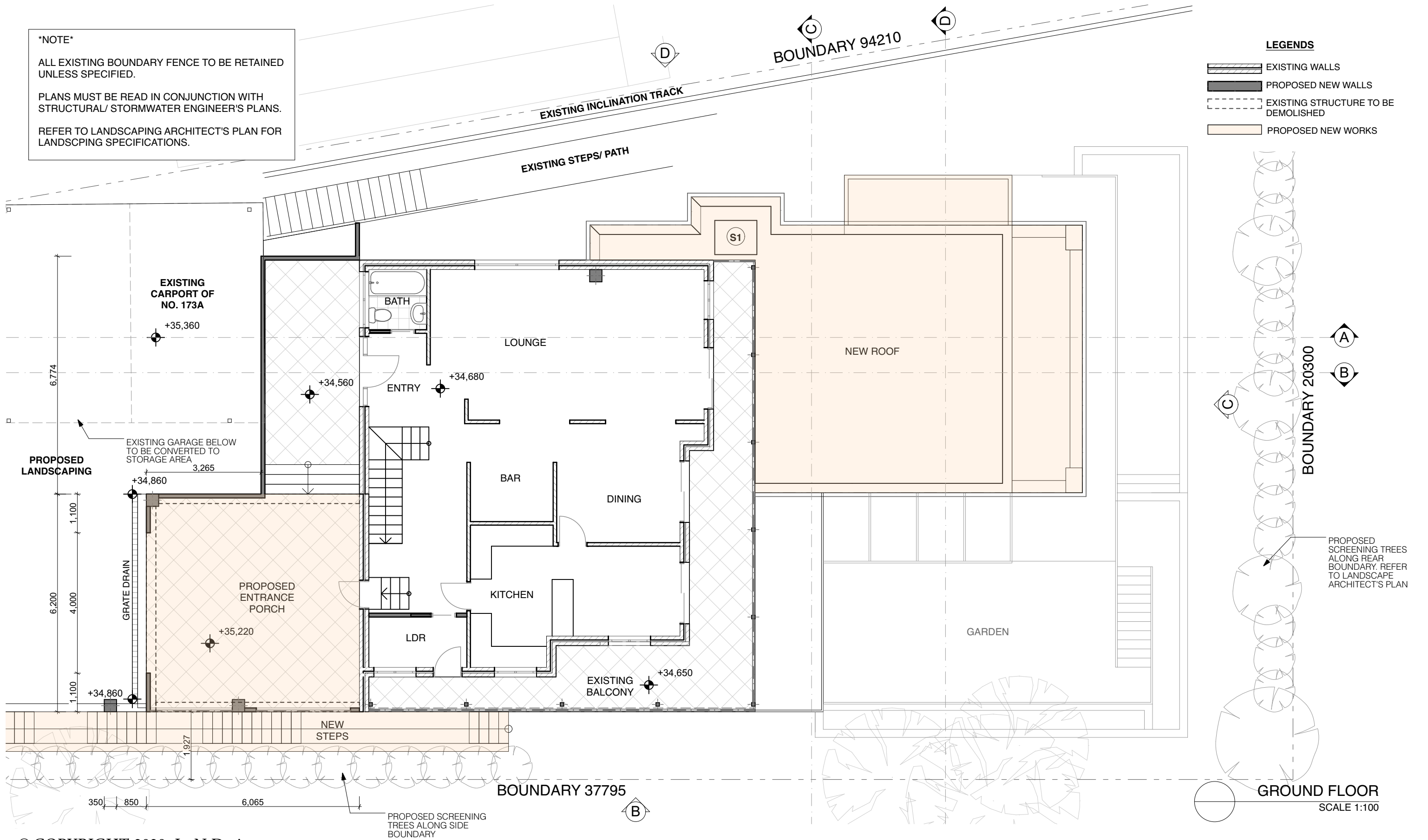
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- LEGENDS**
- EXISTING WALLS
 - PROPOSED NEW WALLS
 - EXISTING STRUCTURE TO BE DEMOLISHED
 - PROPOSED NEW WORKS



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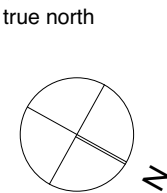
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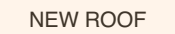
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**173 SEAFORTH CRESCENT
SEAFORTH
NSW 2092**

client
TITUS THESEIRA

FOR DA		
dwg title GROUND FLOOR	scale	1:100
	project #	2017.P003
dwg #.	date	20- 08- 20
	issue	L

REFER TO LANDSCAPING ARCHITECT'S PLAN FOR
LANDSCAPING SPECIFICATIONS.

 EXISTING WALLS
 PROPOSED NEW WALLS
 EXISTING STRUCTURE TO BE DEMOLISHED
 PROPOSED NEW WORKS



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NOTE

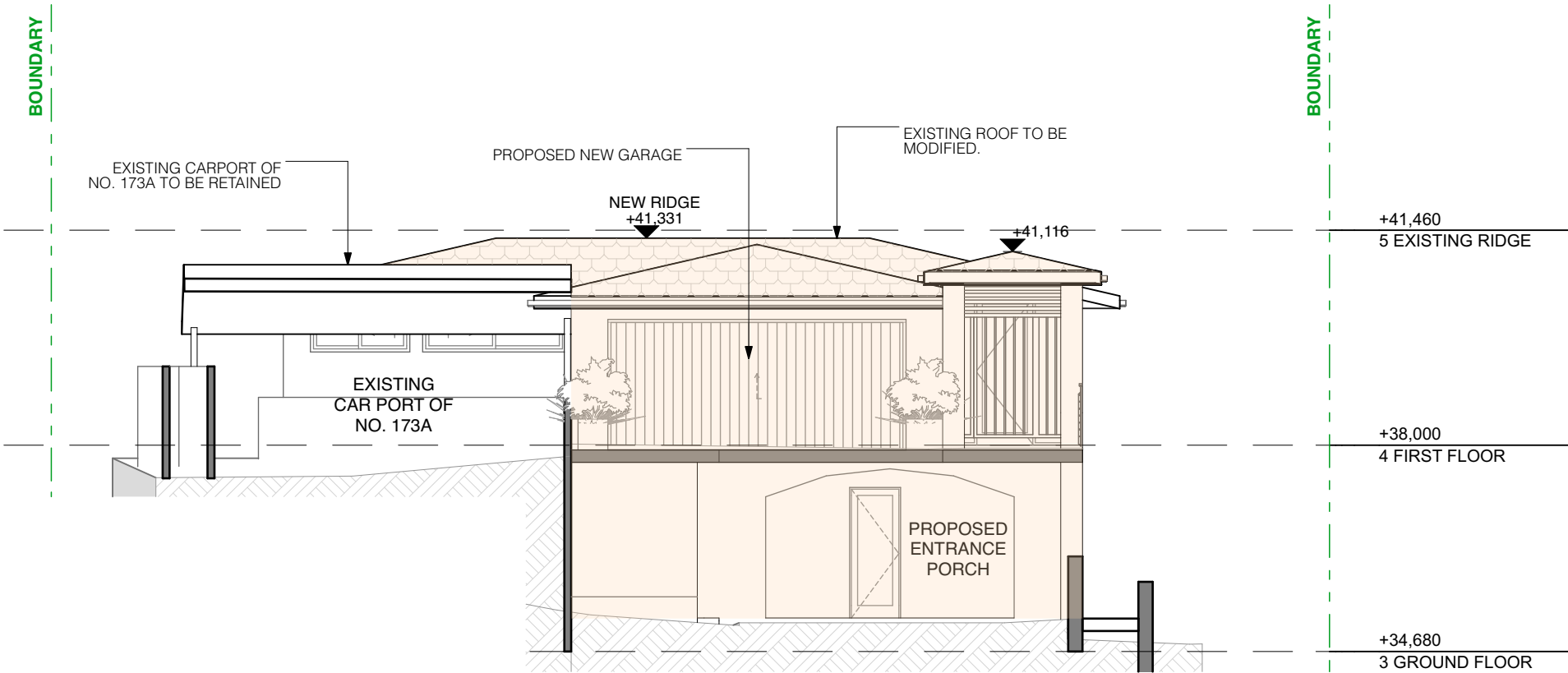
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LEGENDS

PROPOSED NEW WORKS



SOUTH ELEVATION
SCALE 1:100

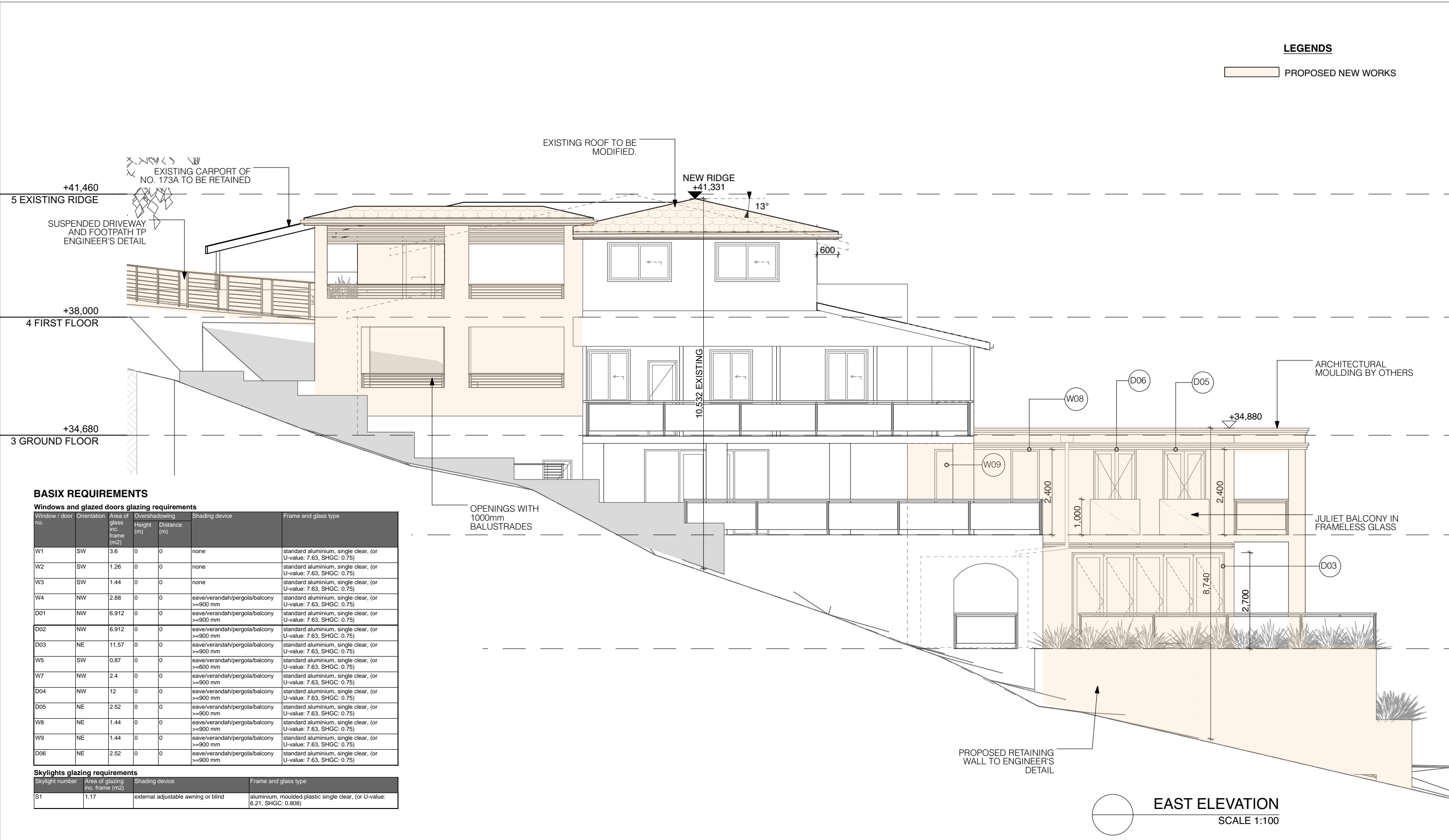
BASIX REQUIREMENTS

Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Height (m)	Distance (m)	Shading device	Frame and glass type
W1	SW	3.6	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W2	SW	1.26	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W3	SW	1.44	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W4	NW	2.88	0	0	eave/verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D01	NW	6.912	0	0	eave/verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D02	NW	6.912	0	0	eave/verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D03	NE	11.57	0	0	eave/verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W5	SW	0.87	0	0	eave/verandah/ pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W7	NW	2.4	0	0	eave/verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D04	NW	12	0	0	eave/verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D05	NE	2.52	0	0	eave/verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W8	NE	1.44	0	0	eave/verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W9	NE	1.44	0	0	eave/verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D06	NE	2.52	0	0	eave/verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

Skylights glazing requirements			
Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type
S1	1.17	external adjustable awning or blind	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)

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	amendments				dwg title SOUTH ELEVATION	scale 1:100	project # 2017.P003		
						client TITUS THESEIRA	dwg #.	10	date 20- 08- 20
									issue L



BASIX REQUIREMENTS

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Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W1	SW	3.6	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
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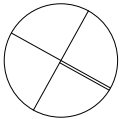
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amendments

notes

#Notes

true north



project

173 SEAFORTH CRESCENT
SEAFORTH
NSW 2092

client

TITUS THESEIRA

FOR DA

dwg title

EAST ELEVATION

dwg #.

11

scale

1:100

project #

2017.P003

date

20- 08- 20

issue

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NOTE

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LEGENDS

PROPOSED NEW WORKS

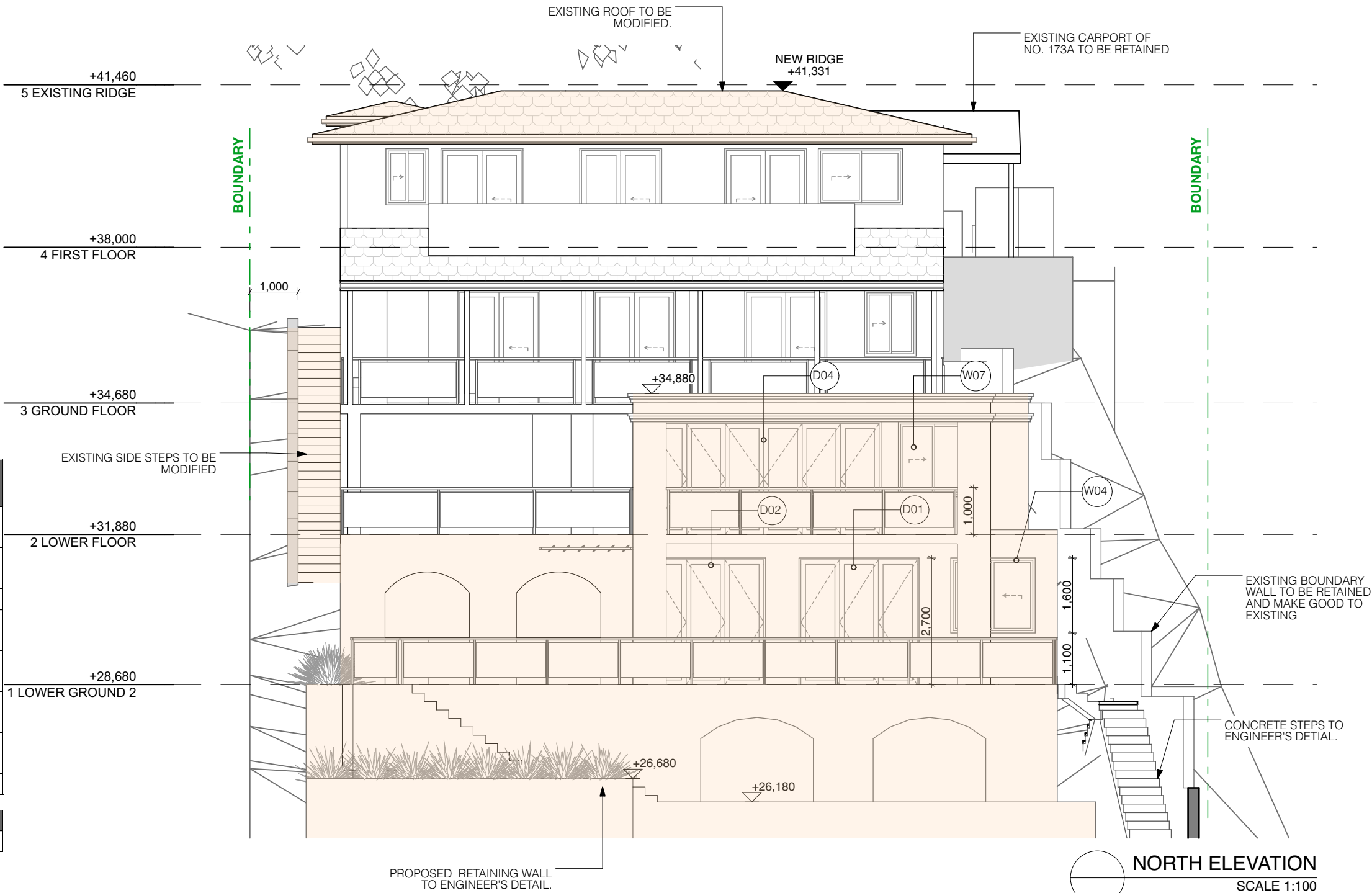
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D05	NE	2.52	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W8	NE	1.44	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W9	NE	1.44	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D06	NE	2.52	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

Skylights glazing requirements

Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type
S1	1.17	external adjustable awning or blind	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)



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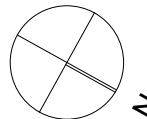
Jay Nam

amendments

notes

#Notes

true north



project

173 SEAFORTH CRESCENT
SEAFORTH
NSW 2092

client

TITUS THESEIRA

FOR DA

dwg title
NORTH ELEVATION

dwg #.

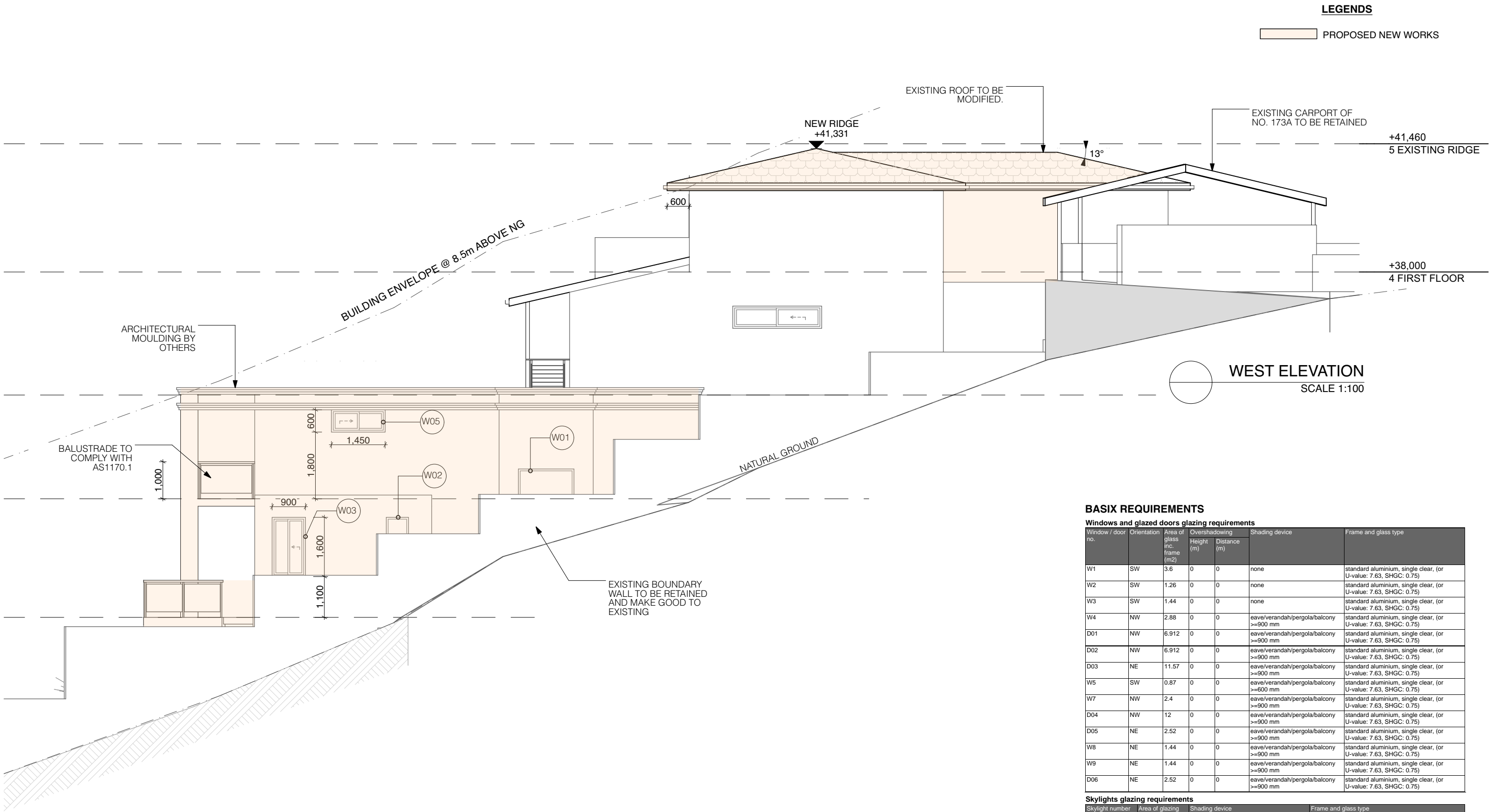
12

scale
1:100

project #
2017.P003

date
20- 08- 20

issue
L



BASIX REQUIREMENTS

Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type
			Height (m)	Distance (m)		
W1	SW	3.6	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W2	SW	1.26	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W3	SW	1.44	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W4	NW	2.88	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D01	NW	6.912	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D02	NW	6.912	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D03	NE	11.57	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W5	SW	0.87	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W7	NW	2.4	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D04	NW	12	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D05	NE	2.52	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W8	NE	1.44	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W9	NE	1.44	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D06	NE	2.52	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

Skylights glazing requirements

Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type
S1	1.17	external adjustable awning or blind	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)

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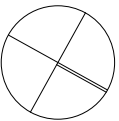
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#Notes

true north



project

173 SEAFORTH CRESCENT
SEAFORTH
NSW 2092

client

TITUS THESEIRA

FOR DA

dwg title

WEST ELEVATION

dwg #.

13

scale
1:100

project #
2017.P003

date
20- 08- 20

issue
L

ALL EXISTING BOUNDARY FENCE TO BE RETAINED
UNLESS SPECIFIED.

Architectural section AA' of a three-story house. The section shows the existing structure and proposed additions. Key features include:

- Existing Structure:** Existing Bath, Existing Bed, Existing Lounge, and Existing Roof to be Modified.
- Proposed Additions:** New Bed, Library Gallery, Study, Balcony, and a new ground floor level.
- Levels:** +41,049 (Existing Ridge), +38,000 (4 First Floor), +34,680 (3 Ground Floor), +31,880 (2 Lower Floor), +28,680 (1 Lower Ground 2), and +26,680 (Proposed Ground Level).
- Construction Details:** Balustrade to comply with AS1170.1, Proposed Concrete Columns to Engineer's Detail, Proposed Screening Trees along Rear Boundary, and Soil Fill to Engineer's Detail.
- Basix Requirements Table:**

Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
suspended floor with open subfloor: concrete (R0.6).	R0.9 (down) (or R1.50 including construction)	
suspended floor with enclosed subfloor: concrete (R0.6).	R0.70 (down) (or R1.30 including construction)	
external wall: brick veneer	R1.16 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R3.00 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)

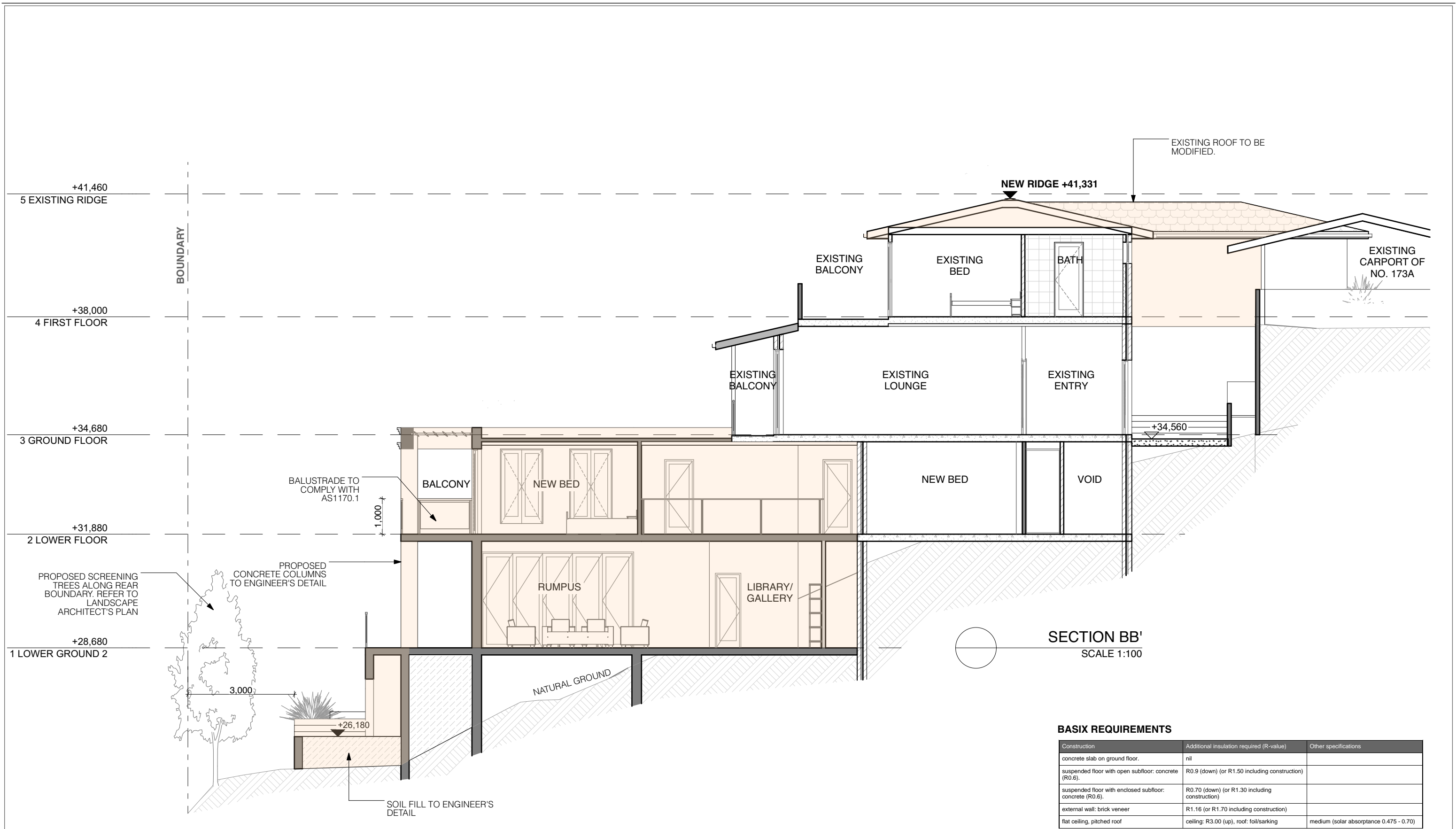
SECTION AA'
SCALE 1:100

Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
suspended floor with open subfloor: concrete (R0.6).	R0.9 (down) (or R1.50 including construction)	
suspended floor with enclosed subfloor: concrete (R0.6).	R0.70 (down) (or R1.30 including construction)	
external wall: brick veneer	R1.16 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R3.00 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)

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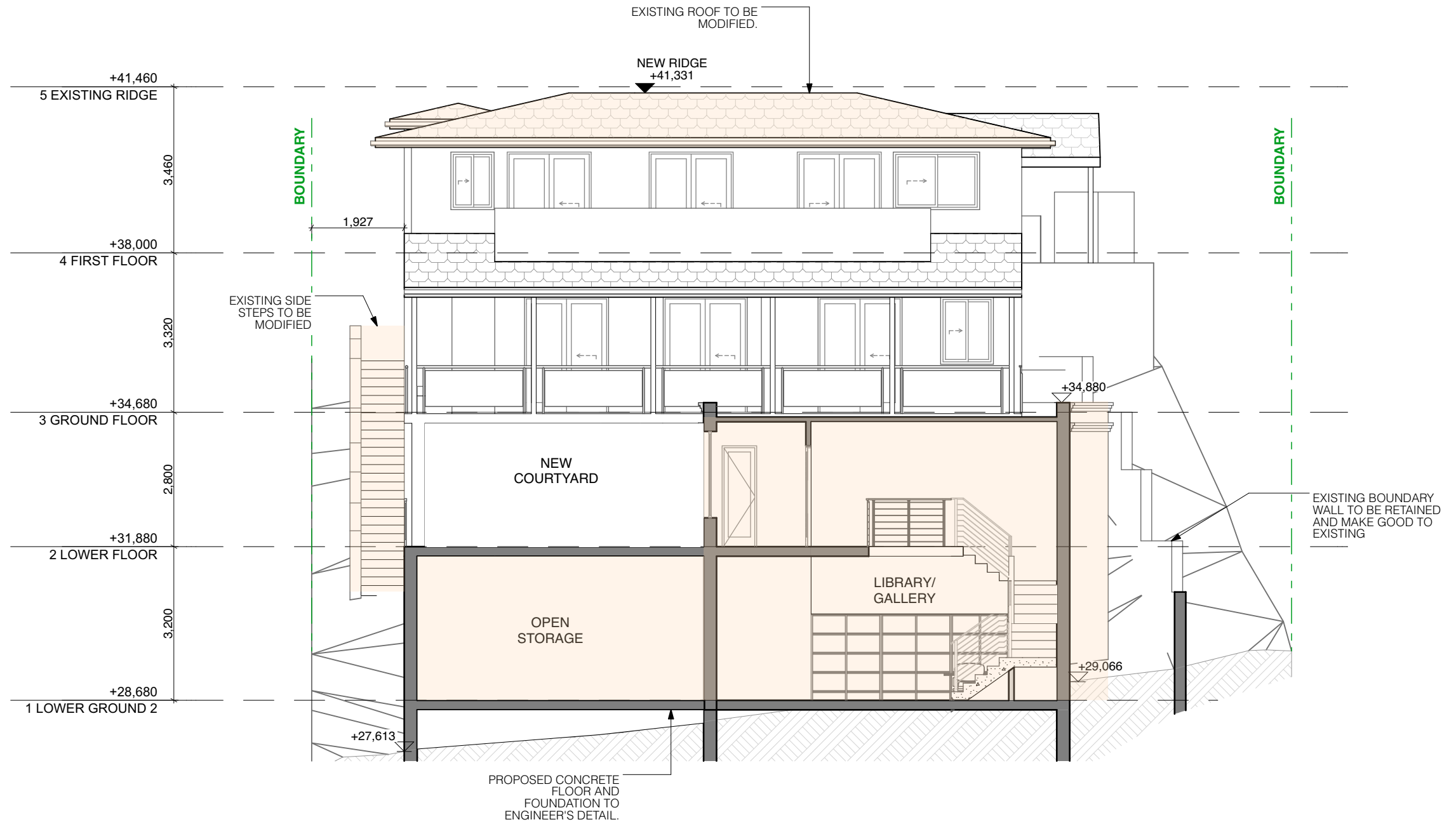


BASIX REQUIREMENTS

Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
suspended floor with open subfloor: concrete (R0.6).	R0.9 (down) (or R1.50 including construction)	
suspended floor with enclosed subfloor: concrete (R0.6).	R0.70 (down) (or R1.30 including construction)	
external wall: brick veneer	R1.16 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R3.00 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)

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	amendments				dwg title SECTION BB'	scale 1:100	project # 2017.P003
				client TITUS THESEIRA	dwg #. 15	date 20- 08- 20	issue L





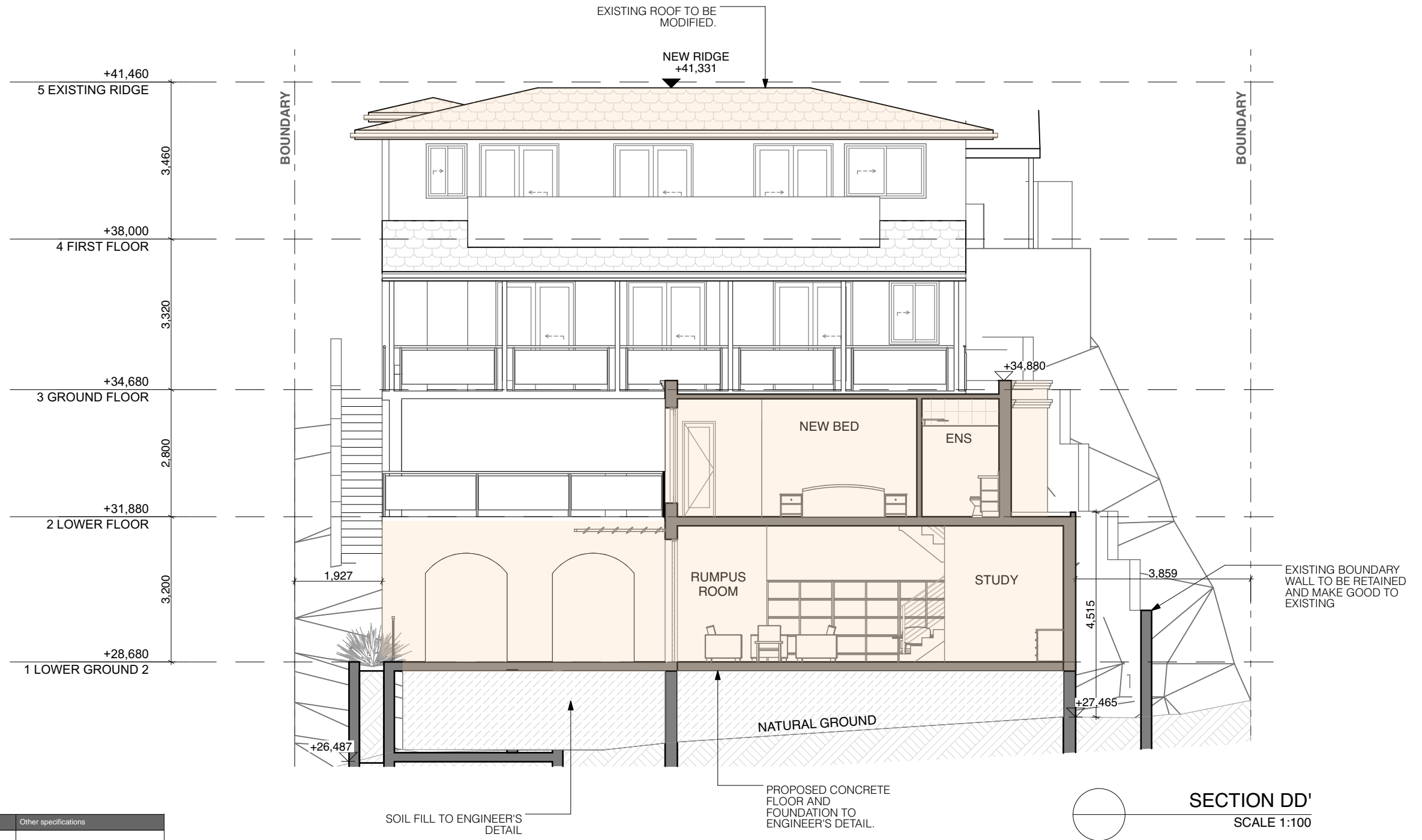
BASIX REQUIREMENTS

Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
suspended floor with open subfloor: concrete (R0.6).	R0.9 (down) (or R1.50 including construction)	
suspended floor with enclosed subfloor: concrete (R0.6).	R0.70 (down) (or R1.30 including construction)	
external wall: brick veneer	R1.16 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R3.00 (up), roof: foil/sarking	medium (solar absorbance 0.475 - 0.70)

SECTION CC'
SCALE 1:100

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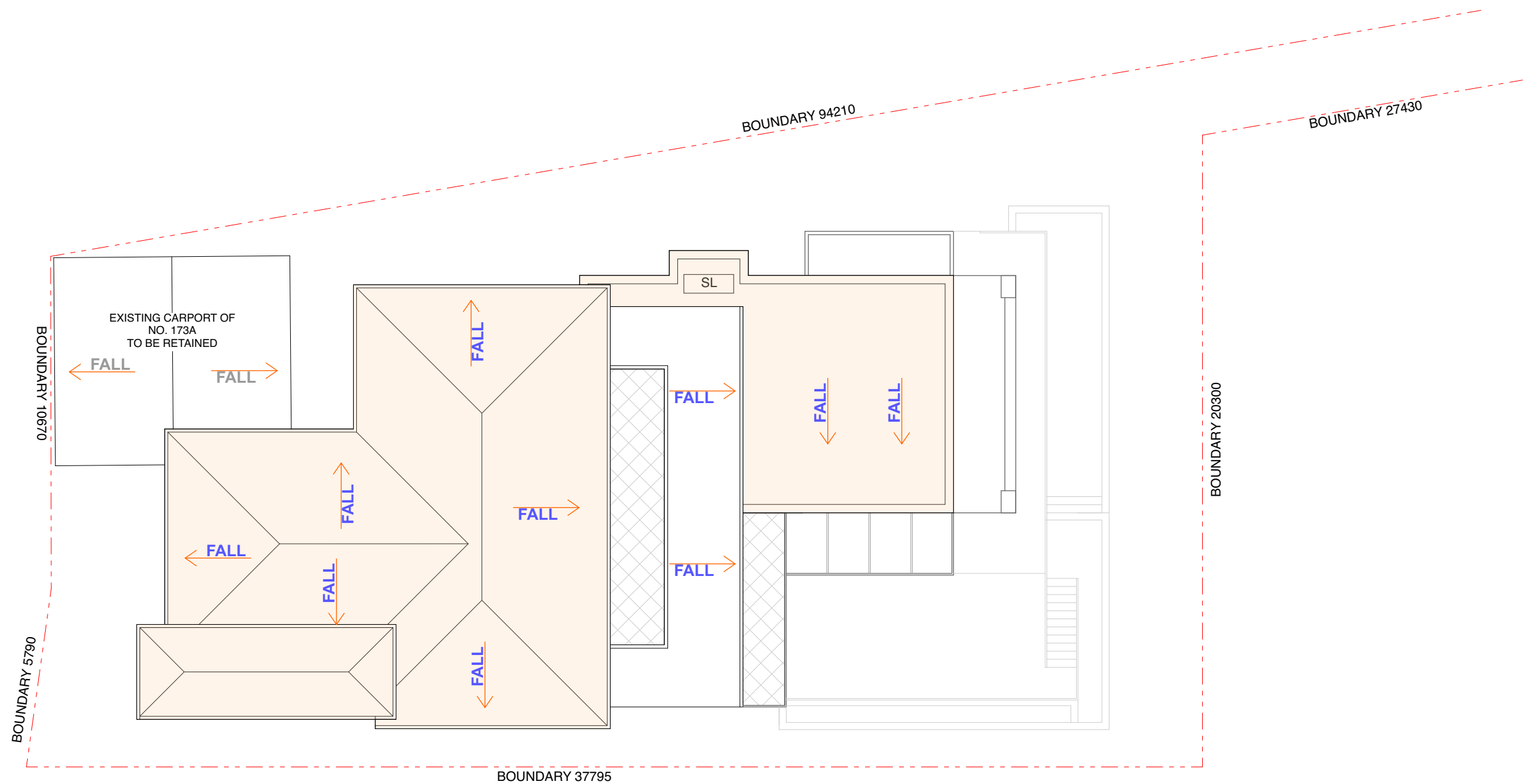
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	amendments			client <div>TITUS THESEIRA</div>	dwg title <div>SECTION CC'</div>	scale <div>1:100</div>	project # <div>2017.P003</div>
					dwg #. <div>16</div>	date <div>20- 08- 20</div>	issue <div>L</div>



BASIX REQUIREMENTS		
Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
suspended floor with open subfloor: concrete (R0.6).	R0.9 (down) (or R1.50 including construction)	
suspended floor with enclosed subfloor: concrete (R0.6).	R0.70 (down) (or R1.30 including construction)	
external wall: brick veneer	R1.16 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R3.00 (up), roof: foil/sarking	medium (solar absorbance 0.475 - 0.70)

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	amendments				dwg title SECTION DD'	scale 1:100	project # 2017.P003
				client TITUS THESEIRA	dwg #. 17	date 20- 08- 20	issue L



STORMWATER NOTE
THIS CONCEPT STORMWATER PLAN IS DIAGRAMATIC ONLY.
STORMWATER SYSTEM TO BE CONSULTED BY STORMWATER ENGINEER.

ROOF PLAN
SCALE 1:150

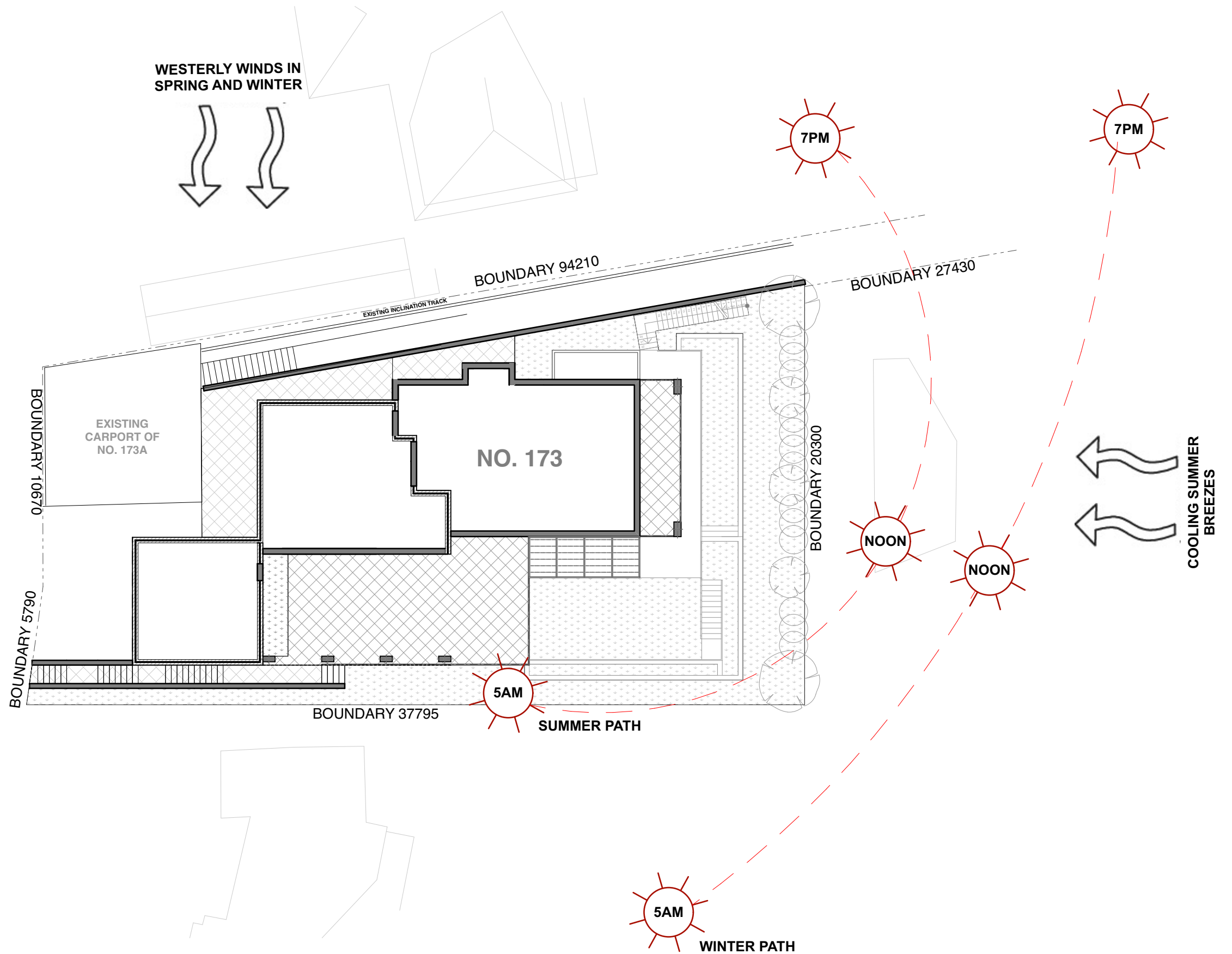
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	amendments			client TITUS THESEIRA	dwg title ROOF PLAN / CONCEPT STORMWATER PLAN	scale 1:150	project # 2017.P003
					dwg #. 18	date 20- 08- 20	issue L

POSSIBLE NOISE FROM
MAIN ROAD

SEAFORTH CRESCENT

WESTERLY WINDS IN
SPRING AND WINTER



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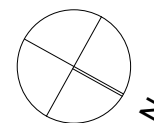
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notes

#Notes

true north



project

173 SEAFORTH CRESCENT
SEAFORTH
NSW 2092

client

TITUS THESEIRA

FOR DA

dwg title

SITE ANALYSIS PLAN

dwg #.



19

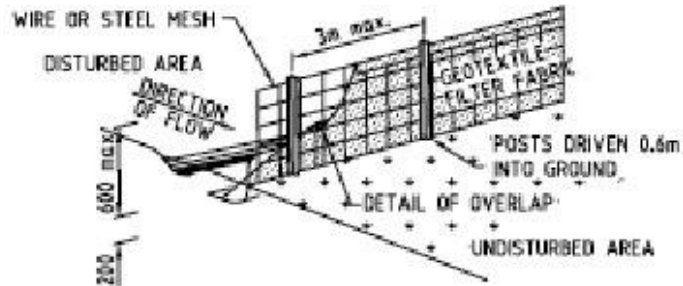
scale
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project #
2017.P003

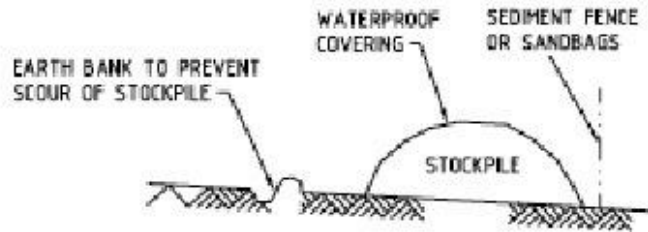
date
20- 08- 20

issue
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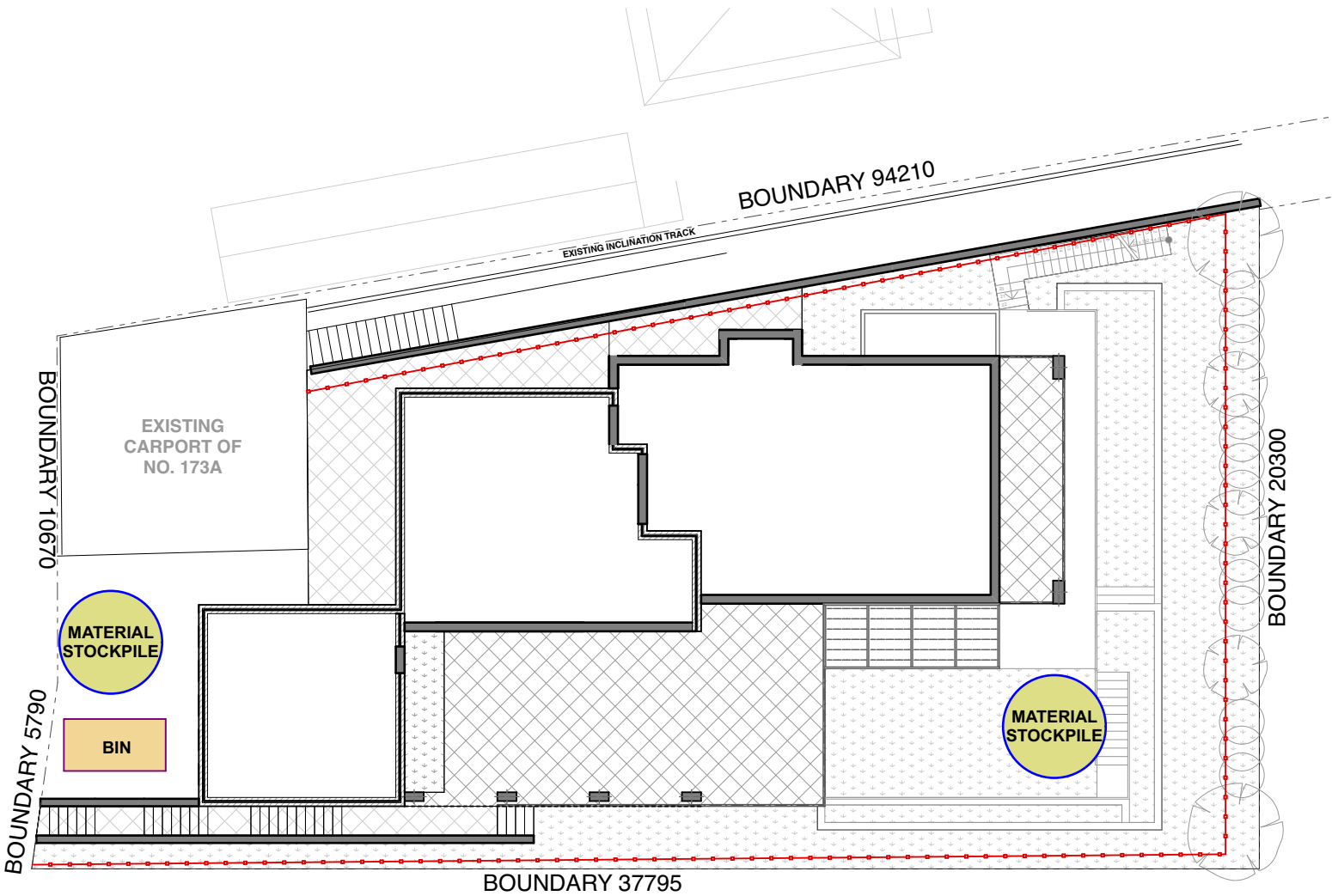
SYMBOL	DESCRIPTION
	SEDIMENT FENCE
	DOWNPIPE



SEDIMENT FENCE



BUILDING MATERIAL STOCKPILES
N.T.S.



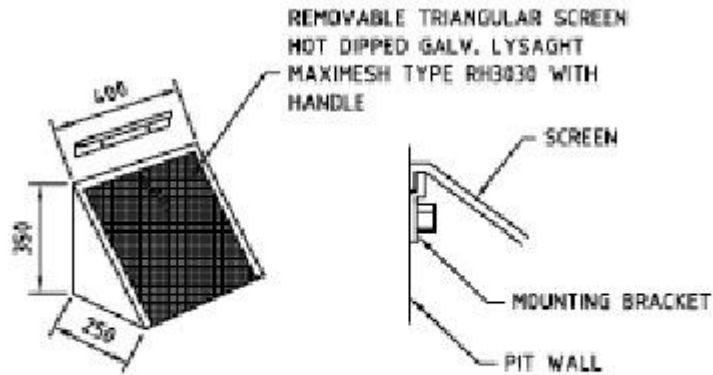
SILTATION NOTE

ALL EROSION AND SILTATION DEVICES ARE TO BE CONSTRUCTED PRIOR TO THE COMMENCEMENT OF WORKS.

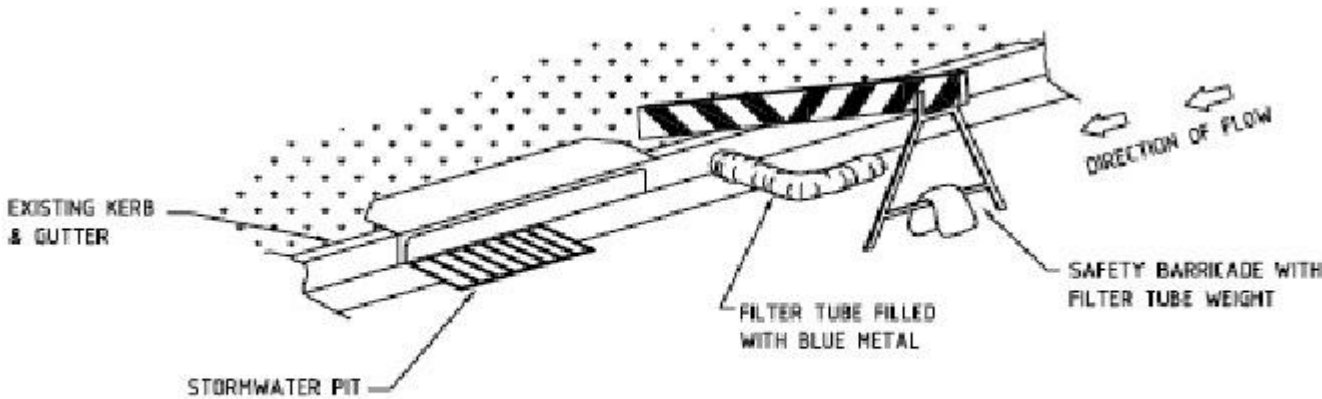
ANY SILT TRAPS ARE TO HAVE DEPOSITED SILT REMOVED FREQUENTLY.

INSTALL TEMPORARY SEDIMENT BARRIERS TO ALL INLET PITS LIKELY TO COLLECT SILT LADEN WATER TO COUNCILS STANDARDS.

NOT WITHSTANDING THE DETAILS SHOWN, IT IS THE RESPONSIBILITY OF THE CONTRACTOR OF TO ENSURE THAT ALL SITE ACTIVITIES COMPLY WITH THE CLEAN WATERS ACT.




MULTI PURPOSE FILTER SCREEN
SCALE 1:20
PRODUCT CODE: MMPS (MASCOT ENGINEERING)



FILTER TUBE SILT TRAP
N.T.S.

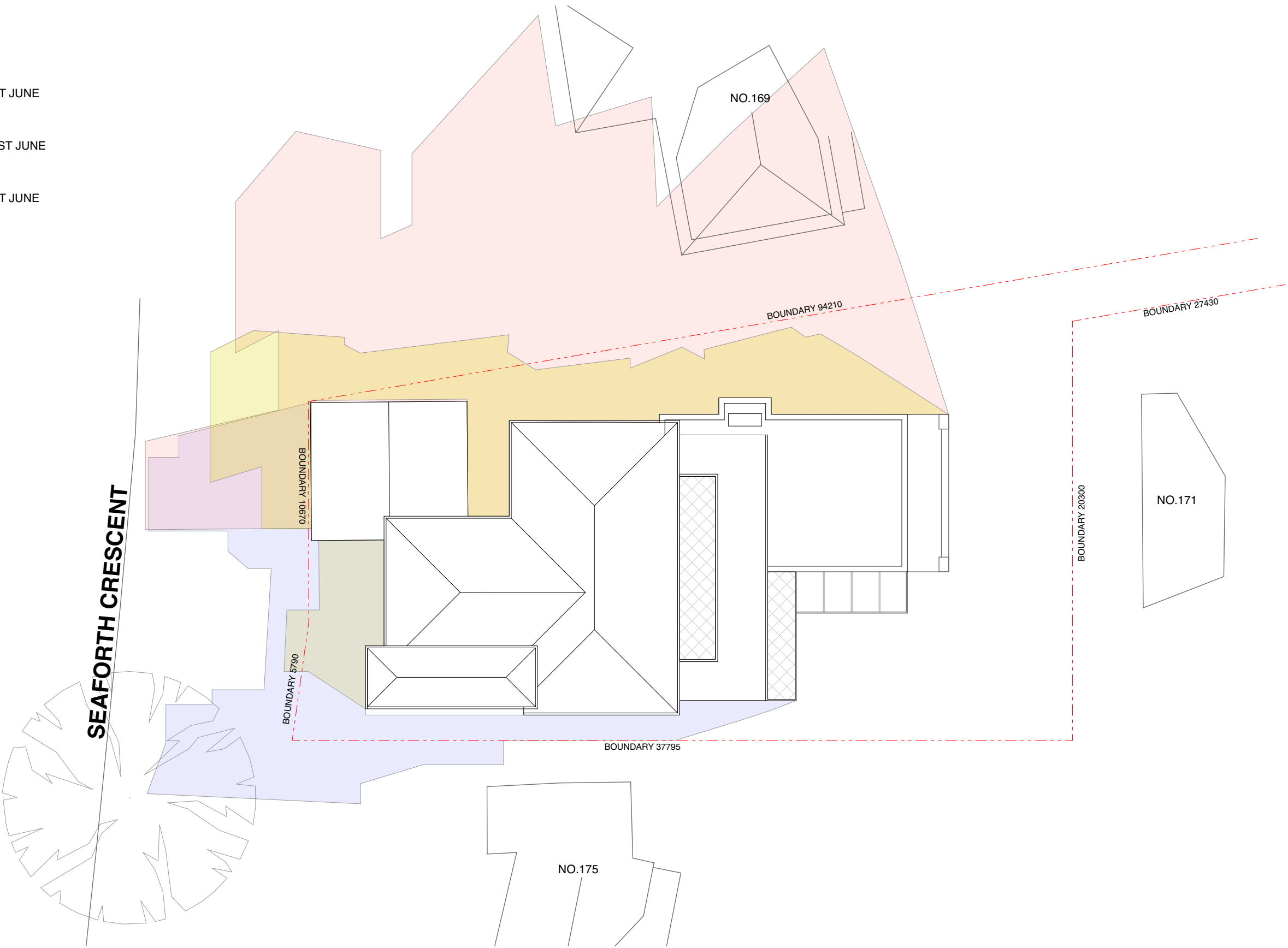
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	amendments			client TITUS THESEIRA	dwg title EROSION & SEDIMENT CONTROL PLAN	scale NTS	project # 2017.P003
					dwg #. 20	date 20- 08- 20	issue L

9AM, 21ST JUNE

12PM, 21ST JUNE

3PM, 21ST JUNE



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	amendments			client TITUS THESEIRA	dwg title SHADOW DIAGRAM	scale 1:200	project # 2017.P003
					dwg #. 21	date 20- 08- 20	issue L