

15 CLIFFORD AV FAIRLIGHT - ALTERATIONS AND ADDITIONS


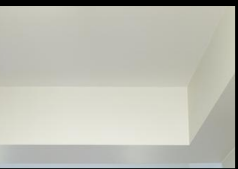
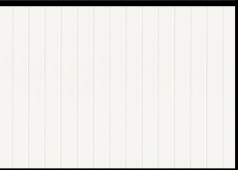






DRAWING LIST

Dwg No:	Drawing Scale:	Drawing Title:
1.01	NTS	Site Location, Area Schedule
1.02	NTS	General Notes
1.03	NTS	Demolition Notes
1.04	1:100 @ A2	Site Analysis Plan
1.05	1:100 @ A2	Site Plan
1.06	1:100 @ A2	Ground Floor Plan
1.07	1:100 @ A2	Basement Plan
1.08	1:100 @ A2	Roof Plan
1.09	1:100 @ A2	Area Calculations
1.10	1:100 @ A2	Stormwater/Sediment Plan
2.01	1:100 @ A2	Elevations East and West
2.02	1:100 @ A2	Elevations North and South
3.01	1:100 @ A2	Sections 1 and 2
3.02	1:100 @ A2	Section 3, 4 and 5
4.01	NTS	Doors and Windows Schedule
4.02	1:100 @ A2	Shadow Diagrams
4.03	NTS	3D Images
4.04	1:150 @ A2	Notification Plan

AREA SCHEDULE

TOTAL SITE AREA		362,30 SQM	
<u>AREA CALCULATION AGAINST NBC CODES</u>			
	PROPOSED	EXISTING	COMPLY
HEIGHT	8.3 M	8.3 M	UNCHANGED
LANDSCAPED	31.3 SQM	31.3 SQM	UNCHANGED
FLOOR AREA	163 SQM	163 SQM	UNCHANGED
OPEN SPACE	88.6 SQM	88.6 SQM	UNCHANGED

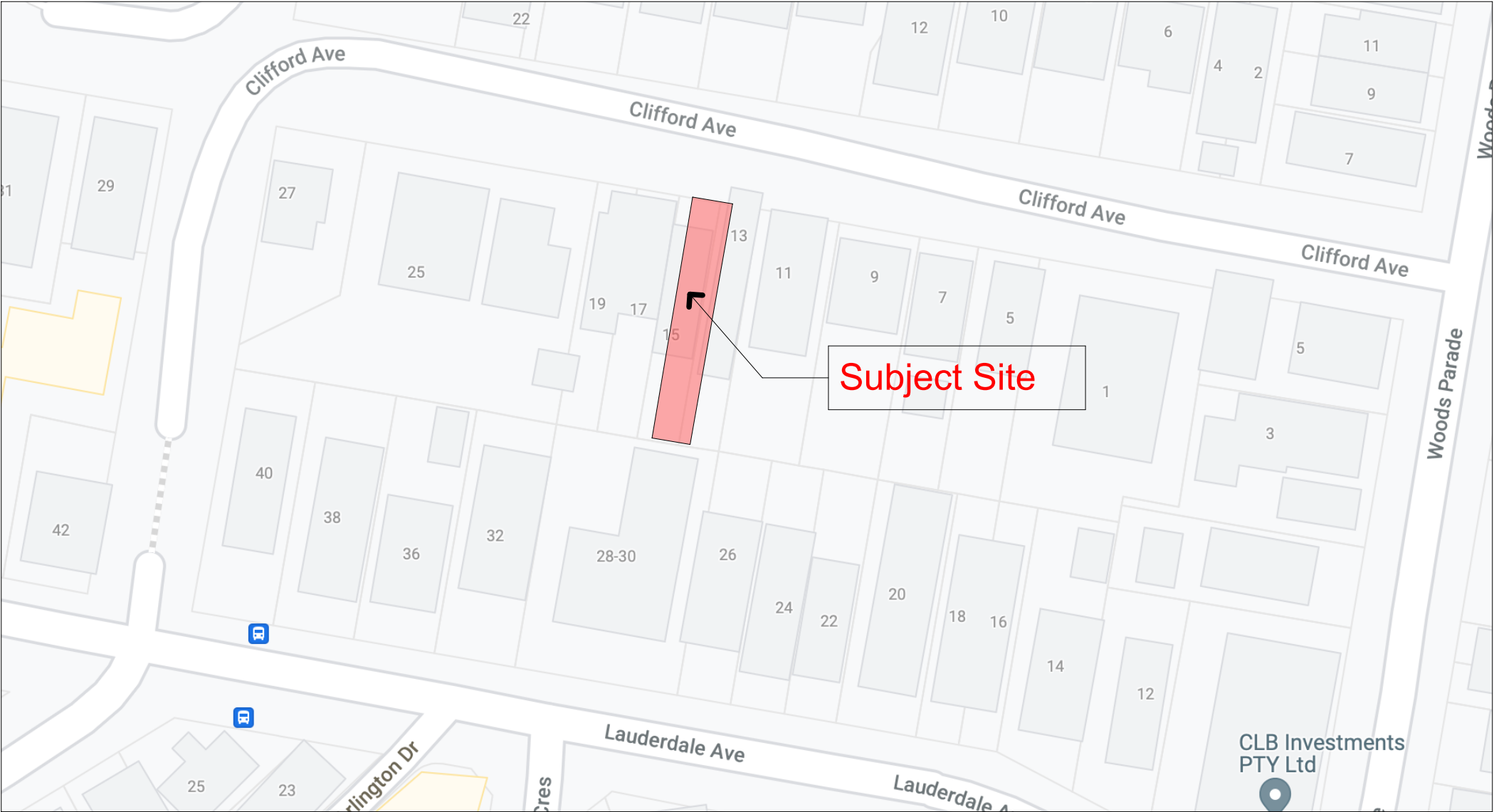
EXTERNAL FINISHES

ROOF	NEW TILED ROOF TO BE PAINTED DARK, EXISTING ROOF TILES TO MATCH	
CEILING	SET PLASTERBOARD CEILING LINING SYSTEM FOR INTERNAL PURPOSE TO BE ATTACHED TO CEILING GRID STRUCTURE	
CEILING	V-JOINT FOR UNDERSIDE OF CEILING AS SPECIFIED OF CONSTRUCTION DRAWINGS	
WALLS	WEATERTEX WHEATERBOARD 140MM CLADDING, RUNNING ORIZONTALLY SYSTEM TO FUTURE SPECIFICATIONS TO BE PAINTED NATURAL WHITE COLOUR LOW SHEEN	
INTERNAL WALLS	V-JOINT INTERNAL WALLS AS SPECIFIED OF CONSTRUCTION DRAWINGS	
FLOORS	EXTERNAL CONCRETE TILES NON SLIP TO COMPLY WITH AUSTRALIAN STANDARDS	
FLOORS	INTERNAL: ENGINEERED TIMBER FLOORING 16MM TO BE LAID ON TOP OF EXISTING. COLOUR TO BE CONFIRMED	
WINDOWS & DOORS	DULUX NATURAL WHITE GLAZED ALUMINIUM WINDOWS AND DOORS, GLASS TO COMPLY WITH BASIX REQUIREMENTS AND ACCORDINGLY WITH SCHEDULE ON DOOR AD WINDOW SCHEDULES	
GUTTERS	COLORBOND STEEL GUTTERS DULUX NATURAL WHITE NON REFLECTIVE, SIZE AND DEPTH TO MATCH FUTURE ENG. DRAWINGS	

BASIX COMMITMENTS

REFER TO BASIX
CERTIFICATE ATTACHED
WITH THIS APPLICATION

LOCALITY



IMPORTANT:

- ALL BEDROOM WINDOWS MORE THAN 2M ABOVE NATURAL GROUND MUST HAVE SILL HEIGHT OF MINIMUM 1700MM OR RESTRICTED OPENING OF MAXIMUM 125MM OR SCREEN WITH SECURE FITTING & MUST COMPLY WITH BCA CLAUSE 3.9.2.5 – PROTECTION OF OPEN ABLE WINDOWS
- HANDRAILS MUST BE INSTALLED ON AT LEAST ONE SIDE OF A STAIRWAY COMPLYING WITH BCA CLAUSE 3.9.2.4.
- ALL WALLS AND OPENINGS WITHIN 900MM OF THE BOUNDARY MUST BE 60/60/60 ONE HOUR CONSTRUCTION & COMPLY WITH CLAUSE 3.7.1.3 & 3.7.1.5
- INSTALLATION MUST BE INSTALLED IN ACCORDANCE AND COMPLY WITH CLAUSE 3.8.6.3 – GENERAL INSTALLATION REQUIREMENTS FOR WALLS
- SMOKE ALARMS MUST BE CONNECTED TO MAIN POWER & INTERCONNECTED WHERE THERE IS MORE THAN ONE ALARM AND MUST BE INSTALLED IN A CLASS 1 BUILDING ON OR NEAR THE CEILING IN:
A) ANY STOREY CONTAINING BEDROOMS; i) BETWEEN EACH PART OF THE DWELLING CONTAINING BEDROOMS AND THE REMAINDER OF THE DWELLING ;ii) WHERE THE BEDROOMS ARE SERVED BY A HALLWAY, IN A HALLWAY
B) ANY OTHER STOREY CONTAINING BEDROOMS

NOTE: All works carried on must comply with the Building Code of Australia, the requirements of Northern Beaches Council, and the approved conditions if any, the requirements of the constituted authorities for the supply of services, and the current relevant standards published by the standards association of Australia.

Development Application

NOTES:

Stage Legend
M - Masterplanning
C - Concept
P - Presentation
D - Draft Issue
da - Pre-Development Application
DA - Development Application
96 - Section 96 Documentation
DD - Design Development
CD - Construction Certificate
T - Tender Package
CS - Construction Set

Issued Format
e - Electronic
h - Hardcopy

CONSULT
emma.v.groom@gmail.com or phone
michael.groom@worldipjy.org

CONSULT
emma.v.groom
Michael Groom

ISSUE STAGE

DATE

A

CP

02.12.21

X

X

B

DA

25.03.22

X

X

NOTE:
CHECK ALL DIMENSIONS ON SITE BEFORE COMMENCING WITH THE WORK SHOWN ON THIS DRAWING. WORK TO FOUR DECIMAL DIMENSIONS ONLY. DO NOT SCALE DRAWINGS. REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR A DECISION BEFORE PROCEEDING WITH WORK.

COPYRIGHT: JUST ARCHITECTS. UNLESS OTHERWISE AGREED IN WRITING, ALL RIGHTS TO USE THIS DOCUMENT AND DESIGN ARE SUBJECT TO PAYMENT IN FULL OF ALL JUST ARCHITECTS CHARGES. THIS DOCUMENT MAY ONLY BE USED FOR THE EXPRESS PURPOSE AND PROJECT FOR WHICH IT HAS BEEN CREATED AND DELIVERED, AS NOTIFIED BY JUST ARCHITECTS. AND THIS DOCUMENT MAY NOT BE OTHERWISE USED, OR COPIED, ANY UNAUTHORISED USE OF THIS DOCUMENT IS AT THE USER'S SOLE RISK AND WITHOUT LIMITING JUST ARCHITECTS RIGHTS THE USER RELEASES AND INDEMNIFIES JUST ARCHITECTS FROM AND AGAINST ALL LOSS SO ARISING.

JUST ARCHITECTS PTY LTD
ABN: 84 149 494 628
L1/S3 27 Belgrave St Manly NSW
WWW.JUSTARCHITECTS.COM.AU
E:ANDREA@JUSTARCHITECTS.COM.AU

JUST ARCHITECTS
architecture / interiors

Do not scale the drawings. The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Drawings shall not be used for construction purposes until issued by the Architect for construction.

CLIENT
Emma and Michael

PROJECT
15 Clifford
15 Clifford Fairlight

DRAWING TITLE:
General Plan
Site Location, Area Schedule

SCALE: NTS
DATE:
DRAWN BY: AC
CHECKED BY: AC
ISSUE: B
DRAWING NO:
JOB NO:
A-131
PLOT DATE:
25/3/2022

1.01

GENERAL NOTES

- All materials and work practices shall comply with, and not limited to the Building Interim Regulations 2019, National Construction Code Series 2016 Building Code of Australia Vol 2 and all relevant current Australian Standards (as amended) referred to therein.
- Unless otherwise specified, the term BCA shall refer to National Construction Code Series 2019 Building Code of Australia Volume 2.
 - All materials and construction practice shall meet the Performance Requirements of the BCA. Where a performance solution is proposed then, prior to implementation or installation, it first must be assessed and approved by the Relevant Building Surveyor as meeting the Performance Requirements of the BCA.
 - Glazing, including safety glazing, shall be installed to a size, type and thickness so as to comply with:
 - BCA Part 3.6 for Class 1 and 10 Buildings within a design wind speed of not more than N3; and
 - BCA Vol 1 Part B1.4 for Class 2 and 9 Buildings.
 - Waterproofing of wet areas, being bathrooms, showers, shower rooms, laundries, sanitary compartments and the like shall be provided in accordance with AS 3740-2010: Waterproofing of Domestic Wet Areas.
 - These Drawings shall be read in conjunction with any House Energy Rating (HERS) report and shall be constructed in accordance with the stamped plans endorsed by the accredited Thermal Performance Assessor without alteration.
 - Step sizes (other than for spiral stairs) to be:
 - Risers (R) 190mm maximum and 115mm minimum
 - Going (G) 355mm maximum and 240mm minimum
 - 2R + 1G = 700mm maximum and 550mm minimum
 - with less than 125mm gap between open treads.
 - All treads, landings and the like to have a slip-resistance classification of P3 or R10 for dry surface conditions and P4 or R11 for wet surface conditions, or a nosing strip with a slip-resistance classification of P3 for dry surface conditions and P4 for wet surface conditions.
 - Provide barriers where change in level exceeds 1000mm above the surface beneath landings, ramps and/or treads. Barriers (other than tensioned wire barriers) to be:
 - 1000mm min. above finished surface level of balconies, landings or the like, and
 - 865mm min. above finished surface level of stair nosing or ramp, and
 - vertical with less than 125mm gap between, and
 - any horizontal element within the barrier between 150mm and 760mm above the floor must not facilitate climbing where changes in level exceeds 4000mm above the surface beneath landings, ramps and/or treads.
 - Wire barrier construction to comply with NCC 2019 BCA Part 3.9.2.3 for Class 1 and 10 Buildings and NCC 2019 BCA Volume 1 Part D2.16 for other Classes of Buildings.
 - Top of hand rails to be minimum 865mm vertically above stair nosing and floor surface of ramps.
 - Window sizes nominated are nominal only. Actual size may vary according to manufacturer. Windows to be flashed all around.
 - Where the building (excludes a detached Class 10) is located in a termite prone area the building is to be provided with a termite management system
 - Concrete stumps:
 - up to 1400mm long to be 100mm x 100mm (1 No. H.D. Wire)
 - 1410mm to 1800mm long to be 100mm x 100mm (2No HD wires)
 - 1801mm to 3000mm long to be 125mm x 125mm (2No. H.D. wires)
 - 100mm x 100mm stumps exceeding 1200mm above ground level to be braced where no perimeter base brickwork provided.
 - Buildings in marine or other exposure environments shall have masonry units, mortar and all built in components and the like complying with the durability requirements of Table 4.1 of AS 4773.1-2010 'Masonry in small buildings' Part 1: Design.
 - All stormwater to be taken to the legal point of discharge to the Relevant Authorities approval
 - These drawings shall be read in conjunction with all relevant structural and all other consultants' drawings/ details and with any other written instructions issued in the course of the contract
 - Site plan measurements in metres – all other measurements in millimetres unless noted otherwise.
 - Figured dimensions take precedence over scaled dimensions.
 - The Builder shall take all steps necessary to ensure the stability and general water tightness of all new and/or existing structures during all works.
 - The Builder and Subcontractors shall check and verify all dimensions, setbacks, levels and specifications and all other relevant documentation prior to the commencement of any works. Report all discrepancies to this office for clarification.

- Installation of all services shall comply with the respective supply authority requirements.
- The Builder and Subcontractor shall ensure that all stormwater drains, sewer pipes and the like are located at a sufficient distance from any buildings footing and/ or slab edge beams so as to prevent general moisture penetration, dampness, weakening and undermining of any building and its footing system.
- These plans have been prepared for the exclusive use by the Client of Just Architects ('The Designer') for the purpose expressly notified to the Designer. Any other person who uses or relies on these plans without the Designer's written consent does so at their own risk and no responsibility is accepted by the Designer for such use and/or reliance.
- A building Permit is required prior to the commencement of these works. The release of these documents is conditional to the Owner obtaining the required Building Permit.
- The Client and/or the Client's Builder shall not modify or amend the plans without the knowledge and consent of Just Architects design except where a Registered Building Surveyor makes minor necessary changes to facilitate the Building Permit application and that such changes are promptly reported back to Just Architects design.
- The approval by this office of a substitute material, work practice, variation or the like is not an authorisation for its use or a contract variation. All variations must be accepted by all parties to the agreement and where applicable the Relevant Building Surveyor prior to implementing any variation.

STORMWATER

- 90 mm DIA. Class 6 UPVC stormwater line laid to a minimum grade of 1:100 and connected to the legal point of stormwater discharge. Provide inspection openings at 9000mm C/C and at each change of direction.
- The cover to underground stormwater drains shall be not less than
 - 100mm under soil
 - 50mm under paved or concrete areas
 - 100mm under unreinforced concrete or paved driveways
 - 75mm under reinforced concrete driveways

SITE ENVIRONMENT DESIGN INFORMATION

Site Bushfire Attack Assessment (simplified method)
Reference document 'AS 3959-2009 construction of buildings in bush fire prone areas'
Relevant Fire Danger Index (FDI): - n/a
Predominate vegetation:
Classification: n/a
Type: n/a
Distance of site from predominate vegetation: - n/a
Effective slope of land: - n/a
Determination of Bushfire Attack Level (BAL): - n/a

Site Classification
Site classification as Class:
Refer to soil report No:
By:

Climate Zone
Climate zone for thermal design / thermal performance assessment: Zone 5

Design Gust Wind Speed / Wind Classification
Building tie-downs to be provided in accordance with AS1684-2010 for an assumed design gust wind speed / wind classification of N1
(subject to confirmation on site by Relevant Building Surveyor at first inspection) refer to AS1684 for construction requirements.

Corrosion protection of built-in structural members
Provide corrosion protection of built-in structural steel members such as steel lintels, shelf angles, connectors, accessories (other than wall ties) in accordance with Table 4.1 of AS4773.1-2010 Masonry in Small Buildings, Part 1: Design suitable for an Environment Classification of Moderate.

Corrosion protection for sheet roofing
Provide corrosion protection for sheet roofing in accordance with BCA Table 3.5.1.1a suitable for an Environment Classification of Low.

Design events for safety - earthquake actions

For determination of domestic structures of a height less than or equal to 8.50m

Building type importance level: – 2
Annual probability of exceedance: – 1:500 Probability factor (kp): – 1
Hazard factor (Z) for project location: – 0.08 Hazard at the (kpZ): – <= 0.11
Design required: – No specific earthquake design required

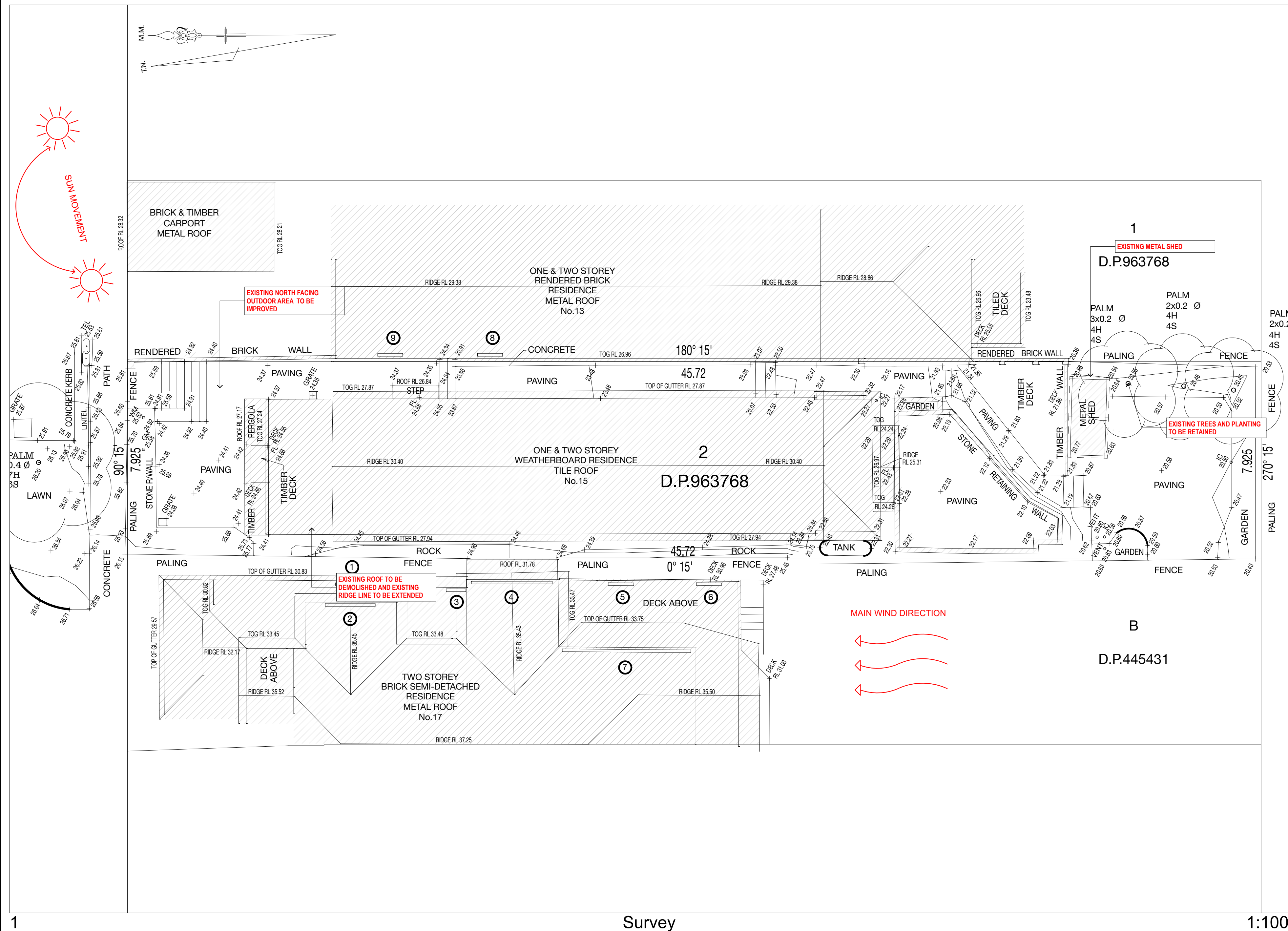
[illegible]

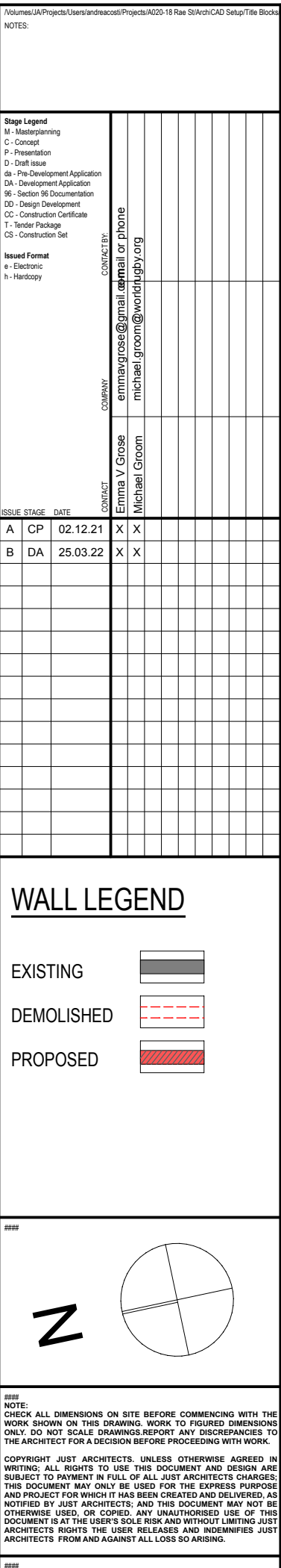
GENERAL NOTES FOR DEMOLITION OF RESIDENTIAL WORKS

- All materials and work practices shall comply with, but not limited to, the Building Interim Regulations 2019, the National Construction Code Series 2019 Building Code of Australia Vol 2 and all relevant current Australian standards (as amended) referred to therein.

These specifications specify only the minimum standard of work for the demolition works on residential projects, and all workmanship and precautions shall be to best trade practice.
- Precautions must be taken before and during demolition in accordance with AS 2601-2001: The Demolition of Structures.
- During the progress of the demolition the works shall be under the continuous supervision of the Demolisher or of an experienced foreman, and demolition shall be executed storey by storey commencing at the roof and working downwards.
- The demolition must not be commenced until the precautionary measures have been inspected and approved by the Relevant Building Surveyor.
- The Demolisher shall construct a temporary crossing placed over the footpath, as required by the Council.
- No part of any external wall on or within 3.00m of a street alignment may be pulled down, except during the hours that the Relevant Building Surveyor directs.
- Protective outriggers, fences, awnings, hoarding, barricades and the like must be installed where necessary to guard against danger to life or property or when required by the Relevant Building Surveyor.
- Dust creating material, unless thoroughly dampened down, shall not be thrown or dropped from the building but shall be lowered by hoisting apparatus or removed by material chutes. All chutes shall be completely enclosed and a danger sign shall be at the discharge end of every chute.
- All practicable precautions shall be taken to avoid danger from collapse of a building when any part of a framed or partly framed building is removed.
- Demolished material shall not be allowed to remain on any floor or structure if the weight of the material exceeds the safe carrying capacity of the floor or structure, and such material shall not be so piled or stacked that it will endanger workmen or other persons, and shall be removed as soon as practicable from the site.
- No wall, chimney or other structure or part of a structure shall be left unattended or unsupported in such a condition that it may collapse due to wind or vibration or otherwise become dangerous.
- Before demolition is commenced, and also during the progress of such works, all electrical cable or apparatus which are liable to be a source of danger - other than cable or apparatus used for the demolition works - shall be disconnected.

- Arrangements shall be made with the Relevant Electrical Supply Authority for the disconnection of electrical mains supply except that, where partial demolition is proposed, the licensed Electrical Contractor shall satisfy the Relevant Electrical Supply Authority that the portion of the building to be demolished has been isolated
- The Demolisher shall be responsible for the disconnection of all telecommunication supplies.
- The Demolisher shall be responsible to cut and seal any storm water, sewer pipes, water services, gas services and the like.
- The position of capped sewer and storm water drains, sealed-off water supply lines, gas supply lines and the like are to be clearly marked on the site.
- Any septic tank(s) on the demolition site shall be emptied and filled with clean sand, or removed entirely, and any soak wells, leach drains or similar apparatus shall be removed or filled with clean sand.
- Any swimming pools, ponds or the like either on the demolition site or on the neighbouring allotments where affected by the demolition works shall be adequately fenced and made safe, so as to comply with 'AS 1926 Swimming Pool Safety' Parts 1 & 2 prior to commencement of any demolition works.
- Materials removed or displaced from the building shall not be placed in any street, road or right of way and, before commencing, where required, shall be kept sprayed with water so as to prevent any nuisance from dust.
- Materials removed or displaced from the building being demolished or materials left standing shall not be burned on the demolition site.
- Removal of buildings by road must be approved by Relevant Councils Traffic Engineer
- A site management plan is to be implemented during demolition works to control sediment run-off in accordance with EPA Victoria publication #275: Construction Techniques for Sediment Pollution Control. Provide 'propex' or equivalent silt fences to the low side of the allotment and around all soil stockpiles and storm water inlet pits/sumps and install 'silt stop' filter bags over all storm water entry pits during demolition works. 'Supergro' or equivalent erosion control fabric to be placed over garden beds to prevent surface erosion during revegetation period.
- It is the builder's responsibility to carry out an audit prior to the commencement of any works to determine if asbestos is present in the existing works. Where any asbestos product is found in the proposed works area during initial inspection or during the course of the demolition works the builder shall engage an authorised and registered contractor for safe removal and lawful disposal.
- A building Permit is required prior to the commencement of these works. The release of these documents is conditional to the Owner obtaining the required Building

[illegible]



1:100

FLOOR FINISHES GENERAL NOTES

Builder to confirm the suitability of all materials prior to the commencement of any building works.

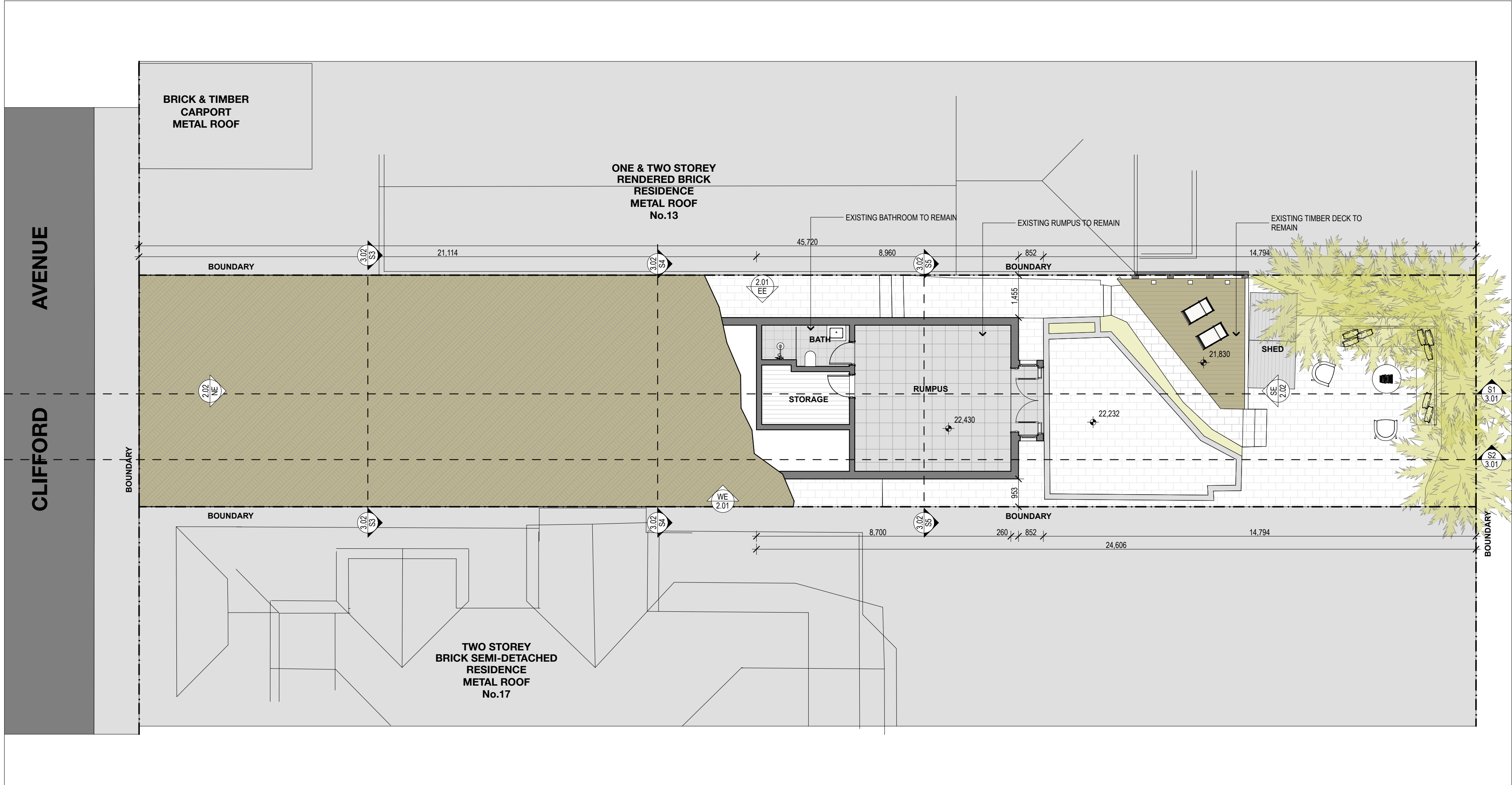
The listed choice of materials is NOT FINAL, and is only a recommendation of the Designer. The builder is to consult with the client to confirm the final selection of materials prior to commencement of any building works/costings and/or take offs

INSULATION GENERAL NOTES

All insulation must comply with AS/NZS 4859.1 and be installed so that it abuts or overlaps adjoining insulation and forms a continuous barrier with ceilings, walls, bulkheads, floors or the like. Bulk insulation must be installed so that it maintains its position and thickness.



SCALE: 1:100@A2	DATE:
DRAWN BY: AC	CHECKED BY: AC
ISSUE: B	DRAWING NO:
JOB NO: A-131	1.06
PLOT DATE:	25/3/2022



1 Basement 1:100

STORMWATER GENERAL NOTES

All property information including easement location(s), property dimensions, angles etc must be confirmed using a copy of the Title Plan/Subdivision, Surveyors Drawings or the like.

Builder to confirm location of any sewer or stormwater prior to the commencement of any works

Allow to connect new stormwater to legal point of discharge as per relevant local authorities.

WET AREAS GENERAL NOTES

Floors in wet areas to be IMPERVIOUS to moisture and to comply with part 3.8.1 of the BCA. Tiled a minimum 150mm behind trough and sink and 1800mm high for shower enclosures.

Waterproofing of wet areas, being bathrooms, showers, shower rooms, laundries, sanitary compartments and the like shall be provided in accordance with AS3740-2010: Waterproofing of domestic wet areas.

The BCA also stipulates a mandatory requirement that all wet area floors to be sealed and tanked if a graded tile shower base is proposed.

In order to counteract moisture penetration throughout wet area spaces it is recommended the builder use villaboard where tiles are indicated as the proposed floor finish. An appropriate tanking substrate is also recommended for application in all wet area zones. Particulars to be confirmed with the appropriate contractor.

FLOOR FINISHES GENERAL NOTES

Builder to confirm the suitability of all materials prior to the commencement of any building works.

The listed choice of materials is NOT FINAL, and is only a recommendation of the Designer. The builder is to consult with the client to confirm the final selection of materials prior to commencement of any building works/costings and/or take offs.

INSULATION GENERAL NOTES

All insulation must comply with AS/NZS 4859.1 and be installed so that it abuts or overlaps adjoining insulation and forms a continuous barrier with ceilings, walls, bulkheads, floors or the like. Bulk insulation must be installed so that it maintains its position and thickness.

NOTES:

Stage Legend
M - Masterplan
C - Concept
P - Presentation
DA - Development Application
DA - Pre-Development Application
DA - Section 96 Documentation
DD - Design Development
CC - Construction Certificate
T - Tender Package
CS - Construction Set

Issued Format
e - Electronic
h - Hardcopy

CONSULTANT
emma.v.grose@gmail.com
emma.v.grose@worldipb.com

CONSULTANT
michael.groom@gmail.com
michael.groom@worldipb.com

ISSUE	STAGE	DATE	BY	CHKD
A	OP	02.12.21	X	X
B	DA	25.03.22	X	X

WALL LEGEND

EXISTING
DEMOLISHED
PROPOSED

###

N

NOTE:
CHECK ALL DIMENSIONS ON SITE BEFORE COMMENCING WITH THE WORK SHOWN ON THIS DRAWING. WORK TO FIGURED DIMENSIONS ONLY. DO NOT SCALE DRAWINGS. REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR A DECISION BEFORE PROCEEDING WITH WORK.

COPYRIGHT: JUST ARCHITECTS. UNLESS OTHERWISE AGREED IN WRITING, ALL RIGHTS TO USE THIS DOCUMENT AND DESIGN ARE SUBJECT TO PAYMENT IN FULL OF ALL JUST ARCHITECTS CHARGES. THIS DOCUMENT MAY ONLY BE USED FOR THE EXPRESS PURPOSE AND PROJECT FOR WHICH IT HAS BEEN CREATED AND DELIVERED, AS NOTIFIED BY JUST ARCHITECTS. AND THIS DOCUMENT MAY NOT BE OTHERWISE USED, OR COPIED, ANY UNAUTHORISED USE OF THIS DOCUMENT IS AT THE USER'S SOLE RISK AND WITHOUT LIMITING JUST ARCHITECTS RIGHTS THE USER RELEASES AND INDEMNIFIES JUST ARCHITECTS FROM AND AGAINST ALL LOSS SO ARISING.

###

JUST ARCHITECTS PTY LTD
ABN: 84 149 494 628
L1/S3 27 Belgrave St Manly NSW
WWW.JUSTARCHITECTS.COM.AU
E:ANDREA@JUSTARCHITECTS.COM.AU

JUST ARCHITECTS
architecture / interiors

Do not scale the drawings. The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Drawings shall not be used for construction purposes until issued by the Architect for construction.

CLIENT
Emma and Michael

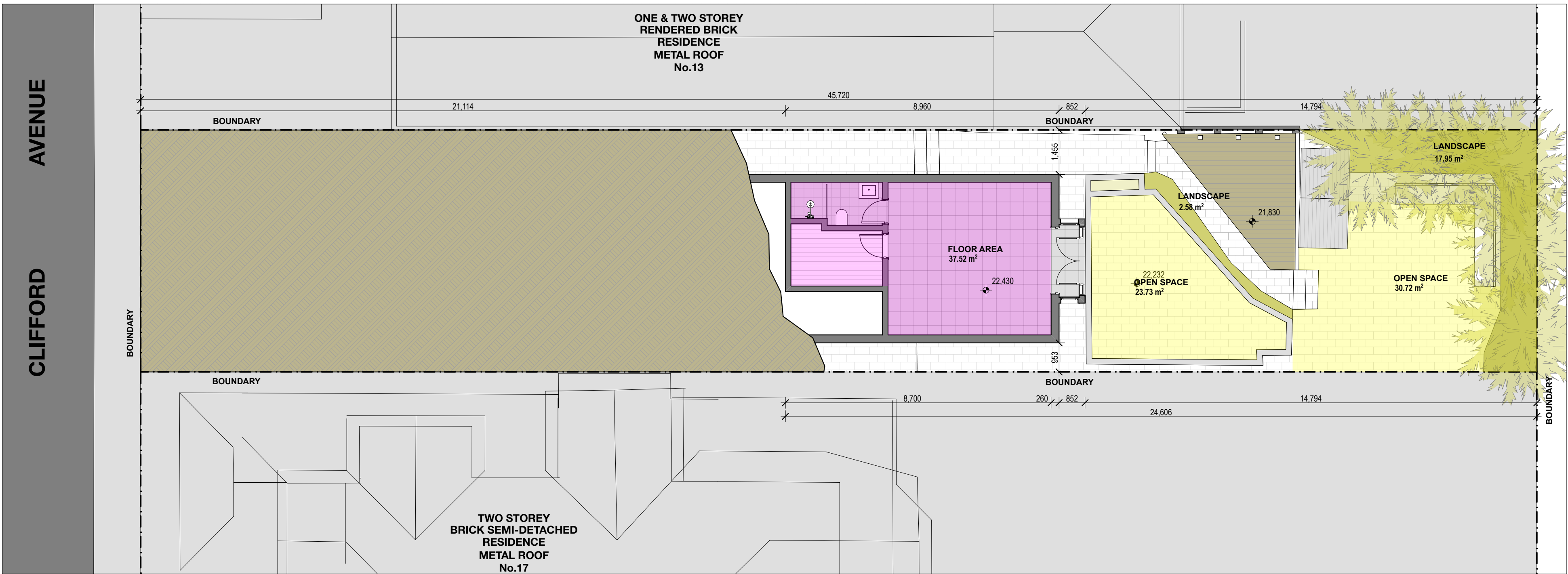
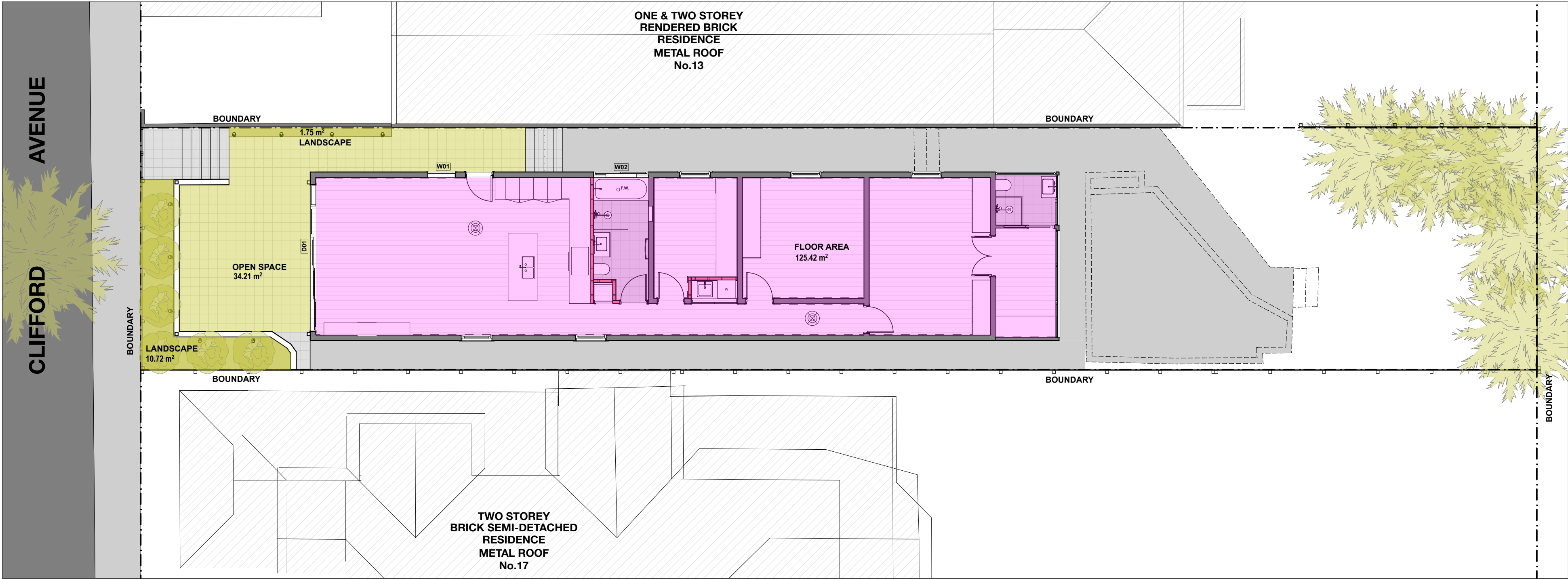
PROJECT
15 Clifford
15 Clifford Fairlight

DRAWING TITLE:
General Plan
Basement Plan

SCALE:
DRAWN BY: AC
ISSUE: B
JOB NO:
A-131
PLOT DATE:

DATE:
CHECKED BY: AC
DRAWING NO:
1.07
25/3/2022

Development Application



NOTES:

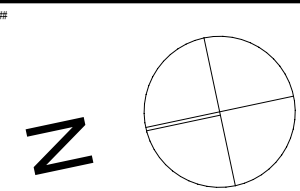
Stage Legend		CONSULTANT	CONTRACTOR
Stage	Legend		
M	Masterplan	emma.v.groom@gmail.com or phone michael.groom@worldipb.org	
C	Concept		
P	Presentation		
D	Draft Issue		
da	Pre-Development Application		
DA	Development Application		
96	Section 96 Documentation		
DD	Design Development		
CC	Construction Certificate		
T	Tender Package		
CS	Construction Set		
Issued Format		CONSULTANT	CONTRACTOR
e	Electronic		
h	Hardcopy		

ISSUE	STAGE	DATE	BY	DATE	BY
A	CP	02.12.21	X	X	
B	DA	25.03.22	X	X	

HATCH LEGEND

FLOOR AREA	
LANDSCAPED AREA	
OPEN SPACE	

ALL THE AREAS ABOVE
REMAIN UNCHANGED



NOTE: CHECK ALL DIMENSIONS ON SITE BEFORE COMMENCING WITH THE WORK SHOWN ON THIS DRAWING. WORK TO FOUR DECIMALS ONLY. DO NOT SCALE. DRAWINGS REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR A DECISION BEFORE PROCEEDING WITH WORK.

COPYRIGHT: JUST ARCHITECTS. UNLESS OTHERWISE AGREED IN WRITING, ALL RIGHTS TO USE THIS DOCUMENT AND DESIGN ARE SUBJECT TO PAYMENT IN FULL OF ALL JUST ARCHITECTS CHARGES. THIS DOCUMENT MAY ONLY BE USED FOR THE EXPRESS PURPOSE AND PROJECT FOR WHICH IT HAS BEEN CREATED AND DELIVERED, AS NOTIFIED BY JUST ARCHITECTS. AND THIS DOCUMENT MAY NOT BE OTHERWISE USED, OR COPIED, ANY UNAUTHORISED USE OF THIS DOCUMENT IS AT THE USER'S SOLE RISK AND WITHOUT LIMITING JUST ARCHITECTS RIGHTS THE USER RELEASES AND INDEMNIFIES JUST ARCHITECTS FROM AND AGAINST ALL LOSS SO ARISING.

JUST ARCHITECTS PTY LTD
ABN: 84 149 494 628

L1/S3 27 Belgrave St Manly NSW
WWW.JUSTARCHITECTS.COM.AU
E:ANDREA@JUSTARCHITECTS.COM.AU

JUST ARCHITECTS
architecture / interiors

Do not scale the drawings. The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Drawings shall not be used for construction purposes until issued by the Architect for construction.

CLIENT
Emma and Michael
PROJECT
15 Clifford
15 Clifford Fairlight

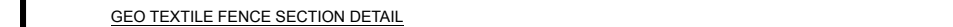
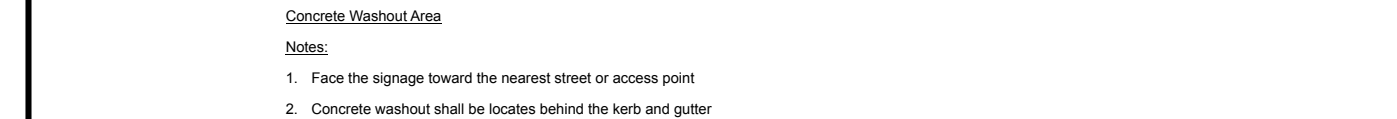
DRAWING TITLE:
General Plan
Area Calculations

SCALE: DATE:
DRAWN BY: AC CHECKED BY: AC

ISSUE: B DRAWING NO:
JOB NO: A-131

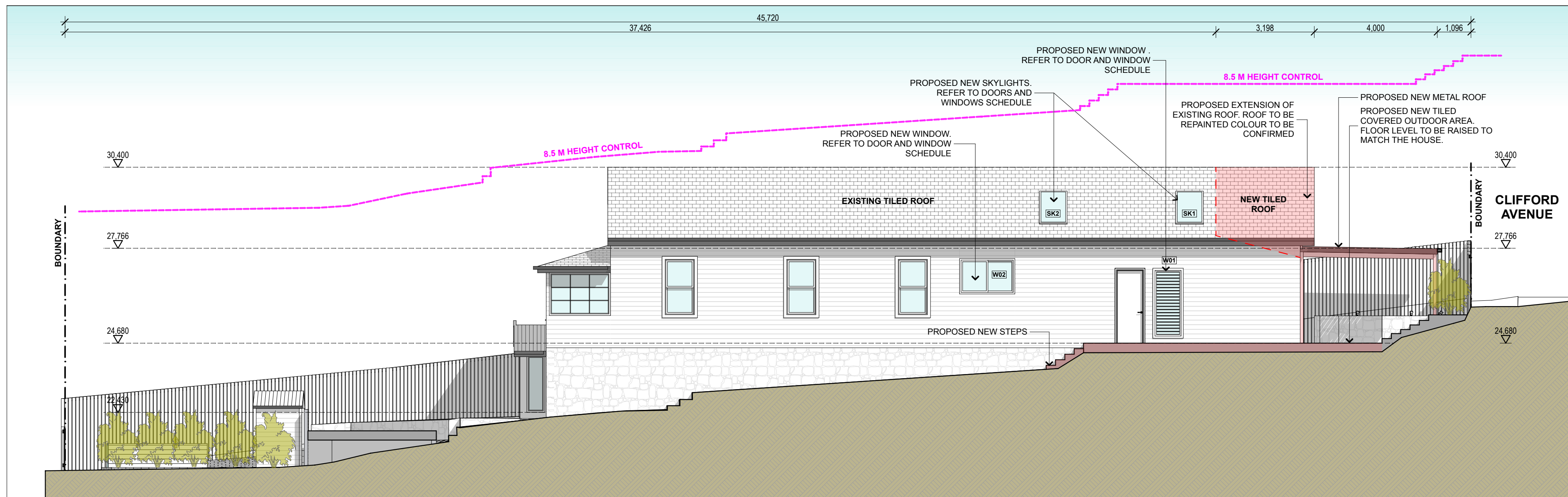
PLOT DATE: 25/3/2022

1.09



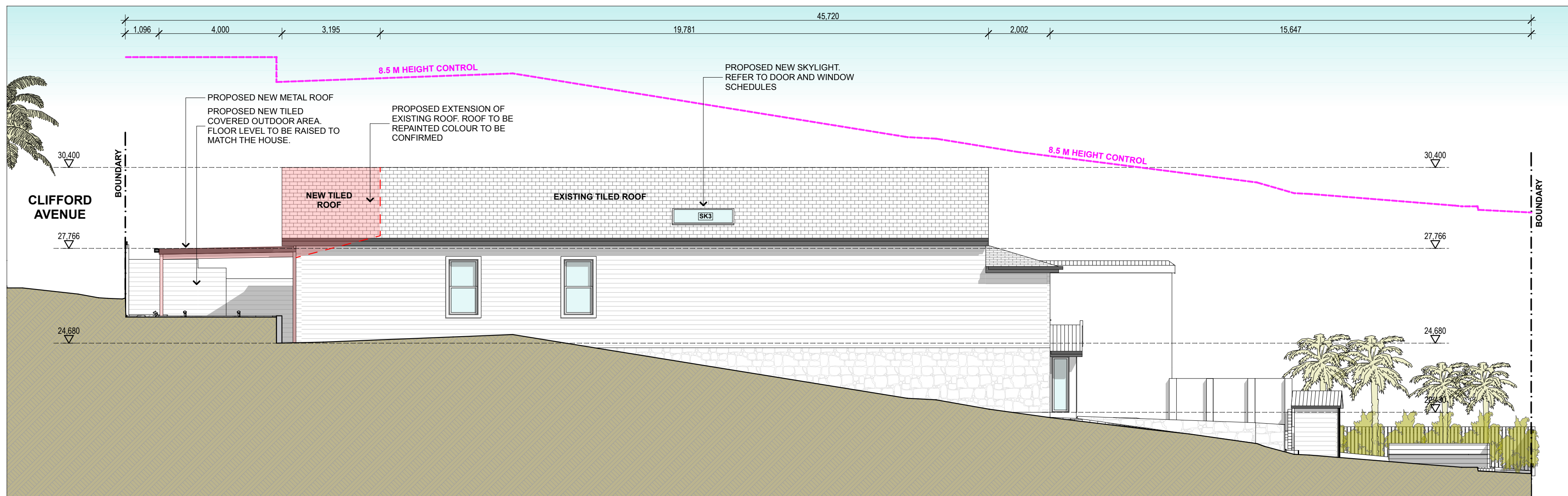
Development Application

<div><div>JUST ARCHITECTS</div><div>architecture / interiors</div></div>	
<p>Do not scale the drawings. The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Drawings shall not be used for construction purposes until issued by the Architect for construction.</p>	
CLIENT	
Emma and Michael	
PROJECT	
15 Clifford	
15 Clifford Fairlight	
DRAWING TITLE:	
General Plan	
Stormwater/Sediment Plan	
SCALE: 1:100@A2	DATE:
DRAWN BY: AC	CHECKED BY: AC
ISSUE: B	DRAWING NO:
JOB NO: A-131	1.10
PLOT DATE:	25/3/2022



East Elevation

1:100



West Elevation

1:100

SCALE

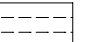
[illegible]

WALL LEGEND

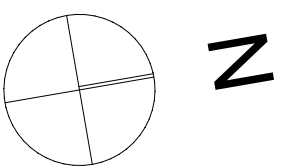
EXISTING



DEMOLISHED	
------------	--



PROPOSED



NOTE:
CHECK ALL DIMENSIONS ON SITE BEFORE COMMENCING WITH THE WORK SHOWN ON THIS DRAWING WORK TO FIGURED DIMENSIONS ONLY. DO NOT SCALE DRAWINGS. REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR A DECISION BEFORE PROCEEDING WITH WORK.

COPYRIGHT JUST ARCHITECTS. UNLESS OTHERWISE AGREED IN WRITING, ALL RIGHTS TO USE THIS DOCUMENT AND DESIGN ARE RESERVED TO JUST ARCHITECTS. THIS DOCUMENT IS THE PROPERTY OF JUST ARCHITECTS AND THIS DOCUMENT MAY ONLY BE USED FOR THE EXPRESS PURPOSE AND PROJECT FOR WHICH IT HAS BEEN CREATED AND DELIVERED, AND NOT BE REPRODUCED, COPIED, REPRODUCED, OR OTHERWISE USED, OR COPIED, ANY UNAUTHORISED USE OF THIS DOCUMENT IS AT THE USER'S SOLE RISK AND WITHOUT LIMITING JUST ARCHITECTS' LIABILITY, JUST ARCHITECTS WILL NOT BE RESPONSIBLE FOR DAMAGES, LOSSES OR INJURIES TO JUST ARCHITECTS FROM AND AGAINST ALL LOSS SO ARISING.

JUST ARCHITECTS PTY LTD
ABN: 84 149 494 628

L1/S3 27 Belgrave St Manly NSW
WWW.JUSTARCHITECTS.COM.AU
E:ANDREA@JUSTARCHITECTS.COM.AU

JUST ARCHITECTS
architecture / interiors

Do not scale the drawings. The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Drawings shall not be used for construction purposes until issued by the Architect for construction.

CLIENT	Emma and Michael
PROJECT	15 Clifford 15 Clifford Fairlight

DRAWING TITLE:

Elevations

Elevations East and West

SCALE: 1:100@A2	DATE:
-----------------	-------

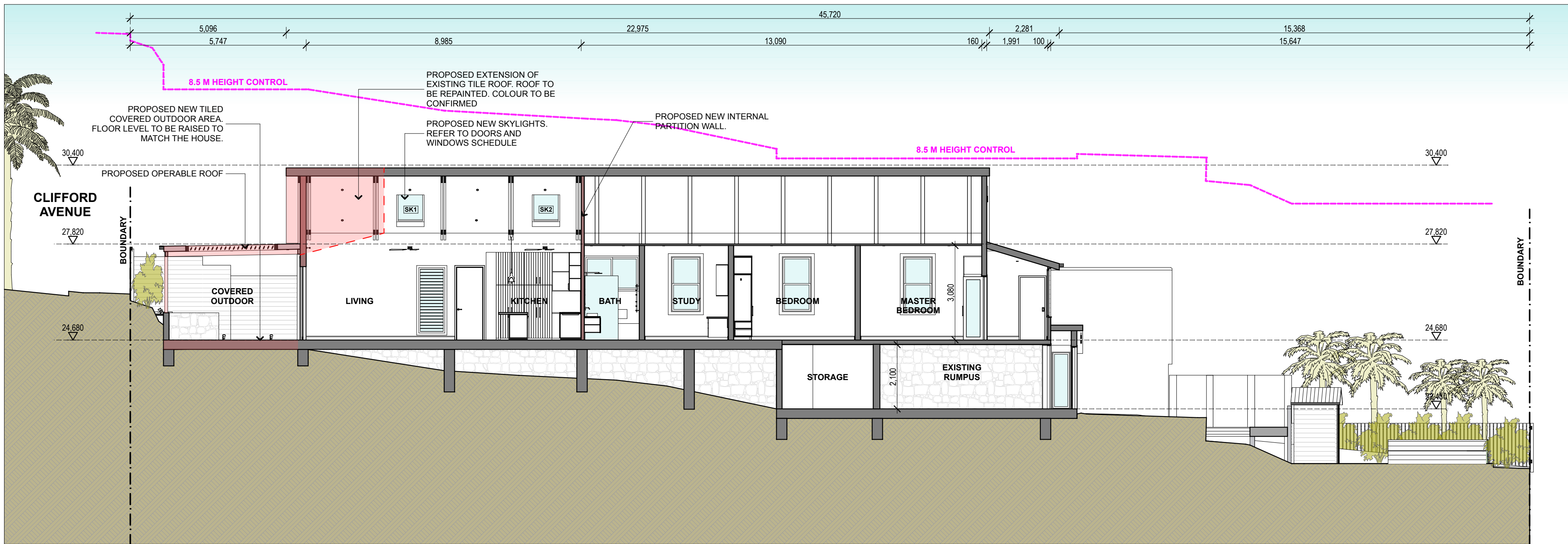
SCALE: 1:100@A2	DATE:
-----------------	-------

DRAWN BY: AC	CHECKED BY: AC
ISSUE NO. DRAWING NO.	

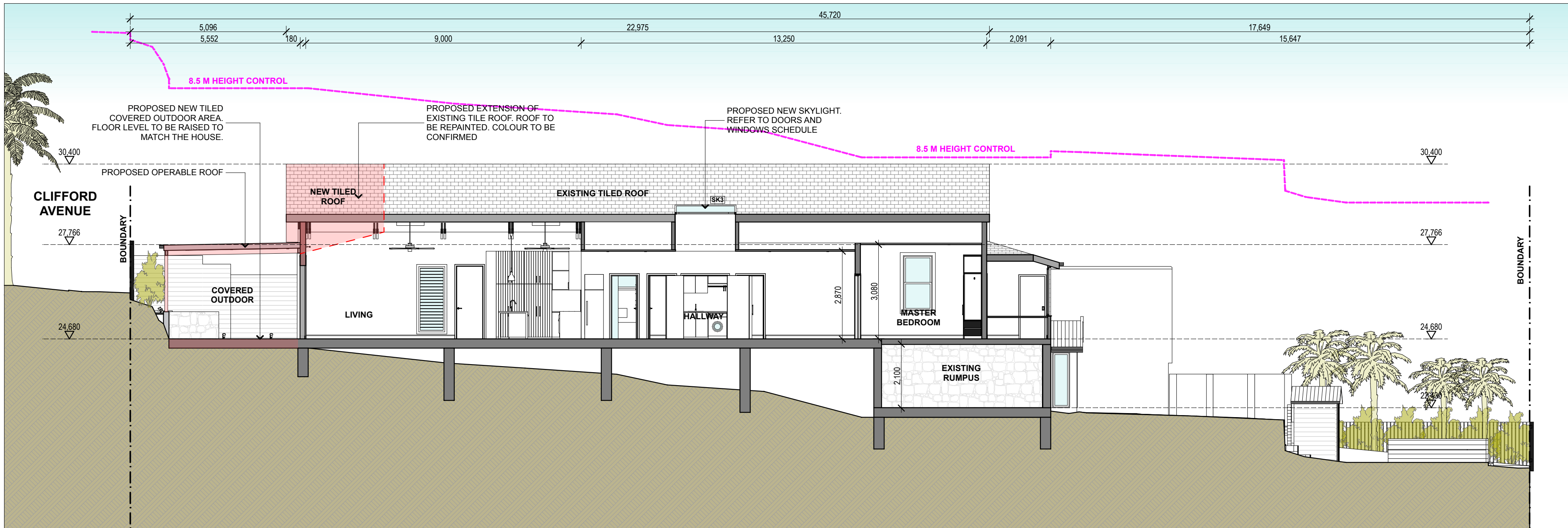
ISSUE: B	DRAWING NO:	201
JOB NO:		

JOB NO. A-131	2.01
------------------	------

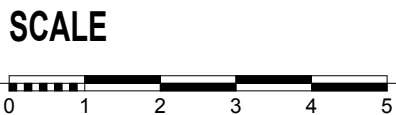
PLOT DATE:	25/3/2022
------------	-----------



Section 1 1:100



Section 2 1:100



NOTES:

Stage Legend	
M	Masterplan
C	Concept
P	Preliminary
D	Design
DA	DA - Pre-Development Application
DD	DD - Design Development
CD	CD - Construction Documentation
T	Tender Package
CS	Construction Set

Issue Legend	
e	Electronic
h	Hardcopy

Issue Legend	
e	Electronic
h	Hardcopy

Issue Legend	
e	Electronic
h	Hardcopy

Issue Legend	
e	Electronic
h	Hardcopy

WALL LEGEND

EXISTING	
DEMOLISHED	
PROPOSED	

NOTE: CHECK ALL DIMENSIONS ON SITE BEFORE COMMENCING WITH THE WORK SHOWN ON THIS DRAWING. WORK TO FOUR DECIMALS ONLY. DO NOT SCALE DRAWINGS. REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR A DECISION BEFORE PROCEEDING WITH WORK.

COPYRIGHT: JUST ARCHITECTS. UNLESS OTHERWISE AGREED IN WRITING, ALL RIGHTS TO USE THIS DOCUMENT AND DESIGN ARE RESERVED. THIS DOCUMENT MAY ONLY BE USED FOR THE EXPRESS PURPOSE AND PROJECT FOR WHICH IT HAS BEEN CREATED AND DELIVERED. AS NOTIFIED BY JUST ARCHITECTS AND THIS DOCUMENT MAY NOT BE OTHERWISE USED, OR COPIED, ANY UNAUTHORIZED USE OF THIS DOCUMENT IS AT THE USER'S SOLE RISK AND WITHOUT LIMITING JUST ARCHITECTS' RIGHTS TO THE USER RELEASED AND INDEMNIFIED JUST ARCHITECTS FROM AND AGAINST ALL LOSS ARISING.

JUST ARCHITECTS PTY LTD
ABN: 84 149 494 628

L1/S3 27 Belgrave St Manly NSW
WWW.JUSTARCHITECTS.COM.AU
E:ANDREA@JUSTARCHITECTS.COM.AU

JUST ARCHITECTS
architecture / interiors

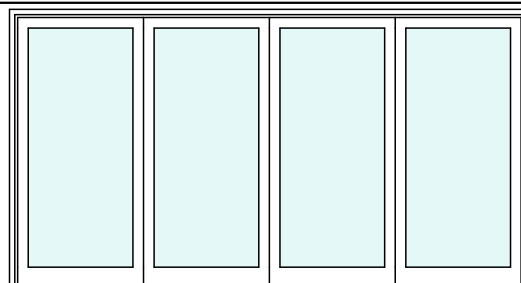
Do not scale the drawings. The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Drawings shall not be used for construction purposes until issued by the Architect for construction.



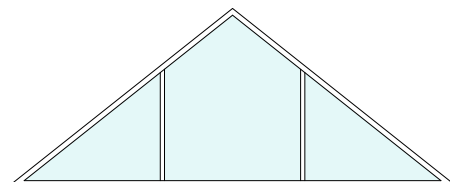
CLIENT:
Emma and Michael
PROJECT:
15 Clifford
15 Clifford Fairlight



DRAWING TITLE:
Sections
Sections 1 and 2

SCALE: 1:100@A2	DATE:
DRAWN BY: AC	CHECKED BY: AC
ISSUE: B	DRAWING NO:
JOB NO: A-131	3.01
PLOT DATE:	25/3/2022

Development Application

EXTERNAL DOORS	DOOR SCHEDULE	
	Door ID	D01
	Type	Timber swing door with side light
	Width	4800 mm
	Height	2600mm
	Material	TIMBER
	Glazing	Single opaque or to comply with Basix Requirements
	Handle/Op. Sys	TBC
	Ext. Paint	Dulux Powder coated Colour TBC
	Int. Paint	Dulux Powder coated Colour TBC
Architrave	70 MM Timber Inside and Outside: Inside colour Dulux natural White, Outside Colour TBC	
Comments	Double check dimension on site before ordering	

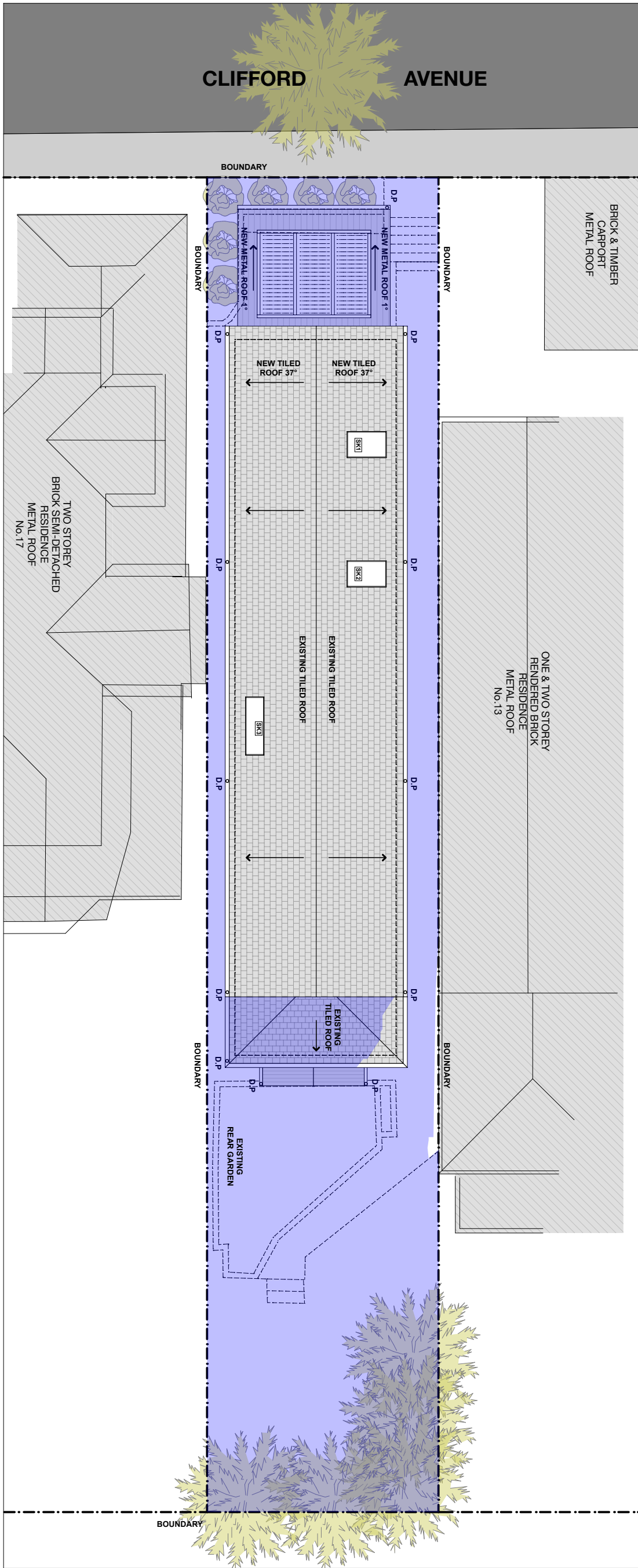
WINDOWS	WINDOWS SCHEDULE			
	Window ID	W01	W02	W03
	Type	Louvre Window	Sliding window	Fix window
	Width	900 mm	1800 mm	4226 mm
	Height	2470 mm	1150 mm	1680 mm
	Material	ALUMINIUM	ALUMINIUM	ALUMINIUM
	Glazing	Single Clear or to comply with Basix Requirements	Single pyrolytic low-e or to comply with Basix requirements	Single pyrolytic low-e or to comply with Basix requirements
	Handle/Op. Sys	N/A	N/A	N/A
	Ext. Paint	Dulux Powder coated Colour TBC	Dulux Powder coated Colour TBC	Dulux Powder coated Colour TBC
	Int. Paint	Dulux Powder coated Colour TBC	Dulux Powder coated Colour TBC	Dulux Powder coated Colour TBC
Architrave	70 MM Timber Inside and Outside: Inside colour Dulux natural White, Outside Colour TBC	70 MM Timber Inside and Outside: Inside colour Dulux natural White, Outside Colour TBC	70 MM Timber Inside and Outside: Inside colour Dulux natural White, Outside Colour TBC	
Comments	Double check dimension on site before ordering	Double check dimension on site before ordering	Double check dimension on site before ordering	

SKYLIGHT	SKYLIGHT SCHEDULE		
	Skylight ID	SK1 - SK2	SK3
	Type	Fix Skylight	Fix Skylight
	Width	900mm	800mm
	Height	1700mm	2000 mm
	Material	Aluminium	Aluminium
	Glazing	Low-E or to comply with Basix Requirements	Low-E or to comply with Basix Requirements
	Handle/Op. Sys	N/A	N/A
	Ext. Paint	White powder coating to future specifications	White powder coating to future specifications
	Int. Paint	White powder coating to future specifications	White powder coating to future specifications
Architrave	N/A	N/A	
Comments	Double check dimension on site before ordering	Double check dimension on site before ordering	

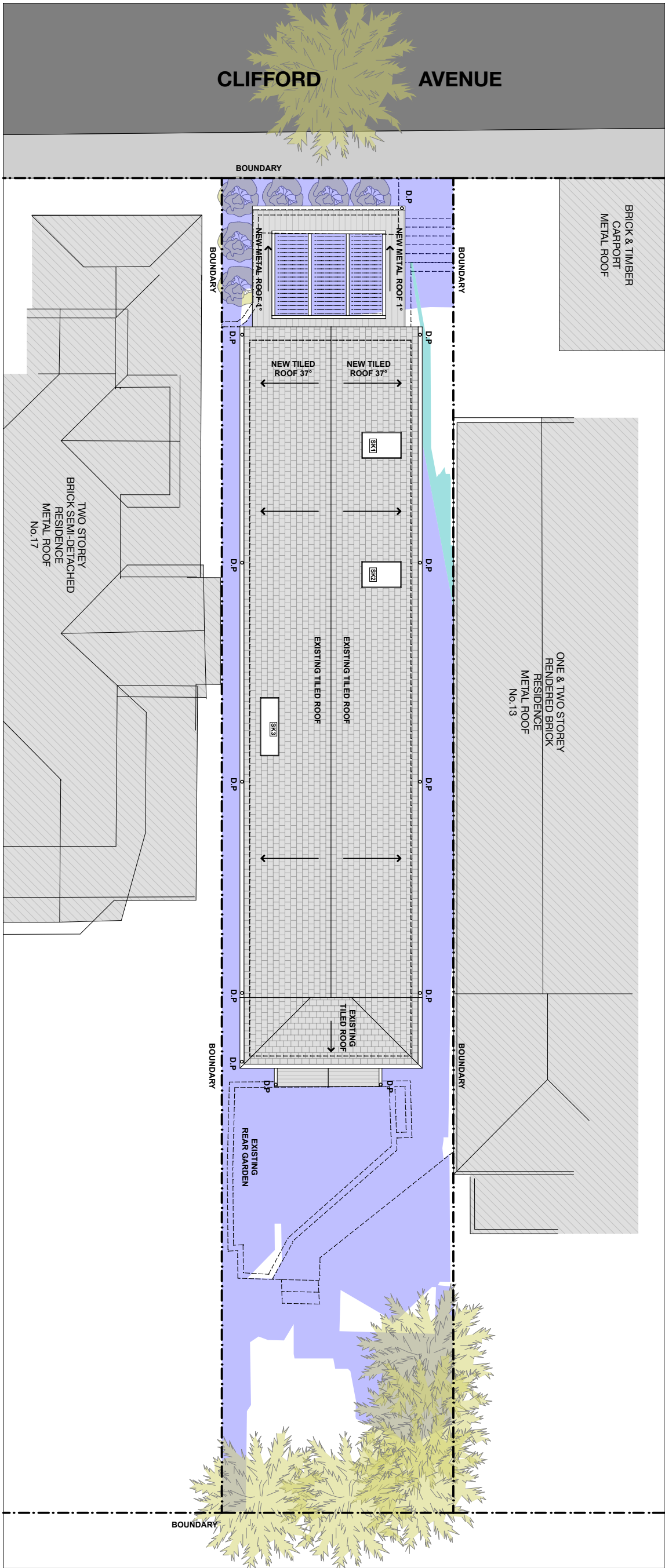
IMPORTANT:

- ALL BEDROOM WINDOWS MORE THAN 2M ABOVE NATURAL GROUND MUST HAVE SILL HEIGHT OF MINIMUM 1700MM OR RESTRICTED OPENING OF MAXIMUM 125MM OR SCREEN WITH SECURE FITTING & MUST COMPLY WITH BCA CLAUSE 3.9.2.5 – PROTECTION OF OPEN ABLE WINDOWS
- HANDRAILS MUST BE INSTALLED ON AT LEAST ONE SIDE OF A STAIRWAY COMPLYING WITH BCA CLAUSE 3.9.2.4.
 - ALL WALLS AND OPENINGS WITHIN 900MM OF THE BOUNDARY MUST BE 60/60/60 ONE HOUR CONSTRUCTION & COMPLY WITH CLAUSE 3.7.1.3 & 3.7.1.5
 - INSTALLATION MUST BE INSTALLED IN ACCORDANCE AND COMPLY WITH CLAUSE 3.8.6.3 – GENERAL INSTALLATION REQUIREMENTS FOR WALLS
 - SMOKE ALARMS MUST BE CONNECTED TO MAIN POWER & INTERCONNECTED WHERE THERE IS MORE THAN ONE ALARM AND MUST BE INSTALLED IN A CLASS 1 BUILDING ON OR NEAR THE CEILING IN:
A) ANY STOREY CONTAINING BEDROOMS; i) BETWEEN EACH PART OF THE DWELLING CONTAINING BEDROOMS AND THE REMAINDER OF THE DWELLING; ii) WHERE THE BEDROOMS ARE SERVED BY A HALLWAY, IN A HALLWAY
B) ANY OTHER STOREY CONTAINING BEDROOMS

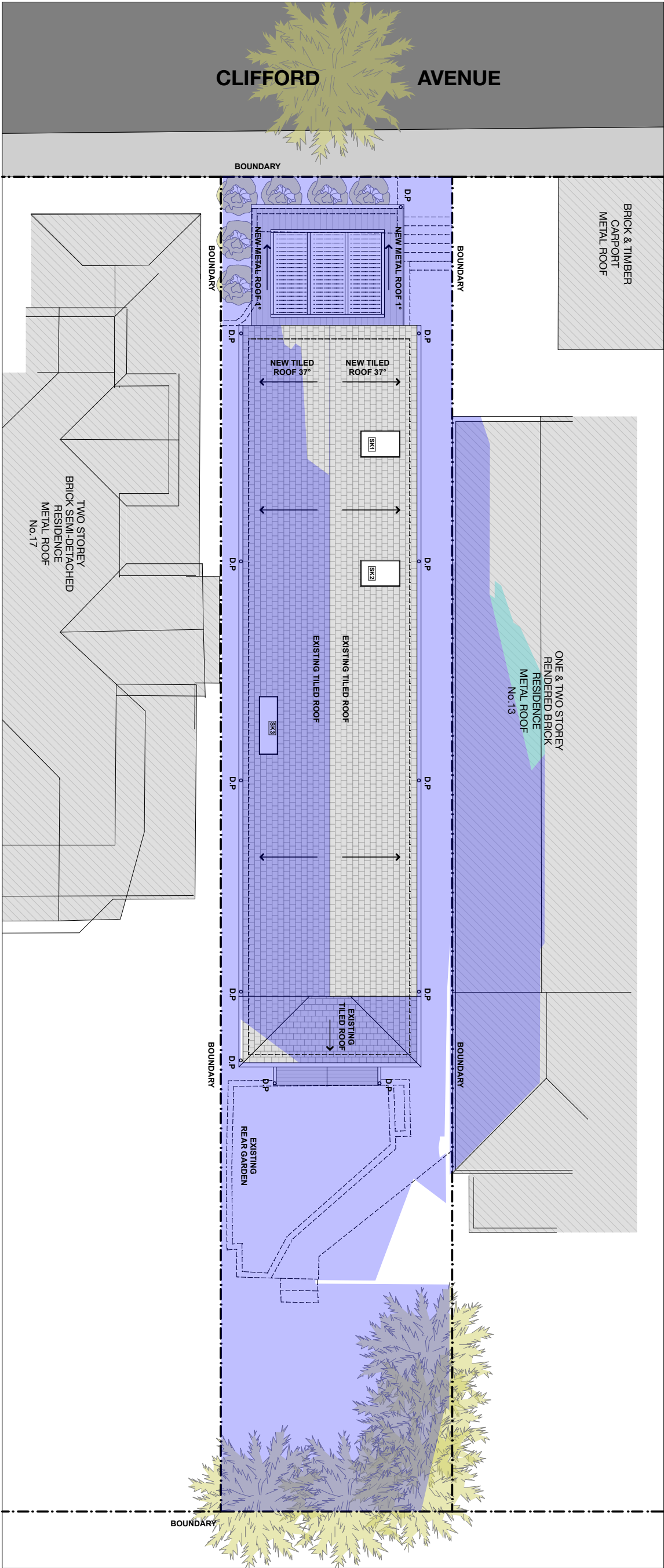
[illegible]



SHADOWS 9 AM JUNE 21
SCALE 1:150



SHADOWS 12 PM JUNE 21
SCALE 1:150



SHADOWS 3 PM JUNE 21
SCALE 1:150

Development Application

NOTES:

Stage Legend
M - Masterplan
C - Concept
P - Presentation
D - Draft Issue
da - Pre-Development Application
DA - Development Application
96 - Section 96 Documentation
DD - Design Development
CC - Construction Certificate
T - Tender Package
CS - Construction Set

Issued Format
e - Electronic
h - Hardcopy

CONSULTANT
emma.v.groom@justarchitects.com.au
michael.groom@justarchitects.com.au

CONSULTANT
emma.v.groom
michael.groom

ISSUE	STAGE	DATE	CONSULTANT
A	CP	02.12.21	X
B	DA	25.03.22	X

HATCH LEGEND

EXISTING SHADOWS

PROPOSED SHADOWS

NOTE:
CHECK ALL DIMENSIONS ON SITE BEFORE COMMENCING WITH THE WORK SHOWN ON THIS DRAWING. WORK TO FIGURED DIMENSIONS ONLY. DO NOT SCALE DRAWINGS. REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR A DECISION BEFORE PROCEEDING WITH WORK.

COPYRIGHT JUST ARCHITECTS. UNLESS OTHERWISE AGREED IN WRITING, ALL RIGHTS TO USE THIS DOCUMENT AND DESIGN ARE SUBJECT TO PAYMENT IN FULL OF ALL JUST ARCHITECTS CHARGES. THIS DOCUMENT MAY ONLY BE USED FOR THE EXPRESS PURPOSE AND PROJECT FOR WHICH IT HAS BEEN CREATED AND DELIVERED, AS NOTIFIED BY JUST ARCHITECTS. AND THIS DOCUMENT MAY NOT BE OTHERWISE USED, OR COPIED, ANY UNAUTHORISED USE OF THIS DOCUMENT IS AT THE USER'S SOLE RISK AND WITHOUT LIMITING JUST ARCHITECTS' RIGHTS TO THE USER RELEASES AND INDEMNIFIES JUST ARCHITECTS FROM AND AGAINST ALL LOSS SO ARISING.

JUST ARCHITECTS PTY LTD
ABN: 84 149 494 628

L1/S3 27 Belgrave St Manly NSW
WWW.JUSTARCHITECTS.COM.AU
E:ANDREA@JUSTARCHITECTS.COM.AU

JUST ARCHITECTS
architecture / interiors

Do not scale the drawings. The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Drawings shall not be used for construction purposes until issued by the Architect for construction.

CLIENT
Emma and Michael

PROJECT
15 Clifford
15 Clifford Fairlight

DRAWING TITLE:
Additional Information
Shadow Diagrams

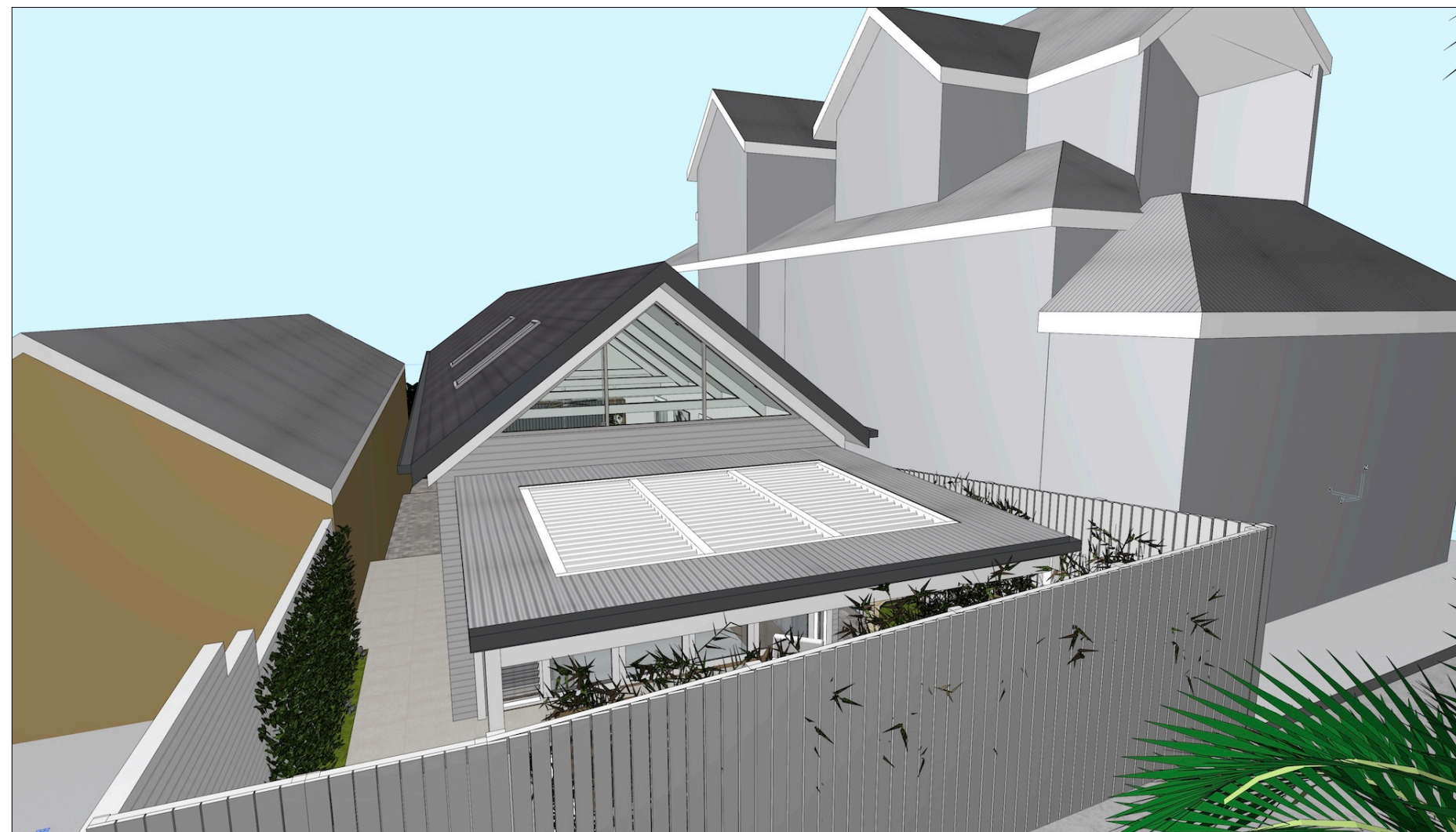
SCALE:
DRAWN BY: AC

DATE:
CHECKED BY: AC

ISSUE: B
JOB NO:
A-131

DRAWING NO:
4.02

PLOT DATE:
25/3/2022



Volumes\IA\Projects\Users\andreascof\Projects\A\20-18 Rse St\ArchCAD Setup\Title Blocks\Cv10-Tit

[illegible][illegible]

NOTE:
CHECK ALL DIMENSIONS ON SITE BEFORE COMMENCING WITH THE WORK SHOWN ON THIS DRAWING. WORK TO FIGURED DIMENSIONS ONLY. DO NOT SCALE DRAWINGS. REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR A DECISION BEFORE PROCEEDING WITH WORK.

COPYRIGHT JUST ARCHITECTS. UNLESS OTHERWISE AGREED IN WRITING; ALL RIGHTS TO USE THIS DOCUMENT AND DESIGN ARE SUBJECT TO PAYMENT IN FULL OF ALL JUST ARCHITECTS CHARGES. THIS DOCUMENT MAY ONLY BE USED FOR THE EXPRESS PURPOSE AND PROJECT FOR WHICH IT HAS BEEN CREATED AND DELIVERED. AS NOTED BY JUST ARCHITECTS; THIS DOCUMENT IS NOT TO BE OTHERWISE USED, OR COPIED, ANY UNAUTHORISED USE OF THIS DOCUMENT IS AT THE USER'S SOLE RISK AND WITHOUT LIMITING JUST ARCHITECTS RIGHTS TO RECOVER ALL DAMAGES AND LOSSES FROM JUST ARCHITECTS FROM AND AGAINST ALL LOSS SO ARISING.

2022

JUST ARCHITECTS PTY LTD
ABN: 84 149 494 628

L1/S3 27 Belgrave St Manly NSW
WWW.JUSTARCHITECTS.COM.AU
E:ANDREA@JUSTARCHITECTS.COM.AU

JUST ARCHITECTS
architecture / interiors

Do not scale the drawings. The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Drawings shall not be used for construction purposes until issued by the Architect for construction.

CLIENT	Emma and Michael
PROJECT	15 Clifford 15 Clifford Fairlight

DRAWING TITLE:	
Additional Information	
3D Images	
SCALE:	DATE:
DRAWN BY: AC	CHECKED BY: AC
ISSUE: B	DRAWING NO:
JOB NO: A-131	4.03
PLOT DATE:	25/3/2022

