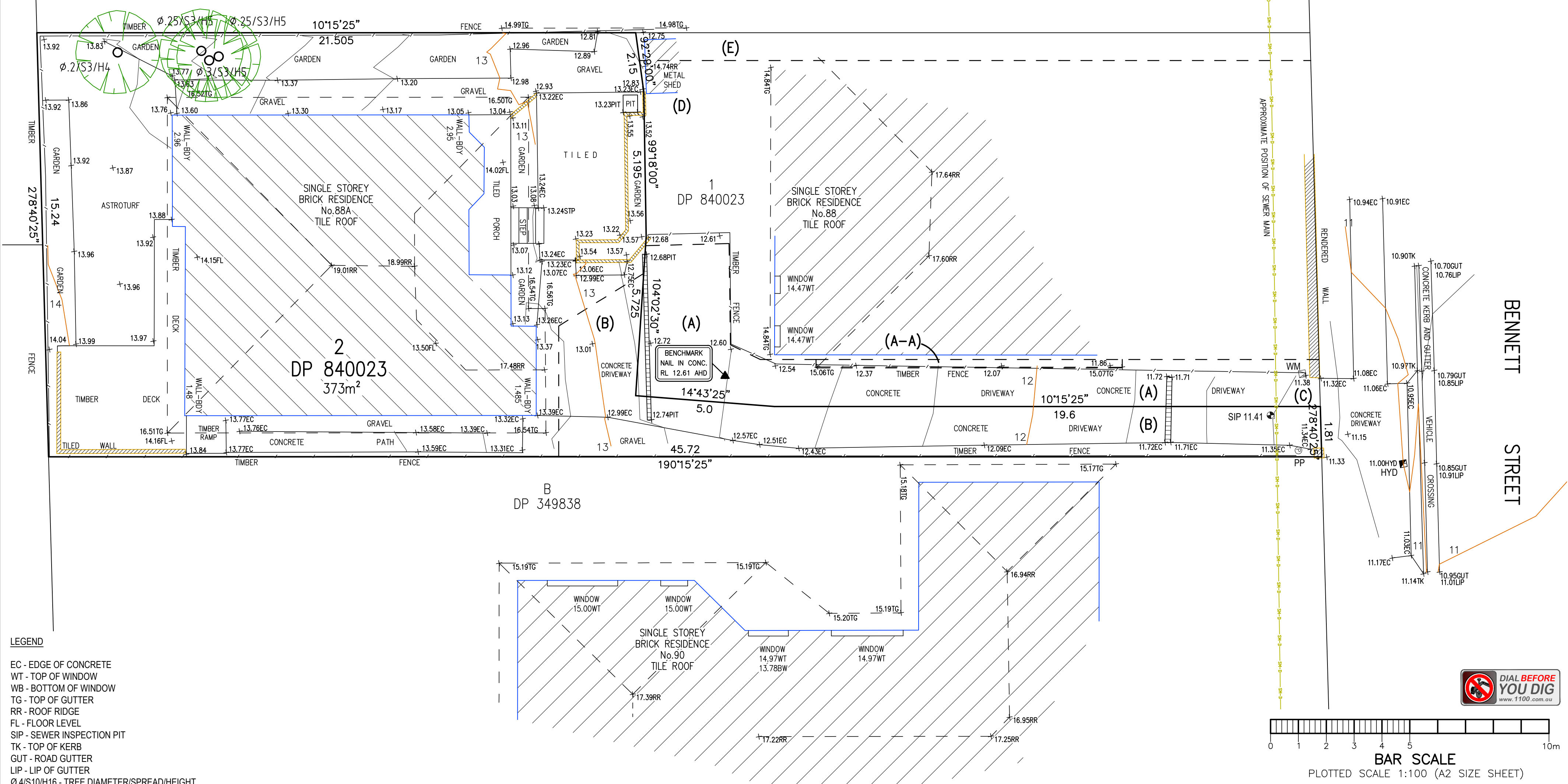


NOTE:
BOUNDARIES HAVE BEEN DETERMINED BY SURVEY ON 11-03-2024.
PRIOR TO ANY CONSTRUCTION WORK, SURVEY MARKS SHOULD BE PLACED TO DEFINE THE PROPERTY BOUNDARIES.
SERVICES SHOWN ARE INDICATIVE ONLY. POSITIONS ARE BASED ON SURFACE INDICATOR(S) LOCATED DURING FIELD SURVEY. CONFIRMATION OF THE EXACT POSITION SHOULD BE MADE PRIOR TO ANY EXCAVATION WORK. OTHER SERVICES MAY EXIST WHICH ARE NOT SHOWN.
LEVELS ARE BASED ON AUSTRALIAN HEIGHT DATUM (AHD) USING PM 2002 WITH RL 11.10(AHD).
RIDGE & GUTTER HEIGHTS HAVE BEEN OBTAINED BY INDIRECT METHOD AND ARE ACCURATE TO ± 0.05m.
CONTOURS SHOWN DEPICT THE TOPOGRAPHY, EXCEPT AT SPOT LEVELS SHOWN THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT. THE SPOT LEVELS ARE TRUE FOR THEIR POSITION, AND ARE INTENDED TO BE USEFUL TO REPRESENT THE GENERAL TERRAIN. CARE SHOULD BE TAKEN IF EXTRAPOLATING.

B194071 COVENANT
(A) DP840023 RIGHT OF CARRIAGEWAY 1.69 WIDE AND VARIABLE APPURTENANT TO THE LAND ABOVE DESCRIBED
(A) DP840023 EASEMENT TO DRAIN WATER 1.69 WIDE AND VARIABLE APPURTENANT TO THE LAND ABOVE DESCRIBED
(A) DP840023 RIGHT OF CARRIAGEWAY 0.3 WIDE APPURTENANT TO THE LAND ABOVE DESCRIBED
(B) DP840023 RIGHT OF CARRIAGEWAY 1.81 WIDE AND VARIABLE AFFECTING THE PART(S) SHOWN SO BURDENED IN THE TITLE DIAGRAM
(C) DP840023 EASEMENT FOR WATER SUPPLY OVER EXISTING LINE OF PIPES APPURTENANT TO THE LAND ABOVE DESCRIBED
(D) DP840023 EASEMENT TO DRAIN WATER OVER EXISTING LINE OF PIPES APPURTENANT TO THE LAND ABOVE DESCRIBED
(E) DP840023 EASEMENT FOR SERVICES 1 WIDE APPURTENANT TO THE LAND ABOVE DESCRIBED



LEGEND
EC - EDGE OF CONCRETE
WT - TOP OF WINDOW
WB - BOTTOM OF WINDOW
TG - TOP OF GUTTER
RR - ROOF RIDGE
FL - FLOOR LEVEL
SIP - SEWER INSPECTION PIT
TK - TOP OF KERB
GUT - ROAD GUTTER
LIP - LIP OF GUTTER
Ø.4/S10/H16 - TREE DIAMETER/SPREAD/HEIGHT

REVISION No.	REVISION DATE:	COMMENT:



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PLAN SHOWING DETAIL & FEATURES
OVER LOT 2 IN D.P. 840023

KNOWN AS No. 88A BENNETT STREET, CURL CURL.

L.G.A.: NORTHERN BEACHES

CLIENT ADDSTYLE HOME ADDITIONS			REF No.
PROPERTY No. 88A BENNETT STREET, CURL CURL			24033
DATUM A.H.D.	SCALE 1:100 @ A2	DATE 12-03-2024	SHEET No. 1 of 1
SURVEYED GS	DRAWN FS	DWG No. 24033-1	REV No. 00

Geoff Gallen
Registered Surveyor
Nº 1083