

NORTHERN BEACHES COUNCIL

Waste Management Plan

This plan is to be completed
in accordance with Council's

Waste Management Guidelines

Effective Date: 1 November 2016

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Purpose of the Waste Management Plan

This *Waste Management Plan (WMP)* will detail the arrangements for waste management during all stages of development and occupation.

The WMP must be completed in accordance with the Waste Management Guidelines (Guidelines).

A completed WMP is a mandatory requirement for any Development Application (DA) for which Council is the Consent Authority. DAs that are submitted without a completed WMP will be rejected or refused by Council.

Structure of the Waste Management Plan

All applicants are required to complete the 'Applicant and Project Details' part of the WMP and include it with the relevant Sections that apply to their proposed development.

The WMP is divided into Sections and applicants are only required to complete the relevant Sections in accordance with the Guidelines. The table below identifies which Sections are relevant to which development types.

For example, if the proposed development was to include demolition of an existing structure and construction of a single dwelling, the relevant Sections would be Sections 1, 2 and 3.

Section	Development Type [^]
Section 1 – Demolition	All
Section 2 – Construction	All
Section 3 – On-going waste management for one or two dwellings	One or two dwelling developments Mixed-use developments containing one or two dwellings
Section 4 – On-going waste management for three or more dwellings	Three or more dwelling developments Mixed-use developments containing three or more dwellings
Section 5 – On-going waste management for non-residential and mixed use developments	Commercial developments Industrial developments Mixed-use developments
Section 6 – Private roadway developments	Private roadways

[^]Note: the definitions of the development types are provided in Section vi of the Introduction to the Guidelines

Property and Project Details

Complete this page and the relevant Sections that apply to your proposed development.

Property Details

Lot No:	28
Deposited Plan (DP) No: or Strata Plan (SP) No:	203735
Unit No:	
House No:	16
Street:	COSTER STREET
Suburb:	FRENCHS FOREST
Postcode:	2086

Project Details

Description of proposed development:	New roof over existing deck Ensuite addition to existing shed. Side addition to house under existing patio roof.
Structures to be demolished:	Decking under patio roof, concrete slab under that decking, patio roof, existing external wall and window, approx 900 besser blocks to insert door.

Section 1 – Demolition

This section must be completed in accordance with ‘Chapter 1 – Demolition’ of the Waste Management Guidelines

MATERIALS ON SITE	DESTINATION <i>Evidence such as weighbridge dockets and invoices for waste disposal or recycling must be retained on site for inspection</i>					
	REUSE AND RECYCLING (MOST FAVOURABLE)			DISPOSAL (LEAST FAVOURABLE)		
Types of Waste Material	Estimated Volume (m ³) or Weight (t)	ONSITE RE-USE ✓ Specify how material will be reused on site	OFFSITE RECYCLING ✓ Recycling Outlet (RO) ✓ Waste Transport Contractor (WTC)		OFFSITE DISPOSAL ✓ Specify landfill site (LS) ✓ Specify Waste Transport Contractor (WTC)	
			WTC	RO	WTC	LS
Excavated Material	NIL					
Garden Organics	NIL					
Bricks	NIL				OPTION NOT AVAILABLE: These materials must be re-used or separated on or off site and sent for recycling.	
Tiles	NIL					
Concrete	1.8 tonnes		1.8 tonnes			
Timber	0.3 tonnes		0.3 tonnes			
Plasterboard	NIL					
Metals	NIL					
Asbestos	NIL					
Other waste (please specify)	polycarb roofing or joist				0.01 tonne kimberli	
Estimated Total % Recovered	99%					

Refer to the estimation tables in ‘Chapter 1 – Demolition’ of the Guidelines for assistance in completing this table.

The applicant must submit a Site Plan showing the structures to be demolished and storage areas for waste and construction materials (if the development also includes construction).

WMP Checklist

Have you included the following:	Applicant Tick
<p>A site plan showing:</p> <ul style="list-style-type: none"> • The structures to be demolished. • Storage areas for waste to be reused, recycled, or disposed of. • Materials storage (if the development also includes construction) 	<input checked="" type="checkbox"/>
<p>The table on the previous page, completed in accordance with 'Chapter 1 – Demolition' in the guidelines.</p>	<input checked="" type="checkbox"/>

Section 2 – Construction

This section must be completed in accordance with ‘Chapter 2 – Construction’ of the Waste Management Guidelines

MATERIALS ON SITE	DESTINATION					
	<i>Evidence such as weighbridge dockets and invoices for waste disposal or recycling must be retained on site for inspection</i>					
Types of Waste Material	Estimated Volume (m ³) or Weight (t)	REUSE AND RECYCLING (MOST FAVOURABLE)			DISPOSAL (LEAST FAVOURABLE)	
		ONSITE RE-USE ✓ Specify how material will be reused on site	OFFSITE RECYCLING ✓ Specify recycling outlet (RO) ✓ Specify Waste Transport Contractor (WTC)		OFFSITE DISPOSAL ✓ Specify landfill site (LS) ✓ Specify Waste Transport Contractor (WTC)	
* Please specify			WTC	RO	WTC	LS
Excavated Material	2.0m ³	Reuse in garden				
Garden Organics	NIL					
Bricks	NIL				OPTION NOT AVAILABLE: These materials must be re-used or separated on or off site and sent for recycling.	
Tiles	NIL					
Concrete	≈ 2m ³	Reuse in garden				
Timber*	≈ 5m ³	Reuse in garden				
Plasterboard	≈ 0.1m ³		≈ 0.1m ³			
Metals*	NIL					
Asbestos	NIL					
Other waste*	NIL					
Estimated Total % Recovered	100%					

Refer to the estimation tables in ‘Chapter 2 – Construction’ of the Guidelines for assistance in completing this table.

The applicant must submit a Site Plan showing the structures to be demolished and storage areas for waste and construction materials (if the development also includes construction).

WMP Checklist

Have you included the following:	Applicant Tick
A site plan showing: <ul style="list-style-type: none"> • The structures to be demolished. • Potential storage areas for waste to be reused, recycled, or disposed of. • Materials storage 	<input checked="" type="checkbox"/>
The table on the previous page, completed in accordance with 'Chapter 2 – Construction' in the guidelines.	<input checked="" type="checkbox"/>

Section 3 – On-going waste management for one or two dwellings

This section is to be completed in accordance with 'Chapter 3 – On-going waste management for one or two dwellings' of the Waste Management Guidelines.

Type of development: House renovation

Number of dwellings: One

WMP Checklist

Do your architectural and landscape plans include the following:	Applicant Tick
Waste Storage Area design requirements (Chapter 3.2.)	<input checked="" type="checkbox"/>
Waste Storage Area location requirements (Chapter 3.3.)	<input checked="" type="checkbox"/>

Section 4 – On-going waste management for three or more dwellings

This section is to be completed in accordance with ‘Chapter 4 – On-going waste management for three or more dwellings’ of the Waste Management Guidelines.

Type of development: _____

Number of dwellings: _____

WMP Checklist

Do your architectural/landscape plans include the following:	Applicant Tick	N/A
Waste Storage Area design requirements (Chapter 4.2.)	<input type="checkbox"/>	-
Waste Storage Area location requirements (Chapter 4.3.)	<input type="checkbox"/>	-
Pathway, access and door requirements (Chapter 4.4.)	<input type="checkbox"/>	-
Clean-up waste requirements (Chapter 4.5.)	<input type="checkbox"/>	<input type="checkbox"/>
Kerbside (on-street) waste collection requirements (Chapter 4.6.)	<input type="checkbox"/>	<input type="checkbox"/>
On-site (off-street) waste collection requirements (Chapter 4.7.)	<input type="checkbox"/>	<input type="checkbox"/>

Section 5 – On-going waste management for non-residential and mixed use developments

This section is to be completed in accordance with ‘Chapter 5 – On-going waste management for non-residential developments’ and ‘Chapter 6 – On-going waste management for mixed use developments’ of the Waste Management Guidelines.

Type of development: _____

Number of commercial premises: _____

Number of Waste Storage Areas: _____

WMP Checklist

Do your architectural/landscape plans include the following:	Applicant Tick	N/A
Waste Storage Area design requirements (Chapter 5.2.)	<input type="checkbox"/>	-
Waste Storage Area location requirements (Chapter 5.3.)	<input type="checkbox"/>	-

Section 6 – Private roadway developments

This section is to be completed in accordance with 'Chapter 7 – Private roadway developments' of the Waste Management Guidelines.

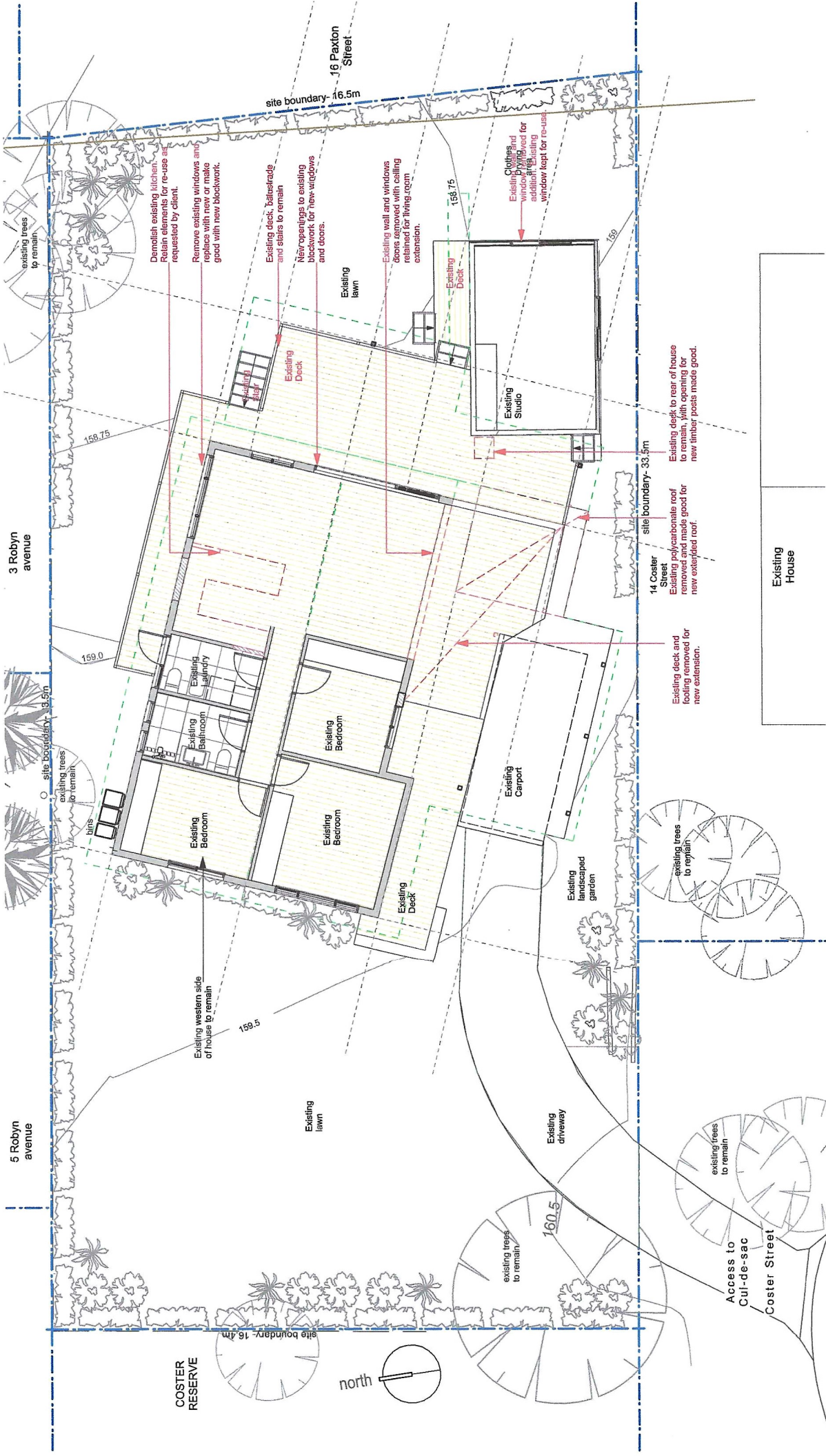
Type of development: _____

Number of dwellings: _____

(Only applicable for sub-divisions)

WMP Checklist

Do your sub-division plans include the following:	Applicant Tick	N/A
Council's waste vehicle design requirements (Chapter 7.2.)	<input type="checkbox"/>	<input type="checkbox"/>
Waste Storage Area requirements (Chapter 7.3.)	<input type="checkbox"/>	<input type="checkbox"/>



Notes

- All work to conform to NCC2022 of Australia and NSW supplement and all current relevant AS codes. Refer specification. All dimensions are in millimetres and figured dimensions take precedence over scaling.
- If any discrepancies are found, Footings and slabs to comply with current AS 2870 and accessories with accompanying Light and ventilation to comply with part F4 of the Building Code of Australia.
- All wall framing to comply with current AS 1684 light timber framing code and relevant standards.
- Provide insulation to all wall cavities in external walls to BASIX requirements.
- Smoke alarms to be installed in accordance with Australian building code and local fire regulations. Confirm on site prior to installation.
- All positions of light fittings to be confirmed on site prior to installation.
- Provide all windows, doors, glazing, sheathing and sashes and fittings to comply with BASIX requirements.
- New slabs and balustrades to comply with NCC Parts 3.9.1 and 3.9.2 and AS 1687.

Refer structural and absement engineers drawings. Refer the architectural building specification.

Materials

- New Timber framed posifloor structure
- New Concrete/Brick
- New Glazing
- New Brickwork/Blockwork
- New Metal roofing / Metalwork

Demolition Plan **DA04**

Drawing: **PRELIMINARY** Date: / /

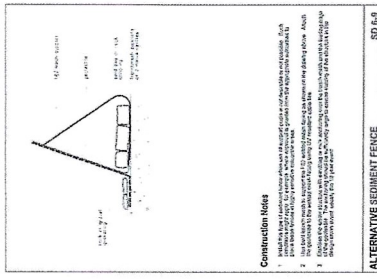
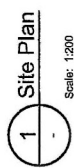
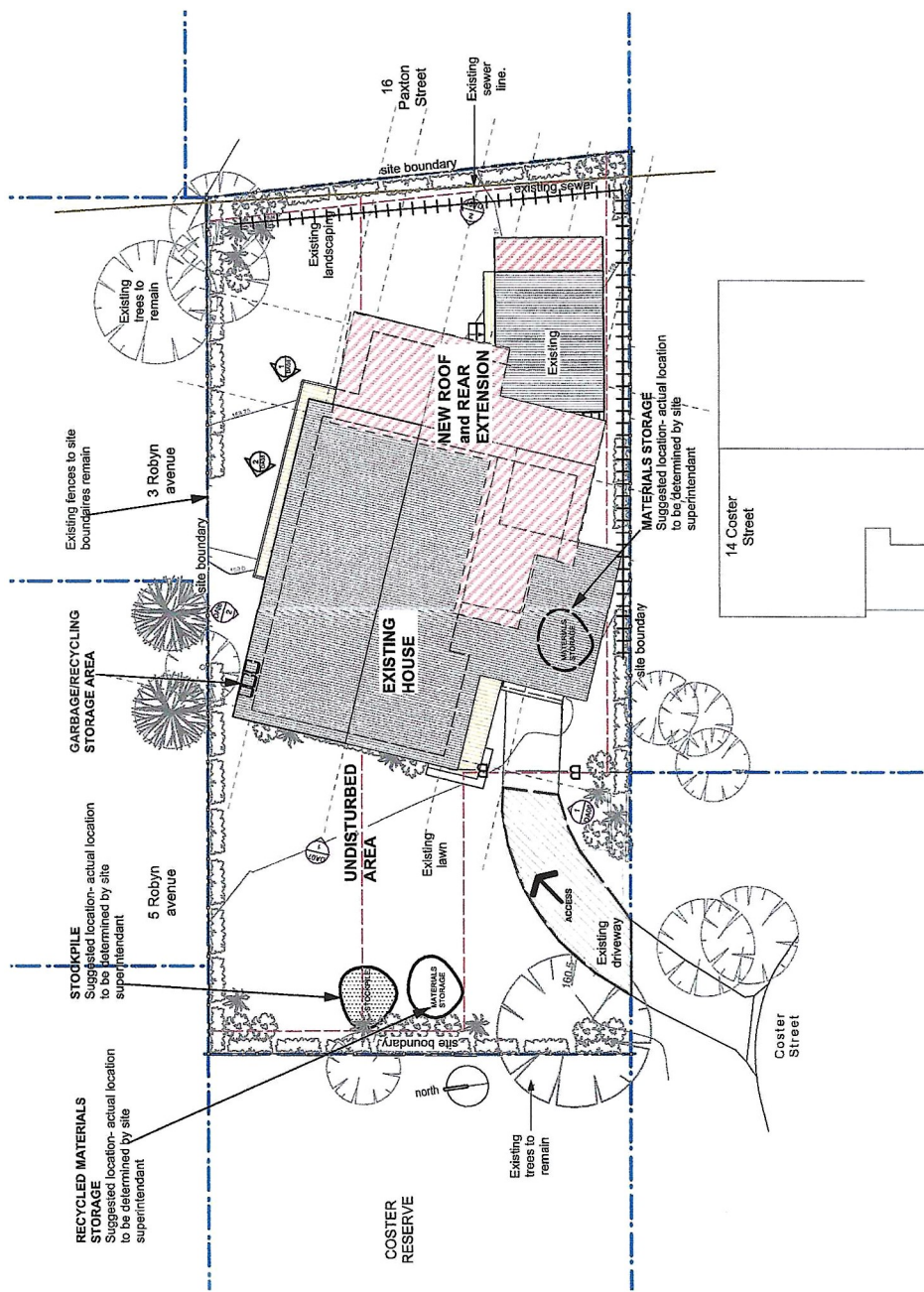
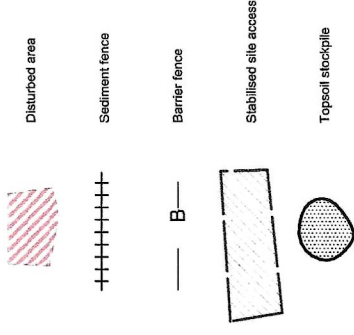
No. Issue DA application

Alterations and Additions for
H & T Cooney

16 Coster Street Forest NSW
Development Application

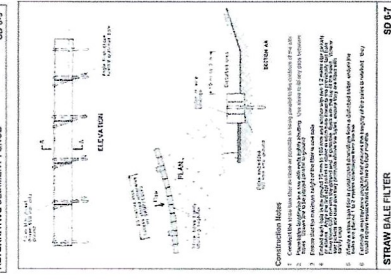
Date : 05-02-25 Drawn: BH Scale: 1:100 UNO, A3

LEGEND



Construction Notes

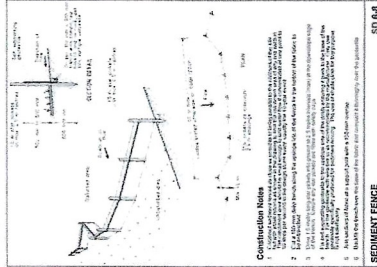
1. Refer to the construction notes on the drawings for details of the construction of the building.
2. All work shall be done in accordance with the Australian Standards (AS) and New South Wales (NSW) Building Code of Australia (BCA).
3. The contractor shall be responsible for obtaining all necessary permits and approvals from the relevant authorities.
4. The contractor shall ensure that all work is completed in accordance with the approved drawings and specifications.
5. The contractor shall ensure that all work is completed in a timely and efficient manner.
6. The contractor shall ensure that all work is completed in a safe and sound manner.



ALTERNATIVE SEDIMENT FENCE

Construction Notes

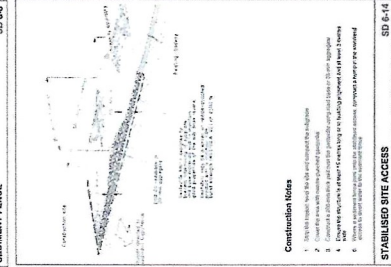
1. Refer to the construction notes on the drawings for details of the construction of the building.
2. All work shall be done in accordance with the Australian Standards (AS) and New South Wales (NSW) Building Code of Australia (BCA).
3. The contractor shall be responsible for obtaining all necessary permits and approvals from the relevant authorities.
4. The contractor shall ensure that all work is completed in accordance with the approved drawings and specifications.
5. The contractor shall ensure that all work is completed in a timely and efficient manner.
6. The contractor shall ensure that all work is completed in a safe and sound manner.



SEDIMENT FENCE

Construction Notes

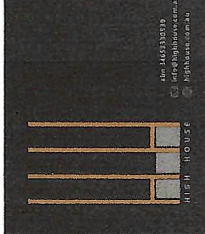
1. Refer to the construction notes on the drawings for details of the construction of the building.
2. All work shall be done in accordance with the Australian Standards (AS) and New South Wales (NSW) Building Code of Australia (BCA).
3. The contractor shall be responsible for obtaining all necessary permits and approvals from the relevant authorities.
4. The contractor shall ensure that all work is completed in accordance with the approved drawings and specifications.
5. The contractor shall ensure that all work is completed in a timely and efficient manner.
6. The contractor shall ensure that all work is completed in a safe and sound manner.



STABILISED SITE ACCESS

Construction Notes

1. Refer to the construction notes on the drawings for details of the construction of the building.
2. All work shall be done in accordance with the Australian Standards (AS) and New South Wales (NSW) Building Code of Australia (BCA).
3. The contractor shall be responsible for obtaining all necessary permits and approvals from the relevant authorities.
4. The contractor shall ensure that all work is completed in accordance with the approved drawings and specifications.
5. The contractor shall ensure that all work is completed in a timely and efficient manner.
6. The contractor shall ensure that all work is completed in a safe and sound manner.



Alterations and Additions for
H & T Cooney
16 Coster Street Frenches Forest NSW
Development Application
 Date : 05-02-25 Drawn: BH Scale: 1:200 @ A3

Sediment & Erosion Control Plan, Waste Management Plan DA10
 Drawing:
PRELIMINARY
 DA application / / /
 No. Issue Date

Notes

All work to conform to NCC2022 of Australia and NSW supplement and all current relevant AS codes. Refer specification. All dimensions are in millimetres and figured to the nearest millimetre. All dimensions on site and in drawings shall be in accordance with the approved drawings and specifications. If any discrepancies are found, the contractor shall refer to the approved drawings and specifications. Footings and slabs to comply with current Australian Standards (AS) and NSW Building Code of Australia (BCA). Light and ventilation to comply with part F4 of the Building Code of Australia.

All wall framing to comply with current AS 1684 light timber framing code and relevant specifications. Provide insulation to all wall cavities in external walls to BASX requirements. Smoke alarms to be installed in accordance with the Australian Standards (AS) and NSW Building Code of Australia (BCA). All positions of light fittings to be confirmed on site prior to installation. All positions of light fittings to be confirmed on site prior to installation. All positions of light fittings to be confirmed on site prior to installation. All positions of light fittings to be confirmed on site prior to installation. All positions of light fittings to be confirmed on site prior to installation.

Refer structural and stormwater engineers drawings. Refer fire structural building specification.

Materials

- New Timber framed post/beam structure
- New Concrete/Paving
- New Glazing
- New Brickwork/blockwork
- New Metal roofing / Metalwork