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DA-100	SITE PLAN
DA-101	DEMOLITION PLAN
DA-110	FLOOR PLAN - GROUND FLOOR
DA-111	FLOOR PLAN - LEVEL 1
DA-112	ROOF PLAN
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DA-402	MATERIAL PALETTE
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DA-800	SHADOW DIAGRAMS 21 JUNE
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DA-900	WASTE MANAGEMENT PLAN
DA-901	NOTIFICATION PLAN



4.8

**NATIONWIDE
HOUSE**

ENERGY RATING SCHEME

69.9 MJ/m²


www.nathers.gov.au

Certificate Number:
Assessor Name:
Accreditation number:
Certificate date:
Dwelling address:

QV5V2K9GTD
Jennifer Edwards
VIC/BDVAV/17/1795
12 Feb 2020

4 Lewis Street
Balgowlah Heights
NSW 2093

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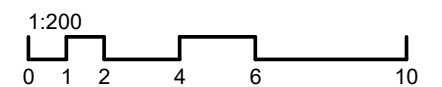
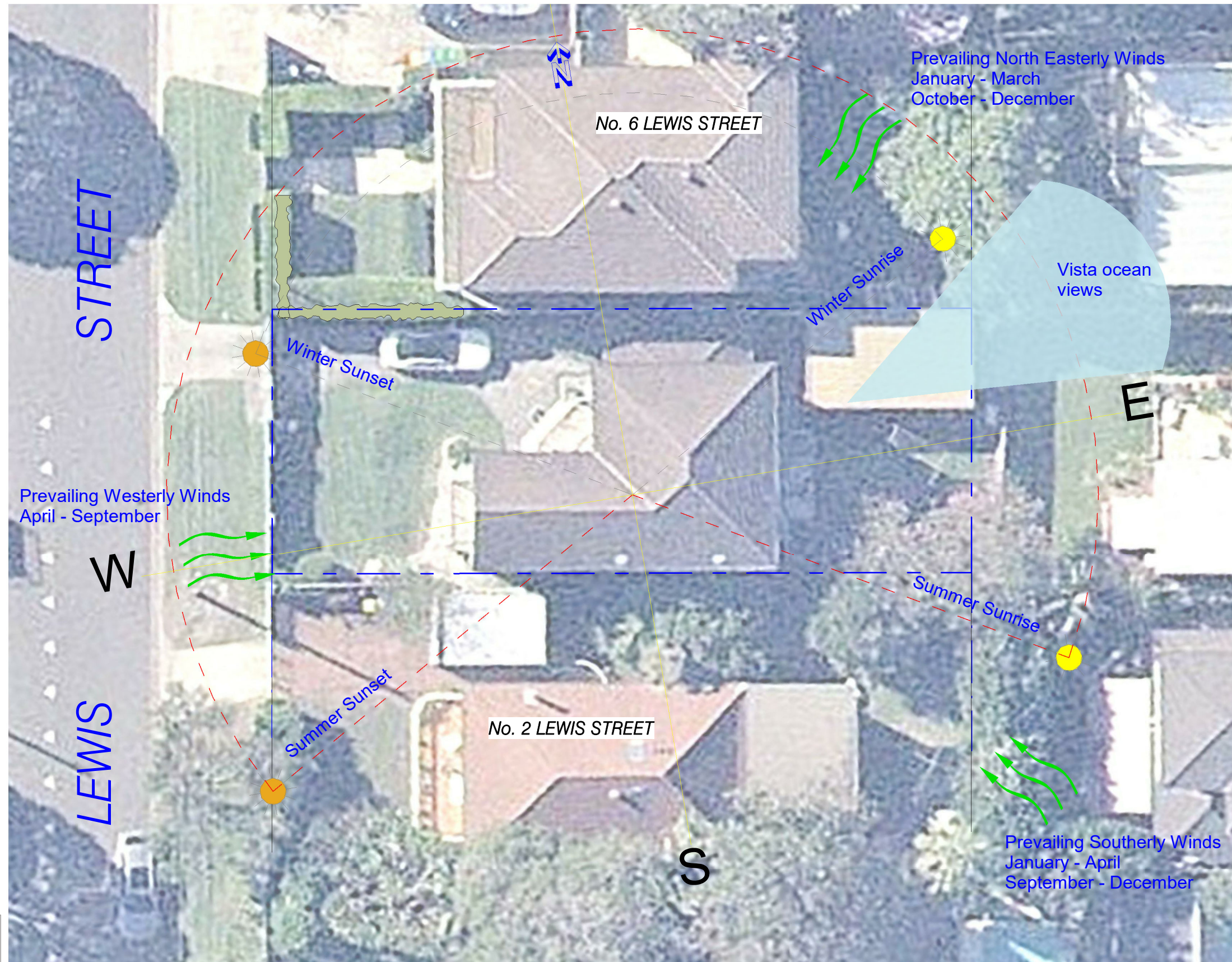
<https://www.fis.com.au/QRCodelanding?PublicId=QV5V2K9GTD>

A modern two-story house with a white upper level and a dark lower level, featuring large glass windows and a balcony. A silver car is parked in the driveway, and a green lawn is in the foreground.

January 2020

P.O.Box 721 Manly, NSW 2095
www.novam.com.au ph: 9400 2932

NOT FOR CONSTRUCTION



4.8
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QR Code
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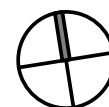
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Jackson Teece Chesterman Wills Pty Ltd
Trading as Jackson Teece ABN 15 083 837 290
Nominated Architects: Damian Barker (8192), John Gow (6790), Daniel Hudson (8315)

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project No. AP-19-076	project 4 Lewis Street, Balgowlah Heights	scale 1 : 200	date 30/01/2020
	drawing SITE ANALYSIS	drawing no DA-050	Revision

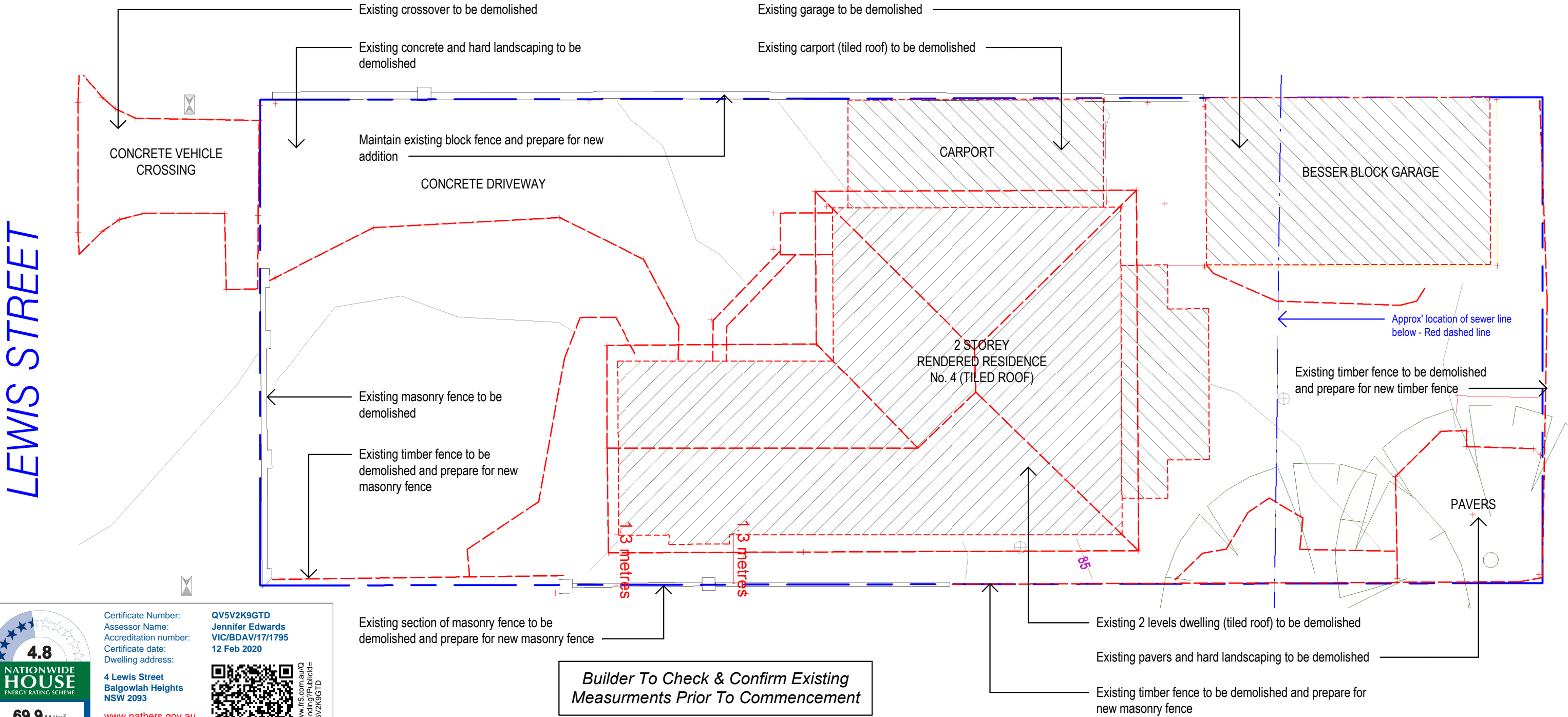


General Notes:

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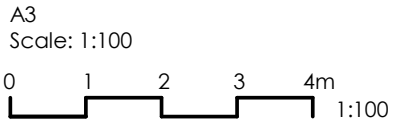


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https://www.ifs.com.au/Q RCodeLanding?PublicId=QV5V2K9GTD

1 SITE DEMOLITION PLAN
1 : 100

All Demolition to be done in Accordance with Australian Standards AS2601, BCA and Workcover Regulations



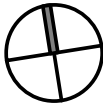
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project No. AP-19-076	project 4 Lewis Street, Balgowlah Heights	scale 1 : 100	date 30/01/2020
	drawing DEMOLITION PLAN	drawing no DA-101	Revision

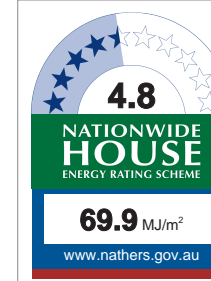
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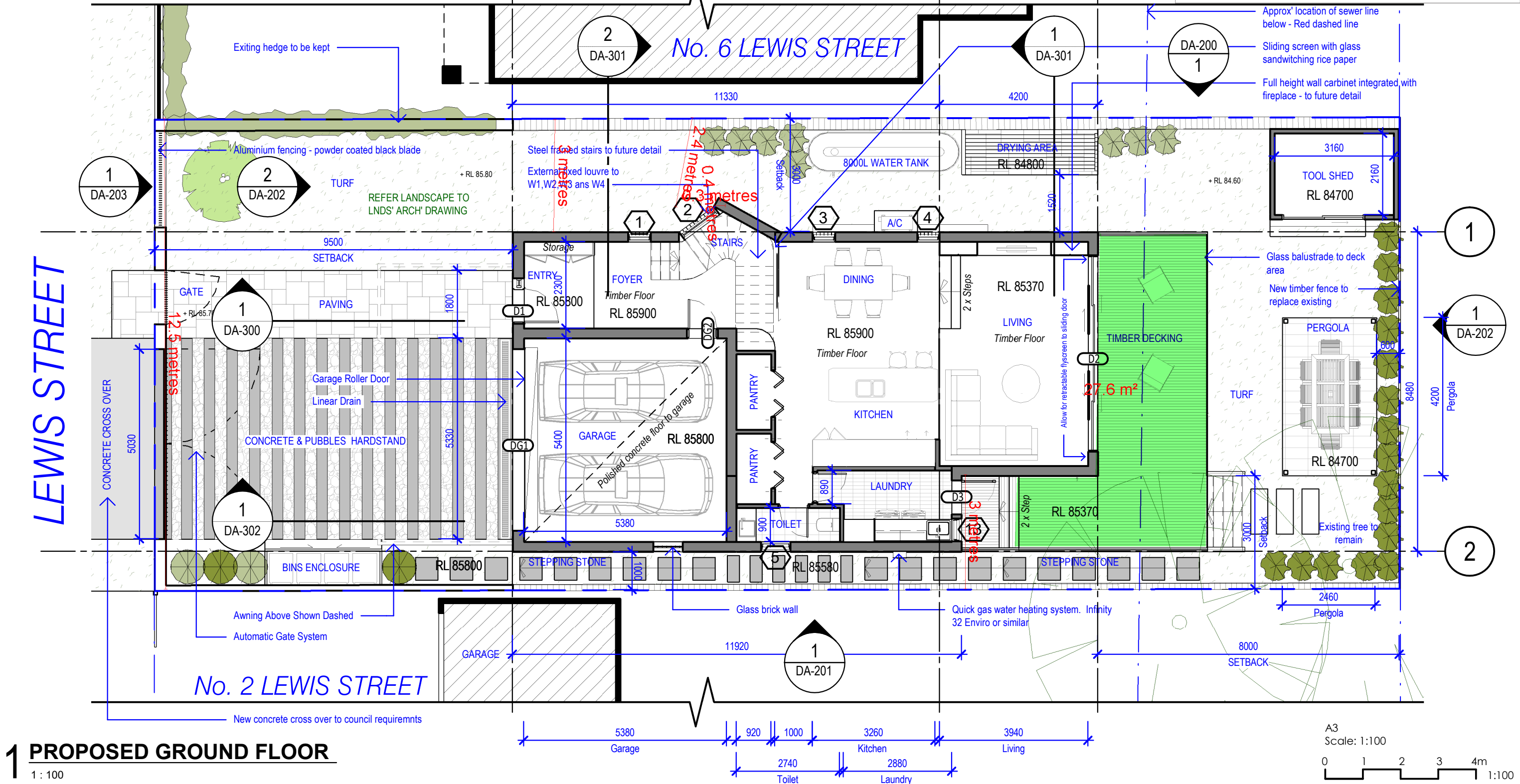
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1 PROPOSED GROUND FLOOR
1 : 100

A3
Scale: 1:100
0 1 2 3 4m
1:100

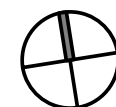
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project No. AP-19-076	project 4 Lewis Street, Balgowlah Heights	scale 1 : 100	date 30/01/2020
drawing FLOOR PLAN - GROUND FLOOR		drawing no DA-110	Revision

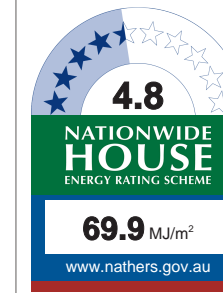
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LEWIS STREET

1 PROPOSED LEVEL 1
1 : 100

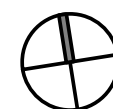
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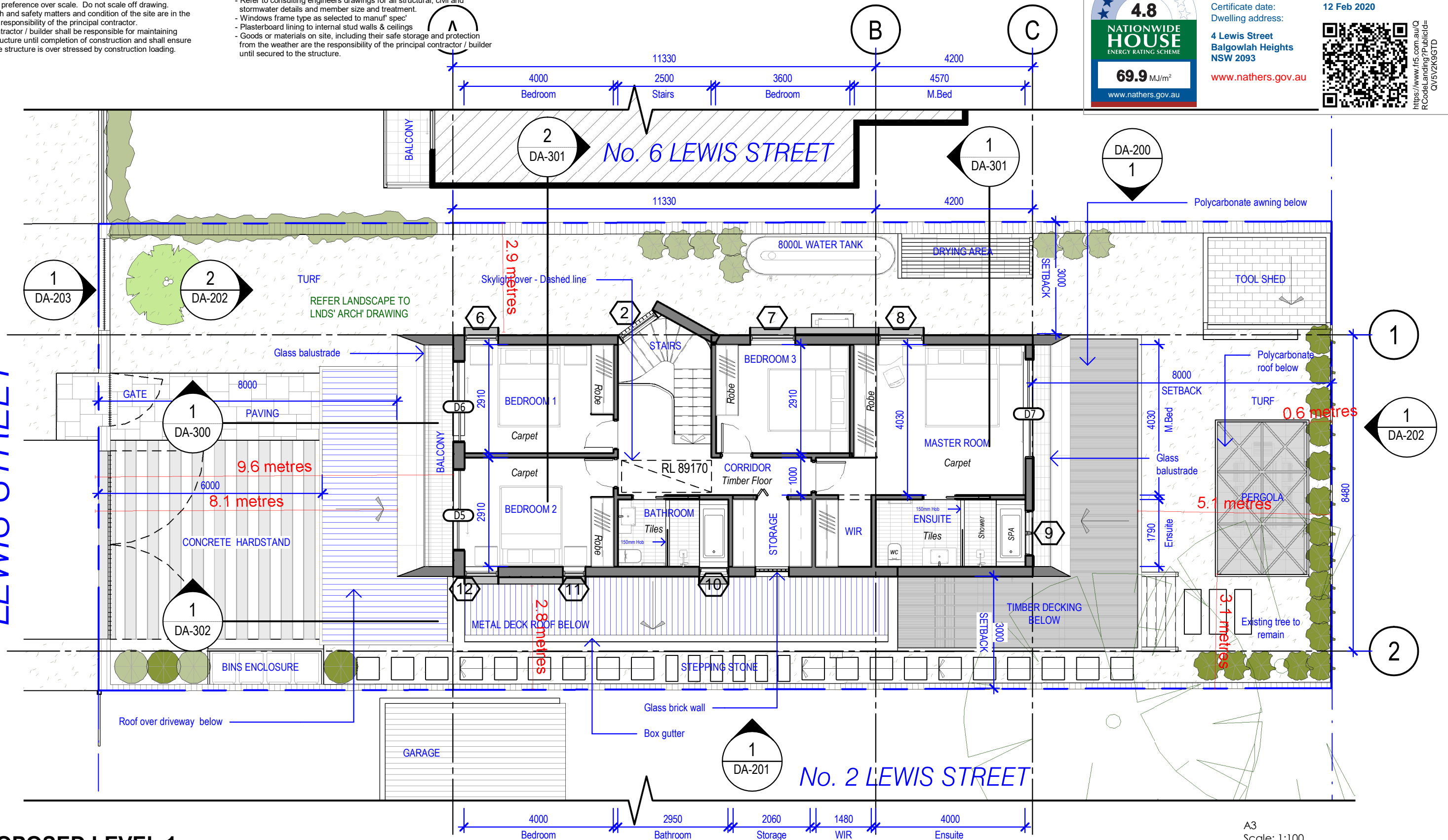
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project No. AP-19-076	project 4 Lewis Street, Balgowlah Heights	scale 1 : 100	date 30/01/2020
drawing FLOOR PLAN - LEVEL 1		drawing no DA-111	Revision



A3
Scale: 1:100
0 1 2 3 4m
1:100

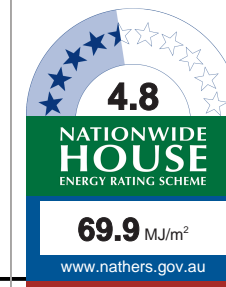
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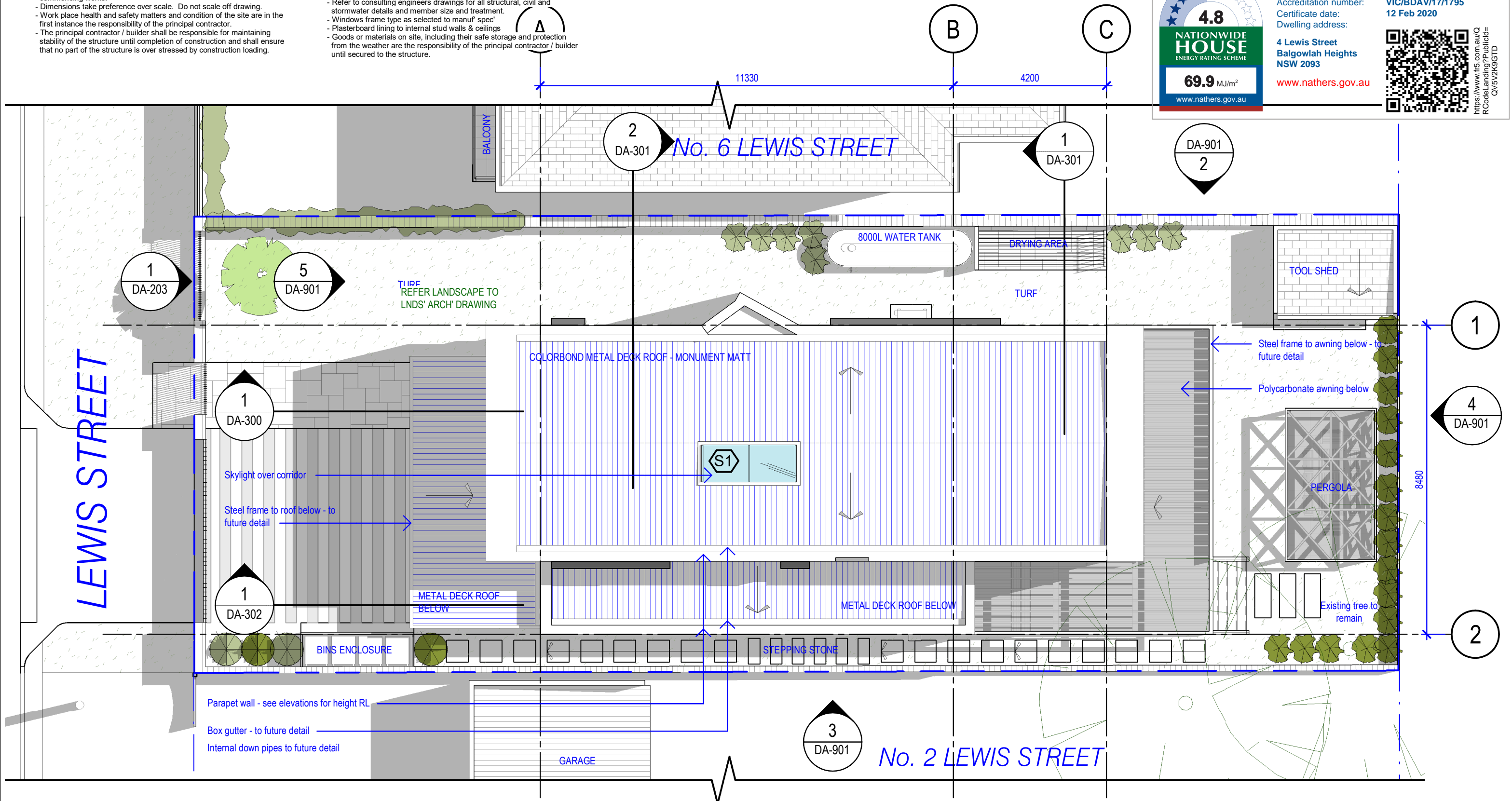
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1 ROOF PLAN
1 : 100

A3
Scale: 1:100
0 1 2 3 4m
1:100

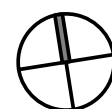
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project No. AP-19-076	project 4 Lewis Street, Balgowlah Heights	scale 1 : 100	date 30/01/2020
	drawing ROOF PLAN	drawing no DA-112	Revision

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General Notes:

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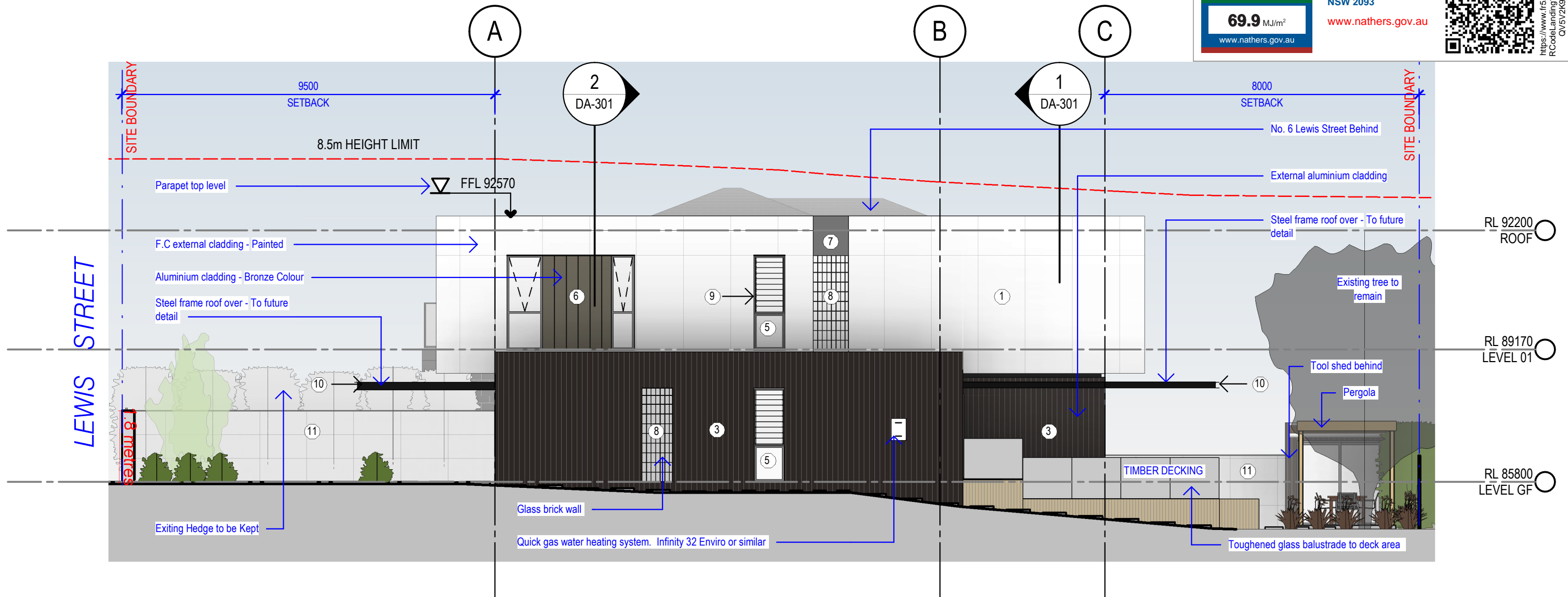
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1 PROPOSED SOUTH ELEVATION

1 : 100



- | | | | | | | | | | | | |
|-----------------------|-----------------------|----------------------------------|----------------------------|------------|---------------------------|---------------------------|---------------------|--------------------------------|---------------------------------|---------------------|-----------------------|
| 1. F.C. Board painted | 2. black metal louvre | 3. dark brown aluminium cladding | 4. intergrated garage door | 5. glazing | 6. bronze facade material | 7. dark grey painted wall | 8. glass brick wall | 9. black painted metal framing | 10. black painted steel channel | 11. off-white tiles | 12. black metal fence |
|-----------------------|-----------------------|----------------------------------|----------------------------|------------|---------------------------|---------------------------|---------------------|--------------------------------|---------------------------------|---------------------|-----------------------|

A3
Scale: 1:100



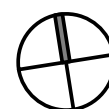
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project No.
AP-19-076

project
4 Lewis Street, Balgowlah Heights

drawing

PROPOSED SOUTH ELEVATION

scale	date
1 : 100	30/01/2020
drawing no	Revision
DA-201	

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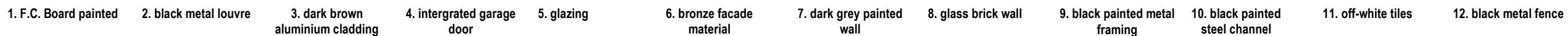
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1 : 100



1 : 100



A3
Scale: 1:100



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| project No.

AP-19-076

project

4 Lewis Street, Balgowlah Heights

	drawing
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PROPOSED ELEVATIONS

| scale | date |

1 : 100

drawing no.	Revision
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DA-202

DA-202

General Notes:

- General Notes:

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4.8

**NATIONWIDE
HOUSE**
ENERGY RATING SCHEME

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Accreditation number:
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Dwelling address:

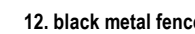
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Jennifer Edwards
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12 Feb 2020



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drawing no.	Revision
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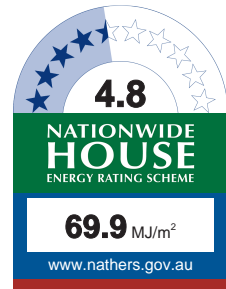
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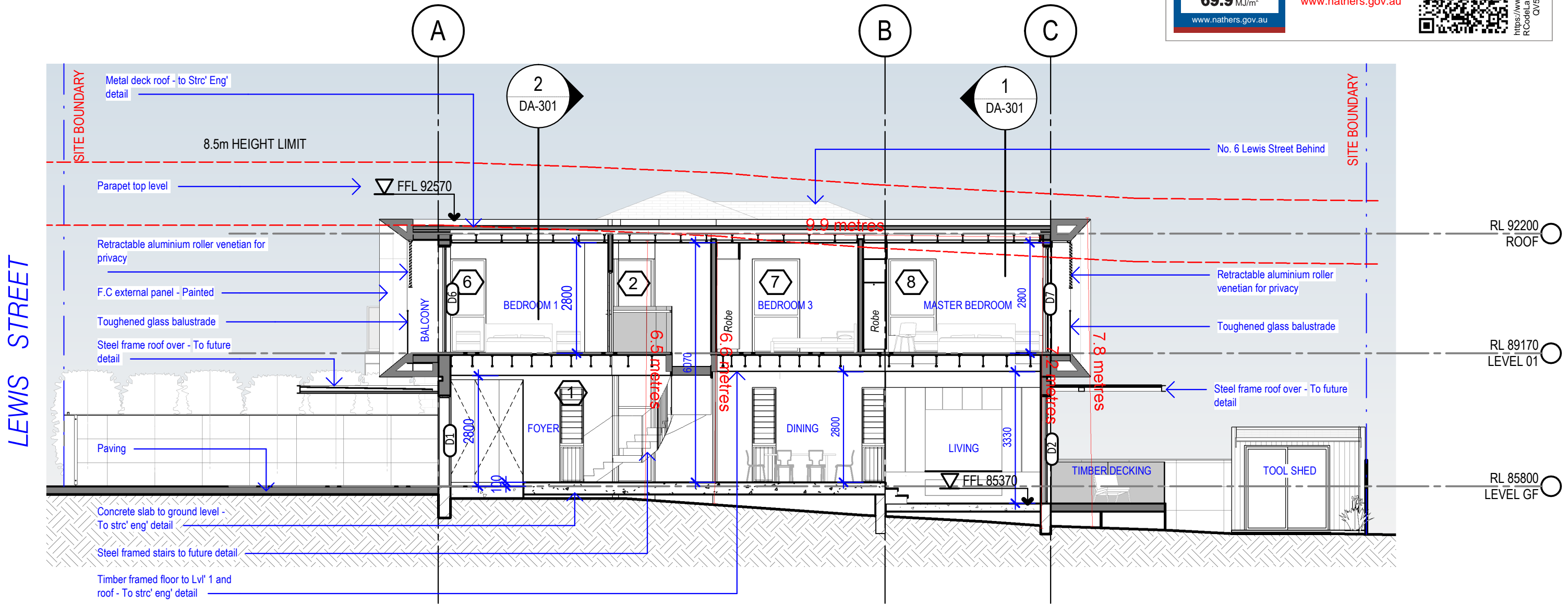


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1 PROPOSED LONG SECTION - AA
1 : 100

A3
Scale: 1:100
0 1 2 3 4m
1:100

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project No. AP-19-076	project 4 Lewis Street, Balgowlah Heights	scale 1 : 100	date 30/01/2020
	drawing SECTIONS - SHEET 01	drawing no DA-300	Revision

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- All materials and workmanship shall be in accordance with the relevant codes of practice, Australian Standards or specification, regardless of their inclusion in the building contract.
- Insulation - new or altered construction (floors(s), walls and ceilings/roofs) must be built in accordance with the relevant codes of practice, Australian Standards or specification, regardless of their inclusion in the building contract.
- Refer to consulting engineers drawings for all structural, civil and stormwater details and member size and treatment.
- Windows frame type as selected to manu' spec'
- Plasterboard lining to internal stud walls & ceilings
- Goods or materials on site, including their safe storage and protection from the weather are the responsibility of the principal contractor / builder until secured to the structure.

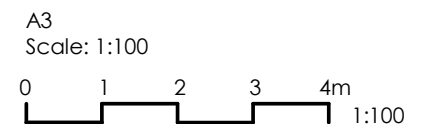
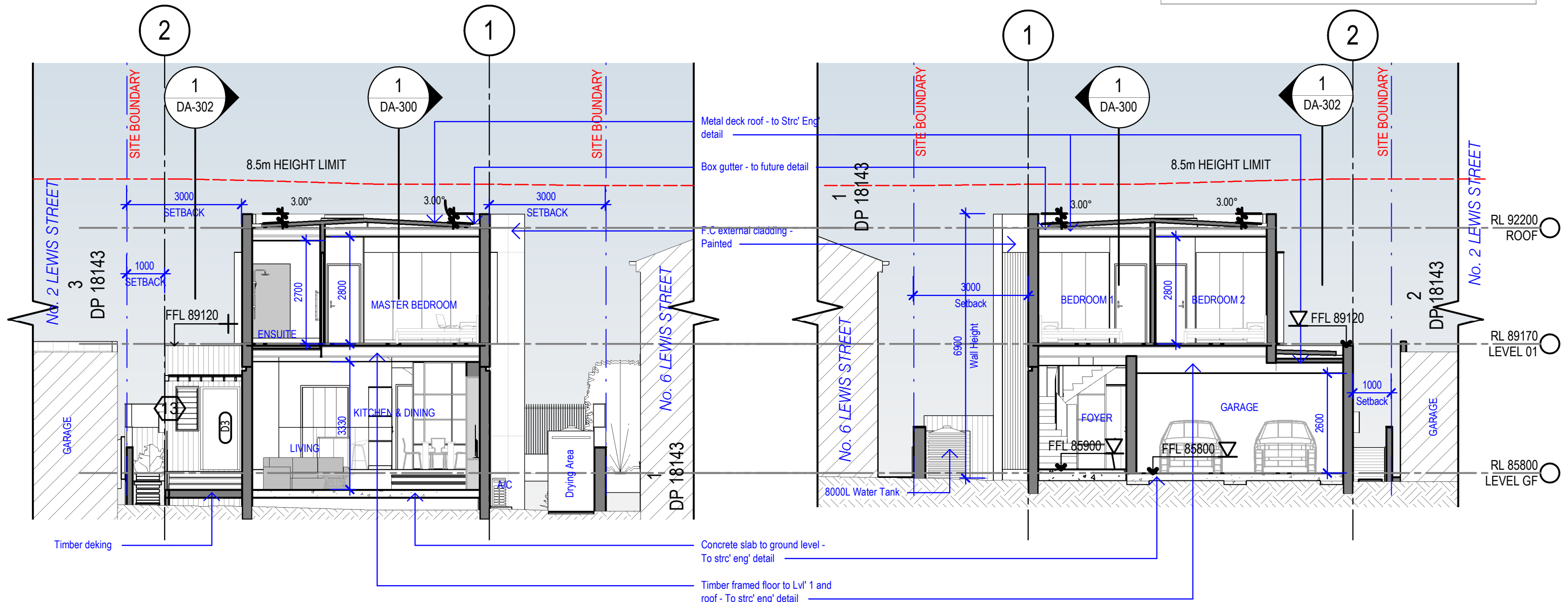
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Certificate Number: QV5V2K9GTD
Assessor Name: Jennifer Edwards
Accreditation number: VIC/BD/AV/17/1795
Certificate date: 12 Feb 2020
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revision	

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Jackson Teece Chesterman Willis Pty Ltd
Trading as Jackson Teece ABN 15 083 837 290
Nominated Architects: Damian Barker (8192), John Gow (6790), Daniel Hudson (8315)

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project No. AP-19-076	project 4 Lewis Street, Balgowlah Heights	scale 1 : 100	date 30/01/2020
drawing SECTIONS - SHEET 02		drawing no DA-301	Revision

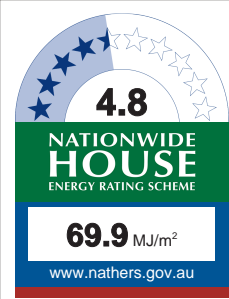
General Notes:

- All construction to be carried out in accordance with the Building Code of Australia & all relevant Australian Standard.
- Contractor to confirm all required setbacks prior to construction
- Contractor to confirm all dimensions & levels on site prior to commencement of any work including boundary line & pegs.
- Contractor to confirm presence of any existing services before commencing works.
- Dimensions take preference over scale. Do not scale off drawing.
- Work place health and safety matters and condition of the site are in the first instance the responsibility of the principal contractor.
- The principal contractor / builder shall be responsible for maintaining stability of the structure until completion of construction and shall ensure that no part of the structure is over stressed by construction loading.

General Notes:

- All materials and workmanship shall be in accordance with the relevant codes of practice, Australian Standards or specification, regardless of their inclusion in the building contract.
- Insulation - new or altered construction (floors(s), walls and ceilings/roofs) must be built in accordance with the relevant codes of practice, Australian Standards or specification, regardless of their inclusion in the building contract.
- Refer to consulting engineers drawings for all structural, civil and stormwater details and member size and treatment.
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- Plasterboard lining to internal stud walls & ceilings
- Goods or materials on site, including their safe storage and protection from the weather are the responsibility of the principal contractor / builder until secured to the structure.

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Accreditation number:
Certificate date:
Dwelling address:

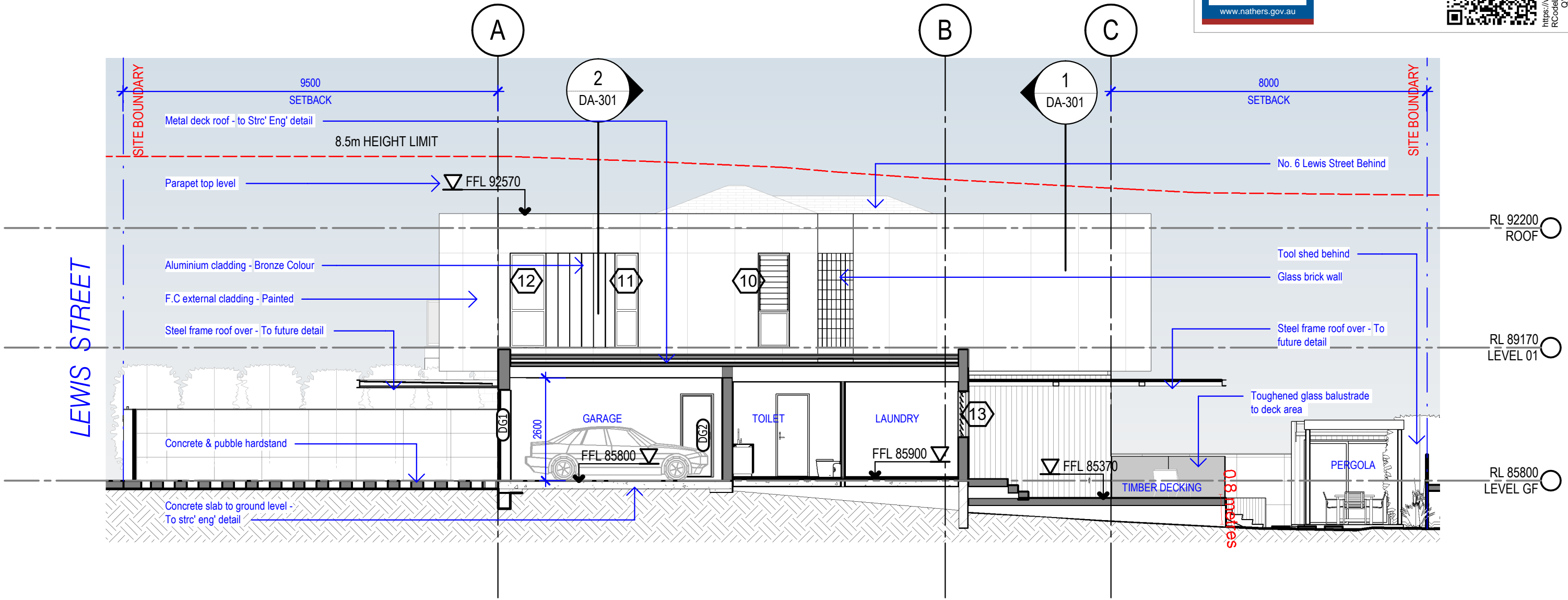
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Jennifer Edwards
VIC/BDV/17/1795
12 Feb 2020



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1 PROPOSED LONG SECTION - DD

1 : 100

A3
Scale: 1:100



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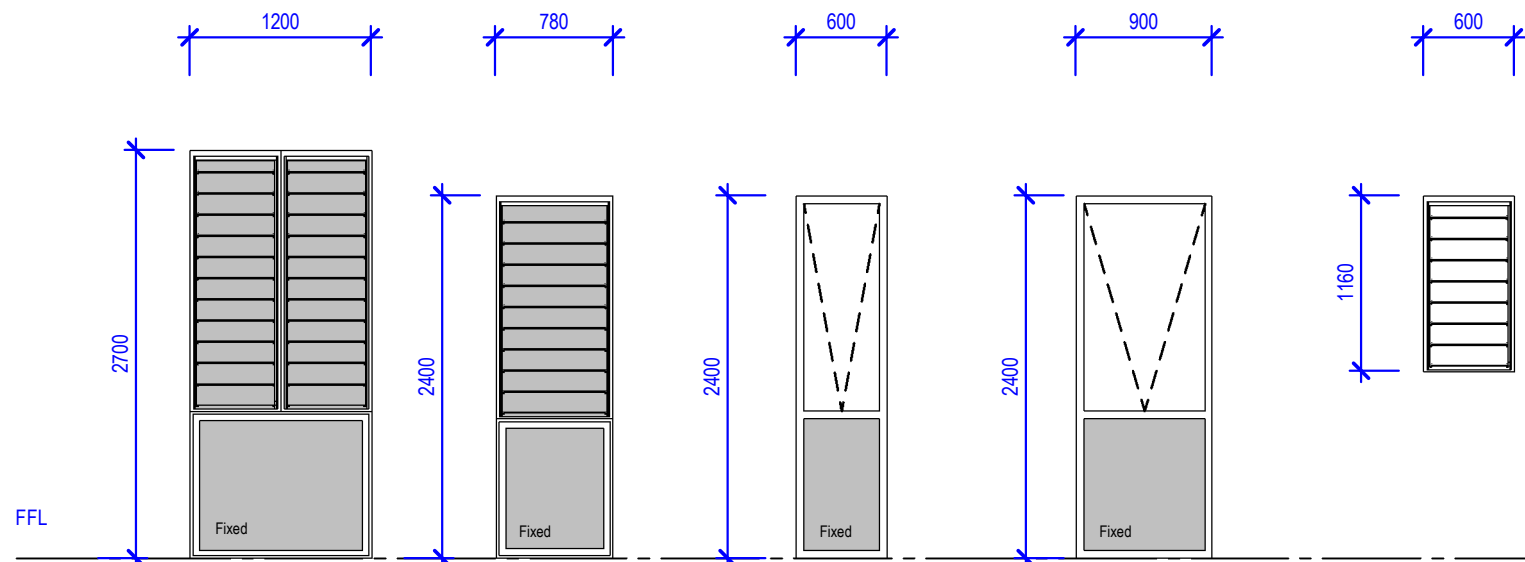
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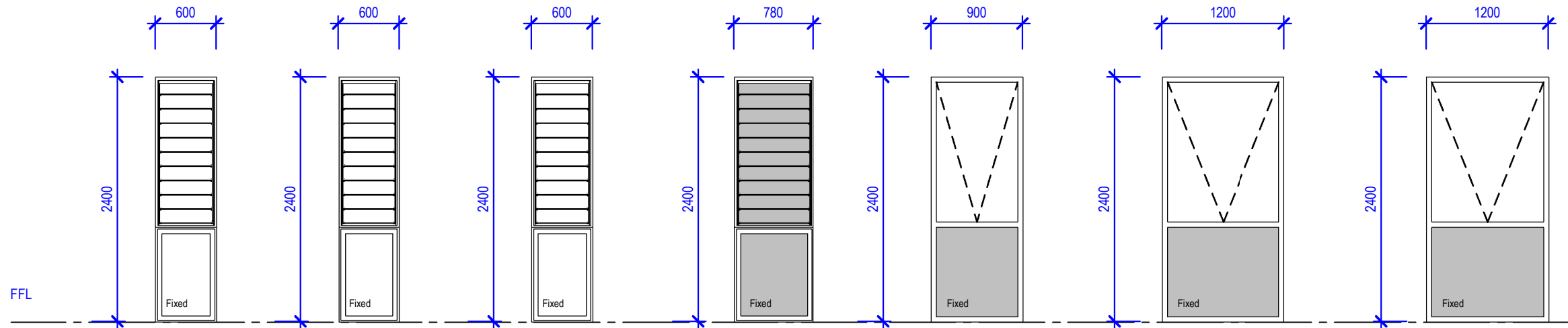
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project No. AP-19-076	project 4 Lewis Street, Balgowlah Heights	scale 1 : 100	date 30/01/2020
drawing SECTION - SHEET 03		drawing no DA-302	Revision



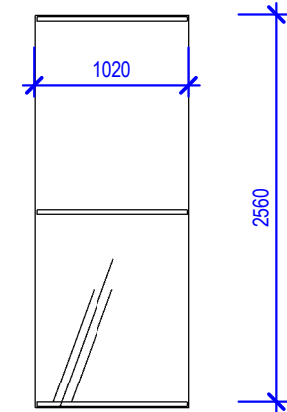
NAME	W9	W10	W11	W12	W13	S1
LOCATION	ENSUITE	BATHROOM	BEDROOM 2	BEDROOM 2	LAUNDRY	CORRIDOR
FRAME	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM	
GLASS	OBSCURE LOUVRE	OBSCURE LOUVRE	CLEAR/OBSCURE	CLEAR/OBSCURE	CLEAR	CLEAR
NOTES	External Fly Screen	External Fly Screen	-	-	External Fly Screen	-

Builder To Check & Confirm All Door & Window Sizes and Allow For Clearances Prior To Ordering



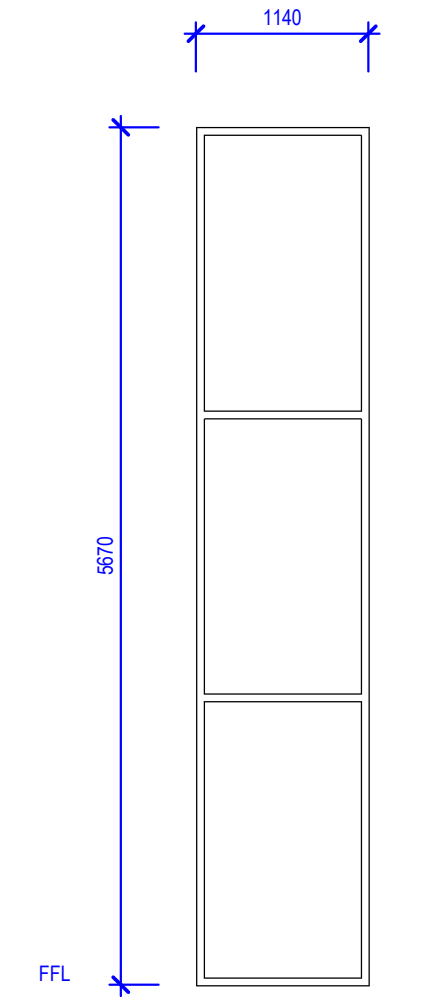
NAME	W1	W3	W4	W5	W6	W7	W8
LOCATION	FOYER	DINING	DINING	TOILET	BEDROOM 1	BEDROOM 3	MASTER BEDROOM
FRAME	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM
GLASS	CLEAR	CLEAR	CLEAR	OBSCURE	CLEAR / OBSCURE	CLEAR / OBSCURE	CLEAR / OBSCURE
NOTES	External Metal Louvre	External Metal Louvre	External Metal Louvre	-	-	-	-

SKYLIGHT



NOT FOR CONSTRUCTION

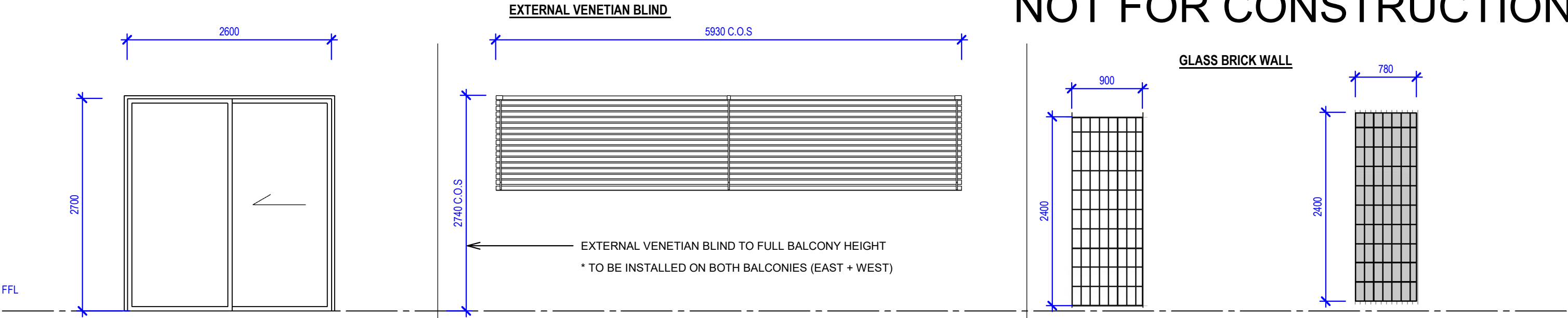
Certificate Number: QV5V2K9GTD
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NAME	W2
LOCATION	FOYER
FRAME	ALUMINIUM
GLASS	CLEAR
NOTES	External Metal Louvre

revision	
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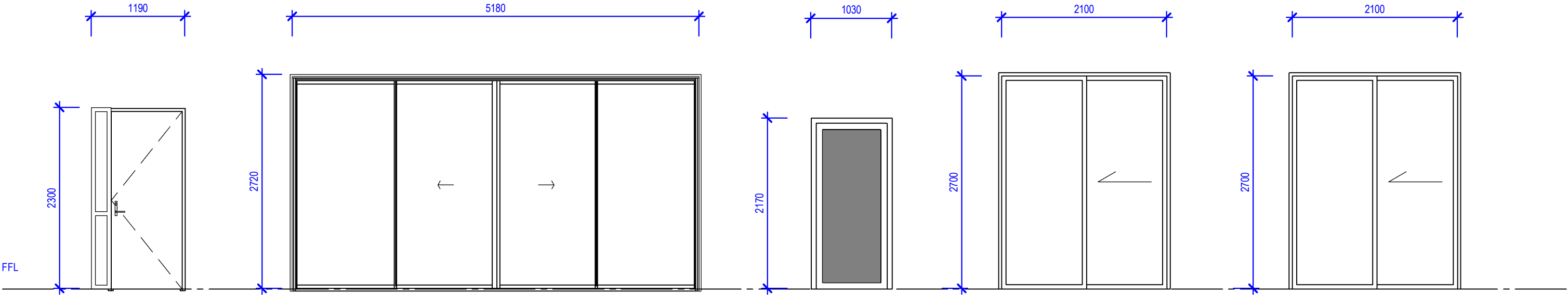
project No.	project	scale	date
AP-19-076	4 Lewis Street, Balgowlah Heights	1 : 50	30/01/2020
	drawing	drawing no	Revision
	WINDOW SCHEDULE	A-250	



NAME	D7 - SLIDING DOOR	EXTERNAL VENETIAN BLIND - TWO SETS	GLASS BRICK WALL	GLASS BRICK WALL
LOCATION	MASTER BEDROOM	MASTER BEDROOM BALCONY + BEDROOM 1 & 2 BALCONY	STORAGE - LEVEL 1	GARAGE
FRAME	ALUMINIUM	ALUMINIUM		
GLASS	CLEAR	POWDERCOATED BLACK - TBC		
NOTES	External Fly Screen			

Builder To Check & Confirm All Door & Window
Sizes and Allow For Clearances Prior To Ordering

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NAME	D1	D2 - SLIDING DOOR	D3	D5 - SLIDING DOOR	D6 - SLIDING DOOR
LOCATION	ENTRY	LIVING	LAUNDRY	BEDROOM 2	BEDROOM 1
FRAME	TIMBER SOLID CORE	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM
GLASS		CLEAR	OBSCURE	CLEAR	CLEAR
NOTES	BRONZE FINISH	Allow for retractable flyscreen to sliding door	-	External Fly Screen	External Fly Screen



4.8

NATIONWIDE
HOUSE

ENERGY RATING SCHEME

69.9 MJ/m²

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Certificate Number:
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Accreditation number:
Certificate date:
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Jackson Teece Chesterman Willis Pty Ltd
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Nominated Architects: Damian Barker (8192), John Gow (6790), Daniel Hudson (8315)

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project No.	project	scale	date
AP-19-076	4 Lewis Street, Balgowlah Heights	1 : 1	30/01/2020
	drawing	drawing no	Revision
	PERSPECTIVES 3D VIEW - 01	DA-400	



4.8

NATIONWIDE
HOUSE
ENERGY RATING SCHEME

69.9 MJ/m²

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Certificate Number:
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Dwelling address:

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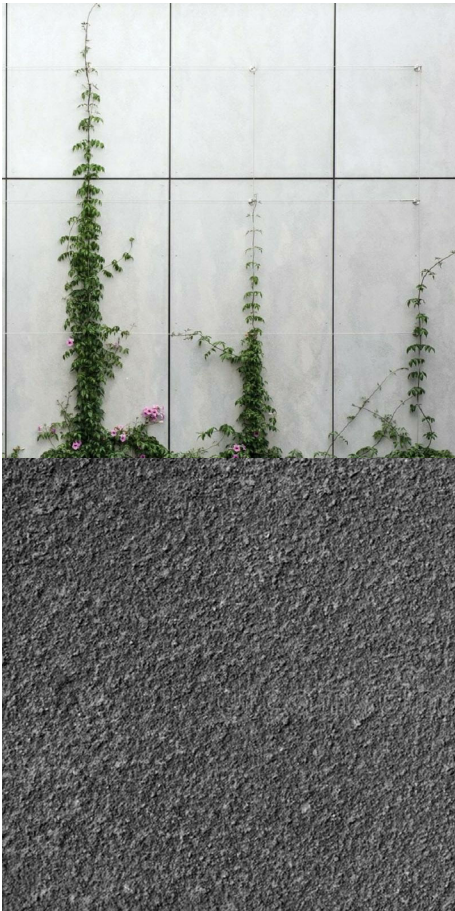
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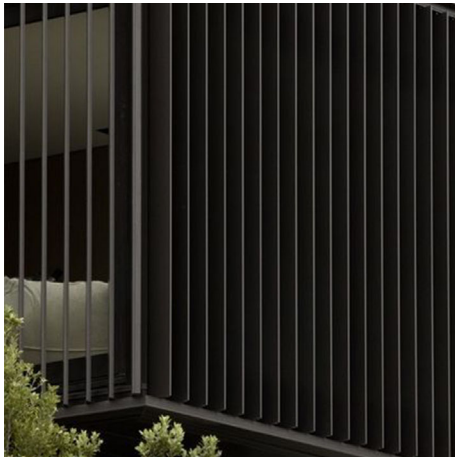
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project No.	project	scale	date
AP-19-076	4 Lewis Street, Balgowlah Heights	1 : 1	30/01/2020
	drawing	drawing no	Revision
	PERSPECTIVES 3D VIEW - 02	DA-401	

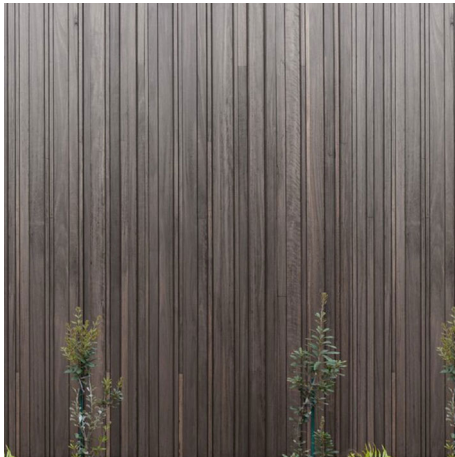
1. F.C board painted



2. black metal louvre



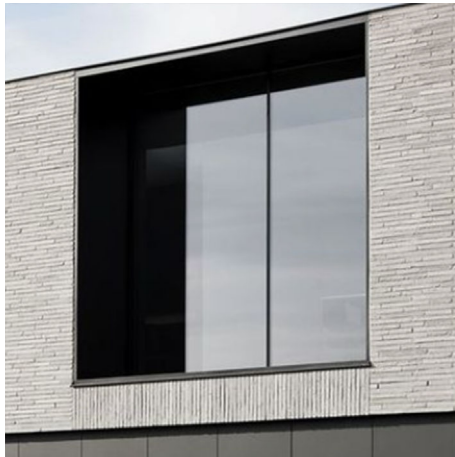
3. dark brown aluminium cladding



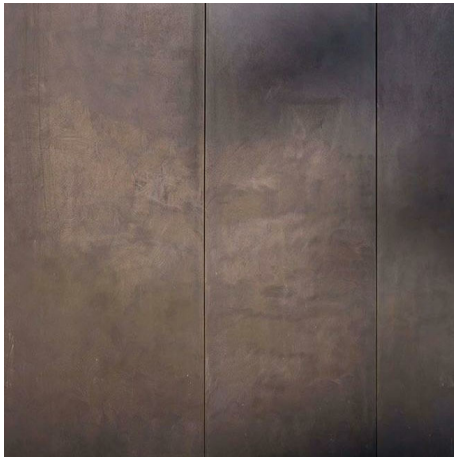
4. intergrated garage door



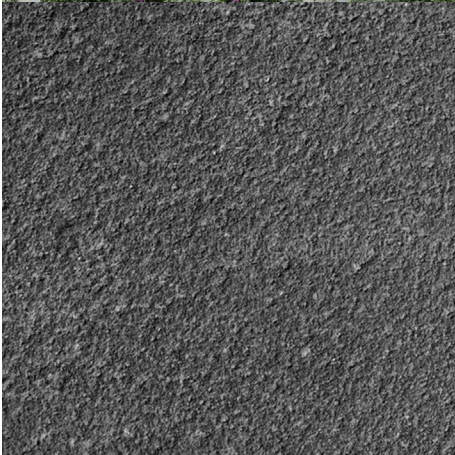
5. glazing



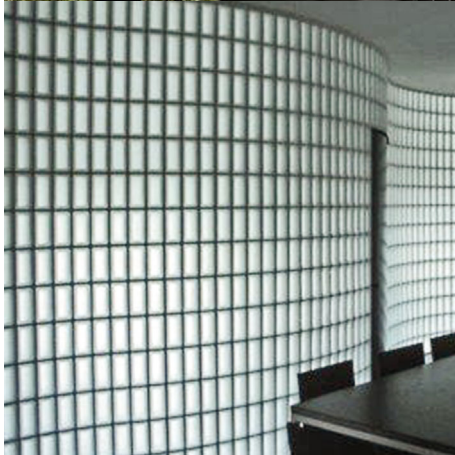
6. bronze facade material



7. dark grey painted wall



8. glass brick wall



9. black painted metal framing



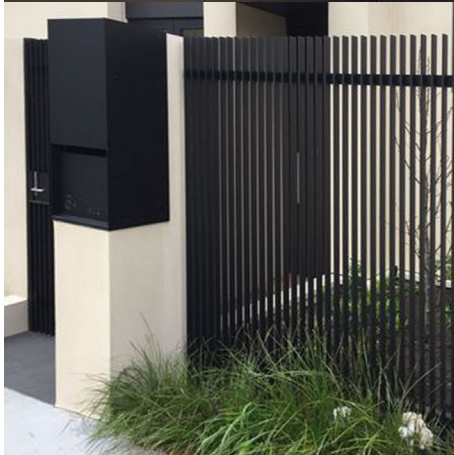
10. black painted steel channel



11. off-white tiles



12. black metal fence





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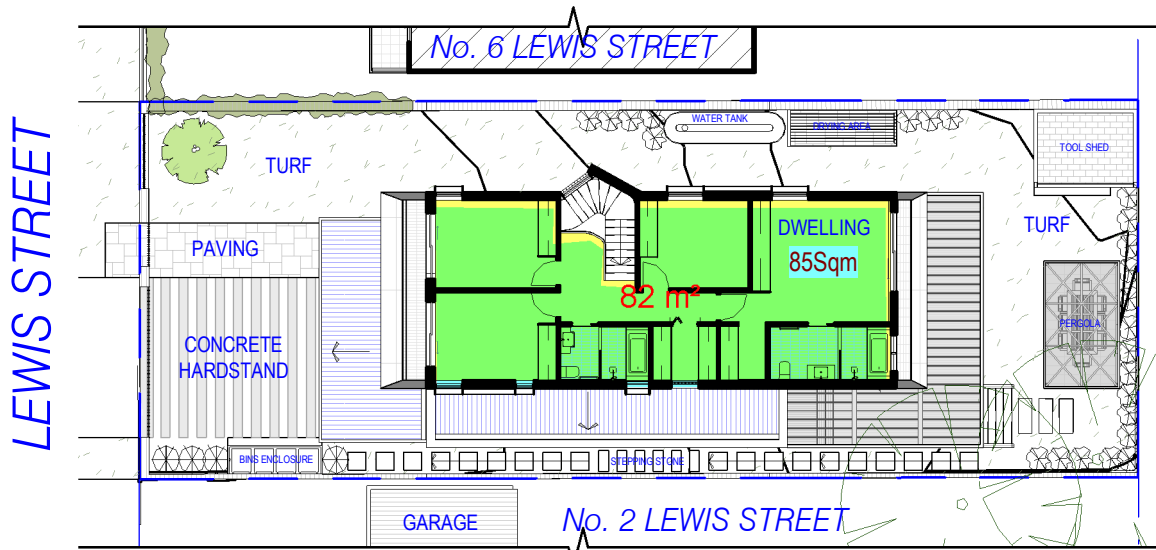
Certificate Number: QV5V2K9GTD
Assessor Name: Jennifer Edwards
Accreditation number: VIC/BDV/17/1795
Certificate date: 12 Feb 2020
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project No.	project	scale	date
AP-19-076	4 Lewis Street, Balgowlah Heights		30/01/2020
	drawing	drawing no	Revision
	MATERIAL PALETTE	DA-402	



2 FSR - LEVEL 1
1 : 250

SITE AREA CALCULATION - FSR

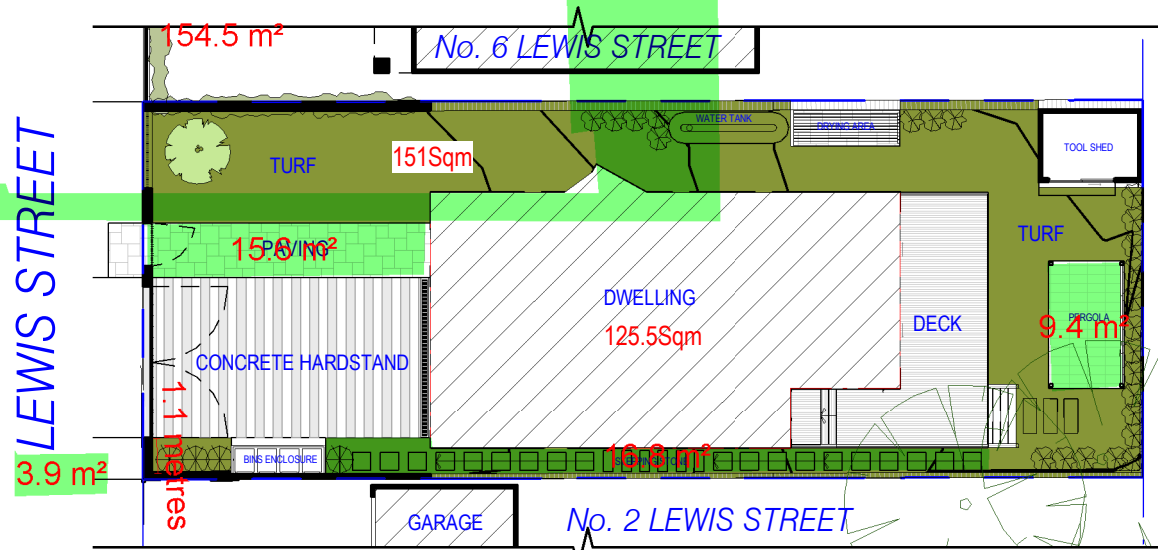
Site Area - 412.8Sqm (By Survey)

Manly FSR Map - Area C - FSR allowed = 0.45:1

Ground Floor - 82m2
Level 1 - 85m2
Total: 167m2

Garage - 29m2

Proposed FSR - 0.40:1 - COMPLY



4 LANDSCAPE AREA
1 : 250

SITE AREA CALCULATION - RESIDENTIAL OPEN SPACE

Manly Map - B - Residential Open Space Area

Area - OS3

Manly DCP - Part 4 - Residential Development Controls

4.1.5 - Open Space and Landscaping

Open Space - Area OS3 - at least 55% of site Area = 227m2

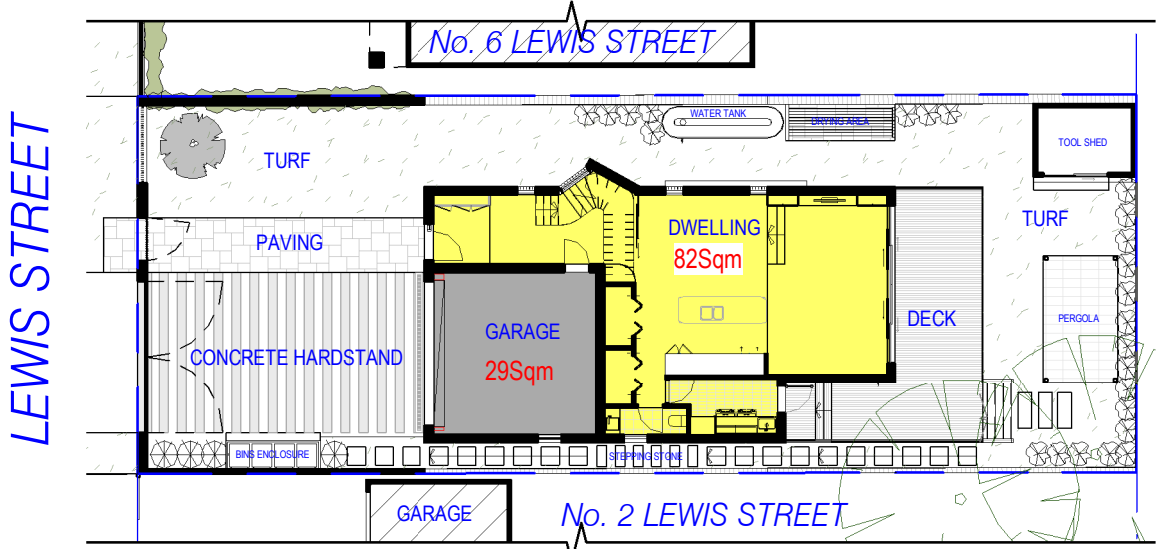
Landscape Area - at least 35% of Open Space = 79.45m2

Proposed Open Space = 227m2 - COMPLY

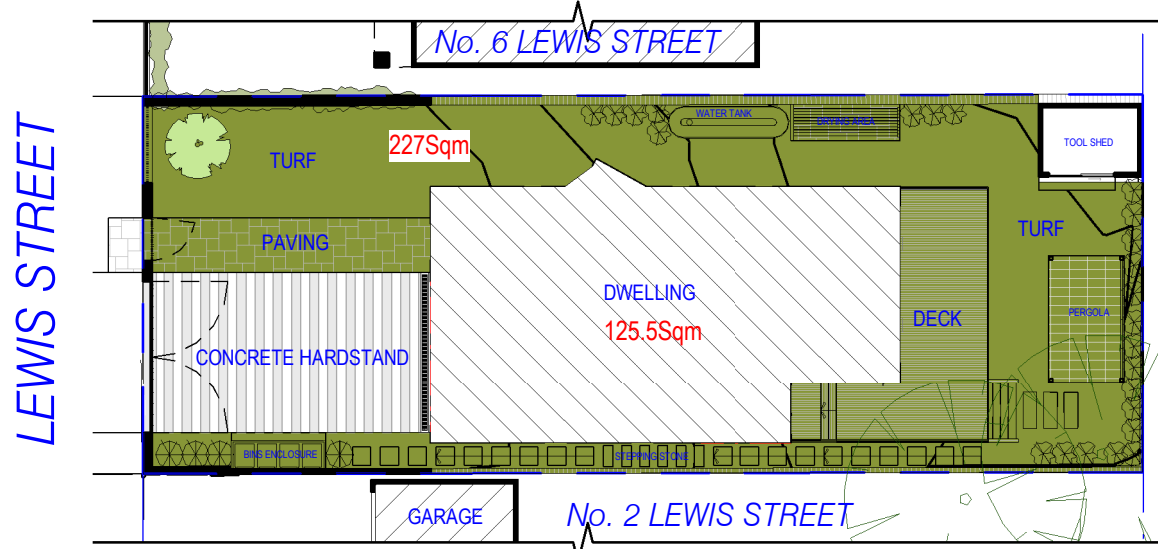
Proposed Landscaping Area = 151m2 - COMPLY

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1 FSR - GROUND FLOOR
1 : 250



3 OPEN SPACE
1 : 250

revision	

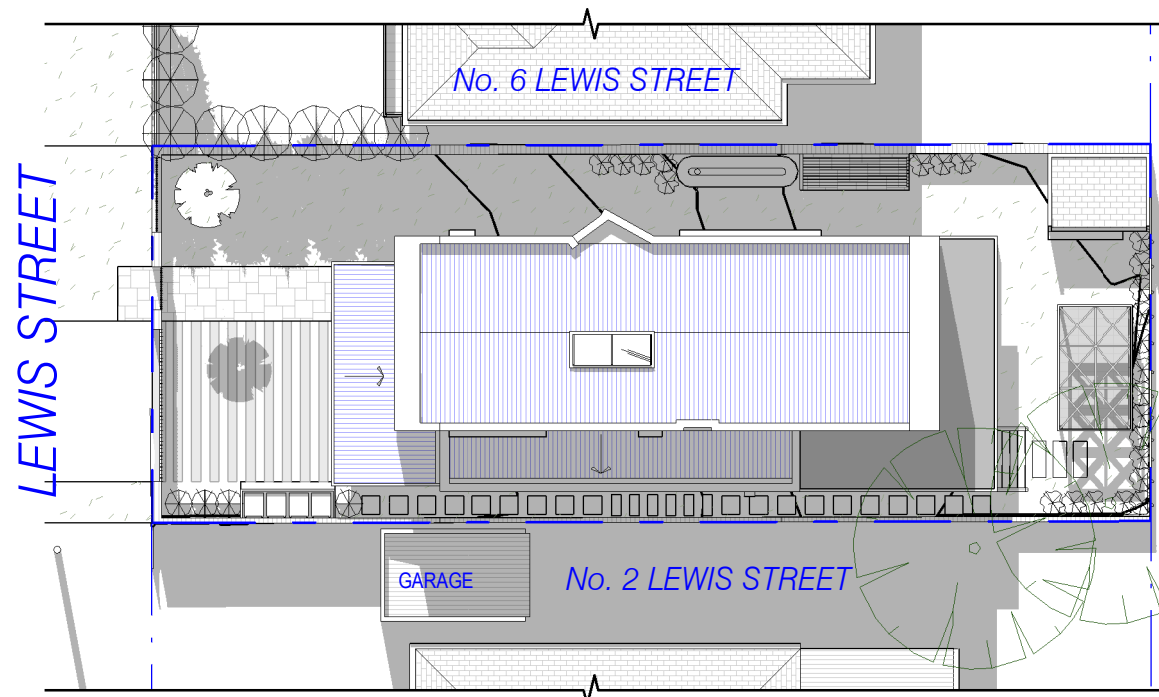
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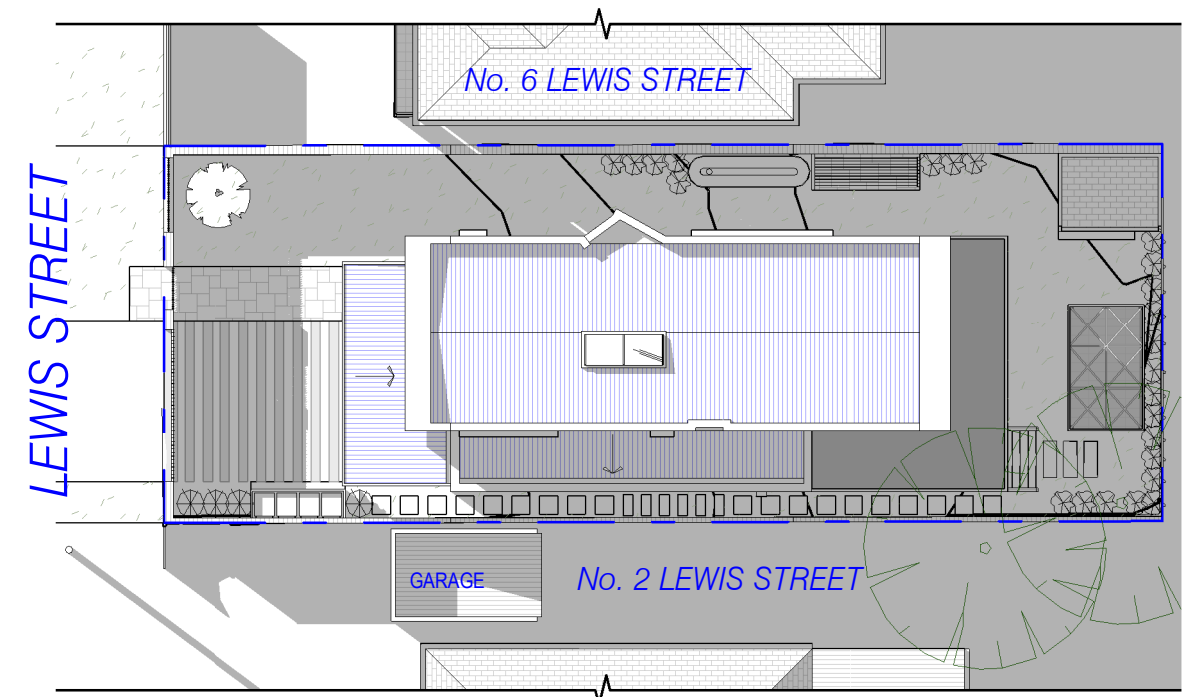
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	drawing SITE AREA CALCULATIONS	drawing no DA-600	Revision

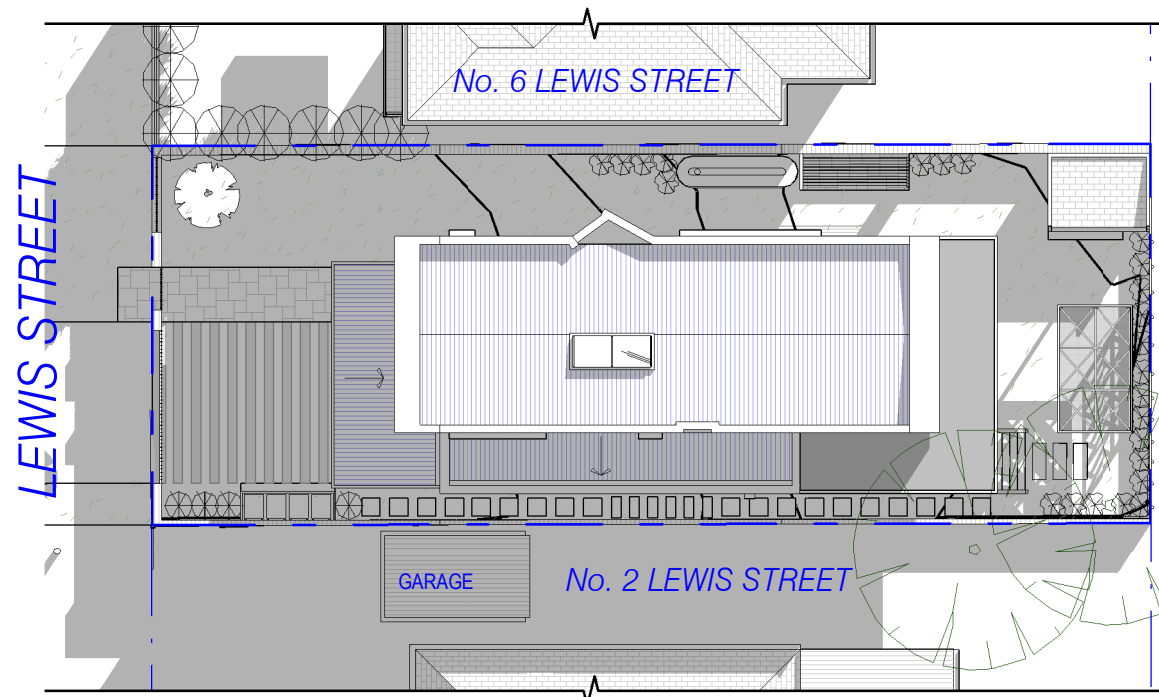
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2 JUNE 21 - 12NOON
1 : 250



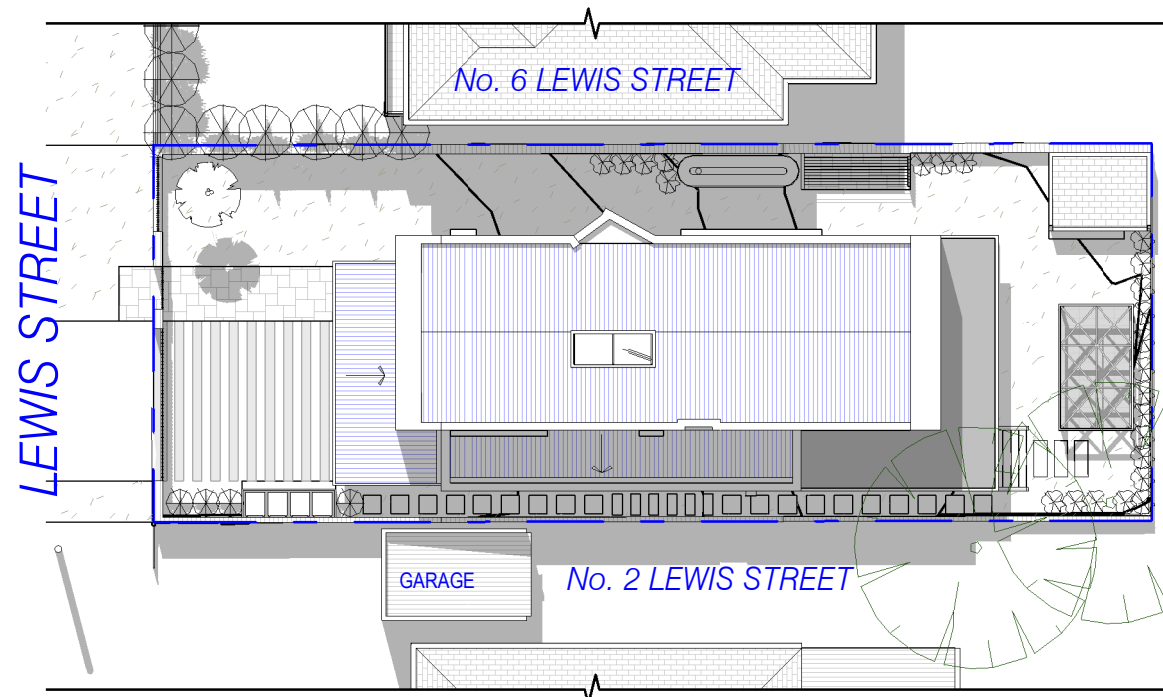
3 JUNE 21 - 3PM
1 : 250



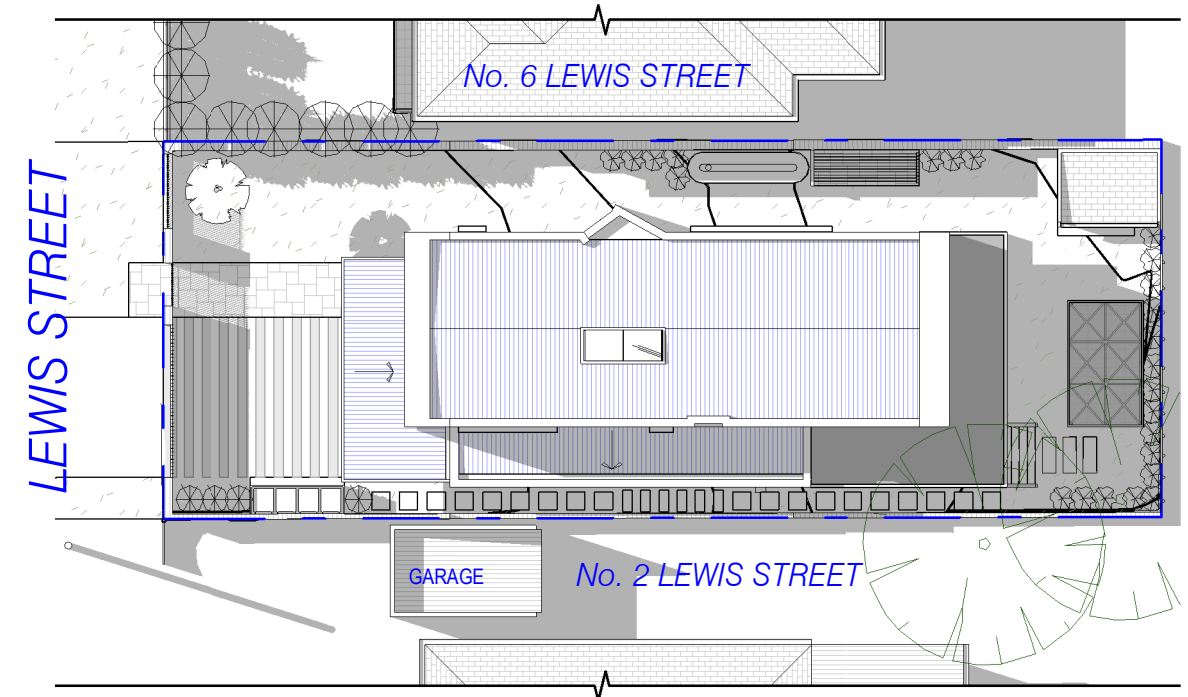
1 JUNE 21 - 9AM
1 : 250



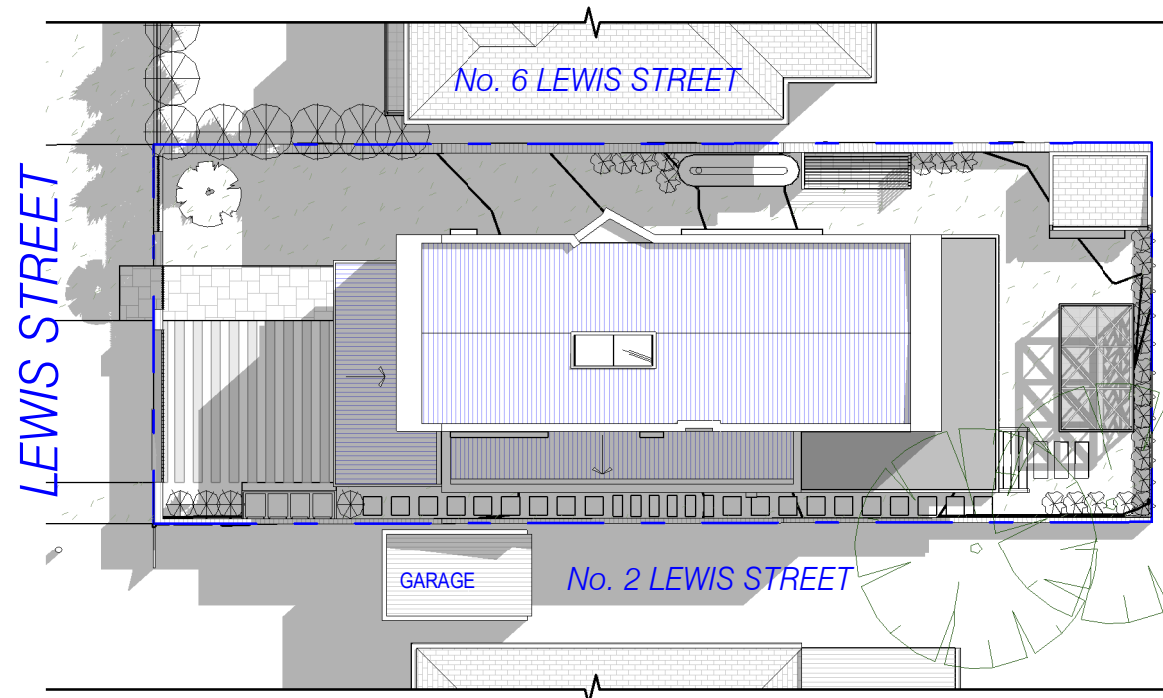
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2 SEPTEMBER 21 - 12NOON
1 : 250



3 SEPTEMBER 21 - 3PM
1 : 250



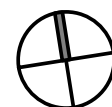
1 SEPTEMBER 21 - 9AM
1 : 250

4.8
NATIONWIDE
HOUSE
ENERGY RATING SCHEME
69.9 MJ/m²
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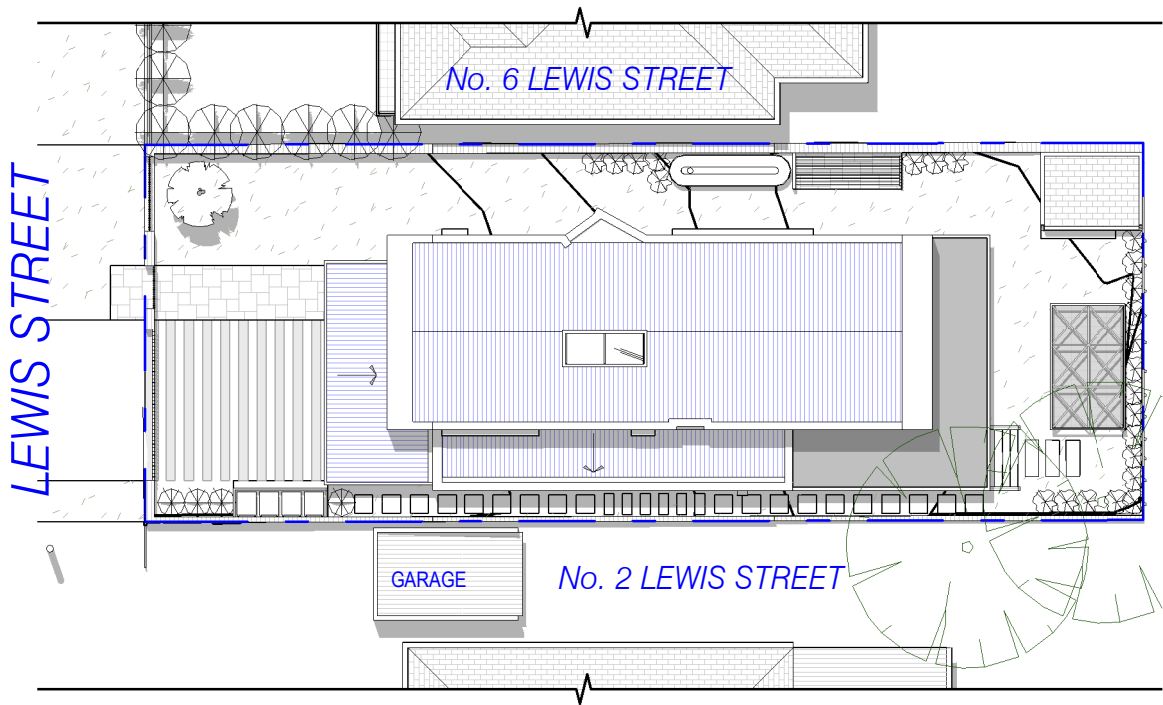
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Assessor Name: **Jennifer Edwards**
Accreditation number: **VIC/BDAV/17/1795**
Certificate date: **12 Feb 2020**
Dwelling address: **4 Lewis Street
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NSW 2093**
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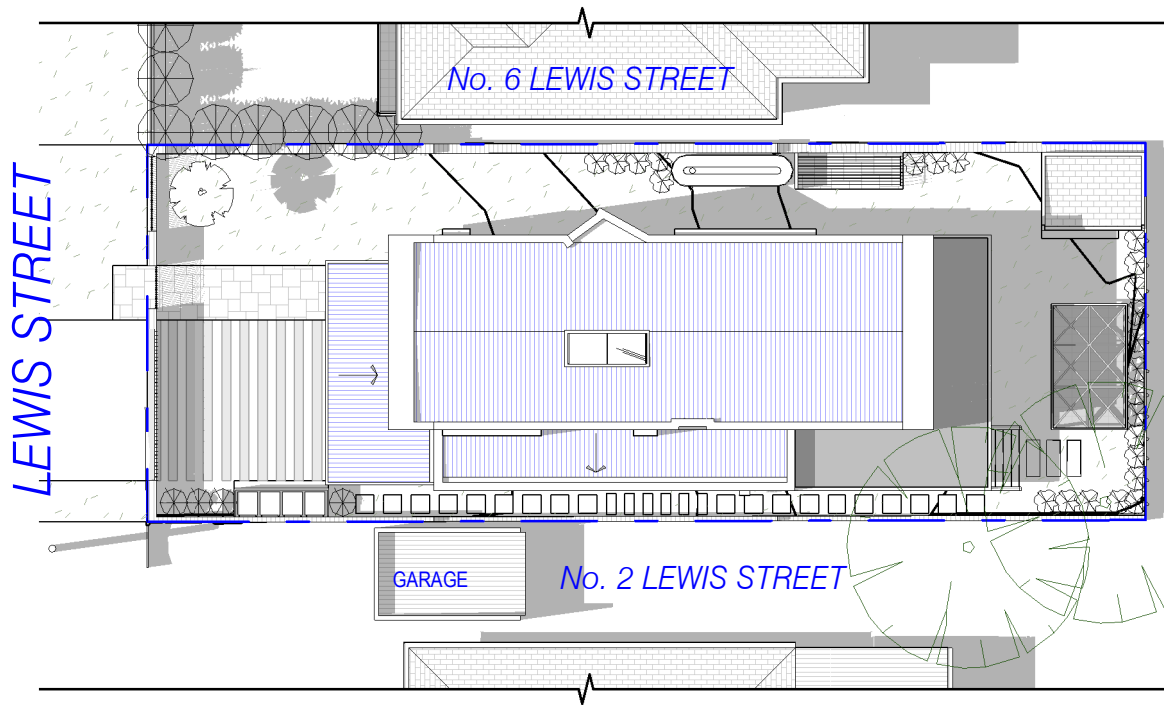
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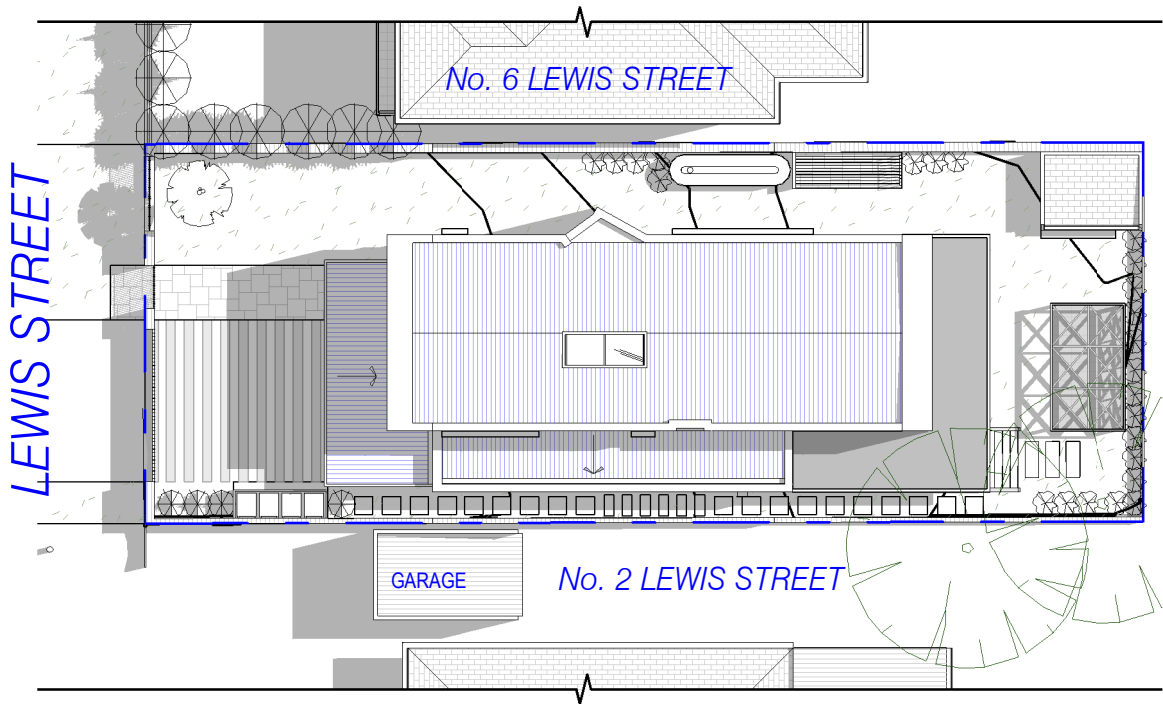
project No. AP-19-076	project 4 Lewis Street, Balgowlah Heights	scale 1 : 250	date 30/01/2020
	drawing SHADOW DIAGRAMS 21 SEPTEMBER	drawing no DA-801	Revision



2 DECEMBER 21 - 12NOON
1 : 250



3 DECEMBER 21 - 3PM
1 : 250



1 DECEMBER 21 - 9AM
1 : 250



Certificate Number: QV5V2K9GTD
Assessor Name: Jennifer Edwards
Accreditation number: VIC/BDV/17/1795
Certificate date: 12 Feb 2020
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revision	

project No.	project	scale	date
AP-19-076	4 Lewis Street, Balgowlah Heights	1 : 250	30/01/2020
	drawing	drawing no	Revision
	SHADOW DIAGRAMS 21 DECEMBER	DA-802	

01 WATER & SEDIMENT CONTROL MEASURES:

- 1. Pre existing site access points are retained during construction. Site access points are established with geo-textile fabric and blue matel. A vehicle grid ensures minimal soil particles are removed from the site.
- 2. Geo-textile sediment fences are located as indicated to prevent runoff. Existing vegetation buffers are maintained.
- 3. Kerb side drains are protected with gravel sausages.
- 4. Material stockpiles are covered and located within sediment fences.
- 5. Excavated material is paced up slope of service trenches. Trenches are filled and compacted immediately after installation of services.
- 6. Paved areas and footpaths are swept daily and sediment is collected.
- 7. Erosion and sediment controls are to be checked daily and repaired when necessary.

02 SITE CONTROL MEASURES:

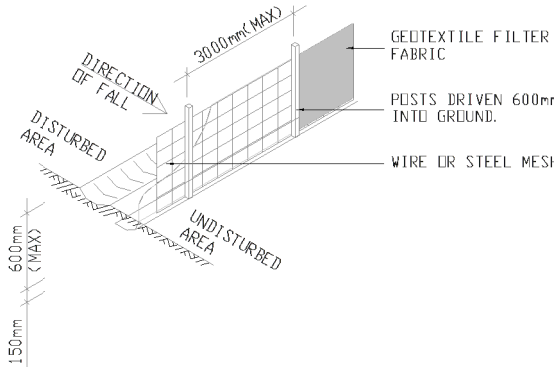
- 1. Temporary fencing to boundaries to provide security to the adjoining properties
- 2. All appropriate signage is to be clearly displayed at the front of the property.
- 3. On site facilities such as power, water and toilet facilities will be provided from the building during construction.
- 4. The existing footpath crossing will be used during construction. Make good any damage at the completion of the project.
- 5. All scaffolding to be erected to the authority rules and regulations.
- 6. All plant and equipment required will be stored on site during operations. All adjoining properties, including footpaths, fences and services to be protected during the delivery and removal of the equipment.
- 7. Rubbish skips will not be allowed on the road without council permission.

03 SEDIMENT CONTROL FENCE DETAIL

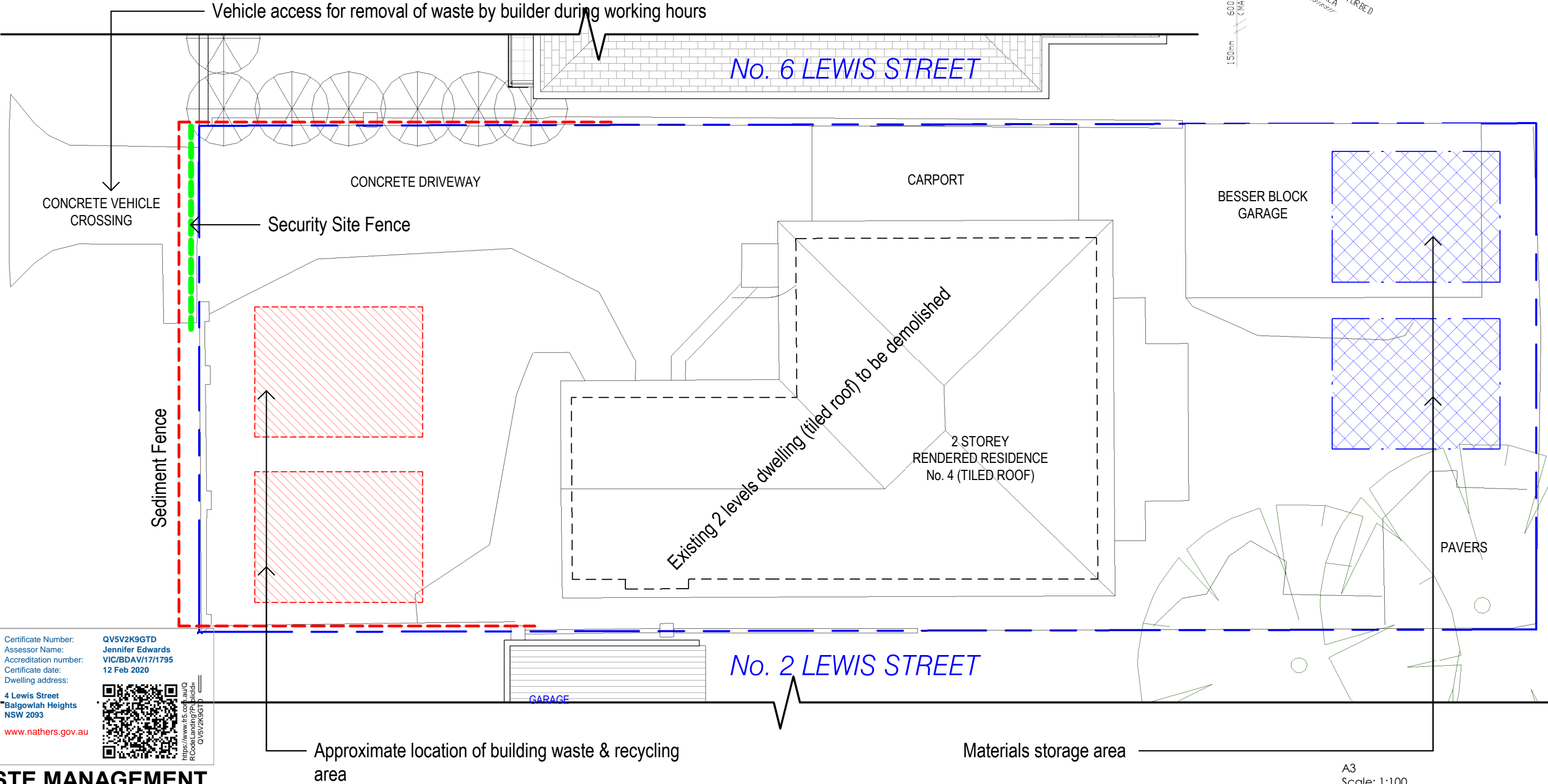
- 1. All erosion and sediment control measures, including revegetation and storage of soil and topsoil, shall be implemented to the standards of soil conservation of NSW
- 2. All drainage works shall be constructed and stabilized as early as possible during development.
- 3. Sediment traps shall be constructed around all inlets pits, consisting of 300mm x 300mm deep trench.
- 4. All sediment basins and traps shall be cleaned when the structures are a maximum of 60% full of soil materials including the maintenance period.
- 5. All disturbed areas shall be revegetated as soon as the relevant works are completed.
- 6. Soil and topsoil stockpiles shall be located away from drainage lines and areas where water may concentrate.
- 7. Filter shall be constructed by stretching a filter fabric 'propex' or approved equivalent between post at 300mm centres. Fabric shall be buried 150mm along it's lower edge.

Sediment Control Fence Detail.

DRAINAGE AREA 0.6ha MAX. SLOPE GRADIENT 1:2 MAX. SLOPE LENGTH 60m



LEWIS STREET



4.8

NATIONWIDE HOUSE ENERGY RATING SCHEME

69.9 MJ/m²

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Certificate Number: QV5V2K9GTD

Assessor Name: Jennifer Edwards

Accreditation number: VIC/BDV/17/1795

Certificate date: 12 Feb 2020

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1 WASTE MANAGEMENT 1 : 100

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project No.	project	scale	date
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