DRAWING SCHEDULE

| DA-000 | COVER SHEET | |
|--------|---------------------------------|--|
| DA-050 | SITE ANALYSIS | |
| DA-100 | SITE PLAN | |
| DA-101 | DEMOLITION PLAN | |
| DA-110 | FLOOR PLAN - GROUND FLOOR | |
| DA-111 | FLOOR PLAN - LEVEL 1 | |
| DA-112 | ROOF PLAN | |
| DA-200 | PROPOSED NORTH ELEVATION | |
| DA-201 | PROPOSED SOUTH ELEVATION | |
| DA-202 | PROPOSED ELEVATIONS | |
| DA-203 | PROPOSED LEWIS STREET ELEVATION | |
| DA-300 | SECTIONS - SHEET 01 | |
| DA-301 | SECTIONS - SHEET 02 | |
| DA-302 | SECTION - SHEET 03 | |
| DA-400 | PERSPECTIVES 3D VIEW - 01 | |
| DA-401 | PERSPECTIVES 3D VIEW - 02 | |
| DA-402 | MATERIAL PALETTE | |
| DA-600 | SITE AREA CALCULATIONS | |
| DA-800 | SHADOW DIAGRAMS 21 JUNE | |
| DA-801 | SHADOW DIAGRAMS 21 SEPTEMBER | |
| DA-802 | SHADOW DIAGRAMS 21 DECEMBER | |
| DA-900 | WASTE MANAGEMENT PLAN | |
| DA-901 | NOTIFICATION PLAN | |
| 23 | | |

4.8

NATIONWIDE
HOUSE
ENERGY RATING SCHEME

69.9 MJ/m²

Certificate Number: Assessor Name: Accreditation number: Certificate date: Dwelling address:

4 Lewis Street Balgowlah Heights NSW 2093

www.nathers.gov.au



Jennifer Edwards

VIC/BDAV/17/1795

DEVELOPMENT APPLICATION

Proposed New Dwelling

4 Lewis Street, Balgowlah Heights 2093

SEC 2 / DP 18143

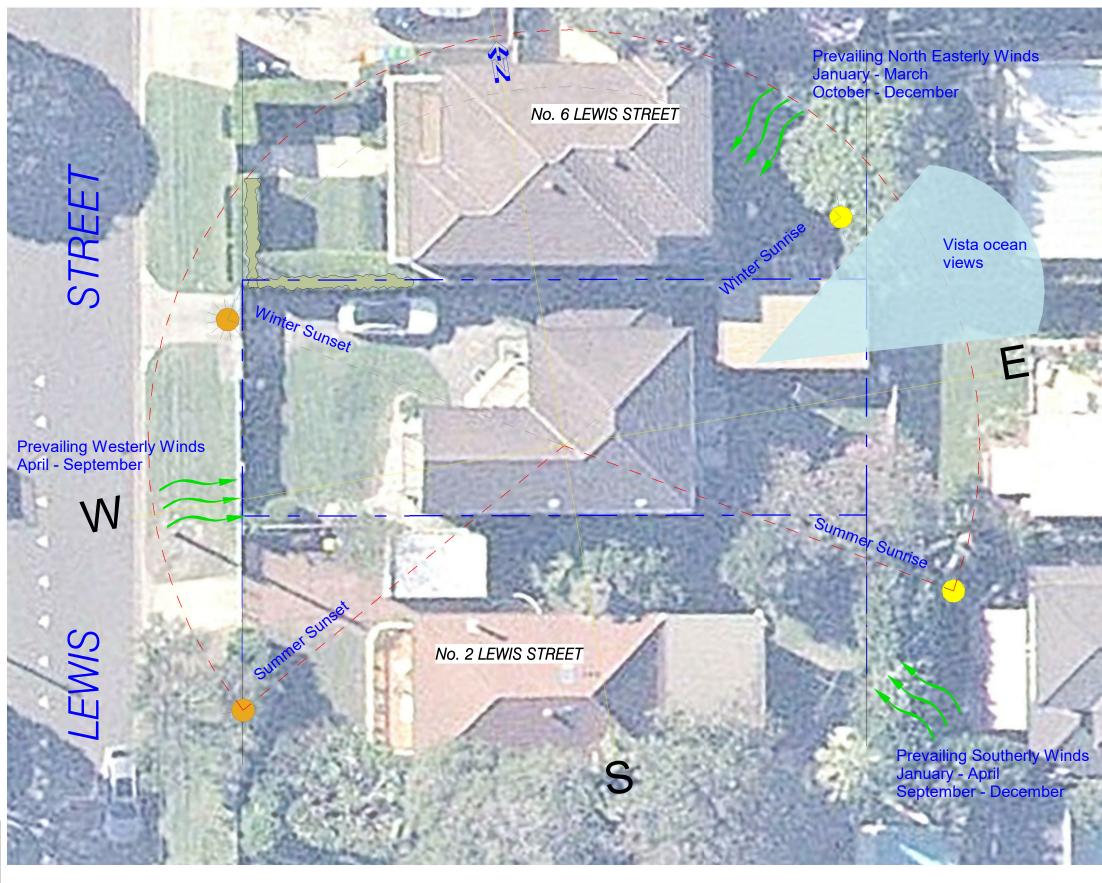


Prepared for Mr. Koji Nedachi

January 2020

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| | Nominated Architects: Damian Barker (8192), John Gow (6790 | |
|----|---|----------------------|
| | T 61 2 9290 2722 F 61 2 9290 1150 Jackson Teece Chesterman Willis Pty Ltd Trading as Jackson Teece ABN 15 083 837 290 | E sydney@jacksonte |
| | | w South Wales 2000 A |
| on | Concept Design Architect | |

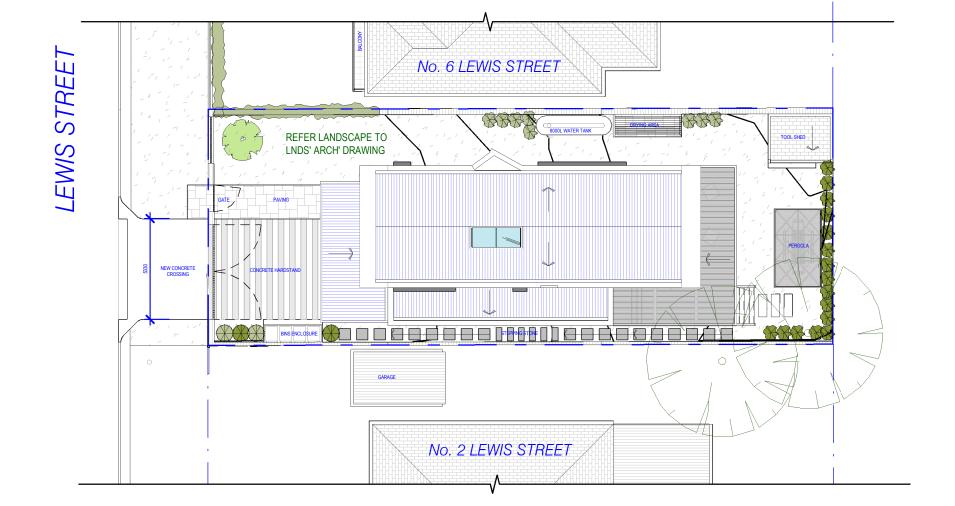


| | project No. | project | | scale | date |
|-----|-------------|---------|-----------------------------------|-------------|------------|
| | AP-19-076 | | 4 Lewis Street, Balgowlah Heights | 1 : 200 | 30/01/2020 |
| | | drawing | | drawing no. | Revision |
| lio | | | SITE ANALYSIS | DA-050 | |

- <u>General Notes:</u>
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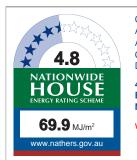
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- Windows frame type as selected to manuf' spec'
- Plasterboard lining to internal stud walls & ceilings
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| | NatHERS F | Requirer | ments |
|--|--------------|----------|--|
| External Walls Construction | Insulatio | ח | Colour |
| Rendered fibro cement cladding | R2.5 | | Light |
| (first level) | | | |
| Aluminium cladding (ground level) | R2.5 | | Dark |
| Aluminium cladding (between W11 | R2.5 | | Medium |
| and 12 and W7 and W8). | | | |
| Internal Wall Construction | Insulatio | n | |
| Plasterboard on studs (all internal walls) | R2.5 | | NA |
| Roof and Ceiling | Insulatio | ח | |
| Construction | | | |
| Metal roof | R4.0 + R1. | .3 | Dark |
| | Anticon blan | ıket | |
| Floor Construction | Insulatio | n | Covering |
| Garage and foyer: Concrete slab | None | | Timber in foyer, kitchen, living roon |
| Ground floor elsewhere: suspended | None | | and hallways. Tiles in laundry, toile |
| concrete slab | | | bathroom and ensuite. Carpet in |
| First floor: Timber | R2.0 | | other areas. |
| Windows Glass and frame type | U | SHGC | Area m2 |
| Windows | | | |
| Aluminium, single glazed, low-e | 5.40 | 0.58 | W5, W9, W10 |
| Aluminium, single glazed, low-e | 5.60 | 0.41 | W1, W3, W4, W13 |
| Aluminium, single glazed, low-e | 5.40 | 0.49 | W11, W12 |
| Timber, single glazed, low e | 3.70 | 0.38 | Entry door fixed window |
| Glass bricks | 3.10 | 0.65 | Storage room and garage |
| Aluminium, single glazed, low-e | 5.60 | 0.36 | D3 Laundry door, W6, W7, W8 |
| Aluminium, single glazed low-e | 4.90 | 0.33 | All sliding doors (D2, D5, D6, D7) |
| Aluminium, single glazed, low-e | 4.80 | 0.59 | W2 |
| Skylight | | | |
| Aluminium, double glazed, low-e | 2.66 | 0.24 | |
| U and SHGC values are according to NFI | | | of the same opening type (Eg; fixed, sliding) ed and the SHGC is within 5% of the above |
| Fixed shading – Eaves | | As draw | |
| Fixed shading - Other | | As draw | |
| rixed shading – Other | | | |

- All downlights and exhaust fans are to be sealed.
- All windows and doors are to be weather stripped as per NCC.
- Aside from the gas heater, no loss of insulation arising from ceiling penetrations has been simulated.



Certificate Number: Assessor Name: Accreditation number: Certificate date: Dwelling address:

4 Lewis Street **Balgowlah Heights** NSW 2093

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QV5V2K9GTD

Jennifer Edwards

 $1 \frac{\text{SITE PLAN}}{1:200}$





Concept Design Architect

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Jackson Teece Chesterman Willis Pty Ltd

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| | project No. | project | | scale | date |
|-------|-------------|---------|-----------------------------------|------------|------------|
| | AP-19-076 | | 4 Lewis Street, Balgowlah Heights | 1 : 200 | 30/01/2020 |
| ĺ | | drawing | | drawing no | Revision |
| مالم، | | | SITE PLAN | DA-100 | |
| udio | | ı | | 1 | |

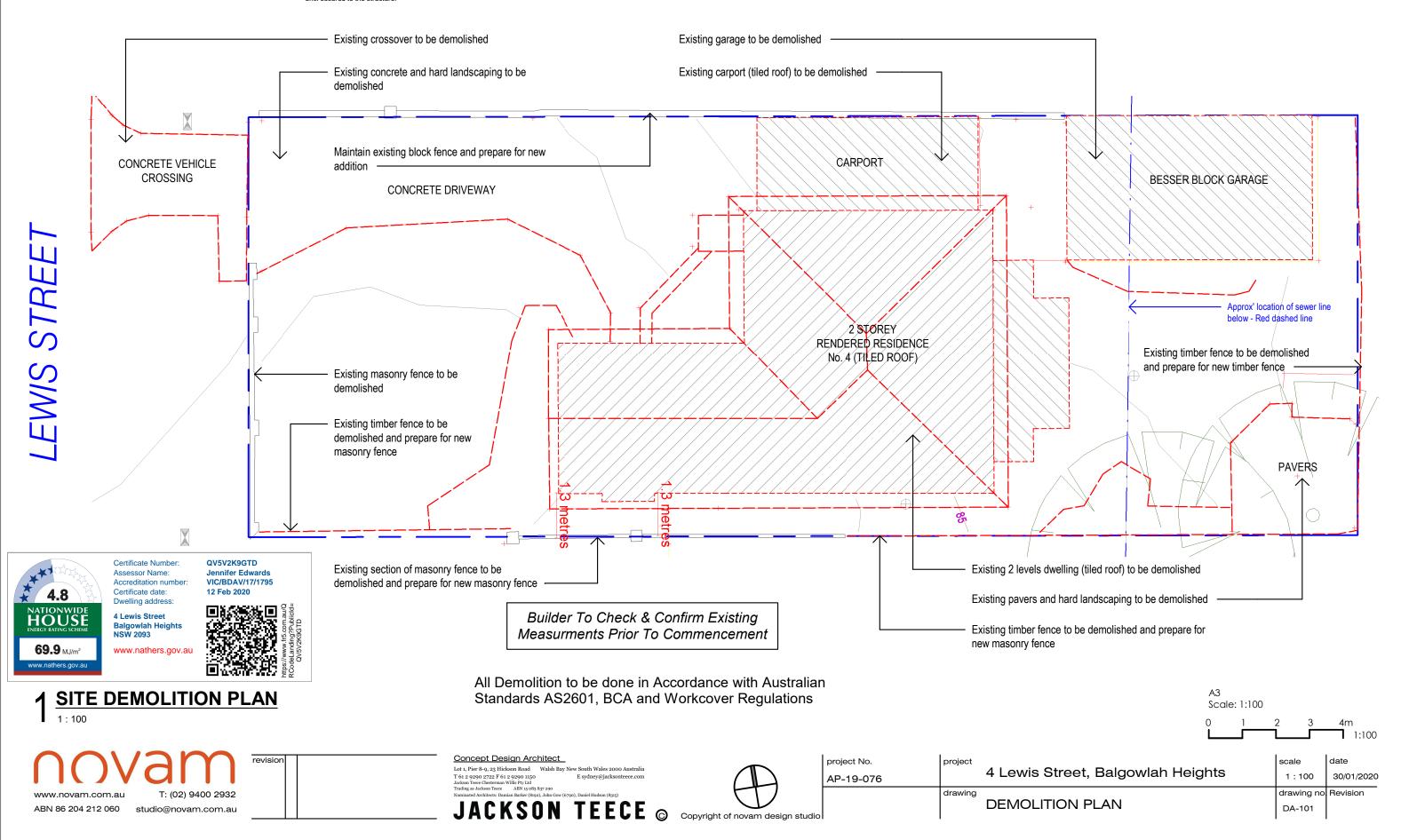
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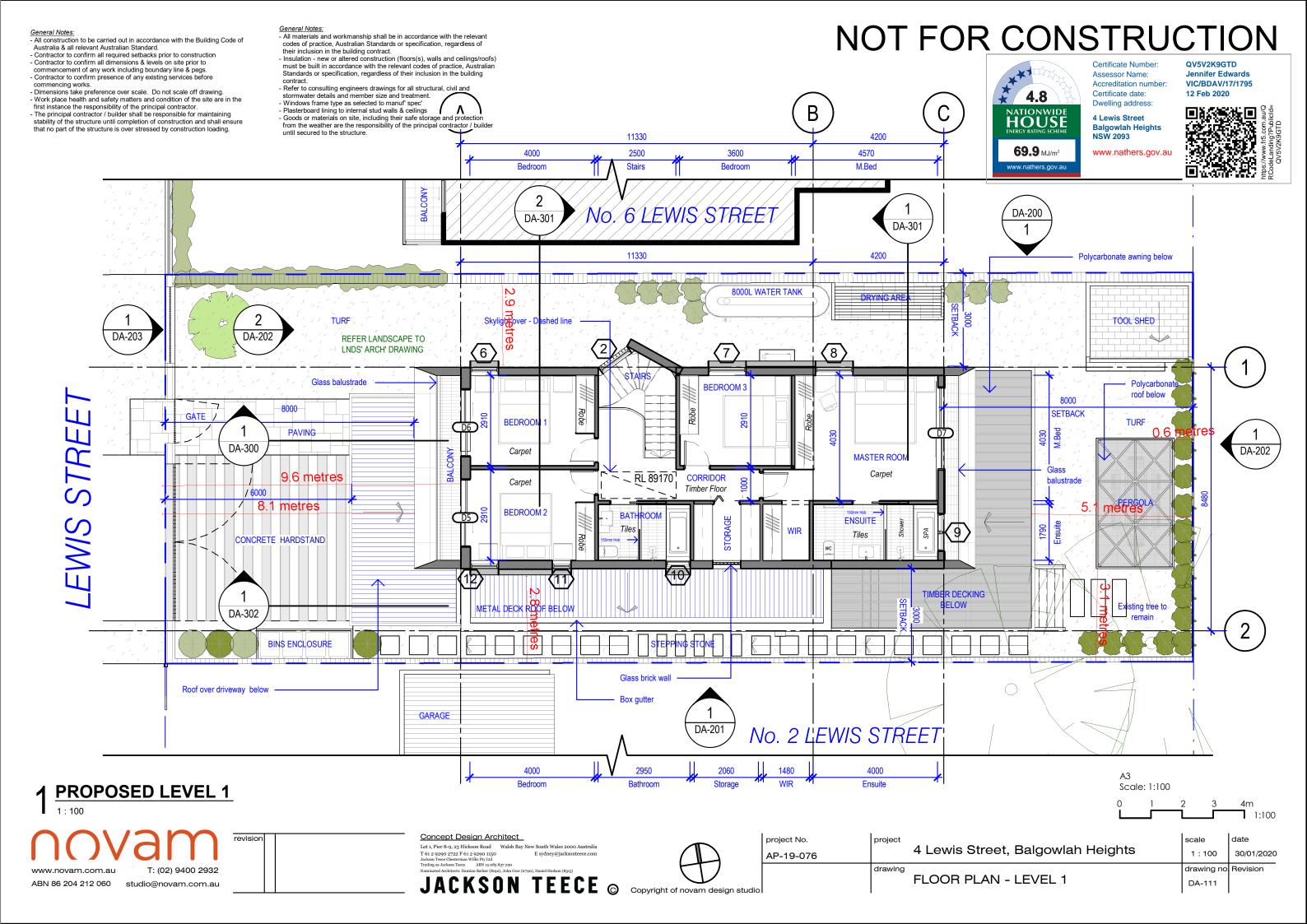
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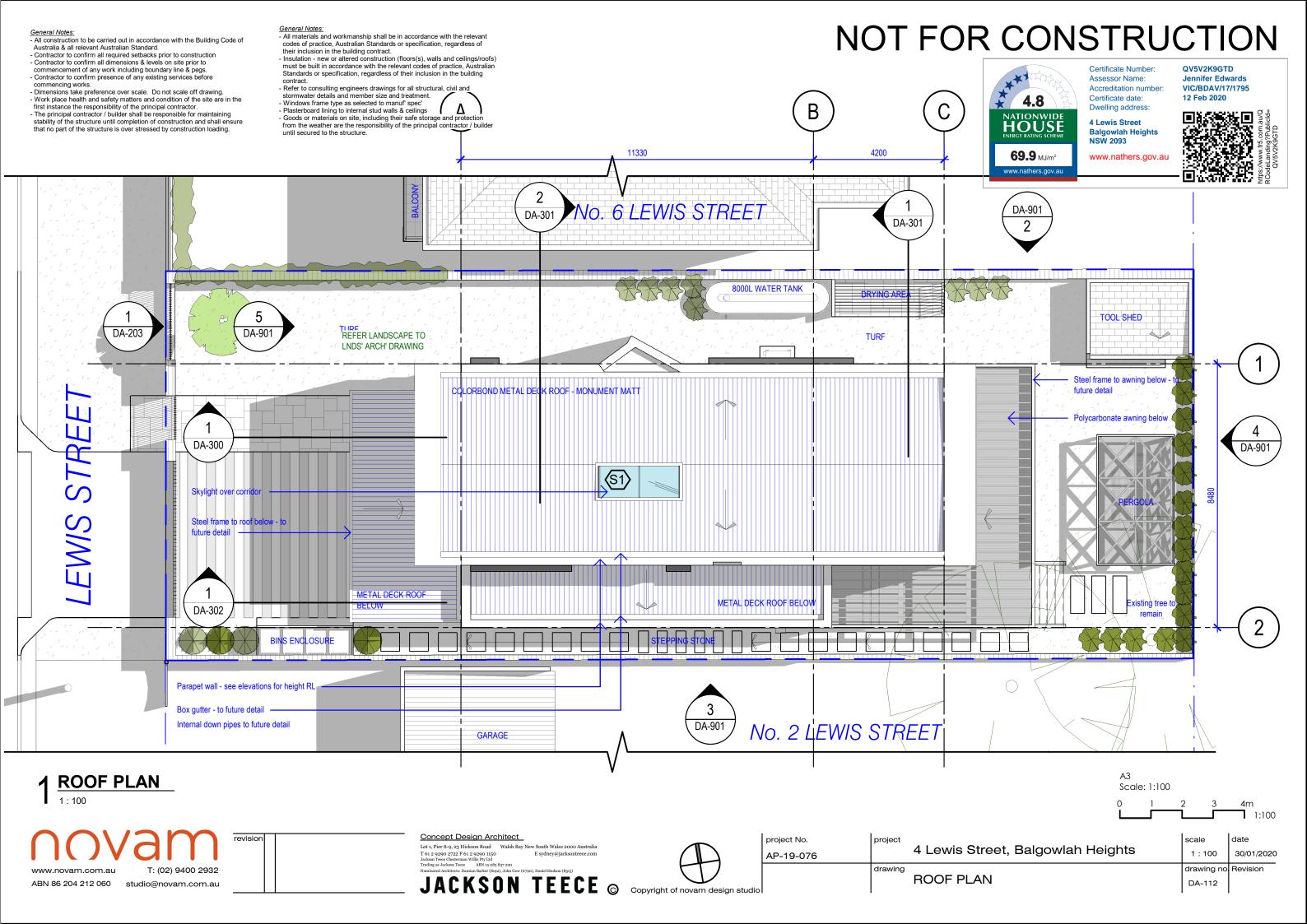
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NOT FOR CONSTRUCTION <u>General Notes:</u> - All materials and workmanship shall be in accordance with the relevant General Notes All construction to be carried out in accordance with the Building Code of codes of practice, Australian Standards or specification, regardless of Australia & all relevant Australian Standard. their inclusion in the building contract. Insulation - new or altered construction (floors(s), walls and ceilings/roofs) Contractor to confirm all required setbacks prior to constructior Contractor to confirm all dimensions & levels on site prior to must be built in accordance with the relevant codes of practice. Australian commencement of any work including boundary line & pegs. - Contractor to confirm presence of any existing services before Standards or specification, regardless of their inclusion in the building Assessor Name: Jennifer Edwards VIC/BDAV/17/1795 commencing works. Accreditation number - Refer to consulting engineers drawings for all structural, civil and stormwater details and member size and treatment. Dimensions take preference over scale. Do not scale off drawing. Work place health and safety matters and condition of the site are in the Certificate date: 12 Feb 2020 4.8 Dwelling address: - Windows frame type as selected to manuf' spec' first instance the responsibility of the principal contractor. - The principal contractor / builder shall be responsible for maintaining Plasterboard lining to internal stud walls & ceilings HOUSE HOUSE 4 Lewis Street Goods or materials on site, including their safe storage and protection stability of the structure until completion of construction and shall ensure Balgowlah Heights NSW 2093 from the weather are the responsibility of the principal contractor / builder that no part of the structure is over stressed by construction loading. **69.9** MJ/m² www.nathers.gov.au 4370 3940 Living below - Red dashed line NO. 6 LEWIS STREE DA-200 Sliding screen with glass Exiting hedge to be kept DA-301 DA-301 sandwitching rice paper Full height wall carbinet integrated, with fireplace - to future detail 11330 4200 3160 Aluminium fencing - powder coated black blade me 0 OL WATER TANK RL 84800 + RL 85.80 TOOL SHED + RL 84.60 W1,W2,₩3 ans W4 DA-203 DA-202 RL 84700 REFER LANDSCAPE TO LNDS' ARCH' DRAWING Stora **SETBACK** Glass balustrade to deck **FOYER** DINING RL 85370 New timber fence to imber Floor RL 85800 PAVING \bigcirc D1 RL 85900 LIVING DA-300 **PERGOLA** DA-202 RL 85900 Timber Floor TIMBER DECKING Timber Floor TURF **KITCHEN** RL 85800 RL 84700 RL 85370 el l **BINS ENCLOSURE** Quick gas water heating system. Infinite Awning Above Shown Dashed 32 Enviro or similar Automatic Gate System 11920 SETBACK No. 2 LEWIS STREET New concrete cross over to council requiremnts 920 1000 Scale: 1:100 Garage PROPOSED GROUND FLOOR Kitchen Living Laundry Concept Design Architect date project No. project scale Lot 1, Pier 8-9, 23 Hickson Road Walsh Bay New South Wales 2000 Australia T 61 2 9290 2722 F 61 2 9290 1150 E sydney@jacksonteece.com 4 Lewis Street, Balgowlah Heights 1:100 30/01/2020 AP-19-076 drawing no Revision T: (02) 9400 2932 www.novam.com.au JACKSON TEECE FLOOR PLAN - GROUND FLOOR DA-110 ABN 86 204 212 060 studio@novam.com.au





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- Australia & all relevant Australian Standard.
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NOT FOR CONSTRUCTION

Assessor Name:

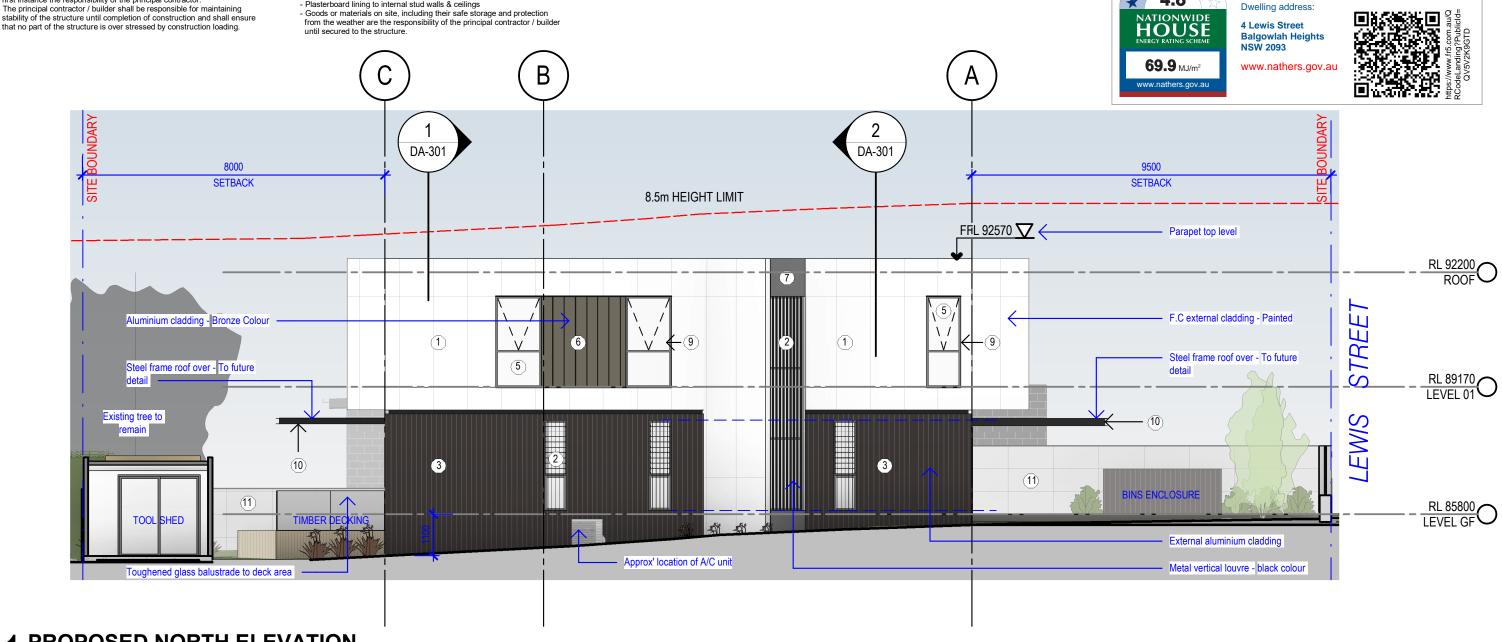
Certificate date:

Accreditation number:

Jennifer Edwards

VIC/BDAV/17/1795

12 Feb 2020



PROPOSED NORTH ELEVATION



www.novam.com.au

ABN 86 204 212 060



3. dark brown

aluminium cladding



4. intergrated garage

door



5. glazing



6. bronze facade

material



7. dark grey painted



8. glass brick wall



9. black painted metal



10. black painted



11. off-white tiles



12. black metal fence

Scale: 1:100

1. F.C. Board painted 2. black metal louvre

T: (02) 9400 2932 studio@novam.com.au Concept Design Architect

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project No. date scale 4 Lewis Street, Balgowlah Heights 1:100 30/01/2020 AP-19-076 drawing no Revision PROPOSED NORTH ELEVATION DA-200

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NOT FOR CONSTRUCTION

4.8

Certificate Number:

Accreditation number:

Assessor Name:

Certificate date:

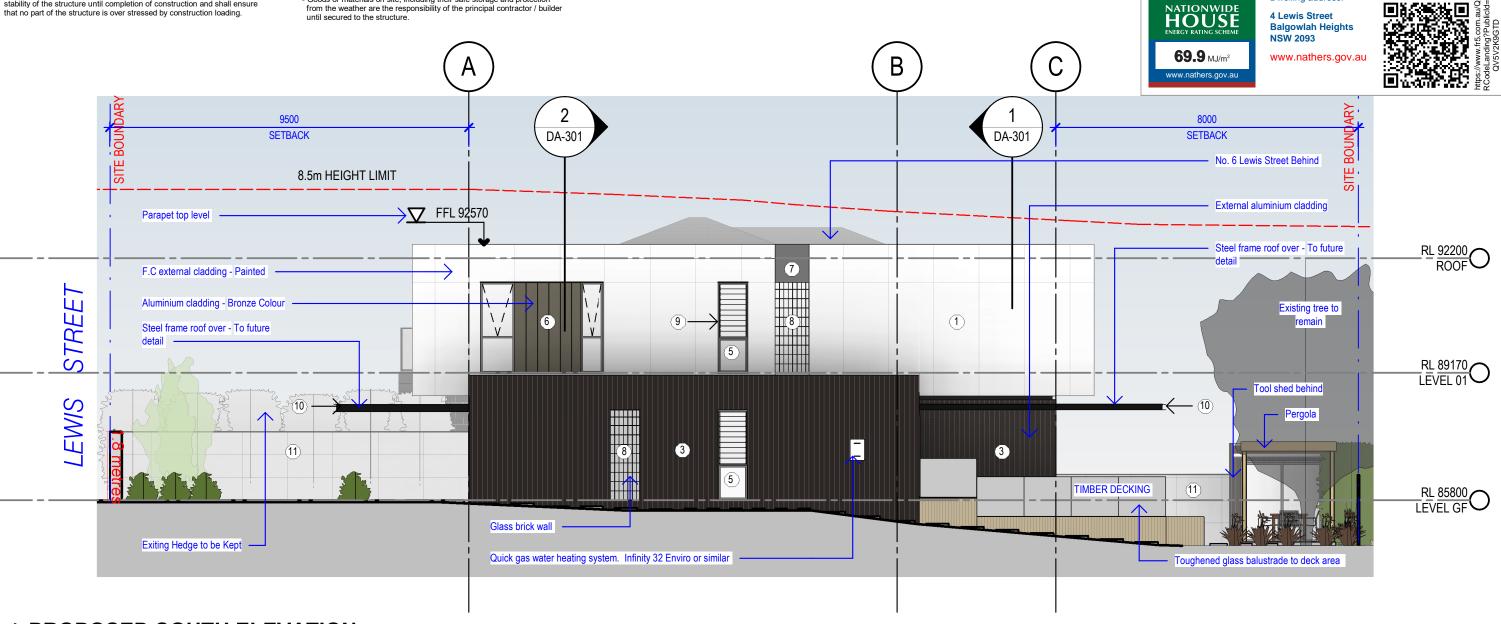
Dwelling address:

QV5V2K9GTD

12 Feb 2020

Jennifer Edwards

VIC/BDAV/17/1795



PROPOSED SOUTH ELEVATION







3. dark brown

aluminium cladding



4. intergrated garage

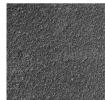
door





6. bronze facade

material



7. dark grey painted



8. glass brick wall



9. black painted metal

framing



10. black painted

steel channel



11. off-white tiles



12. black metal fence

Scale: 1:100

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1. F.C. Board painted 2. black metal louvre







| | project No. AP-19-076 | project | 4 Lewis Street, Balgowlah Heights | scale 1 : 100 | date 30/01/2020 |
|------|--------------------------|---------|-----------------------------------|-----------------------|--------------------|
| udio | | drawing | PROPOSED SOUTH ELEVATION | drawing no. DA-201 | Revision |

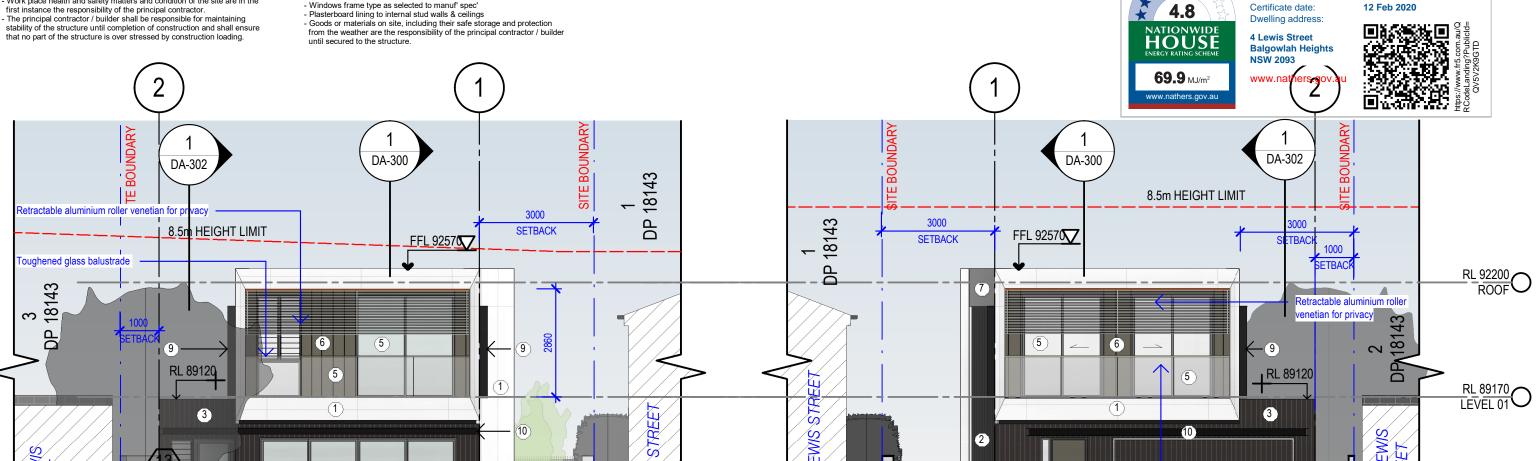
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PROPOSED EAST ELEVATION

3 18143

2 LEWIS TREET

$2^{\frac{\text{PROPOSED WEST ELEVATION}}{1:100}}$

6 LEWIS



2. black metal louvre



aluminium cladding



DECKING





TOOL SHED

RL 84700



7. dark grey painted

wall

6 LEWIS





9. black painted metal



steel channel



11. off-white tiles

6

1





4

NOT FOR CONSTRUCTION

Certificate Number:

Accreditation number

Jennifer Edwards

VIC/BDAV/17/1795

Assessor Name:

12. black metal fence Scale: 1:100

2 LEWIS TREET

Toughened glass balustrade

8000L Water Tank

RL 85800 LEVEL GF

oughened glass balustrade to deck area

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4. intergrated garage

door

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6. bronze facade

material

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| | AP-19 |
|---------------|-------|
| | |
| design studio | |



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F.C external cladding - Painted

Aluminium cladding - Bronze Colour

Aluminium fencing - powder coated

Masonry fence to replace existing

black blade

Black metal louvre to window

Toughened glass balustrade

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BOUNDARY

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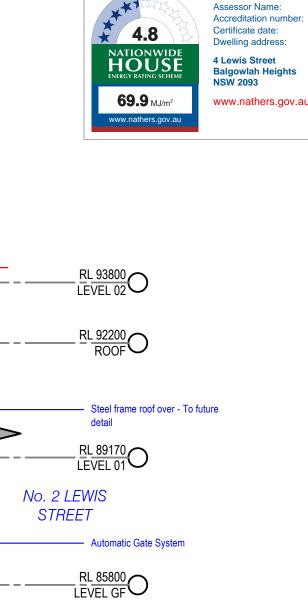
3000

1 18143

Д

NOT FOR CONSTRUCTION

Certificate Number



LEWIS STREET ELEVATION - WEST





1. F.C. Board painted 2. black metal louvre



3. dark brown aluminium cladding



4. intergrated garage door

No. 6 LEWIS

STREET





6. bronze facade material



7. dark grey painted

DA-300

(1)

(5)

2



8. glass brick wall 9. black painted metal framing



10. black painted steel channel

DA-302

1814

Д

1000

FFL 87620 🔽

▼ FFL 89120

3

8.5m HEIGHT LIMIT

T FFL 92570

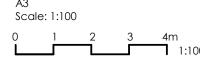


11. off-white tiles



New concrete cross over to council requiremnts

12. black metal fence



QV5V2K9GTD

12 Feb 2020

Jennifer Edwards

VIC/BDAV/17/1795

學學學

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project



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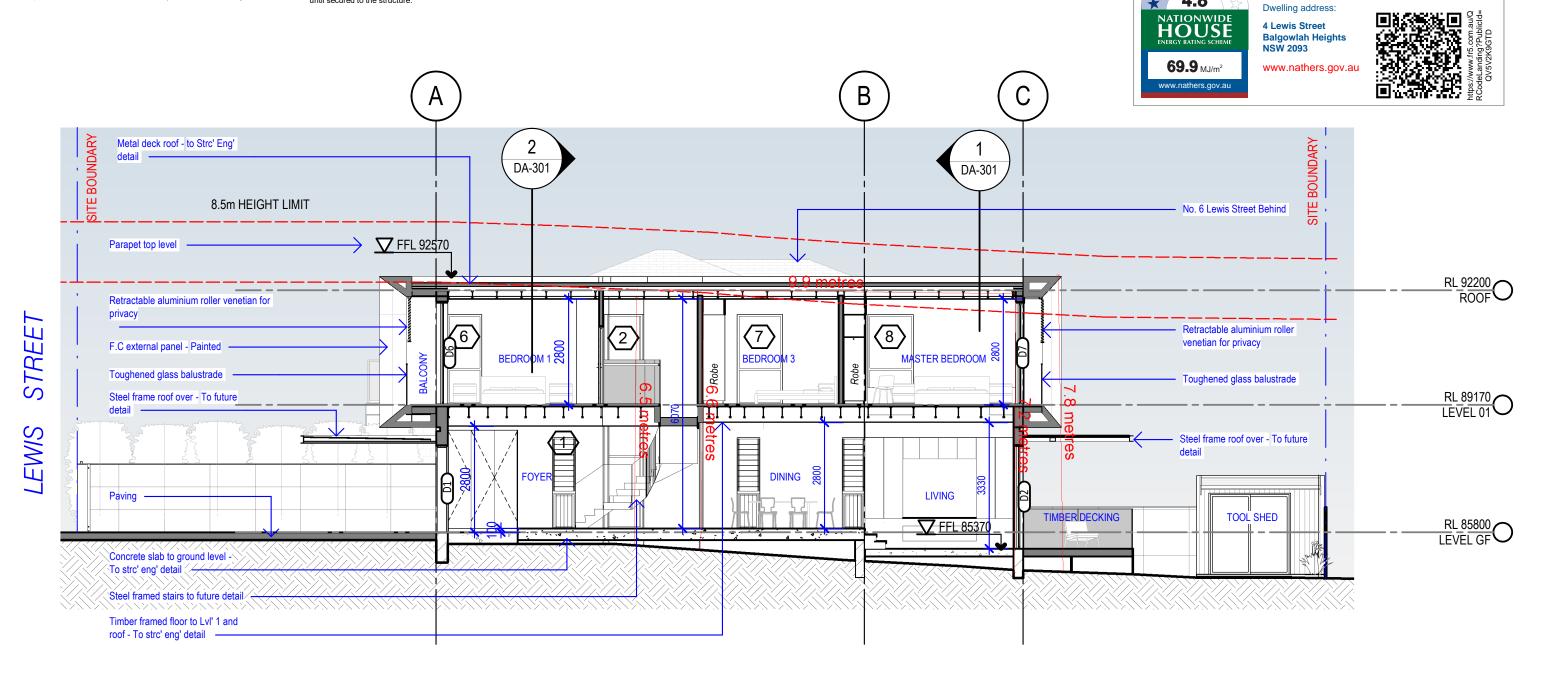
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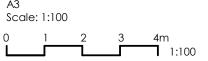
PROPOSED LONG SECTION - AA

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| revision | | | |
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| | | | | | 1.100 |
|------|-------------|---------|-----------------------------------|-------------|------------|
| | project No. | project | | scale | date |
| | AP-19-076 | | 4 Lewis Street, Balgowlah Heights | 1:100 | 30/01/2020 |
| | | drawing | | drawing no. | Revision |
| udio | | | SECTIONS - SHEET 01 | DA-300 | |



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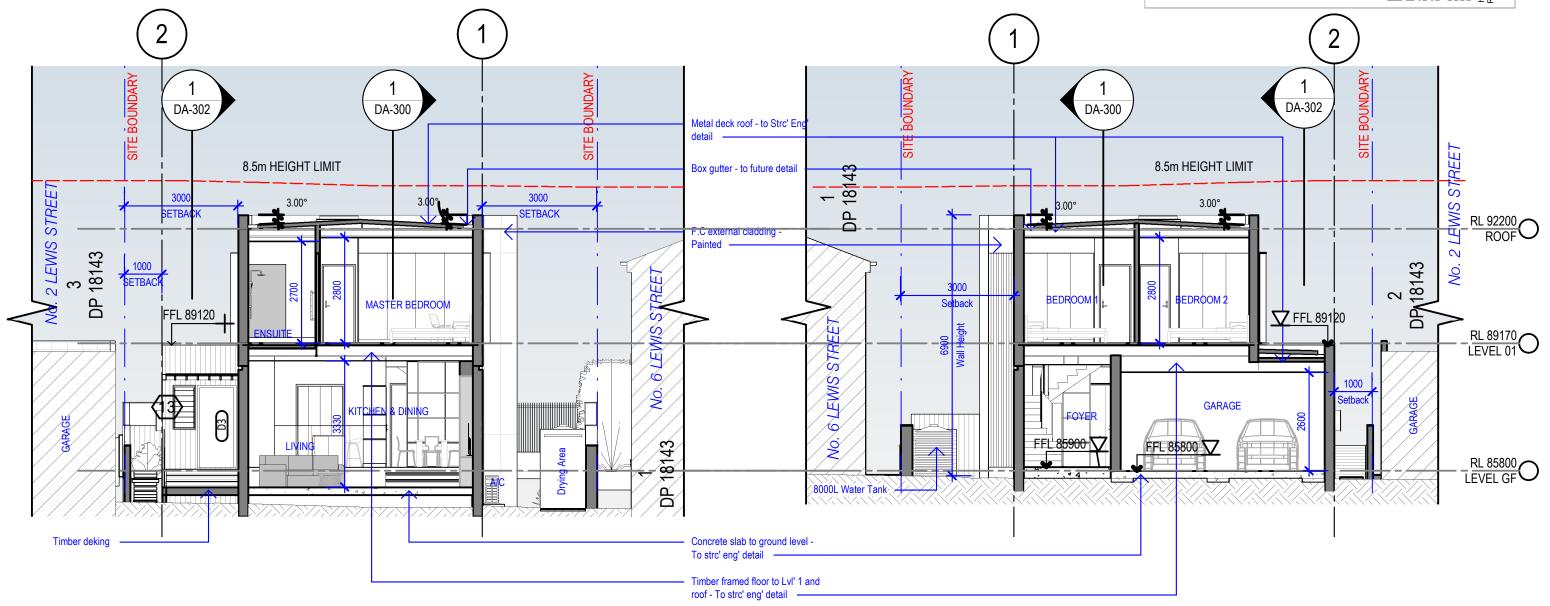
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- Plasterboard lining to internal stud walls & ceilings
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NOT FOR CONSTRUCTION





PROPOSED SECTION - BB

2 PROPOSED SECTION - CC





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| | project No. | project | | scale | date |
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| | AP-19-076 | | 4 Lewis Street, Balgowlah Heights | 1:100 | 30/01/2020 |
| | | drawing | | drawing no | Revision |
| io | | | SECTIONS - SHEET 02 | DA-301 | |

Scale: 1:100

- · All construction to be carried out in accordance with the Building Code of
- Australia & all relevant Australian Standard.
- Contractor to confirm all required setbacks prior to construction
 Contractor to confirm all dimensions & levels on site prior to
- commencement of any work including boundary line & pegs. Contractor to confirm presence of any existing services before
- commencing works.
- Dimensions take preference over scale. Do not scale off drawing.
 Work place health and safety matters and condition of the site are in the
- first instance the responsibility of the principal contractor.

 The principal contractor / builder shall be responsible for maintaining stability of the structure until completion of construction and shall ensure that no part of the structure is over stressed by construction loading.
- Standards or specification, regardless of their inclusion in the building
- Refer to consulting engineers drawings for all structural, civil and stormwater details and member size and treatment.

<u>General Notes:</u>
- All materials and workmanship shall be in accordance with the relevant codes of practice, Australian Standards or specification, regardless of

their inclusion in the building contract.
- Insulation - new or altered construction (floors(s), walls and ceilings/roofs)

must be built in accordance with the relevant codes of practice. Australian

- Windows frame type as selected to manuf' spec'
- Plasterboard lining to internal stud walls & ceilings
 Goods or materials on site, including their safe storage and protection
- from the weather are the responsibility of the principal contractor / builder until secured to the structure.

NOT FOR CONSTRUCTION

Certificate Number:

Accreditation number:

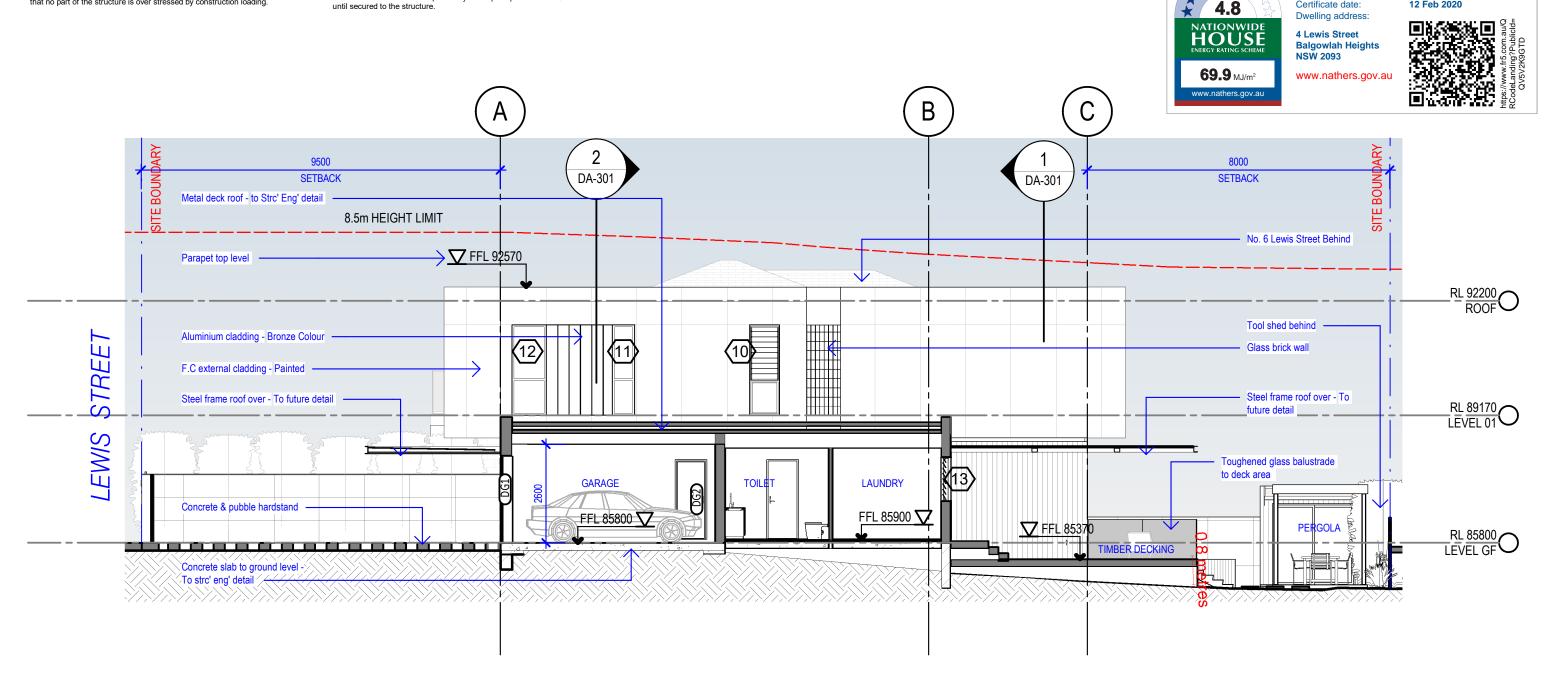
Assessor Name:

Certificate date:

QV5V2K9GTD

12 Feb 2020

Jennifer Edwards VIC/BDAV/17/1795



PROPOSED LONG SECTION - DD

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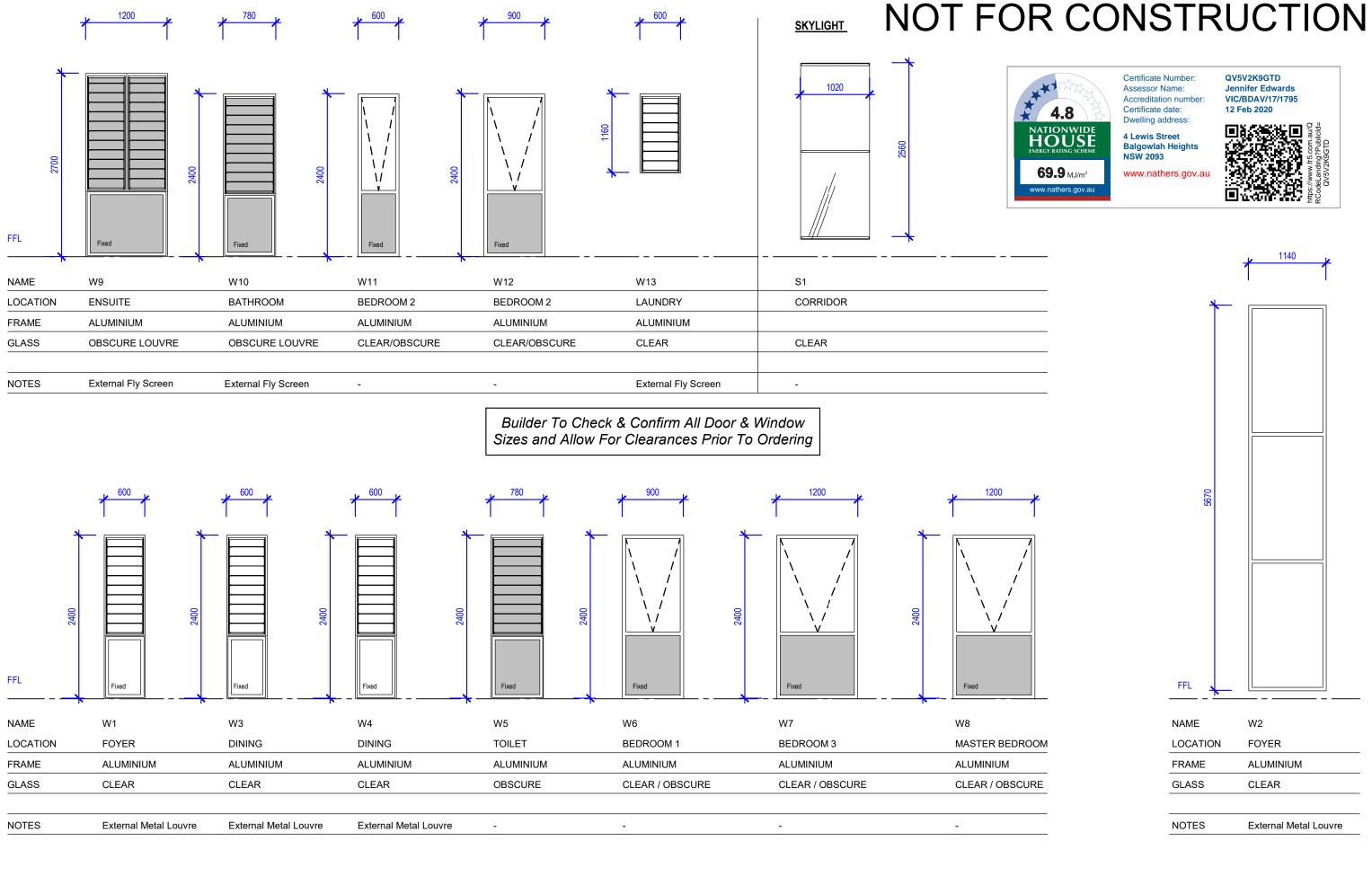
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| lio | | | SECTION - SHEET 03 | DA-302 | |

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Scale: 1:100

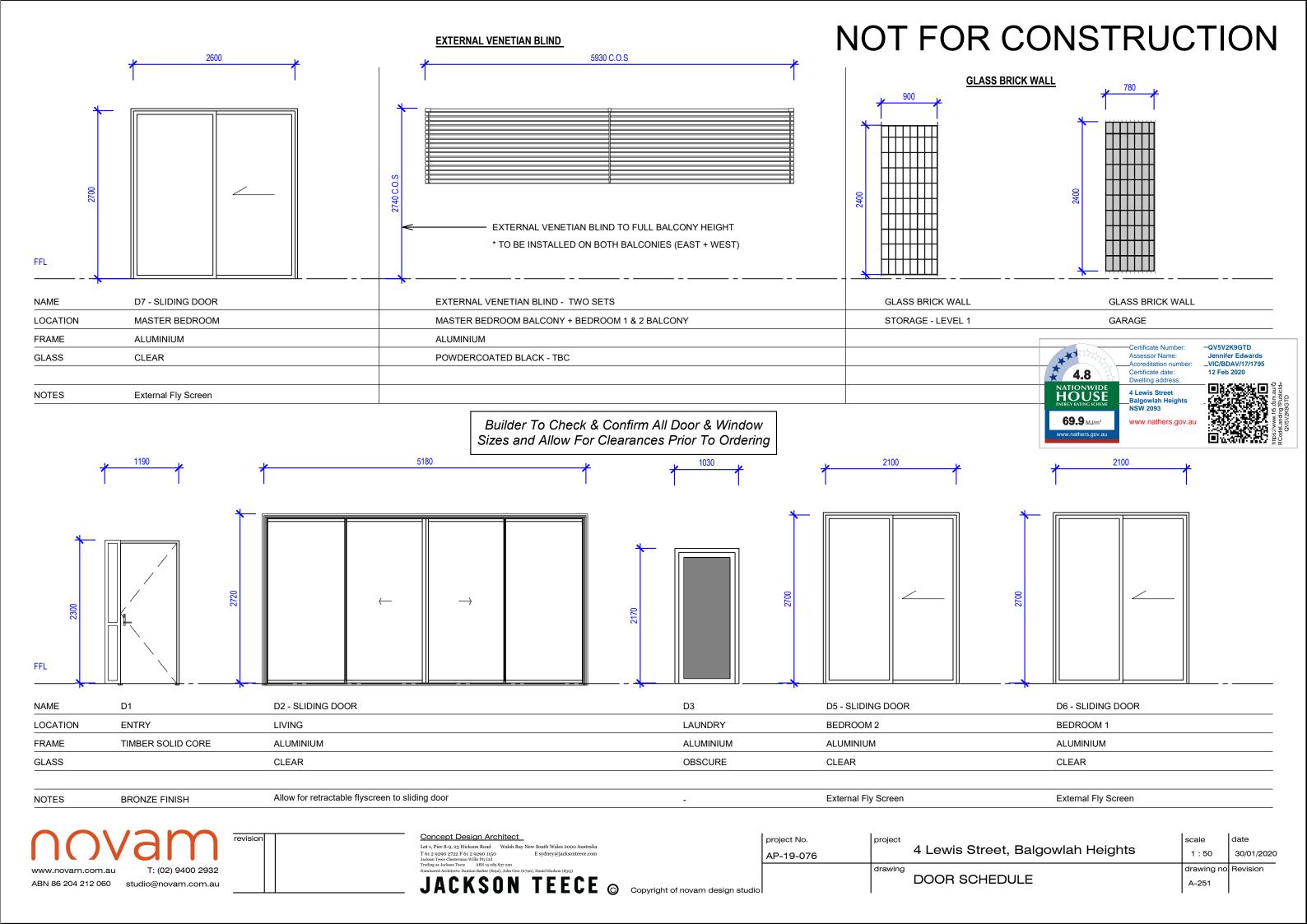


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| | project No. AP-19-076 | project | 4 Lewis Street, Balgowlah Heights | scale 1:50 | date 30/01/2020 |
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| dio | | drawing | WINDOW SCHEDULE | drawing no. A-250 | Revision |







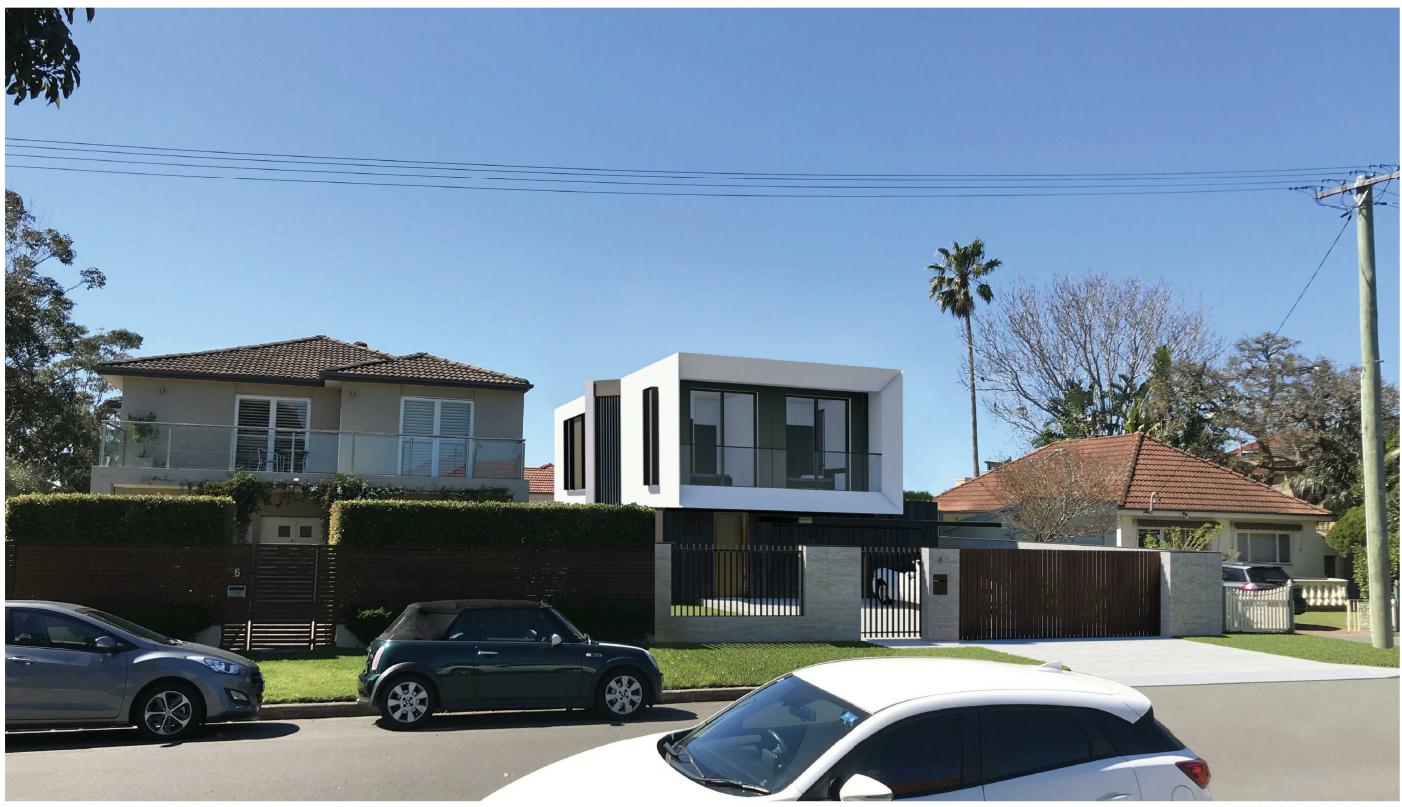




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| Concept Design Arc | <u>hitect</u> |
|---|---|
| Lot 1, Pier 8-9, 23 Hickson Road | Walsh Bay New South Wales 2000 Austra |
| T 61 2 9290 2722 F 61 2 9290 1150 | E sydney@jacksonteece.co |
| Jackson Teece Chesterman Willis Pty Ltd | * *-* |
| Trading as Jackson Teece ABN 15 083 | 837 290 |
| Nominated Architects: Damian Barker (819: | 2), John Gow (6790), Daniel Hudson (8315) |
| | |

| | project No. | project | | scale | date |
|---|-------------|---------|-----------------------------------|------------|------------|
| | AP-19-076 | | 4 Lewis Street, Balgowlah Heights | 1:1 | 30/01/2020 |
| | | drawing | | drawing no | Revision |
| 0 | | | PERSPECTIVES 3D VIEW - 01 | DA-400 | |







| | project No. | project | | scale | date |
|-----|-------------|---------|-----------------------------------|-------------|------------|
| | AP-19-076 | | 4 Lewis Street, Balgowlah Heights | 1:1 | 30/01/2020 |
| | | drawing | | drawing no. | Revision |
| lio | | | PERSPECTIVES 3D VIEW - 02 | DA-401 | I |

1. F.C board painted



7. dark grey painted wall

2. black metal louvre



8. glass brick wall

3. dark brown aluminium cladding



9. black painted metal framing



4. intergrated garage door

10. black painted steel channel

5. glazing



11. off-white tiles

6. bronze facade material





Certificate Number Assessor Name: Accreditation number Certificate date:

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QV5V2K9GTD Jennifer Edwards VIC/BDAV/17/1795





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project No. AP-19-076

scale 4 Lewis Street, Balgowlah Heights drawing no MATERIAL PALETTE DA-402

STREET LEWIS : CONCRETE No. 2 LEWIS STREET **GARAGE**

$2\frac{\text{FSR} - \text{LEVEL 1}}{1:250}$

SITE AREA CALCULATION - FSR

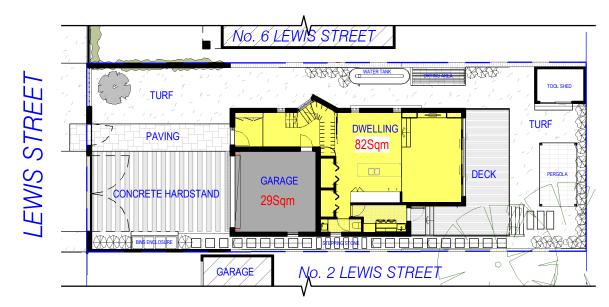
Site Area - 412.8Sqm (By Survey)

Manly FSR Map - Area C - FSR allowed = 0.45:1

Ground Floor - 82m2 - 85m2 Level 1

- 29m2

Proposed FSR - 0.40:1 - COMPLY



1 FSR - GROUND FLOOR 1:250



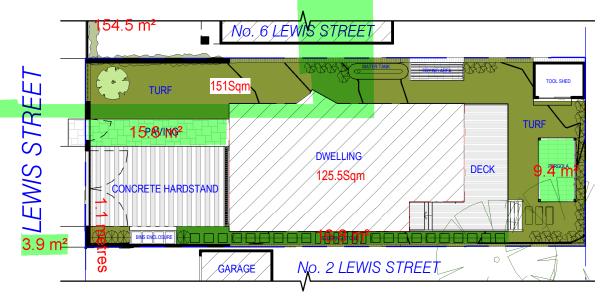


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4 LANDSCAPE AREA

SITE AREA CALCULATION - RESIDENTIAL OPEN SPACE

Manly Map - B - Residential Open Space Area

Manly DCP - Part 4 - Residential Development Controls

4.1.5 - Open Space and Landscaping

Open Space - Area OS3 - at least 55% of site Area = 227m2

Landscape Area - at least 35% of Open Space = 79.45m2

NATIONWIDE HOUSE 69.9 MJ/m²

Certificate Number: Assessor Name: Accreditation number: Certificate date: Dwelling address:

4 Lewis Street Balgowlah Heights NSW 2093

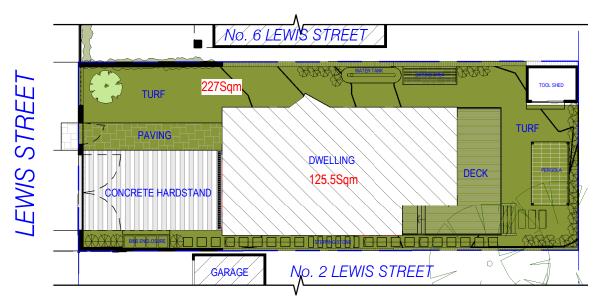
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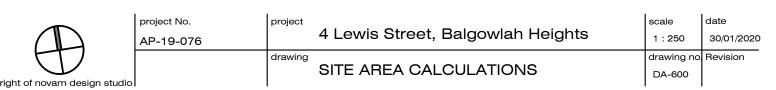


Proposed Open Space = 227m2 - COMPLY

Proposed Landscaping Area = 151m2 - COMPLY

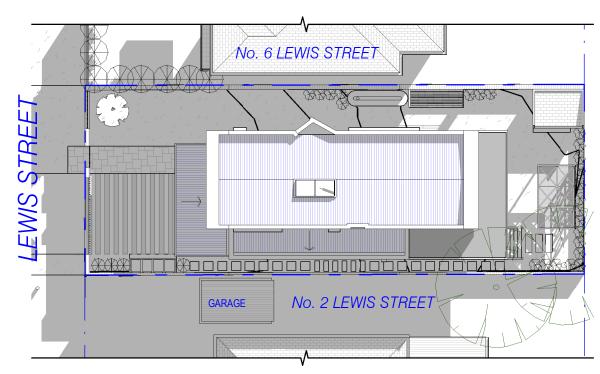


$3\frac{\text{OPEN SPACE}}{1:250}$





2 JUNE 21 - 12NOON



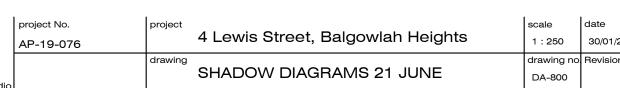
1 JUNE 21 - 9AM
1:250











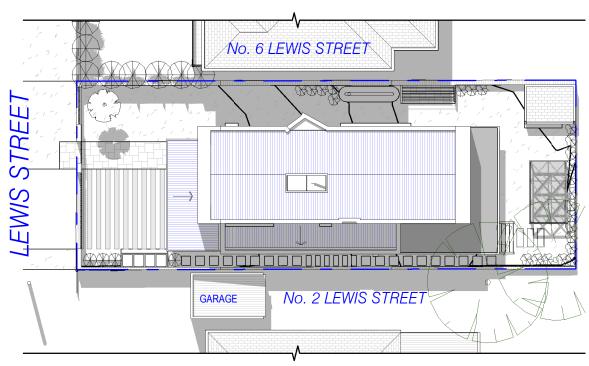


3 JUNE 21 - 3PM

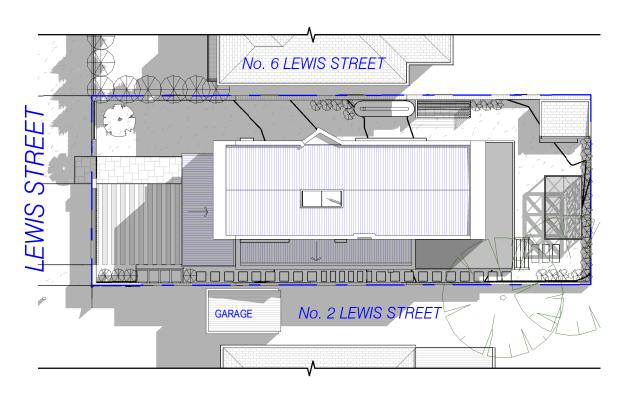


No. 6 LEWIS STREET

No. 2 LEWIS STREET



 $2^{\frac{\text{SEPTEMBER 21 - 12NOON}}{1:250}}$

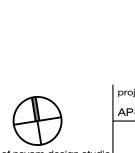


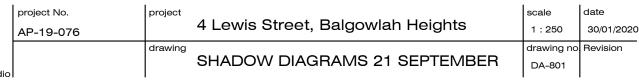
1 <u>SEPTEMBER 21 - 9AM</u>







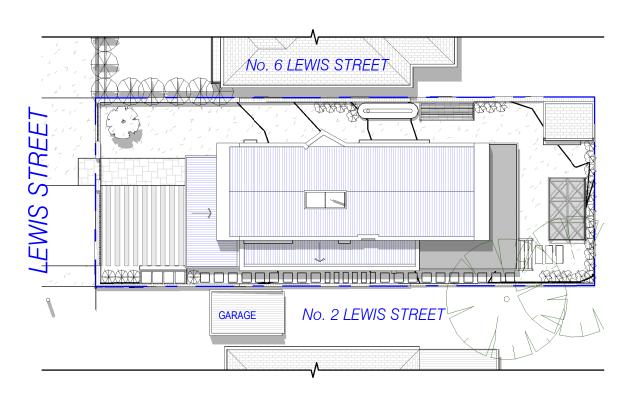




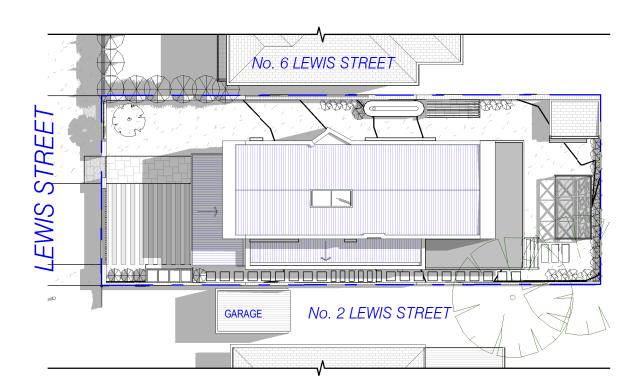


STREET





2 DECEMBER 21 - 12NOON



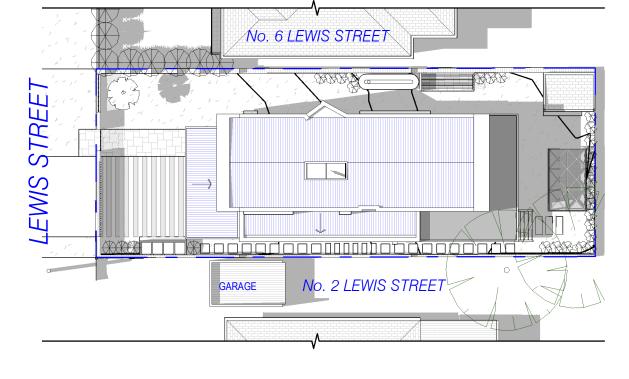
1 DECEMBER 21 - 9AM











3 <u>DECEMBER 21 - 3PM</u>



| | project No. AP-19-076 | project | 4 Lewis Street, Balgowlah Heights | scale 1:250 | date 30/01/2020 |
|---|--------------------------|---------|-----------------------------------|----------------|--------------------|
| 0 | | drawing | SHADOW DIAGRAMS 21 DECEMBER | drawing no | Revision |

01 WATER & SEDIMENT CONTROL MEASURES:

- 1. Pre existing site access points are retained during construction. Site access points are established with geo-textile fabric and blue matel. A vehicle grid ensures minimal soil particles are removed from the site.
- 2. Geo-textile sediment fences are located as indicated to prevent runoff. Existing vegetation buffers are maintained.
- 3. Kerb side drains are protected with gravel sausages.
- 4. Material stockpiles are covered and located within sediment fences.
- 5. Excavated material is paced up slope of service trenches. Trenches are filled and compacted immediately after installation of services.
- 6. Paved areas and footpaths are swept daily and sediment is collected
- 7. Erosion and sediment controls are to be checked daily and repaired when

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02 SITE CONTROL MEASURES:

- Temporary fencing to boundaries to provide security to the adjoining properties
- 2. All appropriate signage is to be clearly displayed at the front of the property.
- 3. On site facilities such as power, water and toilet facilities will be provided from the building during construction.
- 4. The existing footpath crossing will be used during construction. Make good any damage at the completion of the project.
- 5. All scaffolding to be erected to the authority rules and regulations.
- All plant and equipment required will be stored on site during operations. All adjoining properties, including footpaths, fences and services to be protected during the delivery and removal of the equipment.

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7. Rubbish skips will not be allowed on the road without council premission.

03 SEDIMENT CONTROL FENCE DETAIL

- 1. All erosion and sediment control measures, including revegetation and storage of soil and topsoil, shall be implemented to the standards of soil conservation of NSW $\,$
- 2. All drainage works shall be constructed and stabilized as early as possible during development
- 3. Sediment traps shall be constructed around all inlets pits, consisting of 300mm x 300mm deep trench.
- 4. All sediment basins and traps shall be cleaned when the structures are a maximum of 60% full of soil materials including the maintenance period.
- 5. All disturbed areas shall be revegetated as soon as the relevant works are completed.

AP-19-076

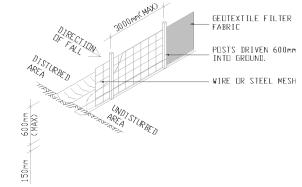
drawing

WASTE MANAGEMENT PLAN

- 6. Soil and topsoil stockpiles shall be located away from drainage lines and areas where water may concentrate.
- 7. Filter shall be constructed by stretching a filter fabric 'propex' or approved equivalant between post at 300mm centres. Fabric shall be buried 150mm along it's lower edge.

Sediment Control Fence Detail.

DRAINAGE AREA 0.6ha MAX. SLOPE GRADIENT 1:2 MAX. SLOPE LENGTH 60m



drawing no

DA-900

Revision

