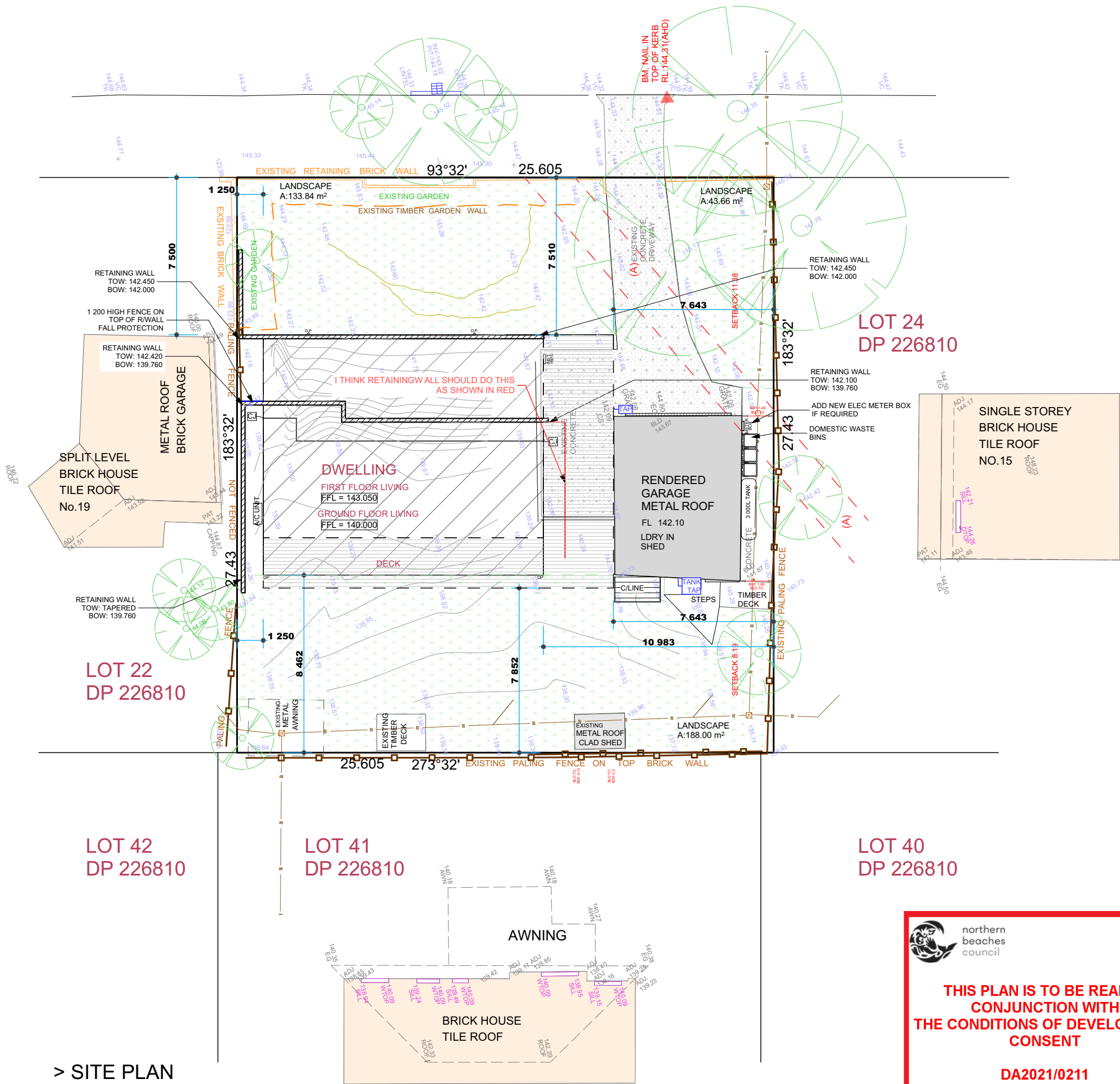


ARANDA DRIVE

(A) - EASEMENT TO DRAIN WATER 1.83 WIDE (VIDE DP 225237).



> NOTE

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PLEASE EVALUATE ON SITE BEFORE ANY
ORDERING OR WORK BEGINS.

> SITE STATISTICS

FLOOR SPACE RATIO	N/A
SITE COVERAGE	38.6%
LANDSCAPE AREA	52.0%

> AREAS

	AREA (m²):
LANDSCAPE	365.50
SITE AREA	702.35
SITE COVERAGE	271.33

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> Client

> DAKWAL

> Development

> DWELLING

> 17 ARANDA DRIVE, FRENCHS FOREST

> LOT 23, DP 226810

> CONSTRUCTION CERTIFICATE

> Designer

> Drafter

> DESIGNER

> SN

> Job No.

> Revision No.

> Drawing No.

> 4363

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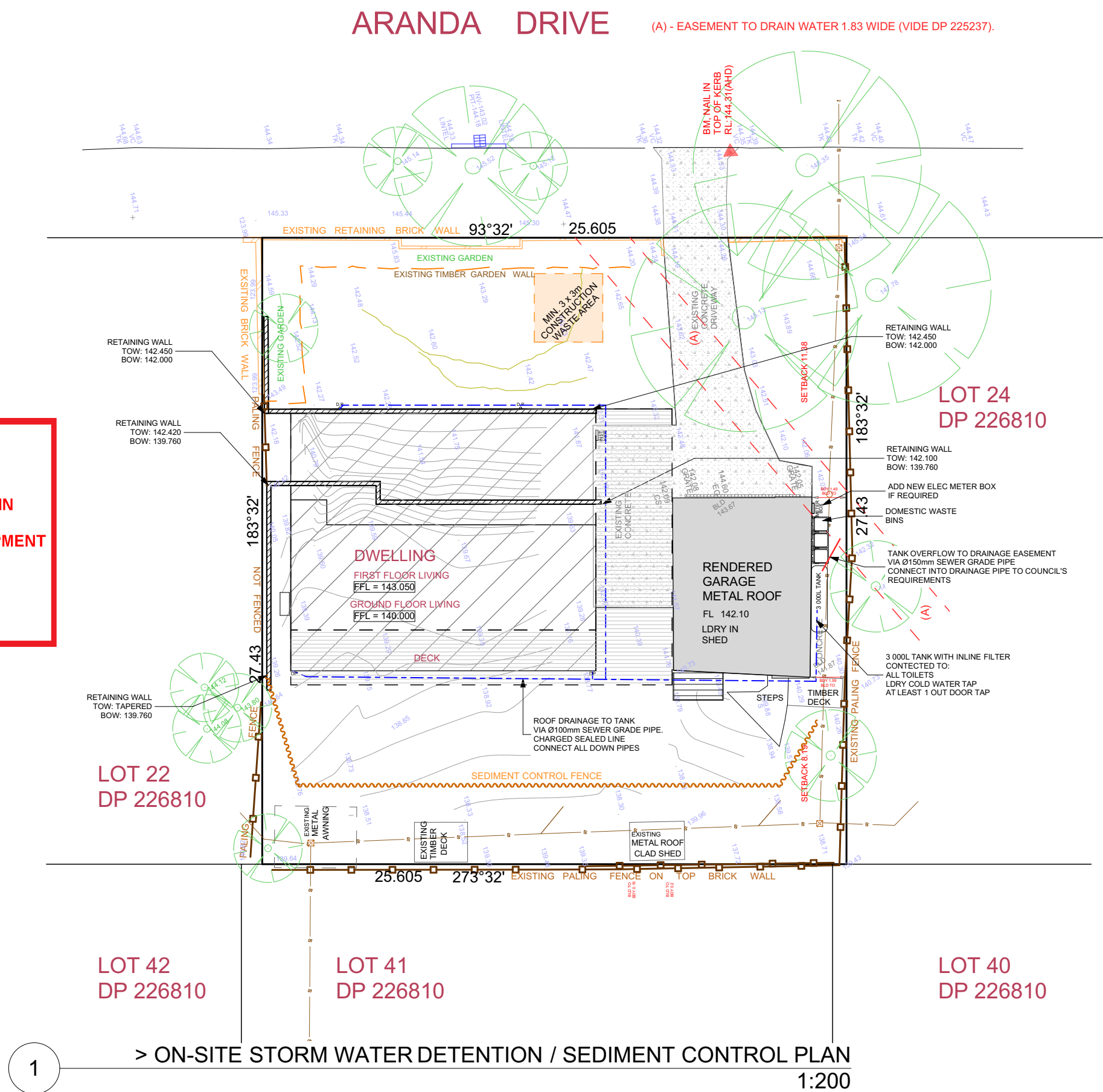
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> SITE PLAN
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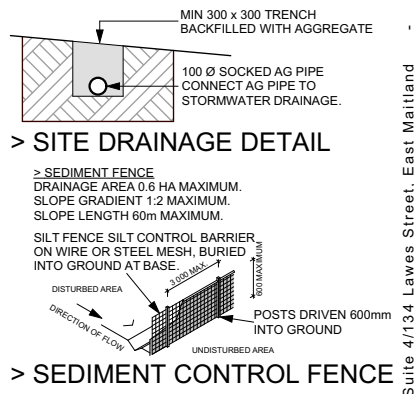
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> ON-SITE STORM WATER DETENTION / SEDIMENT CONTROL PLAN
1:200

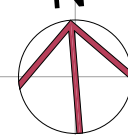
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- > SEDIMENT CONTROLS**
- > 1. ATTENTION IS DRAWN TO THE ENVIRONMENT PROTECTION ACT AND THE REQUIREMENTS FOR THE PROTECTION FROM DISCHARGE OF ANY POLLUTION FROM THE SITE.
- > 2. ALL SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED AND MAINTAINED.
- > 3. ALL SEDIMENT RETAINING STRUCTURES SHALL BE CLEARED UPON REACHING A MAXIMUM OF 75% CAPACITY. REMOVED SEDIMENT SHALL BE SPREAD WITHIN DISTRIBUTION AREAS ON THE SITE.
- > 4. IMMEDIATELY FOLLOWING THE COMPLETION OF WORKS ALL EXPOSED AREAS SHALL BE STABILISED BY TURFING OR MULCHING (BY OWNER). SEDIMENT CONTROL SHALL BE MAINTAINED UNTIL GROUND COVER IS ESTABLISHED.



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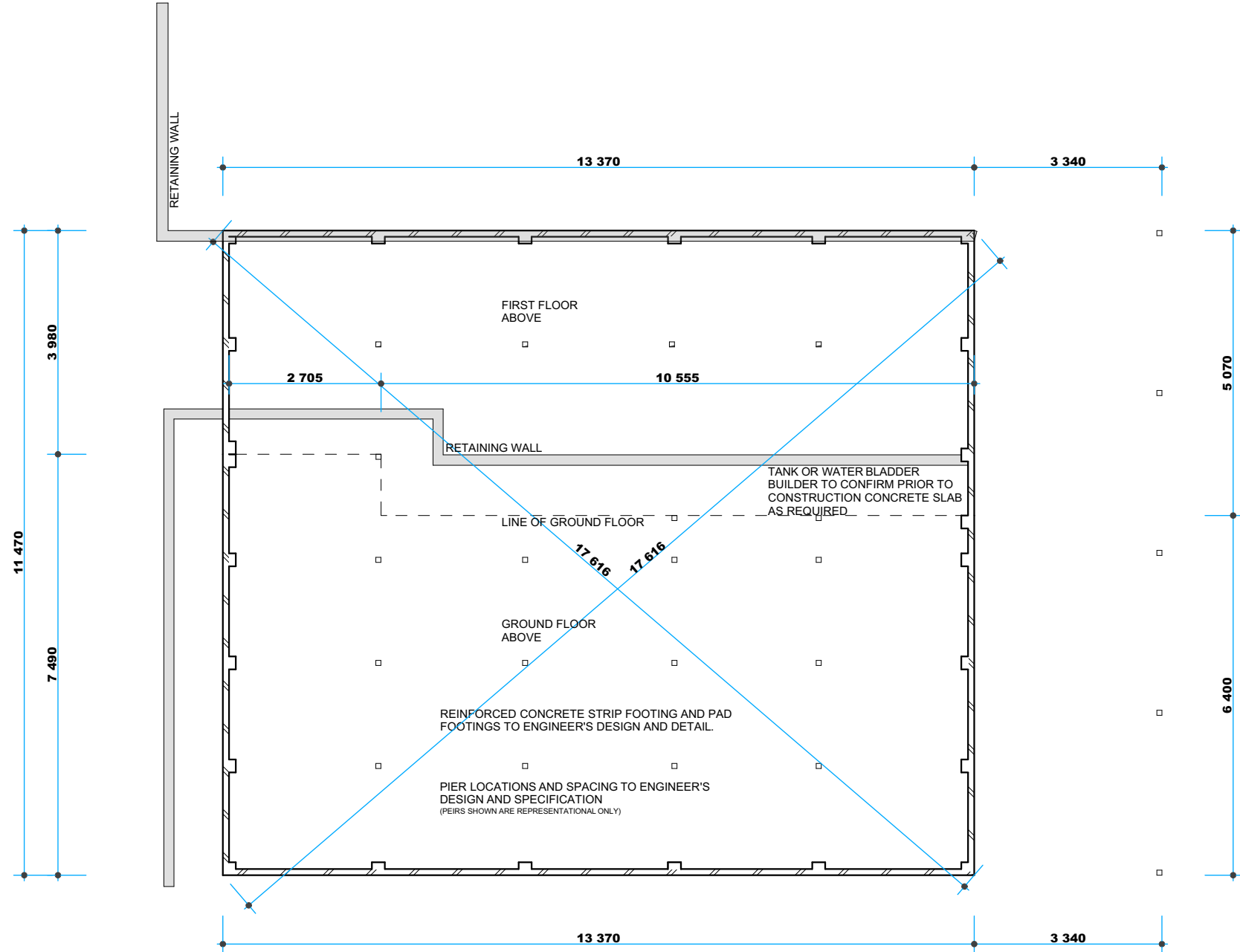
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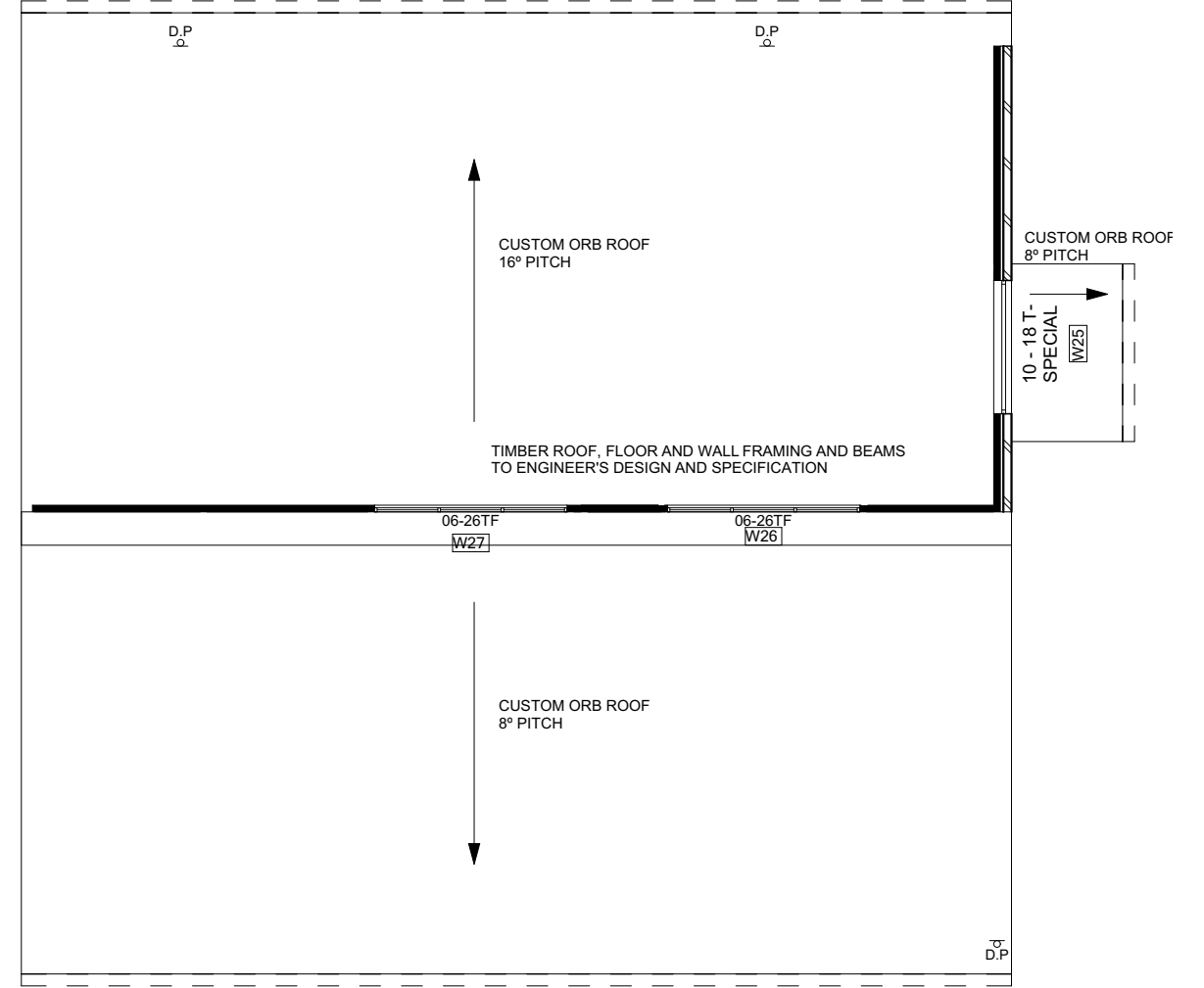
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> Development	> DWELLING		
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1 > SUBFLOOR PLAN
1:100



2 > ROOF PLAN
1:100

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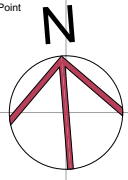
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> DESIGNER

> Drafter
> SN

> Job No.
> 4363

> Revision No.
> CC1

> Drawing No.
> 1.5

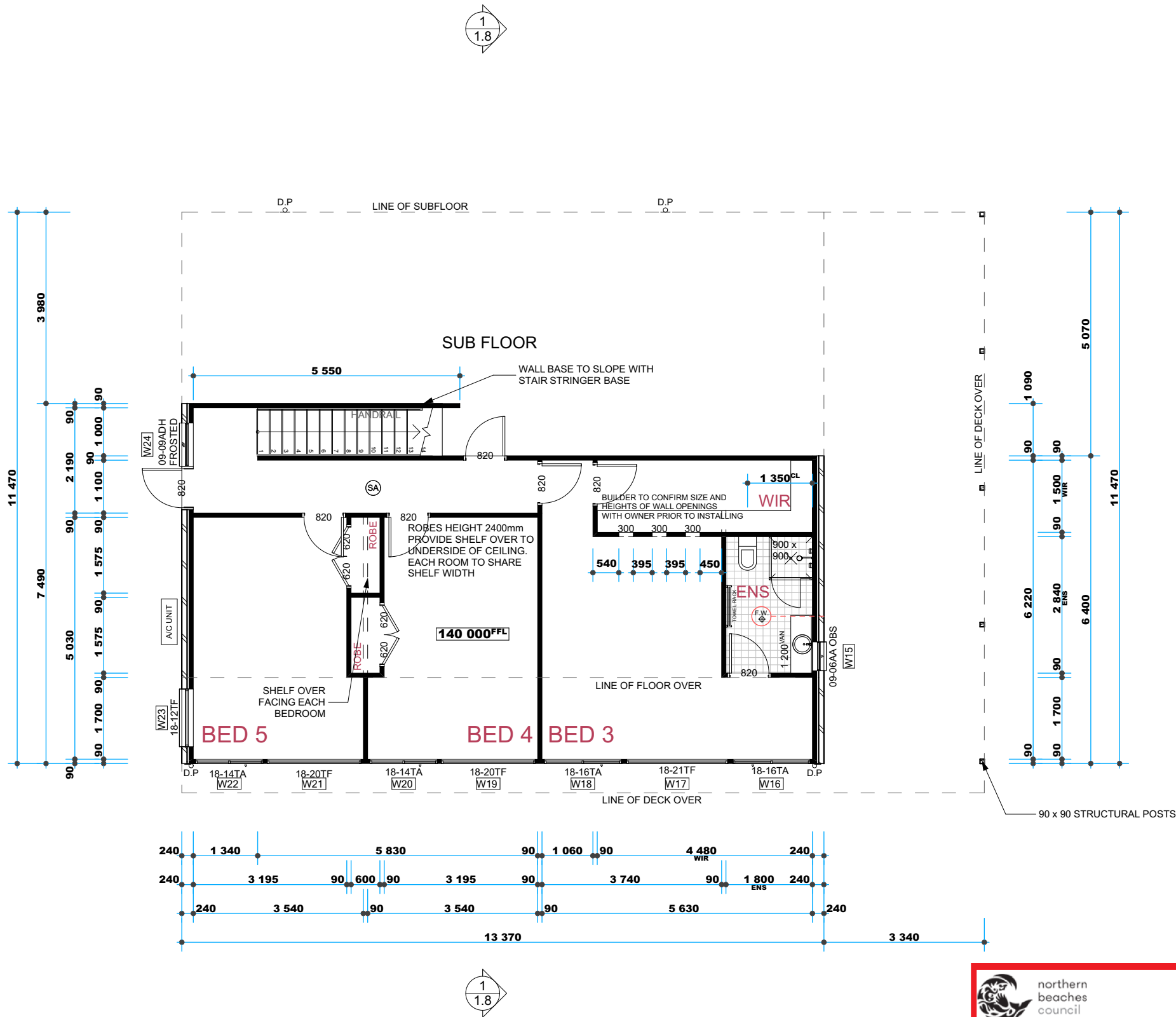
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> GROUND FLOOR PLAN
1:100



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- > 9. BUILDER TO COMPLY WITH CURRENT NCC REQUIREMENTS FOR 3.8.7 CONDENSATION MANAGEMENT, 3.8.7.3 FLOW RATE AND DISCHARGE OF EXHAUST SYSTEMS, 3.8.7.4 VENTILATION OF ROOF SPACES.



DUCTED EXHAUST TO WALL OR EAVE VENT

> CONSTRUCTION MATERIALS

- > FRAME: TIMBER
- > INTERNAL WALLS: PLASTERBOARD
- > EXTERNAL WALLS: FACE BRICK / LIGHTWEIGHT
- > ROOF: CUSTOM ORB
- > FLOOR: SUSPENDED TIMBER FRAME

> RESIDENCE STATISTICS

	AREA (m²):
---	---
GROUND FLOOR LIVING	87.29
FIRST FLOOR LIVING	129.42
DECK	72.44
	289.15 m²

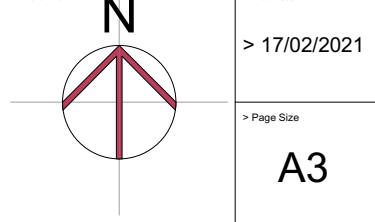
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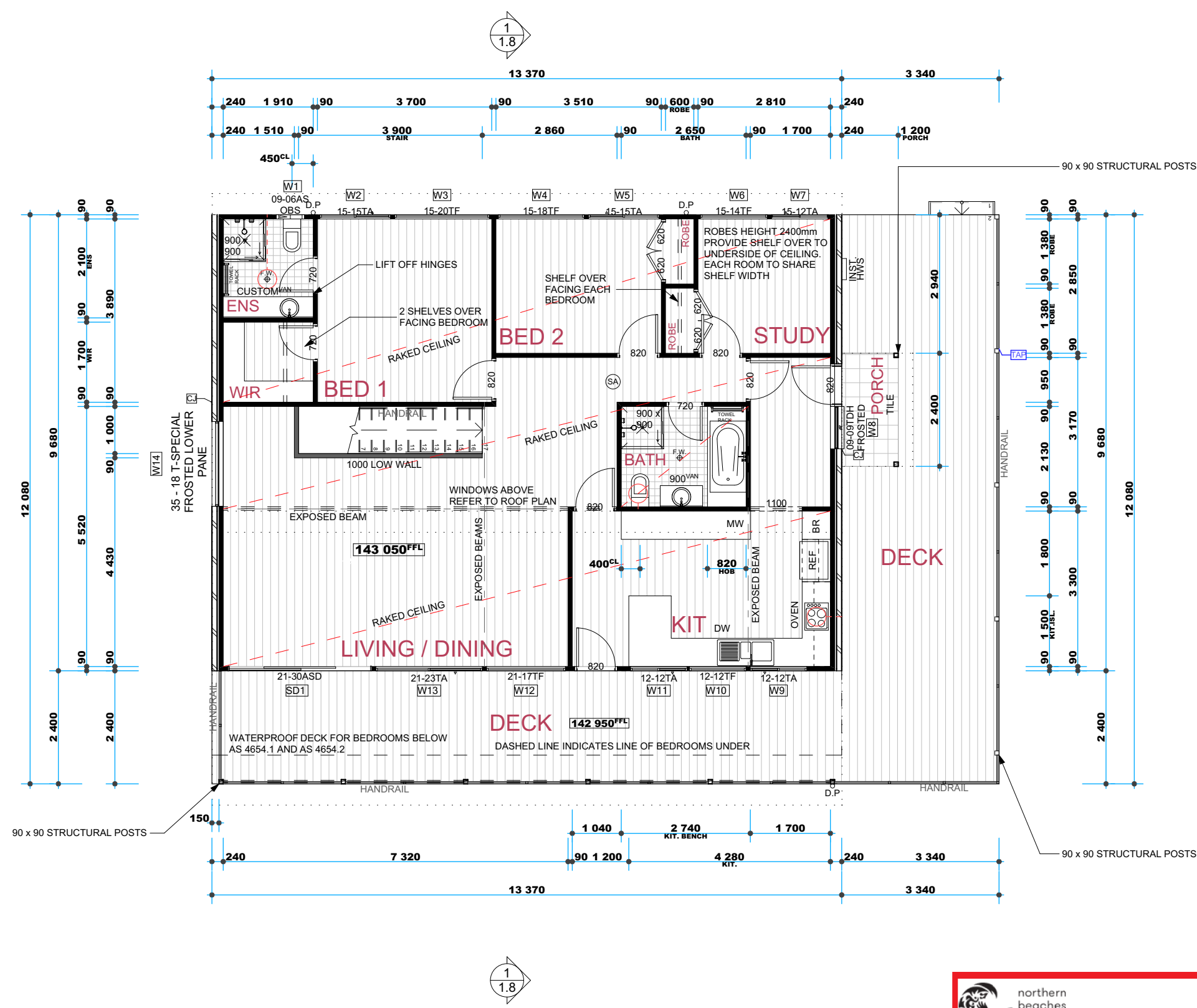
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1 > FIRST FLOOR PLAN
1:100



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 - > ROOF: CUSTOM ORB
 - > FLOOR: SUSPENDED TIMBER FRAME
- > **RESIDENCE STATISTICS**
- | | AREA (m²): |
|---------------------|------------|
| GROUND FLOOR LIVING | 87.29 |
| FIRST FLOOR LIVING | 129.42 |
| DECK | 72.44 |
| | 289.15 m² |

> **CONSTRUCTION MATERIALS**

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	AREA (m²):
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DECK	72.44
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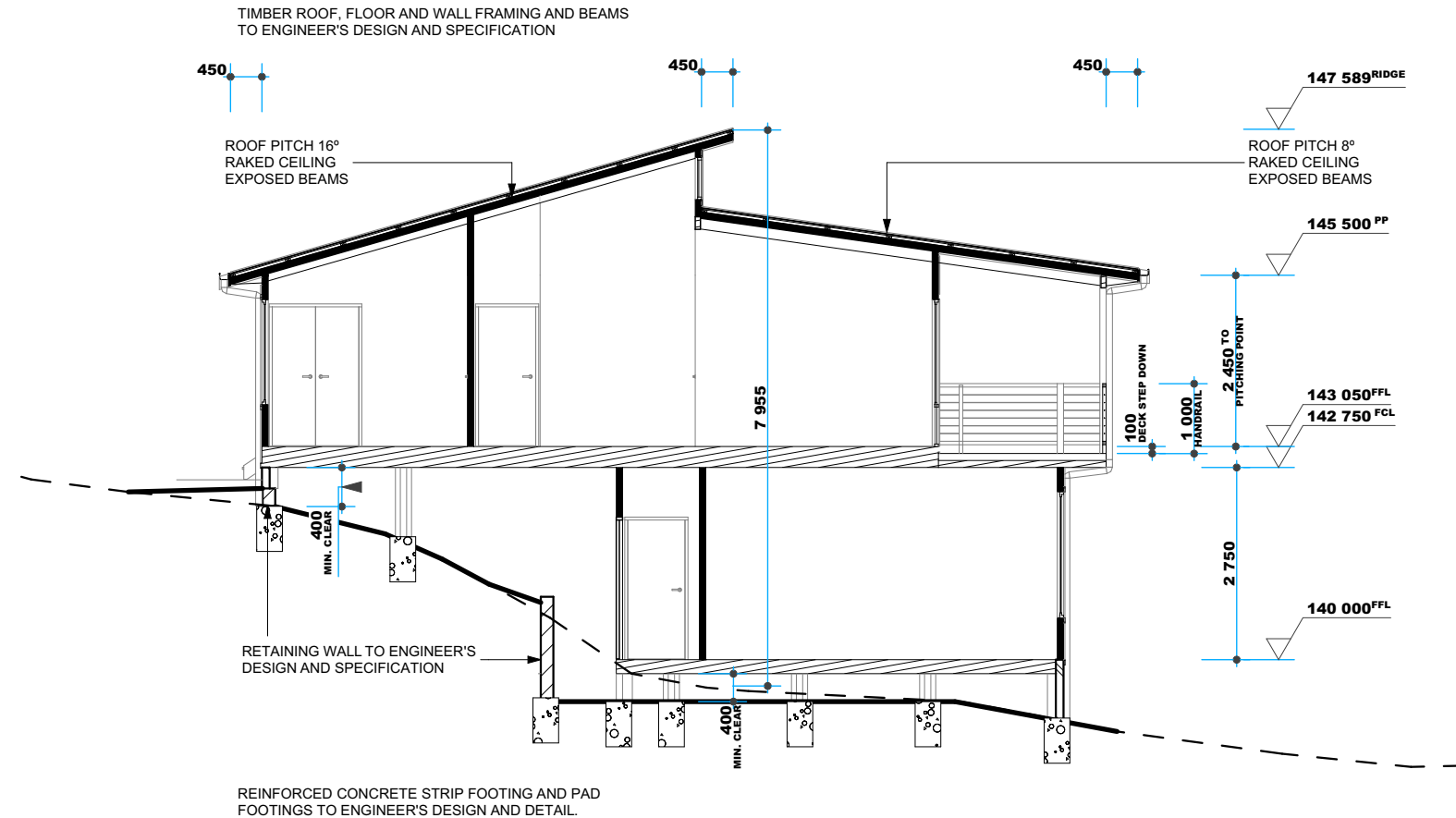
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> SECTION A-A
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> BASIX SPECIFICATIONS

17 ARANDA DRIVE, FRENCHES FOREST, 2086			
SUMMARY OF BASIX COMMITMENTS			
This is a summary of the BASIX Commitments as detailed in the BASIX Certificate. Refer to the BASIX Certificate #1173331S for Complete details. For definitions refer to basix.nsw.gov.au			
PROJECT TYPE			
Project type - Separate Dwelling House			
SITE DETAILS			
Site Area - 702m²			
Roof area - 177m²			
Area of Garden & Lawn - 340m²			
WATER COMMITMENTS			
<i>Fixtures</i>			
4 Star Shower Heads (L/min)	>6.0<=7.5	Star Toilet	4
Star Kitchen Taps	5	Star Basin Taps	5
<i>Alternative Water</i>			
Tank Size	1 500 Ltr	Roof Area:	170m²
<i>Tank Connected To:</i>			
All Toilets	Yes	Laundry W/M Cold Tap	Yes
One Outdoor Tap	Yes		
THERMAL COMFORT COMMITMENTS			
<i>Construction:</i>		<i>Additional Insulation Requirements-</i>	
Sliding or fixed Windows & Glass doors		U= 3.7 ; SHGC= 0.342-0.418	
Hinged Windows & Glass doors		U= 3.7 ; SHGC= 0.315-0.385	
Windows marked "Frosted"/"OBS"		Frosted Glass	
Floor - Concrete Slab on Ground		Nil	
Floor - Suspended floor above enclosed subfloor		R0.60 (or 1.30 including construction)	
Floor - Suspended floor above habitable rooms		Nil	
External Wall - Brick Veneer		R1.86 (or 2.40 including construction)	
External Wall - Cladded Frame		R2.00 (or 2.40 including construction)	
Ceiling - (Raked) Plasterboard		R5.0(up) Minimum Bulk Insulation	
Roof - Custom Orb (Medium Colour)		55mmFoil Backed Blanket; (Unventilated)	
ENERGY COMMITMENTS			
Hot Water	Type	Gas Instantaneous	6 Stars or better EER3.5-4.0 or better EER3.5-4.0 or better EER3.5-4.0 or better EER3.5-4.0 or better
Cooling Systems	Living	1 Phase A/C (Zoned)	
	Bedrooms	Phase A/C (Zoned)	
Heating System	Living	1 Phase A/C (Zoned)	
	Bedrooms	1 Phase A/C (Zoned)	
Ventilation	Bathroom	Individual fan, ducted to roof or façade	Atleast 1 interlocked with light
	Kitchen	Individual fan, ducted to roof or façade	Manual on/off
	Laundry	Natural	N/A
Natural Lighting	Window/Skylight in Kitchen		Yes
	Window/Skylight in Bathrooms/Toilets		Yes to 2
Artificial Lighting (rooms to be primarily lit by flourescent or LED lights)	Number of Bedrooms	6	Dedicated Yes
	Number of Living/Dining rooms	1	Dedicated Yes
	Kitchen	Yes	Dedicated Yes
	All Bathrooms/Toilets	Yes	Dedicated Yes
	Laundry	Yes	Dedicated Yes
	All Hallways	Yes	Dedicated Yes
OTHER COMMITMENTS			
Outdoor clothes line	Yes	Ventilated Refrigerator Space	Yes
Indoor clothes line	No	Photovoltaic system (Min.)	Nil
Stove/Oven	Gas Cook top / Electric Oven		

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> 7. CJ BRICKWORK CONTROL JOINT.

> EXTERNAL FINISHES

> CLADDING: FACE BRICK / LIGHTWEIGHT
> WINDOWS: ALUMINIUM
> HINGED DOORS: AS SELECTED
> ROOF CLADDING: CUSTOM ORB
> RIDGES AND HIPS: COLORBOND
> GUTTERS: COLORBOND
> DOWN PIPES: PVC



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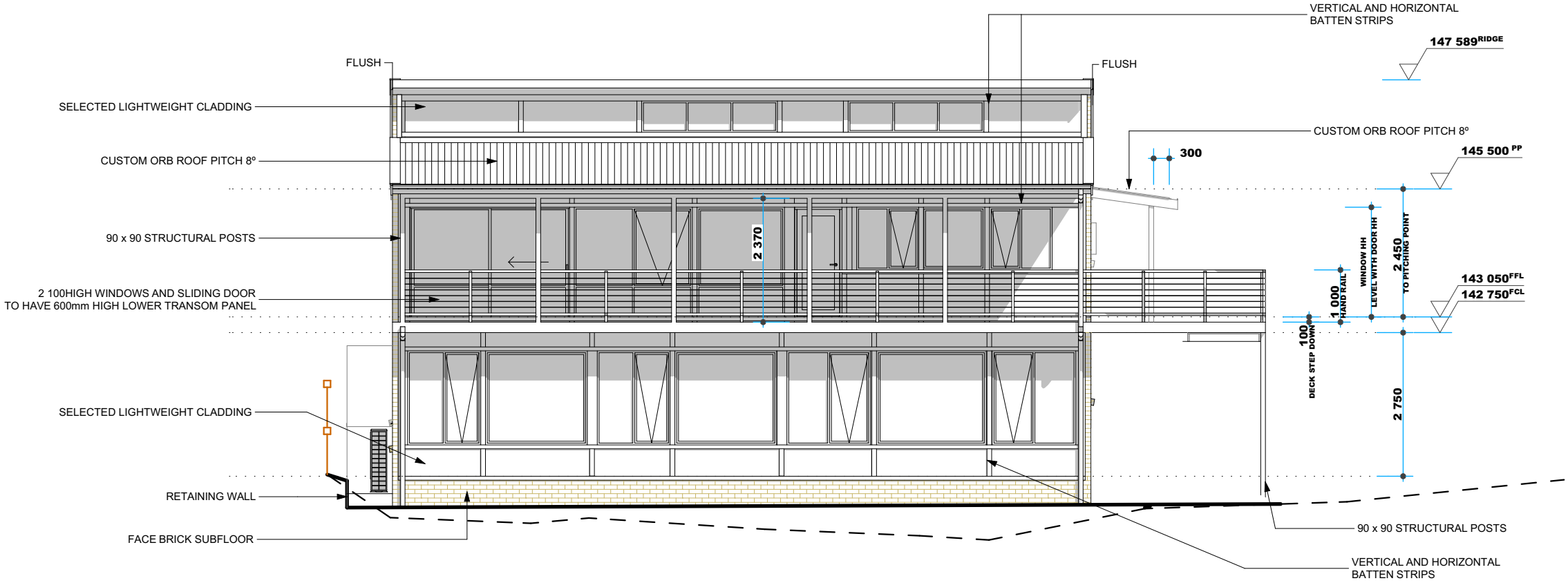
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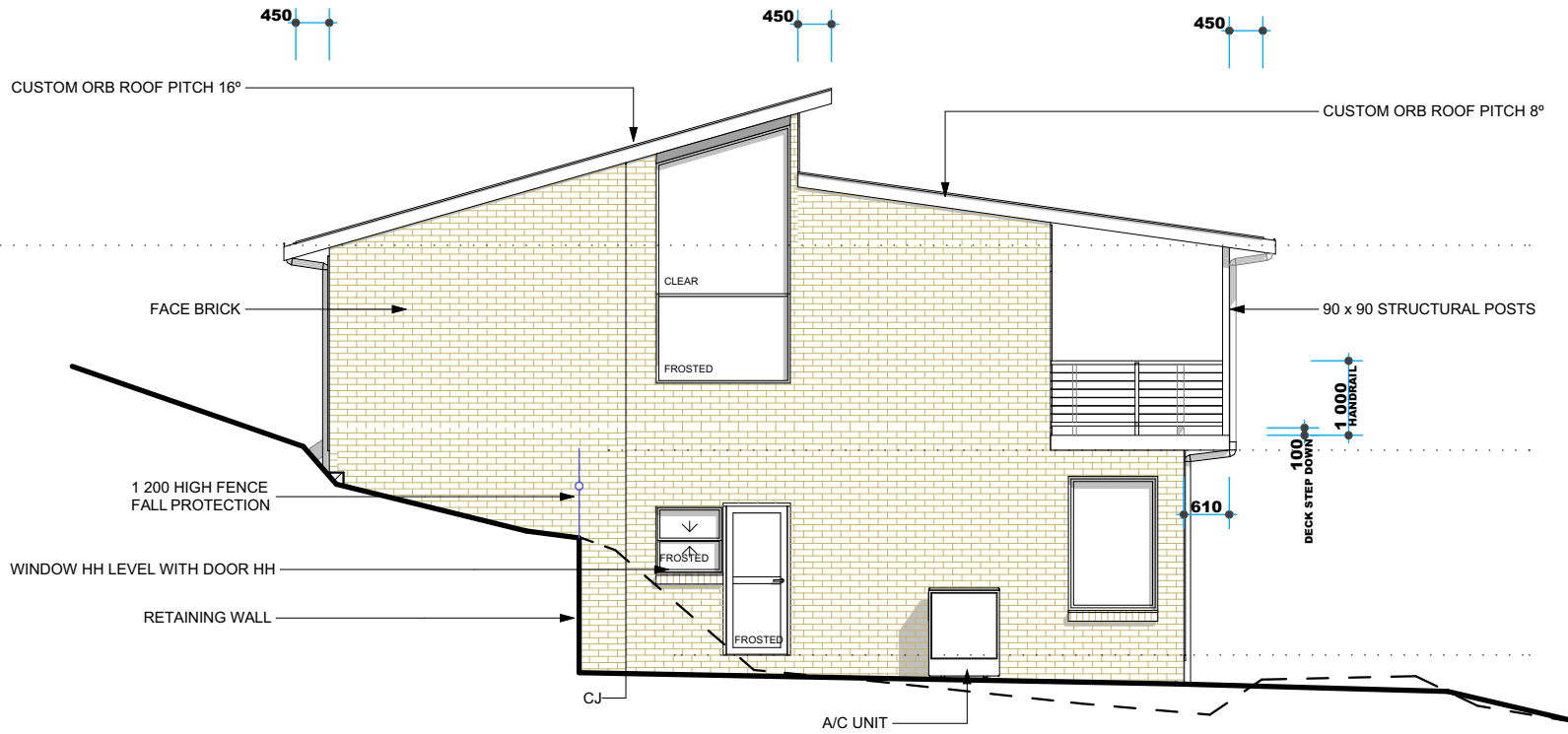
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> SOUTH ELEVATION
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2

> WEST ELEVATION
1:100



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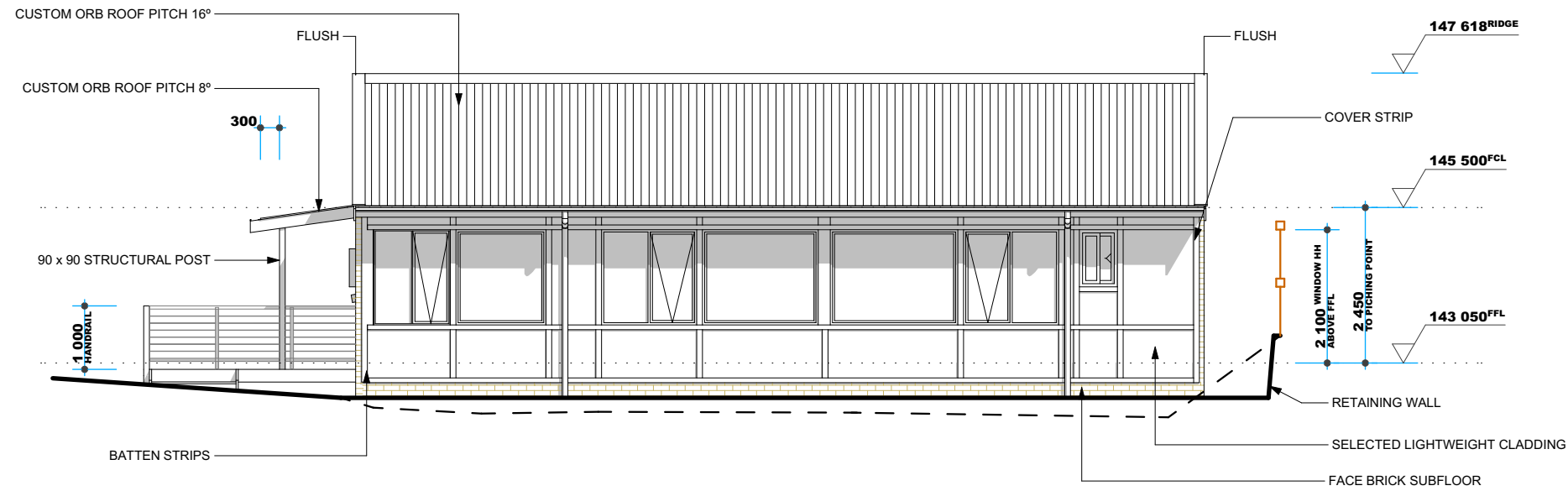
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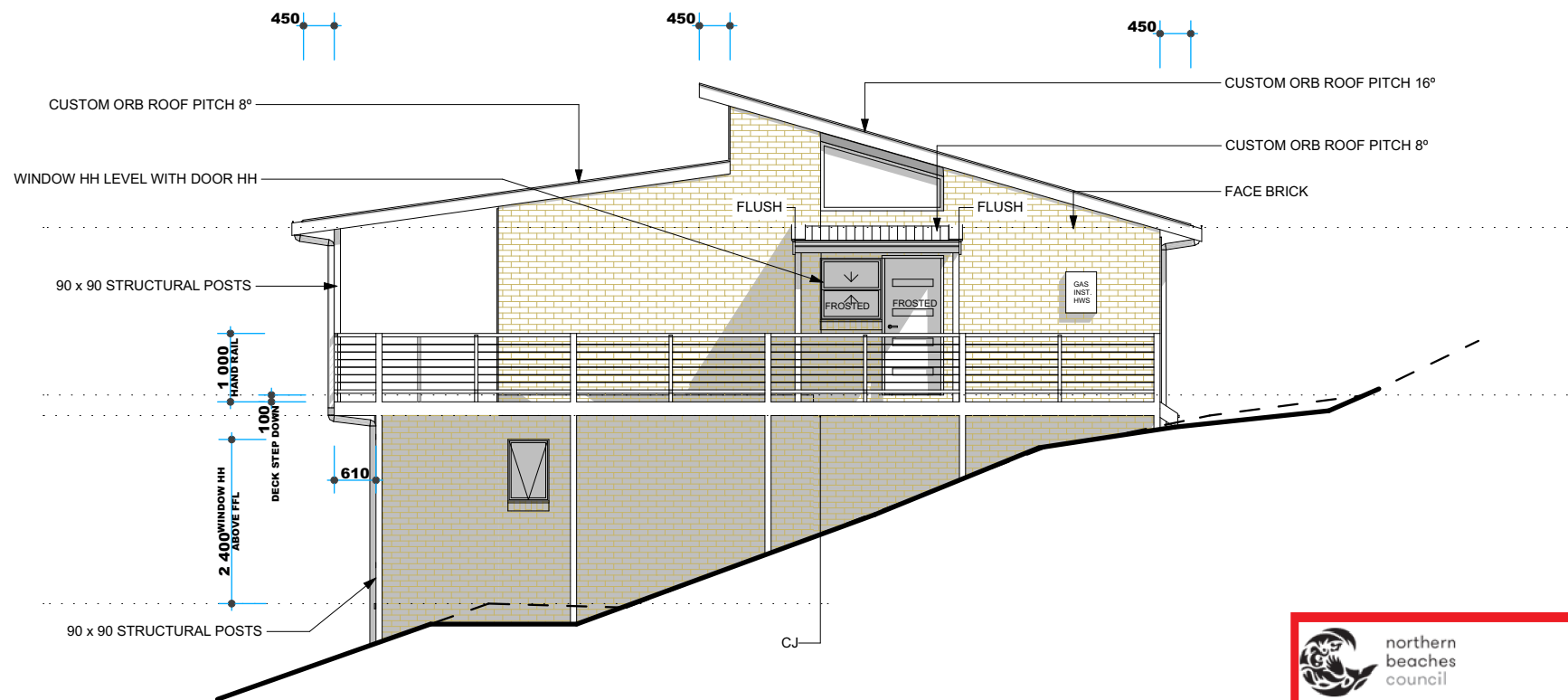
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> NORTH ELEVATION
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> EAST ELEVATION
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