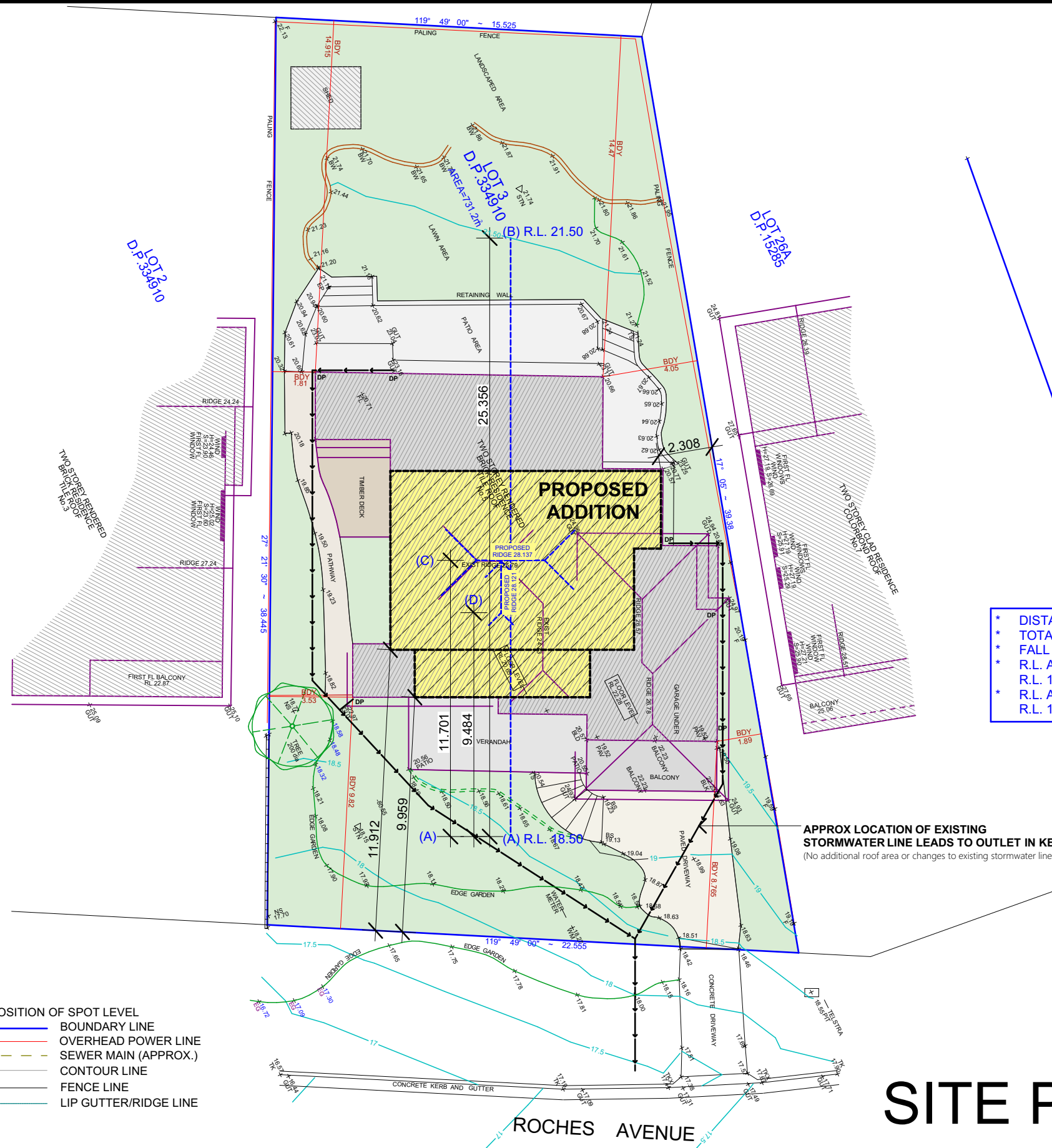


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SITE AREA CALCULATION	
NAME	Area
1. SITE AREA	731.2
2. EXISTING FOOTPRINT	187.9
3. PROPOSED FIRST FLOOR	96.9
4. VERANDAH	21.0
5. BALCONY	11.7
6. REAR PATIO	58.5
7. PAVED DRIVEWAY	35.0
8. PAVED PATHWAY	15.1
9. TIMBER DECK	11.2
10. SHED	7.8
11. SOFT LANDSCAPE	383.0

TOTAL OF HARD SURFACE AREAS 348.2 m² - 48%
TOTAL OF SOFT SURFACE AREAS 383.0 m² - 52%

FLOOR SPACE RATIO:

EXISTING FSR 0.24 : 1 (GRD FLR 175.6m²)
PROPOSED FSR 0.33 : 1 (PROPOSED F/F 67.0m²)

- * DISTANCE BETWEEN (A) & (B) is 25.356.
- * TOTAL FALL BETWEEN (A) & (B) is 3.0m
- * FALL OF GRADIENT LINE is 0.12m/1m
- * R.L. AT (C) 19.904. 11.70m @ 0.12/m = 1.404.
R.L. 19.904 + 8.5m = R.L. 28.404.
- * R.L. AT (D) 19.638. 9.48m @ 0.12/m = 1.138.
R.L. 19.638 + 8.5m = R.L. 28.138.

APPROX LOCATION OF EXISTING
STORMWATER LINE LEADS TO OUTLET IN KERB
(No additional roof area or changes to existing stormwater line)

TK TOP OF KERB
WM WATER METER
GM GAS METER
CH CHIMNEY
TF TOP OF FENCE
TEL TELSTRA PIT
WATER HYDRANT
KIP KERB INLET PIT
TW TOP OF WALL

+ DENOTES POSITION OF SPOT LEVEL
BOUNDARY LINE
OVERHEAD POWER LINE
SEWER MAIN (APPROX.)
CONTOUR LINE
FENCE LINE
LIP GUTTER/RIDGE LINE

SITE PLAN



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A.C.N. 053 669 373
100 QUEENS ROAD,
FIVE DOCK, N.S.W. 2046
TELEPHONE: (02) 9736 3344.

**PROPOSED ADDITION AND ALTERATIONS
TO RESIDENCE**
NAME: Mr. P. & Mrs. B Keane
ADDRESS: 5 Roches Avenue, Bayview. NSW. 2104

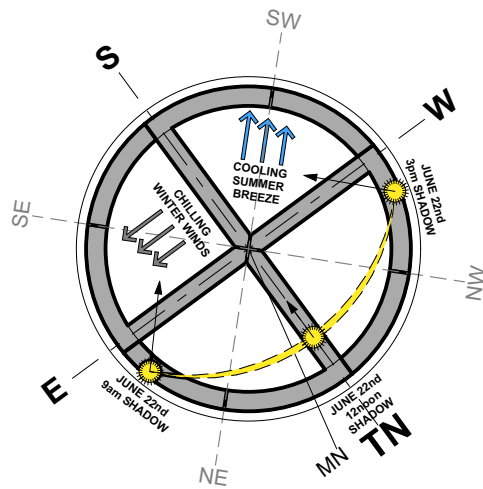
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SITE PLAN

DATE	SCALE	SHEET NO	DRAWING JOB NO	EDITION
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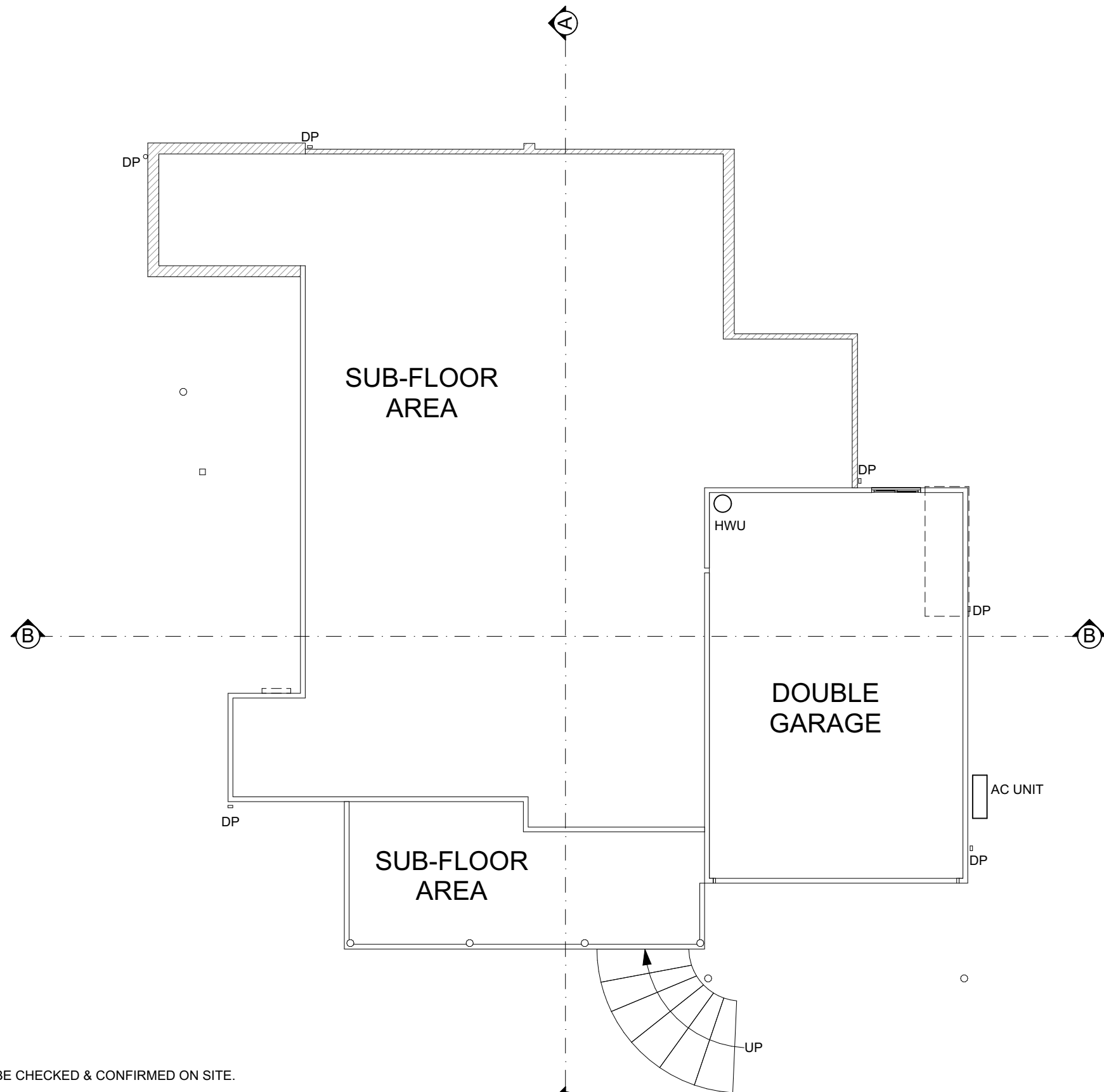
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* ALL DIMENSIONS TO BE CHECKED & CONFIRMED ON SITE.

LOWER GROUND FLOOR PLAN



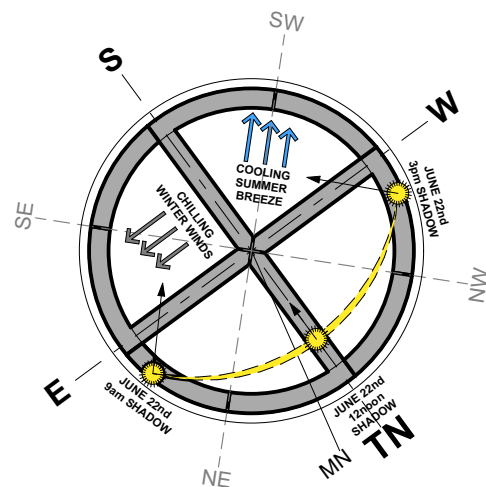
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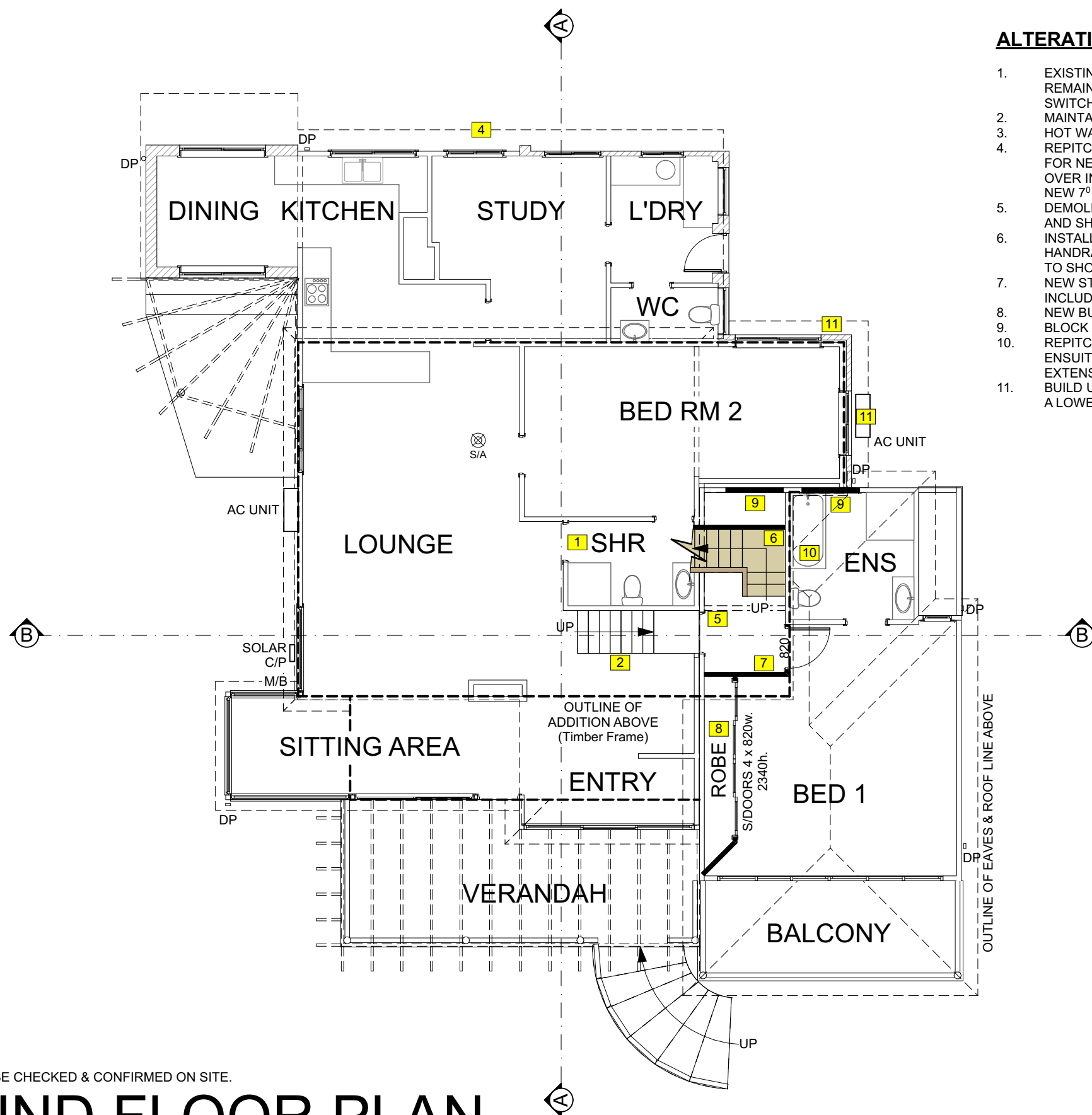
LOWER GROUND FLOOR PLAN				COUNCIL COPY	
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DRAWN BY:	NOEL.C	1:100 @ A3	A3-3	3434	C-1
DESIGN BY:	PETER.H				



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GROUND FLOOR PLAN

ALTERATIONS TO EXISTING:

1. EXISTING SKYTUBE, SQUARE DESIGN IN CEILING TO REMAIN, REINSTATE NEW LIGHT POINT ON EXISTING SWITCH FOR NEW CEILING LIGHT.
2. MAINTAIN EXISTING STAIRS.
3. HOT WATER SYSTEM IS LOCATED IN THE GARAGE.
4. REPITCH EXISTING SKILLION ROOF WITH 7° DEGREE PITCH FOR NEW CORRUGATED COLORBOND ROOF SHEETING OVER INSULBLANKET. BUILD UP EXTERNAL WALLS TO SUIT NEW 7° METAL PITCHED ROOF.
5. DEMOLISH WALK IN ROBE INCLUDING TIMBER FRAMED WALL AND SHELVEING TO ACCOMMODATE NEW STAIRS.
6. INSTALL NEW STAIRCASE 900mm WIDE WITH SIMILAR HANDRAIL TO EXISTING (TIMBER). LINE UNDERSIDE STAIRS TO SHOWER ROOM CEILING
7. NEW STUD WALLS TO EXISTING MASTER BEDROOM INCLUDING NEW DOOR.
8. NEW BUILT IN ROBE WITH 2340MM HIGH DOORS.
9. BLOCK WINDOWS IN ENSUITE AND WIR.
10. REPITCH PART OF ROOF OVER MASTER BEDROOM AND ENSUITE WHERE IT JOINS THE NEW FIRST FLOOR EXTENSION.
11. BUILD UP OVER EXISTING ROOF DUE TO CEILINGS BEING AT A LOWER HEIGHT ON THE GROUND FLOOR.



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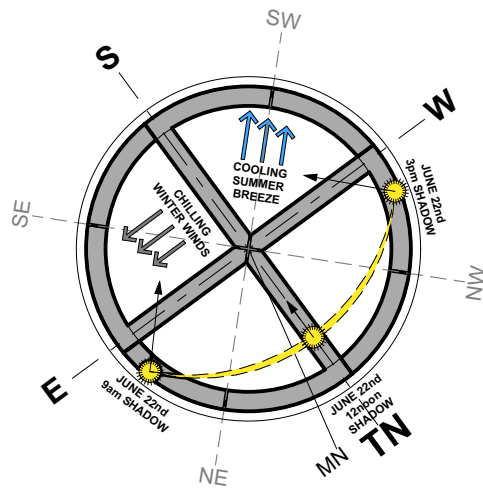
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GROUND FLOOR PLAN

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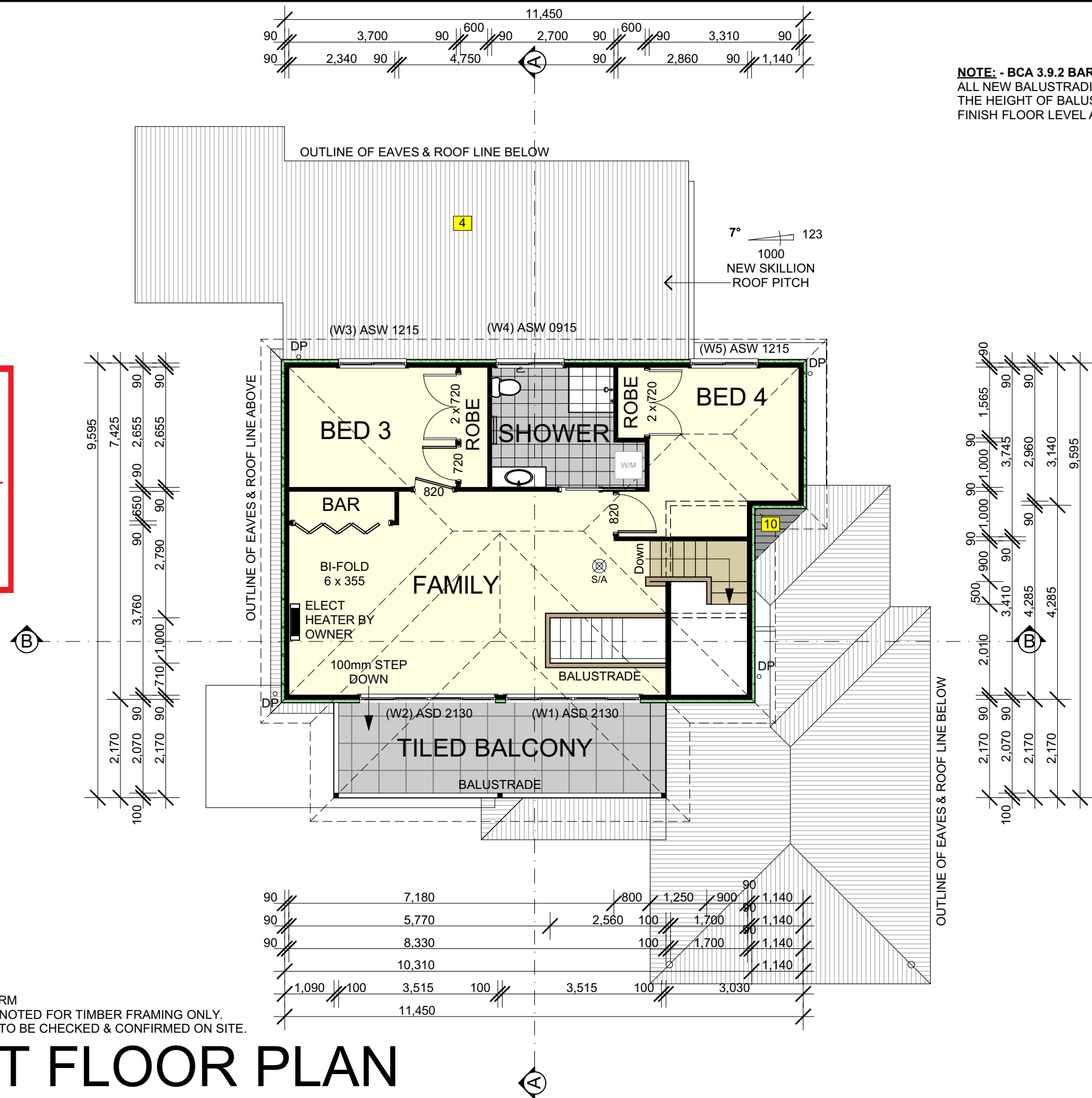
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NOTE: - BCA 3.9.2 BARRIERS AND HANDRAILS
ALL NEW BALUSTRADING TO COMPLY WITH BCA REQUIREMENTS.
THE HEIGHT OF BALUSTRADES ARE TO BE MEASURED AT 1m ABOVE
FINISH FLOOR LEVEL AND HAVE NO OPENINGS GREATER THAN 125mm

- * S/A is SMOKE ALARM
- * ALL DIMENSIONS NOTED FOR TIMBER FRAMING ONLY.
- * ALL DIMENSIONS TO BE CHECKED & CONFIRMED ON SITE.

FIRST FLOOR PLAN



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PROPOSED FIRST FLOOR PLAN

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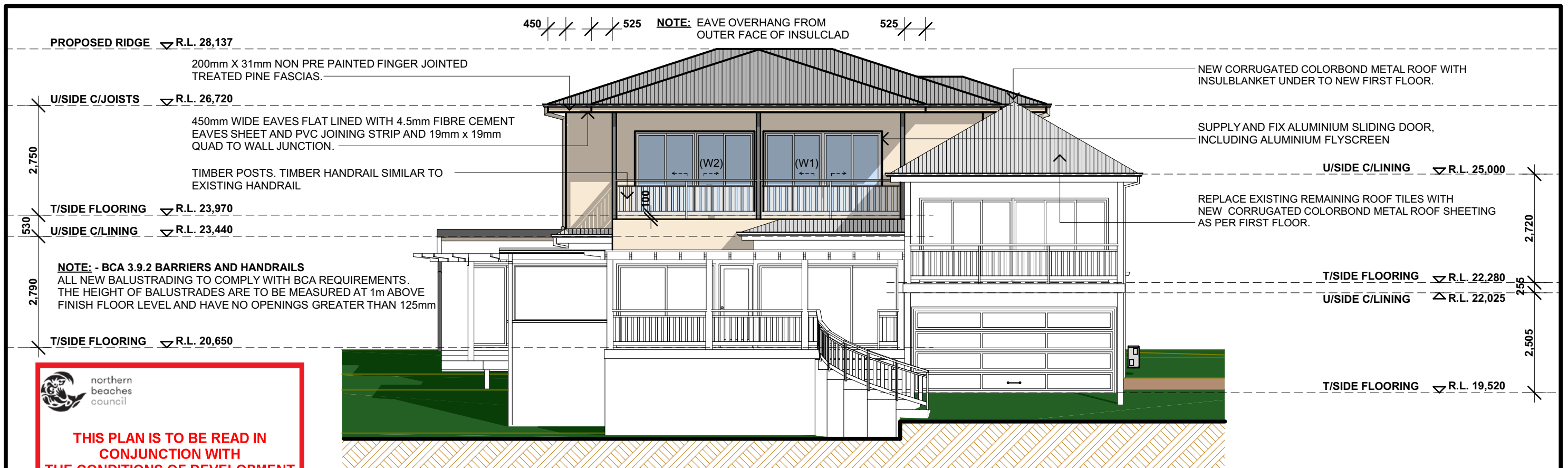
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SHEET NO
A3-5

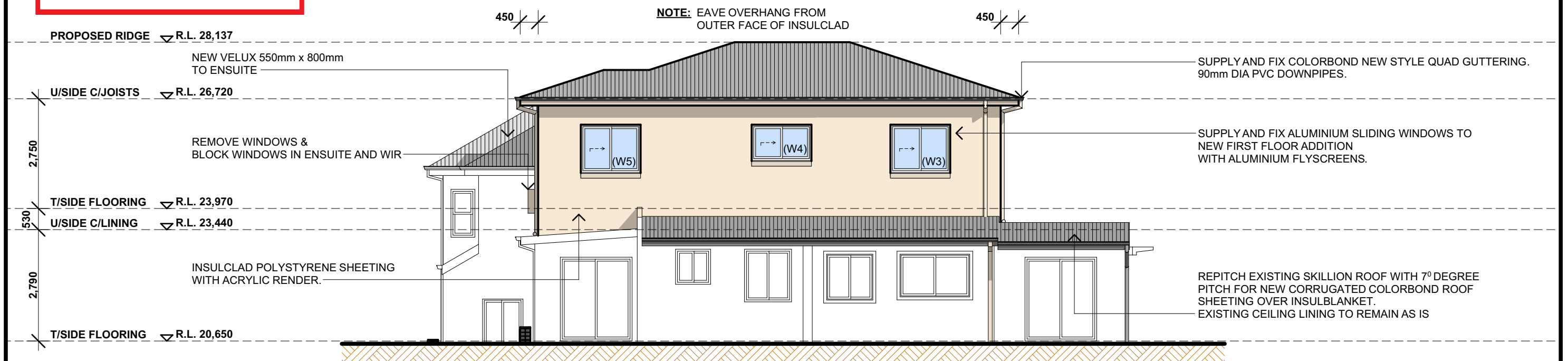
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EDITION
C-1


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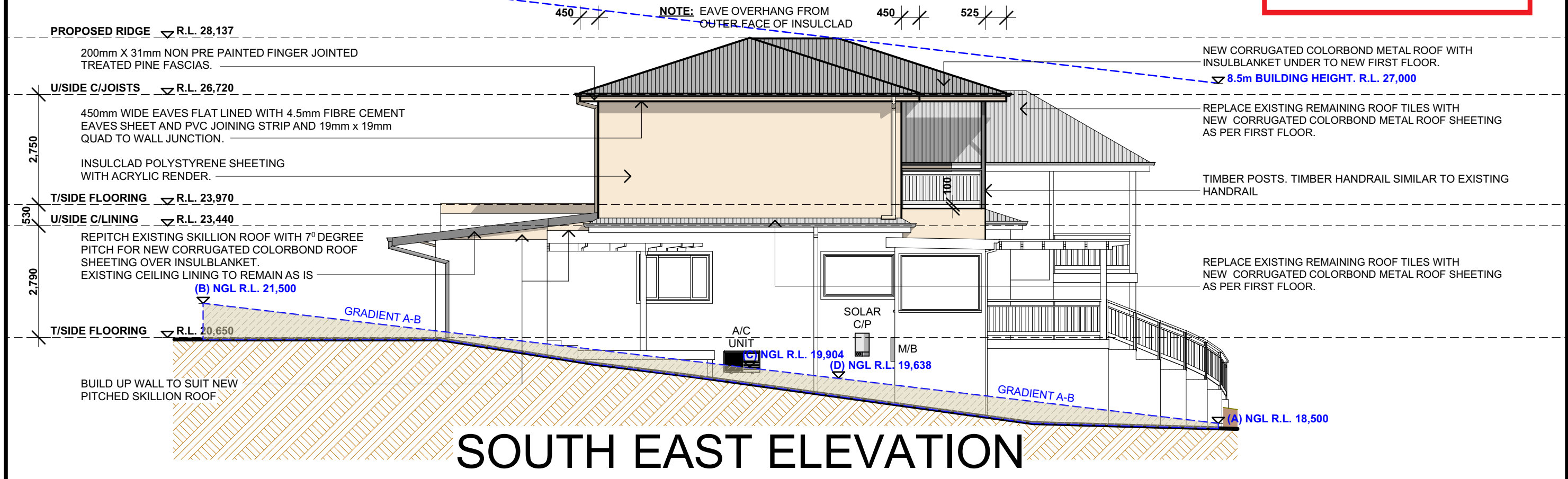
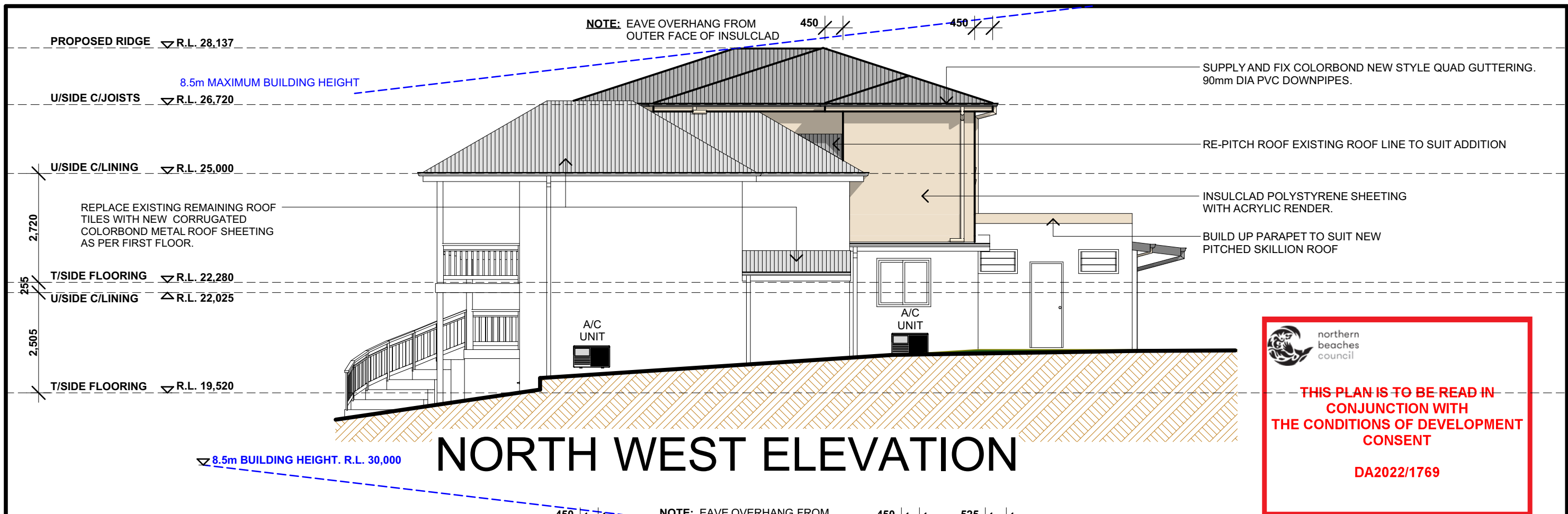



NORTH EAST ELEVATION



SOUTH WEST ELEVATION

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