

NOTES:

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2. SHOULD ANY DEVELOPMENT OR CONSTRUCTION OCCUR ON OR NEAR BOUNDARIES, THE BOUNDARIES SHOULD BE CLEARLY MARKED ON SITE BY THE REGISTERED LAND SURVEYORS.

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4. All timber construction to be in accordance with the "TIMBER FRAMING" code.
5. Any detailing in addition to what is supplied shall be resolved between the owner and the builder to the owner's approval, except for any structural details or design which is to be supplied by a Structural Engineer.
6. Roof water & sub-sill drainage to be disposed of in the approved manner or as directed by local council inspectors.
7. All electrical power & light outlets to be determined by owner.
8. Make good and repair all existing finishes damaged by new work. Reuse existing materials where possible.

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BUILDING DESIGN CONSULTANTS

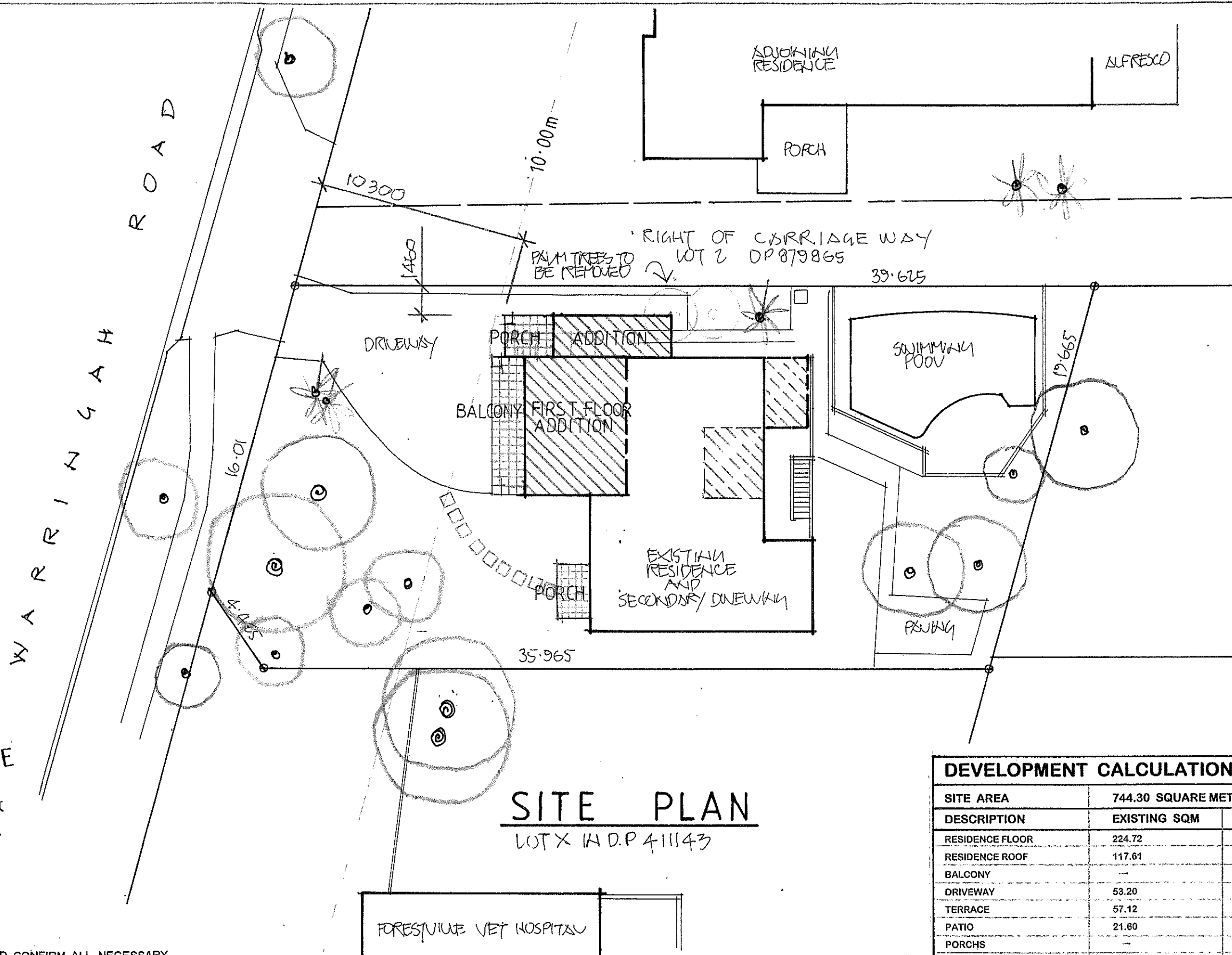
No.	AMENDMENT	DATE



J.D. EVANS and COMPANY
DESIGN AND BUILDING CONSULTANTS
UNIT 7, 6 JUBILEE AVENUE, WARRIEWOOD 2102
PHONE 9999 4566 MOBILE 0418 976 596
www.jdeco.com.au

PROJECT
PROPOSED ALTERATIONS/ADDITIONS
No. 631 WARRINGAH ROAD
FORESTVILLE N. S. W. 2087
CLIENT
MAGGIE SAMUEL & R. ANANTH ASIRVADAM

DATE 06/04/2022	SCALE 1:200
DRAWN JDE	CHECKED
DRAWING No.	ISSUE
2094-1	



SITE PLAN

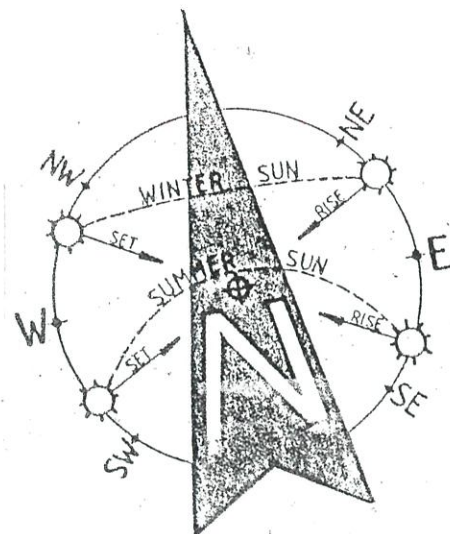
LOT 2 DP 879865

DEVELOPMENT CALCULATIONS

SITE AREA	744.30 SQUARE METRES	
DESCRIPTION	EXISTING SQM	PROPOSED SQM
RESIDENCE FLOOR	224.72	270.28
RESIDENCE ROOF	117.61	175.35
BALCONY	—	11.56
DRIVEWAY	53.20	53.20
TERRACE	57.12	—
PATIO	21.60	21.60
PORCHES	—	9.36
SWIMMING POOL	45.35	45.35
TOTAL HARD SURFACE	294.88	320.74
PAVING & LESS THAN 2.00m	134.16	123.85
TOTAL LANDSCAPING	315.26 (42.38%)	304.03 (40.85%)

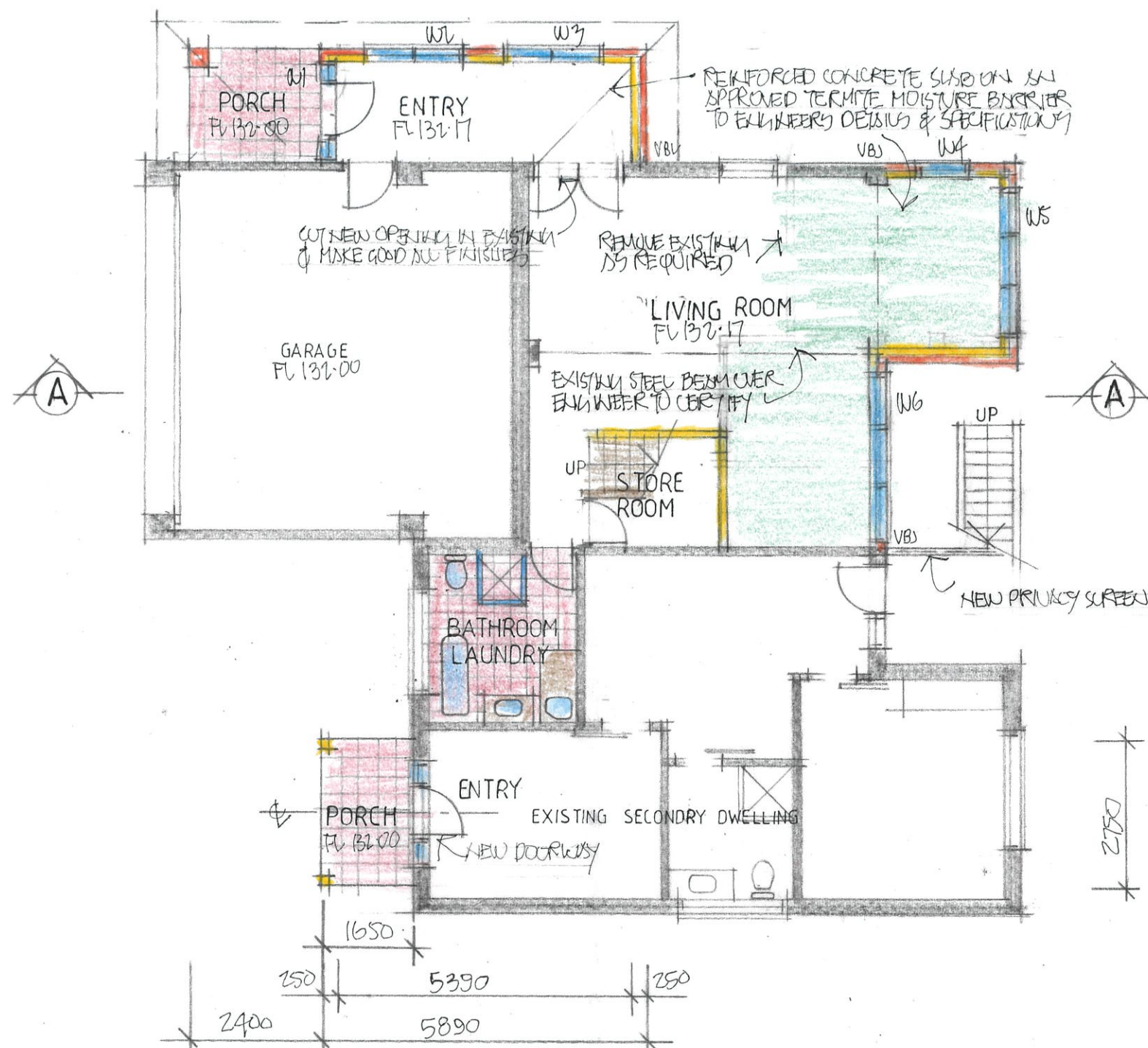
NOTES:

1. LIGHTING OF BATHROOM AND WC TO BE IN ACCORDANCE WITH NCC VOL. 2 PART 3.8.4.2 AND AS/NZS 1680.0 1768.
2. VENTILATION OF BATHROOMS, ENSUITES & WC'S TO BE IN ACCORDANCE WITH PART 3.8.5.2 OF THE BUILDING CODE OF AUSTRALIA AS / NZS 1680.2.
3. THE DOOR TO THE BATHROOM IS REQUIRED TO COMPLY WITH AND IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA PART 3.8.3.3 (TO EITHER OPEN OUTWARDS, SLIDE OR BE READILY REMOVABLE FROM THE OUTSIDE OF THE COMPARTMENT).
4. FIRE / SMOKE ALARMS TO BE IN ACCORDANCE WITH PART 3.7.2 OF THE NCC VOL. 2 PART 3.7.2. AND AS 3786.
5. TERMITE RISK MANAGEMENT TO BE IN ACCORDANCE WITH VOL. 2 PART 3.1.4 OR VOL. 1 PART B1.4 (I) AND INSTALLED IN ACCORDANCE WITH AS 3660.
6. SOUND INSULATION TO BE IN ACCORDANCE WITH PART 3.8.6.2 CLAUSES (a), (b) & (c) AND PART 3.8.6.3. OF THE NCC.
7. ALL EXTERNAL GLAZING TO HAVE A MAXIMUM REFLECTIVITY INDEX OF 25%.
8. ALL GLAZED ASSEMBLIES TO COMPLY WITH AS. 2047 AND AS. 1288.
9. WATERPROOFING OF ALL WET AREAS TO COMPLY WITH NCC VOL. 2 PART F1 & VOL. 2 PART 3.8.1 & CONSTRUCTED IN ACCORDANCE WITH AS 3740.
10. AN APPROVED NON-VENTILATED COVER OR SHEILD WHICH ALLOWS FOR THE INSULATION TO BE CLOSELY INSTALLED TO THE SIDES & TOP TO ALL DOWNLIGHTS.
11. STAIRS, HANDRAILS, BALUSTRADES & RAMPS TO BE CONSTRUCTED IN ACCORDANCE WITH NNC VOL. 2 PARTS 3.9.1 & 3.9.2 IN AS1657.
12. PROTECTION OF OPEN-ABLE WINDOWS MUST COMPLY WITH NCC VOL. 2 PART 3.9.2.5 (a) & (b) AND NCC VOL. 2 PART 3.9.5 (c) & (d).
13. GLAZING TO ALL BATHROOMS AND ENSUITES TO BE TOUGHENED GLASS
14. SLIP RESISTANCE TO COMPLY WITH NCC AND AS4586.



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GROUND FLOOR PLAN

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CLIENT
MAGGIE SAMUEL & R. ANANTH ASIRVADAM

DATE 06/04/2022 SCALE 1:100, 1:200
DRAWN JOE CHECKED
DRAWING No. **2094-2** ISSUE

WINDOW & GLAZED DOOR SCHEDULE

No.	HEIGHT	WIDTH	AREA
W1*	2.10	1.00	2.10
W2	0.75	1.80	1.35
W3	0.75	1.80	1.35
W4	1.50	1.00	1.50
W5*	2.10	2.70	5.67
W6	2.10	3.00	6.30
W7	0.75	2.10	1.56
W8	1.50	0.50	0.75
W9	2.75	1.50	1.13
W10	0.75	1.50	1.13
W11	2.10	2.40	5.04

NOTE:

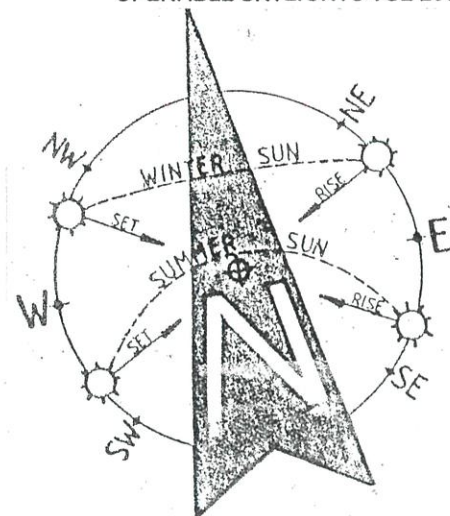
- ALL WINDOWS & GLAZED DOORS TO BE IMPROVED ALUMINIUM
- WINDOWS & GLAZED DOORS TO BE FITTED WITH, SINGLE CLEAR GLAZED (U - VALUE: 6.44, SHGC: 0.75).
- WINDOWS & GLAZED DOORS DENOTED THUS * TO BE FITTED WITH SINGLE PROLYTIC LOW - E GLAZING (U - VALUE: 4.48, SHGC: 0.46).

SKYLIGHT / ROOF WINDOW SCHEDULE

No.	HEIGHT	WIDTH	AREA
S1	1.18	0.78	0.92
S2	1.18	0.78	0.92

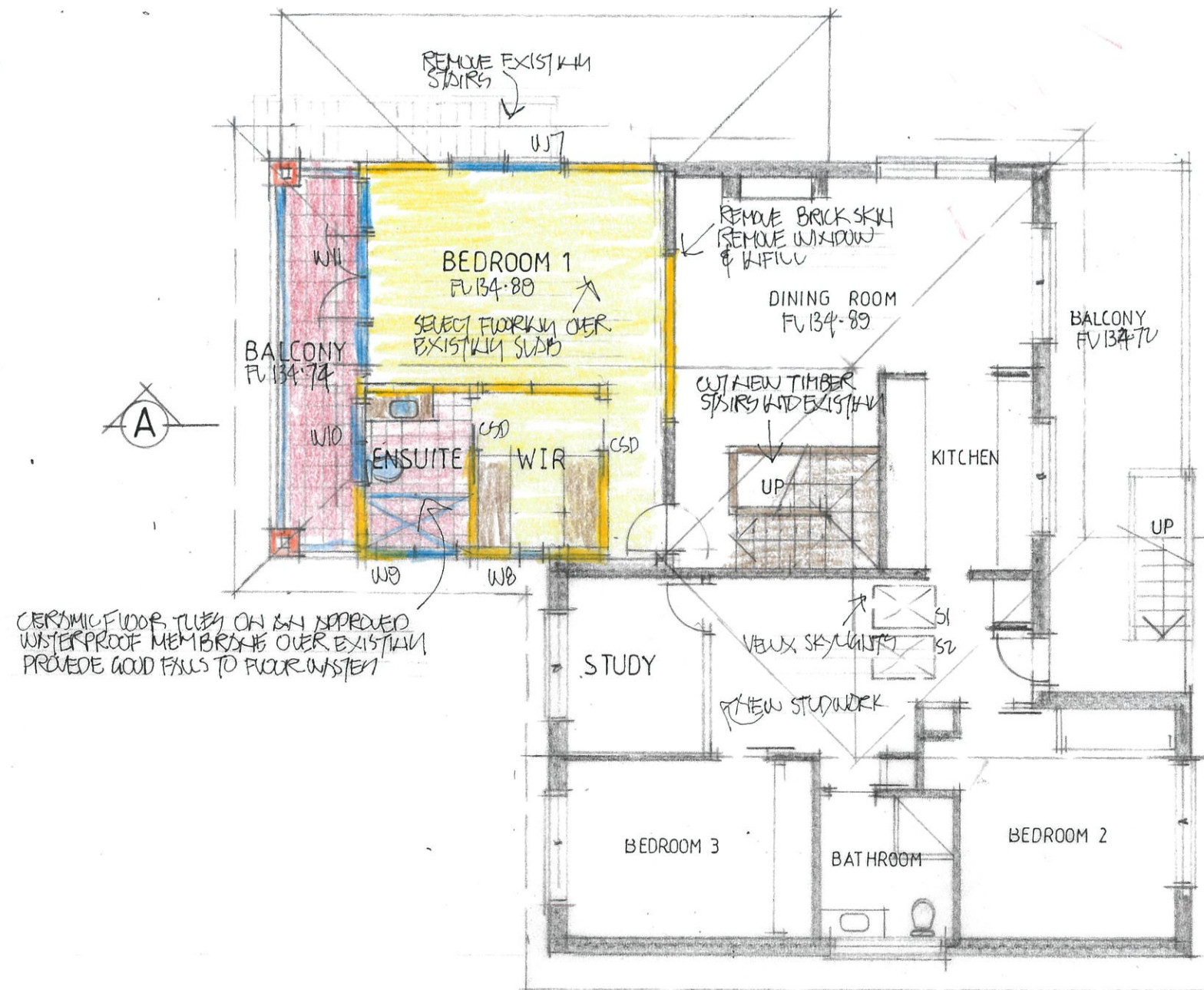
NOTES:

- ALL SKYLIGHT / ROOF WINDOWS TO BE VELUX OPENABLE SKYLIGHTS VSE 2004 / M06.



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FIRST FLOOR PLAN

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DRAWN JOE	CHECKED
DRAWING No.	ISSUE
2094-3	



WEST ELEVATION



NORTH ELEVATION

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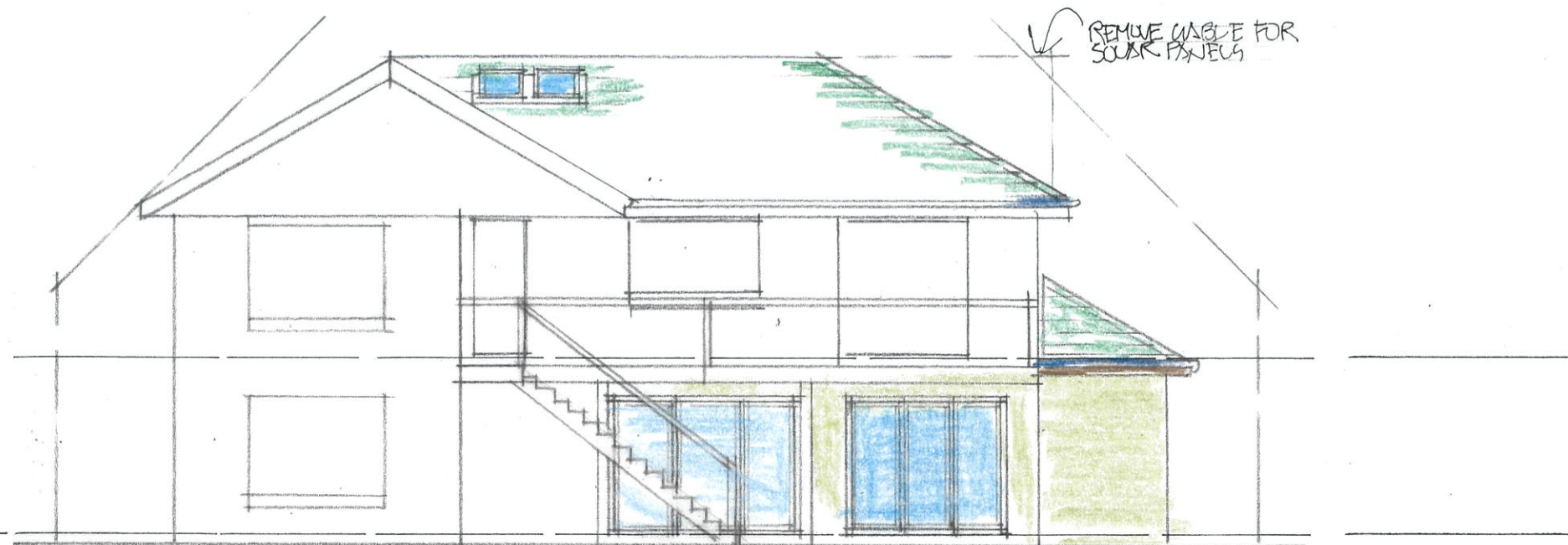
No.	AMENDMENT	DATE



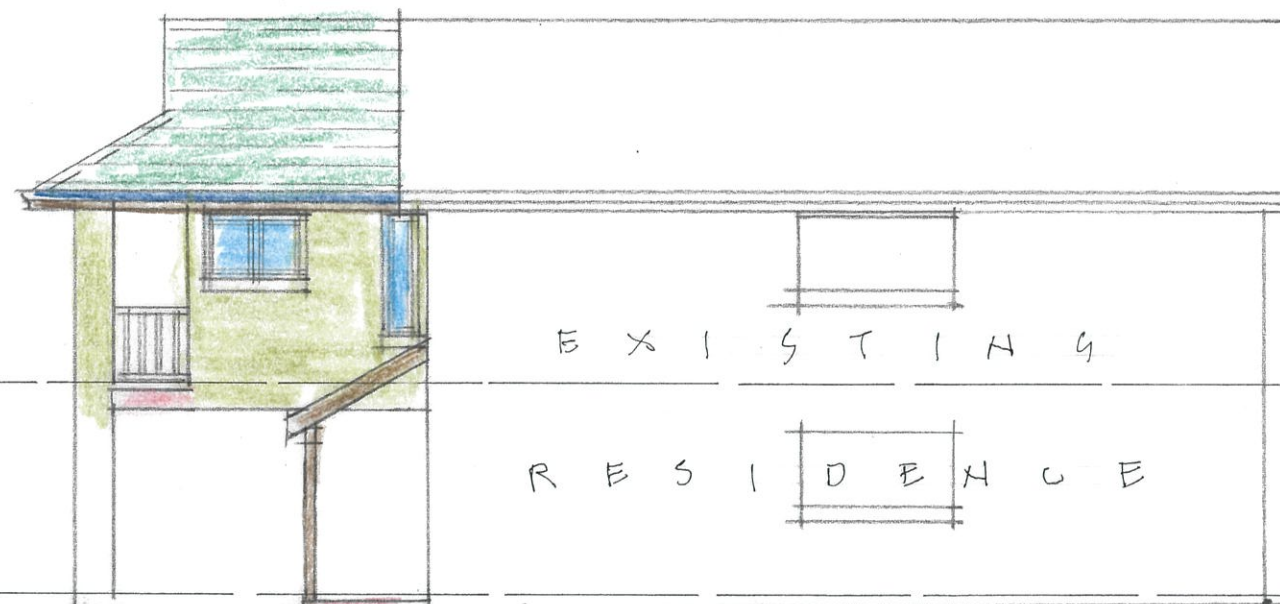
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DRAWING No.	ISSUE
2094-4	



EAST ELEVATION



SOUTH ELEVATION

FIRST FLOOR FV 134-89

GROUND FLOOR FV 132-18

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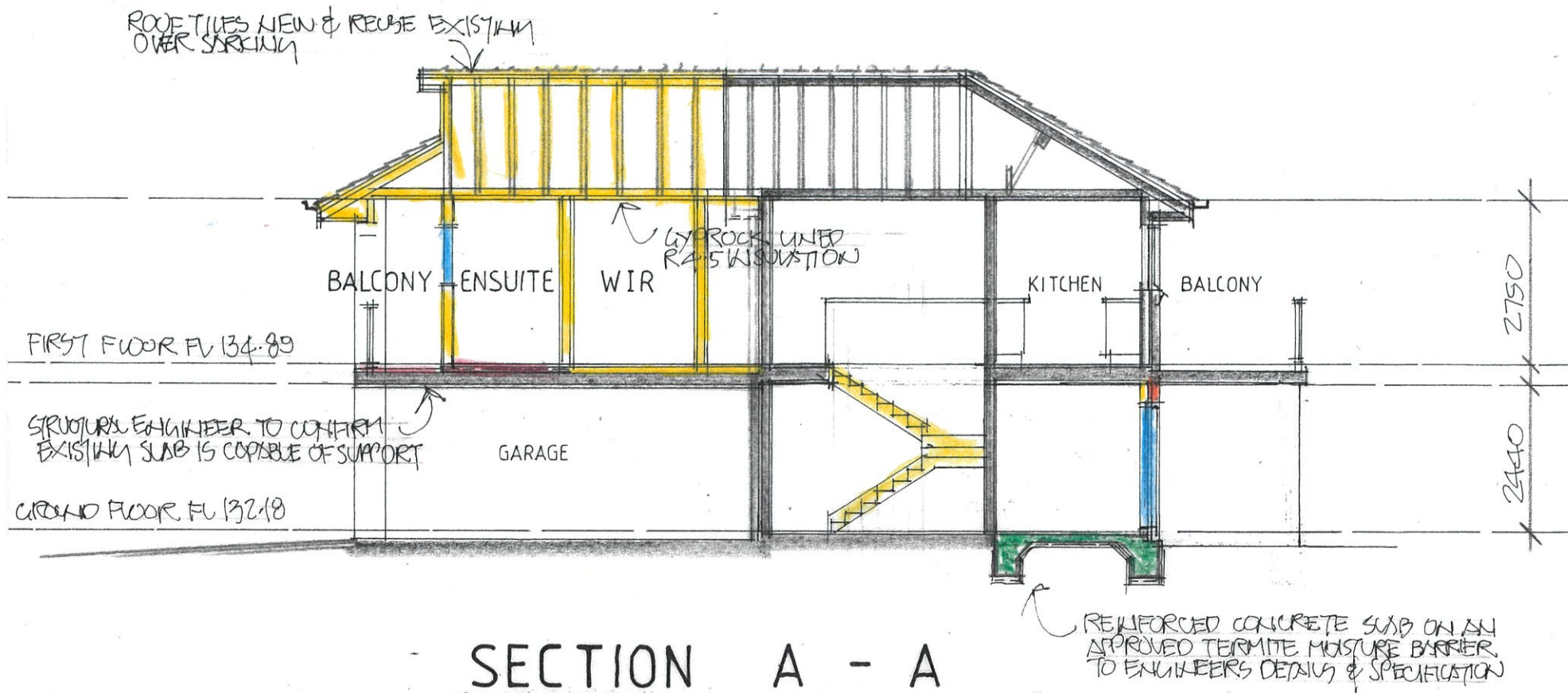
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2094-5	



BASI Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A455548

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Thursday, 07 April 2022
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project name	Maggie Samuel & R. Ananth Asirvadam
Street address	631 Warringah Road Forestville 2087
Local Government Area	Warringah Council
Plan type and number	Deposited Plan 411143
Lot number	X
Section number	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name	J.D. Evans & Co Pty Ltd
ABN (if applicable)	72 001 636 693

Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.	✓	✓	✓
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.	✓	✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.	✓	✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.	✓	✓	✓

Insulation requirements			
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.	✓	✓	✓
concrete slab on ground floor.	nil		
suspended floor above garage: concrete (R0.6)	nil		
external wall: brick veneer	R1.16 (or R1.70 including construction)		
external wall: framed (weatherboard, fibre, metal clad)	R1.30 (or R1.70 including construction)		
flat ceiling, pitched roof	ceiling: R2.50 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)	

Windows and glazed doors			
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:	✓	✓	✓
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or ion/eair gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.	✓	✓	✓
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	✓	✓	✓
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.	✓	✓	✓
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.	✓	✓	✓

Window or glazed door	U-value (W/m ² K)	SHGC (W/m ² K)	SHGC (W/m ² K)	SHGC (W/m ² K)	SHGC (W/m ² K)
W1	2.1	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W2	1.35	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W3	1.35	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W4	1.5	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W5	5.67	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W6	6.3	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W7	1.5	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W8	0.75	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W9	1.13	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W10	1.13	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W11	5.04	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

Skylights			
The applicant must install the skylights in accordance with the specifications listed in the table below.	✓	✓	✓
The following requirements must also be satisfied in relation to each skylight:	✓	✓	✓
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.	✓	✓	✓
Skylights glazing requirements			
S1	0.92	no shading	timber, double clear/air fill, (U-value: 4.3, SHGC: 0.5)
S2	0.92	no shading	timber, double clear/air fill, (U-value: 4.3, SHGC: 0.5)

In these commitments, "applicant" means the person carrying out the development.

Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).

Commitments identified with a "✓" in the "Show on CC/DC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.

Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

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DRAWN	JDE	CHECKED	
DRAWING No.	2094-6	ISSUE	

WARRINGAH ROAD

10.00m

PORCH

RIGHT OF CARRIAGE WAY
LOT 2 DP879865
PALM TREES TO BE REMOVED

DRIVEWAY

PORCH

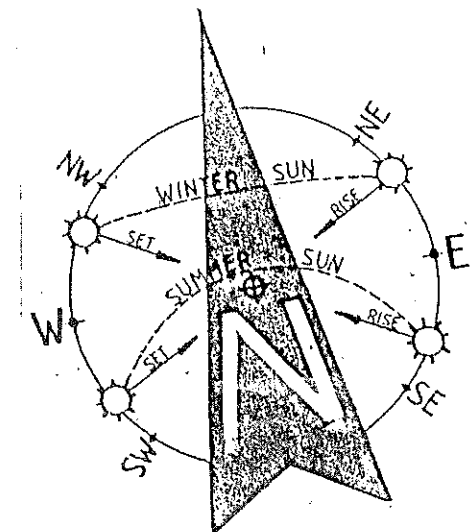
ADDITION

BALCONY FIRST FLOOR
ADDITION

SWIMMING POOL

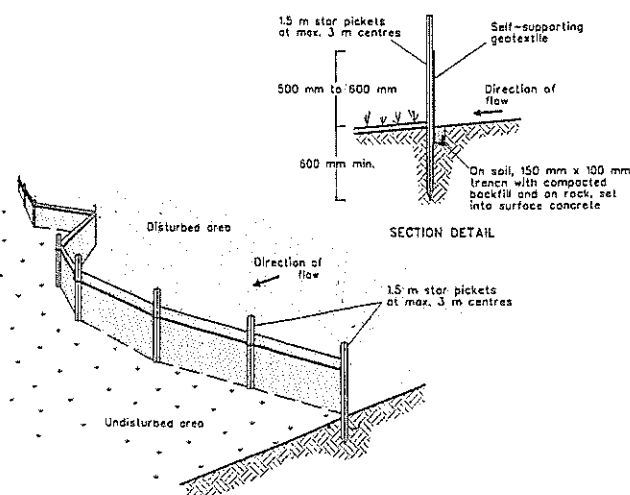
EXISTING RESIDENCE

POOLING



EROSION AND SEDIMENT MANAGEMENT PLAN

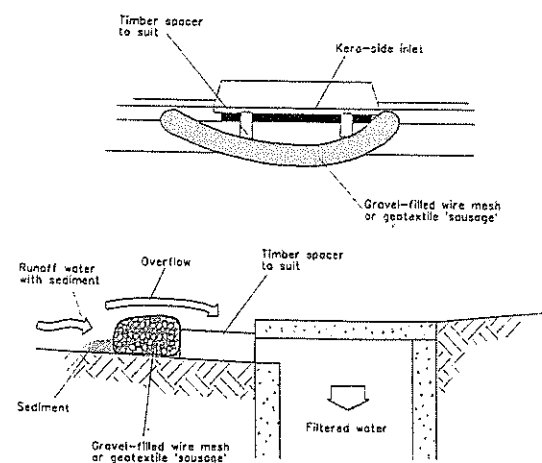
SEDIMENT FENCE



CONSTRUCTION NOTES

1. CONSTRUCT SEDIMENT FENCE AS CLOSE AS POSSIBLE TO PARALLEL TO THE CONTOURS OF THE SITE.
2. DRIVE 1.5 METRE LONG STAR PICKETS INTO GROUND, 3.0 METRES APART.
3. DIG A 150MM DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE. FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.
4. BACKFILL TRENCH OVER BASE OF FABRIC.
5. FIX SELF-SUPPORTING GEOTEXTILE TO UPSLOPE SIDE OF POSTS WITH WIRE TIES OR AS RECOMMENDED BY GEOTEXTILE MANUFACTURER.
6. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A 150MM OVERLAP.

MESH AND GRAVEL INLET FILTER

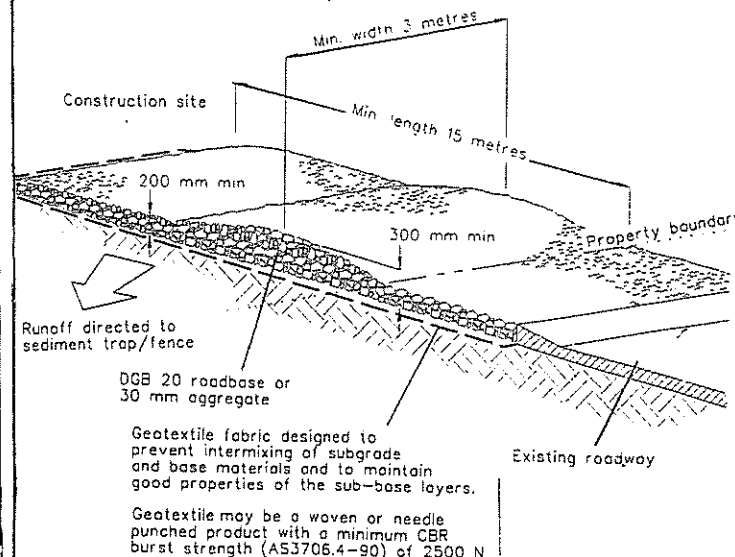


NOTE: This practice only to be used where specified in an approved SWMP/ESCP.

CONSTRUCTION NOTES

1. FABRICATE A SLEEVE MADE FROM GEOTEXTILE OR WIRE MESH LONGER THAN THE LENGTH OF THE INLET PIT.
2. FILL THE SLEEVE WITH 25MM TO 50MM GRAVEL.
3. FORM AN ELLIPTICAL CROSS-SECTION ABOUT 150MM HIGH X 400MM WIDE.
4. PLACE THE FILTER AT THE OPENING OF THE KERB INLET LEAVING A 100MM GAP AT THE TOP TO ACT AS AN EMERGENCY SPILLWAY.
5. MAINTAIN THE OPENING WITH SPACER BLOCKS.
6. FORM A SEAL WITH THE KERBING AND PREVENT SEDIMENT BYPASSING THE FILTER.
7. FIT TO ALL KERB INLETS AT SAG POINTS

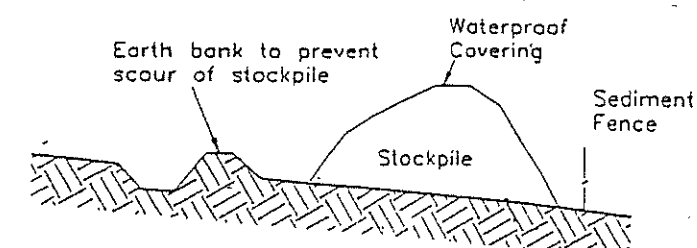
STABILISED SITE ACCESS



CONSTRUCTION NOTES

1. STRIP TOPSOIL AND LEVEL SITE.
2. COMPACT SUBGRADE.
3. COVER AREA WITH NEEDLE-PUNCHED GEOTEXTILE.
4. CONSTRUCT 200MM THICK PAD OVER GEOTEXTILE USING ROADBASE OR 30MM AGGREGATE. MINIMUM LENGTH 15 METRES OR TO BUILDING ALIGNMENT. MINIMUM WIDTH 3 METRES.
5. CONSTRUCT HUMPS IMMEDIATELY WITHIN THE BOUNDARY TO DIVERT WATER TO A SEDIMENT FENCE OR OTHER SEDIMENT TRAP.

BUILDING MATERIAL STOCKPILES DETAIL



CERTIFICATION

I JOHN EVANS MEMBER No. 365-96 OF THE BUILDING DESIGNERS ASSOCIATION OF N. S. W. INC, HEREBY CERTIFY THAT THIS DRAWING HAS BEEN DESIGNED IN WITH THE REQUIREMENTS OF THE LANDCOM PUBLICATION MANAGING URBAN STORMWATER. SOILS AND CONSTRUCTION-VOLUME 1, 4TH EDITION (2004)

Signed

Date

6/4/22

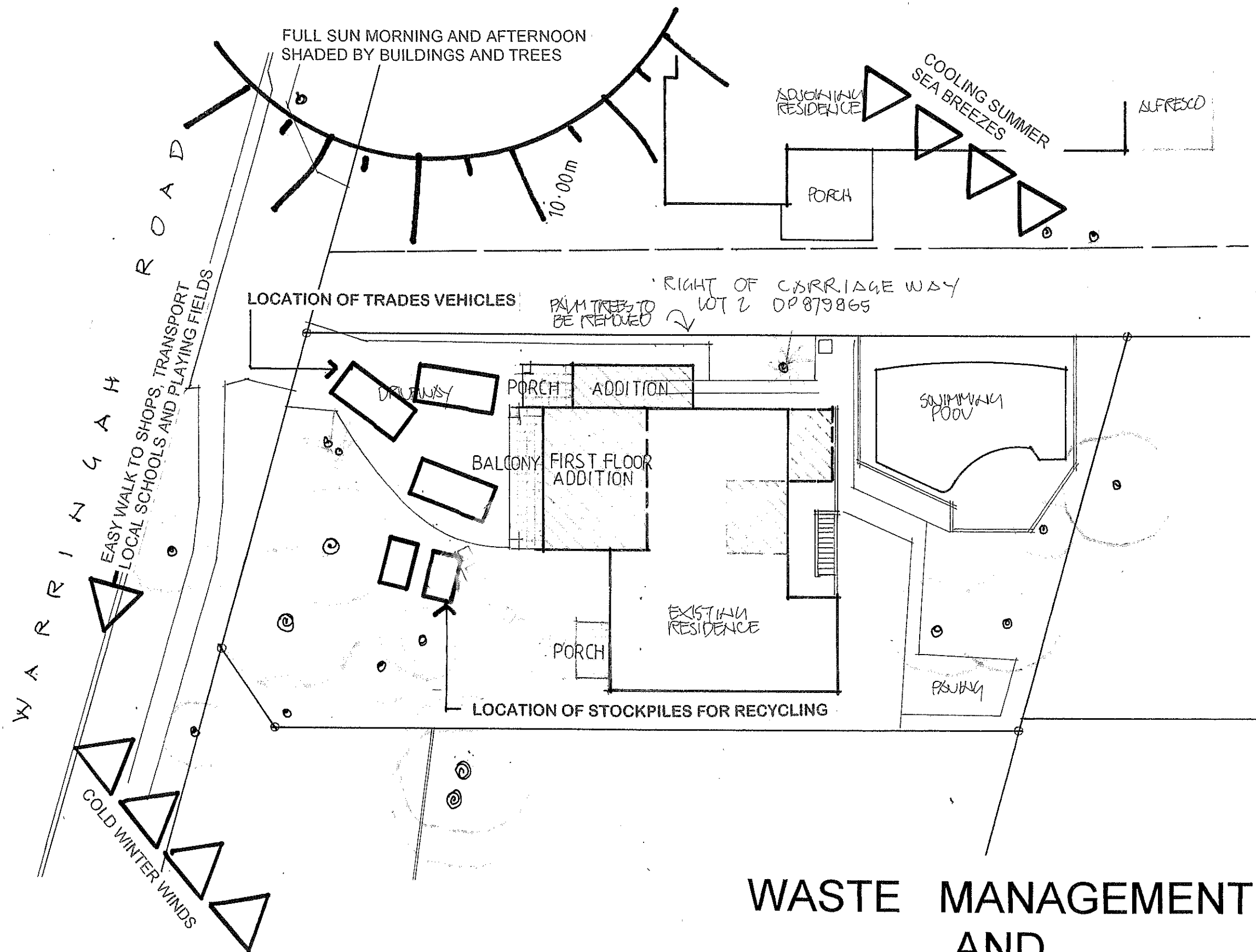
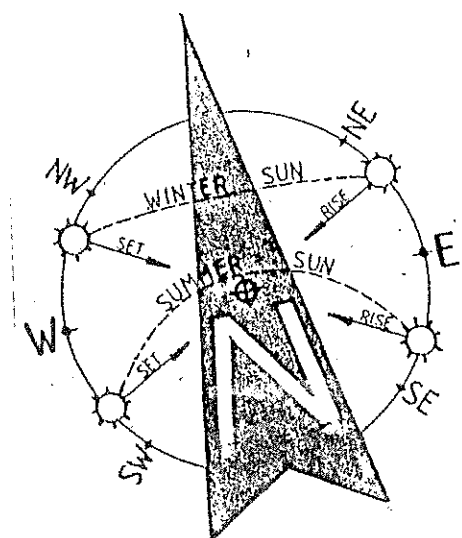
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PHONE 9999 4566 MOBILE 0418 976 596
www.jdeco.com.au

PROJECT
PROPOSED ALTERATIONS/ADDITIONS
No. 631 WARRINGAH ROAD
FORESTVILLE N. S. W. 2087
CLIENT
MAGGIE SAMUEL & R. ANANTH ASIRVADAM

DATE 06/04/2022 SCALE
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DRAWING No. 2094-7 ISSUE



WASTE MANAGEMENT AND SITE ANALYSIS PLAN

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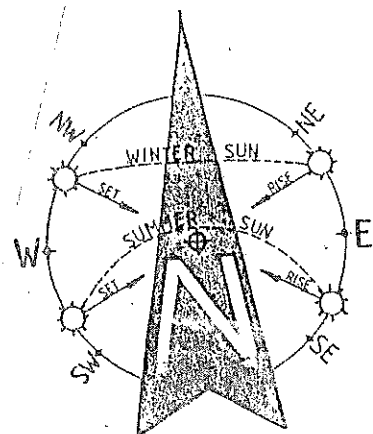
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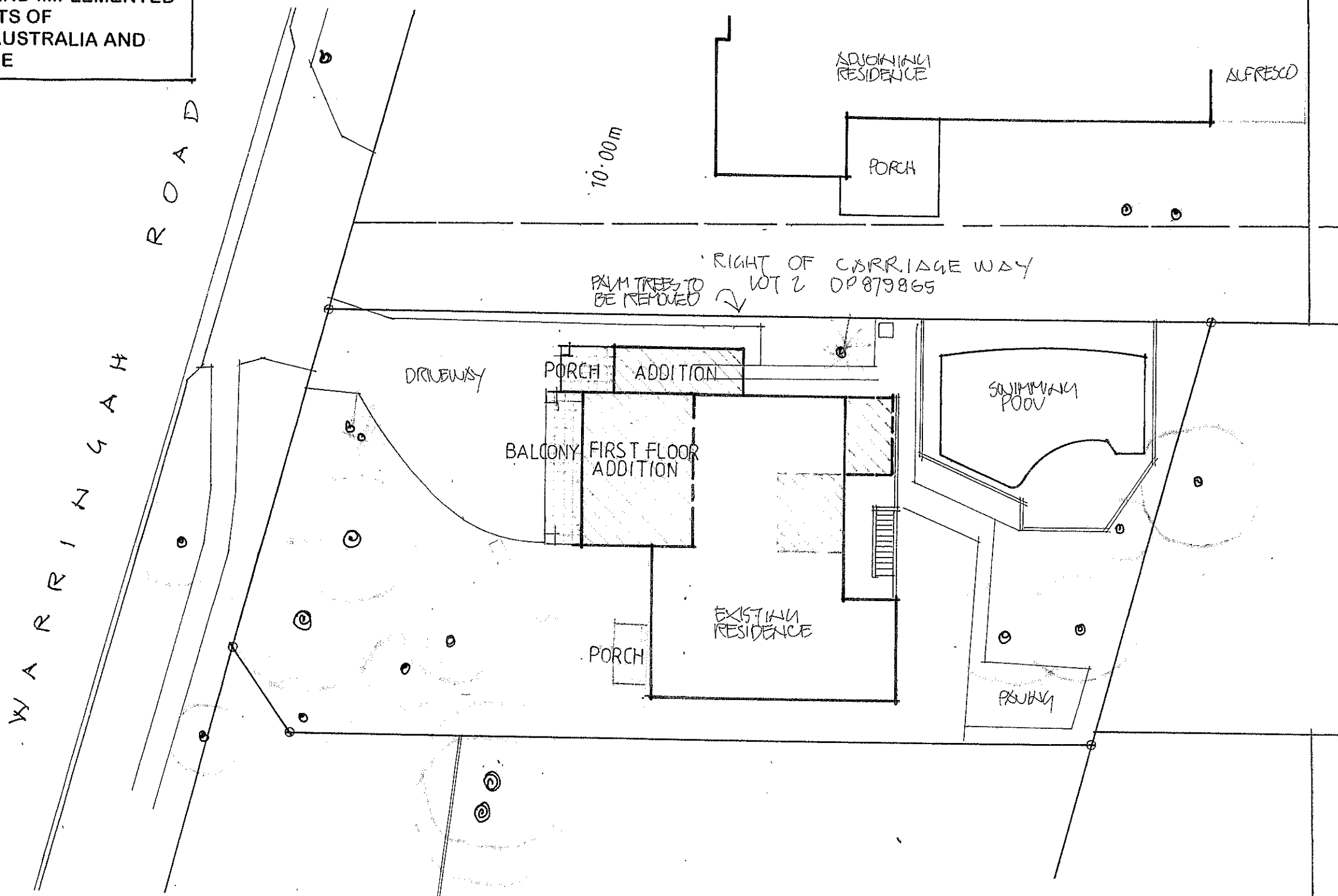
NOTE:
ALL DRAINAGE WORKS TO BE DESIGNED AND IMPLEMENTED
IN ACCORDANCE WITH THE REQUIREMENTS OF
Section 3.1.2 OF THE BUILDING CODE OF AUSTRALIA AND
AS/NZS 3500 3.2 - STORMWATER DRAINAGE

ALL COMPONENTS OF THE EXISTING DRAINAGE SYSTEM TO BE RETAINED
MUST BE CHECKED DURING CONSTRUCTION TO BE IN GOOD WORKING CONDITION
AND AT LEAST OF THE CAPACITY INDICATED ON THIS DRAWING. ANY
DRAINAGE COMPONENTS OR CONNECTIONS FOUND TO BE IN UNSATISFACTORY
CONDITION MUST BE UPGRADED OR REPLACED AS REQUIRED. LOCATION OF
EXISTING PIPEWORK HAS BEEN ESTIMATED FROM VISIBLE DRAINAGE
COMPONENTS AND MUST BE CONFIRMED DURING CONSTRUCTION. CONSULT
ENGINEER IN THE EVENT OF ANY SIGNIFICANT DISCREPANCIES.



NOTES:

1. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL, STRUCTURAL DRAWINGS AND THE SPECIFICATION.
2. PRIOR TO COMMENCEMENT OF WORKS THE CONTRACTOR SHALL SATISFY THEMSELVES OF THE CORRECT LOCATION OF EXISTING SERVICES WHETHER INDICATED OR NOT ON THE DRAWINGS AND ANY DAMAGE TO EXISTING SERVICES SHALL BE RECTIFIED AT THE CONTRACTORS EXPENSE.
3. THE CONTRACTOR SHALL EFFECT TEMPORARY DRAINAGE MEASURES TO AVOID LOCALISED PONDING OF SURFACE RUN-OFF.
4. ALL SWD PIPES ARE 100 mm UPVC AT 1% MINIMUM GRADE UNLESS NOTED OTHERWISE
5. THE CONTRACTOR SHALL IMPLEMENT ALL SOIL EROSION & SEDIMENT CONTROL MEASURES PRIOR TO COMMENCEMENT.
6. TOPSOIL SHALL BE STRIPED & STOCKPILED OUTSIDE HAZARD AREAS SUCH AS DRAINAGE LINES. THIS TOPSOIL IS TO BE RESPREAD LATER ON AREAS TO BE REVEGETATED.
7. THE CONTRACTOR SHALL MAINTAIN DUST CONTROL UNTIL FINAL COMPLETION OF WORKS.



**CONNECT ALL NEW STORMWATER
LINES TO THE EXISTING SYSTEM**

STORMWATER CONCEPT PLAN

1. Builder to check and confirm all necessary dimensions on site prior to construction. Do not scale the drawing.
2. All dimensions that relate to site boundaries and easements are subject to verification by a site survey.
3. All work to be in accordance with BUILDING CODE of AUSTRALIA & to the satisfaction of local council requirements & other authorities.
4. All timber construction to be in accordance with the "TIMBER FRAMING" code.
5. Any detailing in addition to what is supplied shall be resolved between the owner and the builder to the owner's approval, except for any structural details or design which is to be supplied by a Structural Engineer.
6. Roof water & sub-soil drainage to be disposed of in the approved manner or as directed by local council inspectors.
7. All electrical power & light outlets to be determined by owner.
8. Make good and repair all existing finishes damaged by new work. Reuse existing materials where possible.

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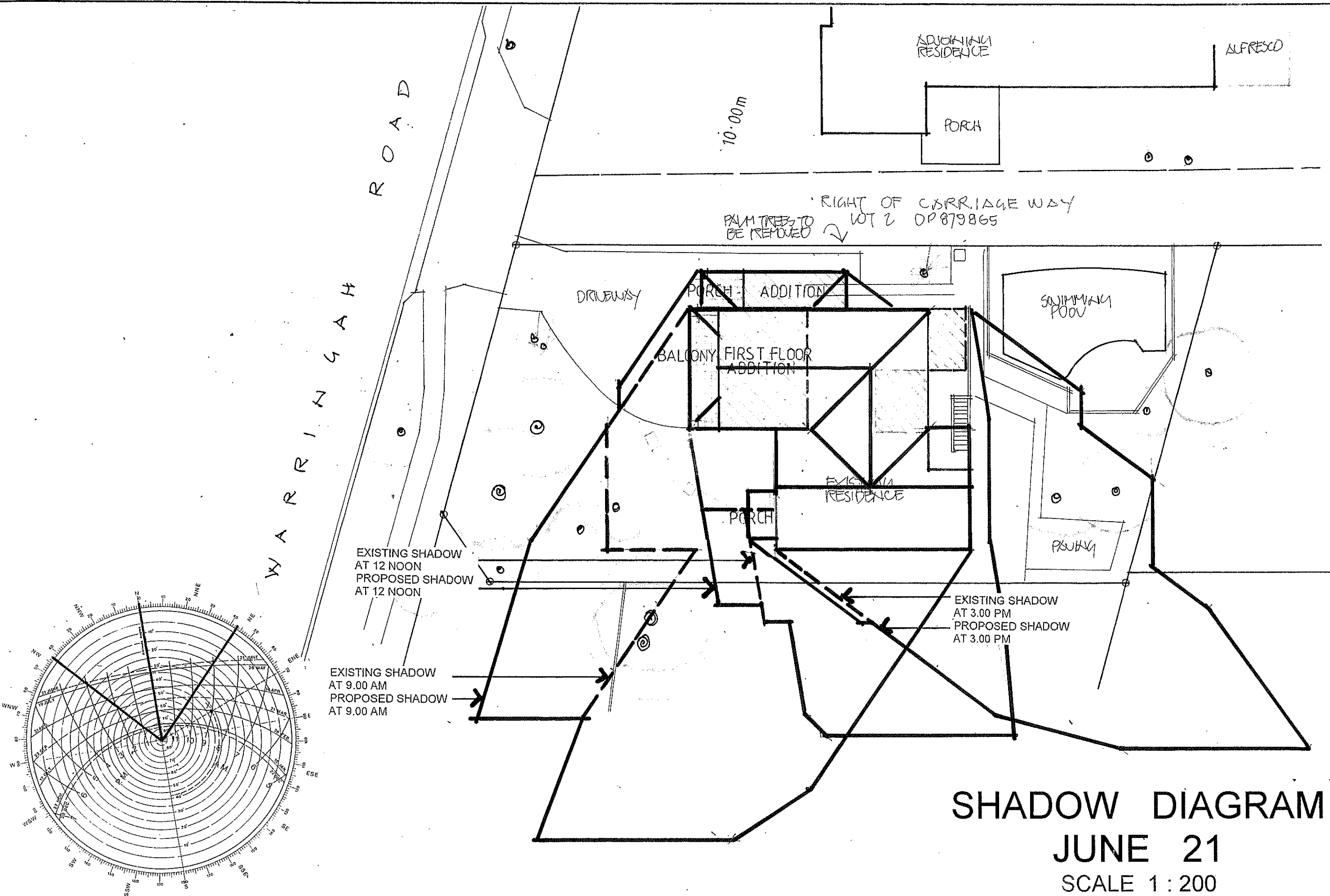
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SHADOW DIAGRAM
JUNE 21
SCALE 1 : 200

SHADOW CERTIFICATION

I JOHN EVANS SENIOR BUILDING DESIGNER OF J.D.EVANS & COMPANY PTY LIMITED
EST. 1978, HEREBY CERTIFY THAT THE SHADOW DIAGRAMS ARE ACCURATE
Signed _____ Date 06/04/2022

No.	AMENDMENT	DATE



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SECTION ONE - DEMOLITION STAGE

MATERIALS ON-SITE		DESTINATION		
		REUSE AND RECYCLING		DISPOSAL
Type of Material	Estimated Volume (m³)	ON-SITE ★ specify proposed reuse or on-site recycling methods	OFF-SITE ★ BROWN BROS BINS, TRANSPORTED TO KIMBRIKI RECYCLING CENTRE TERREY HILLS	BROWN BROS, BINS ★ TRANSPORTED TO KIMBRIKI LANDFILL
Excavation Material	10.5	—	11	—
Green Waste	7.0	—	11	—
Concrete	11.35	—	11	—
Bricks	6.00	—	11	—
Timber -	18.5	—	11	—
Metals -	3.2	—	11	—
Plasterboard	4.0	—	—	11
Other -	1.0	—	—	11

SECTION TWO - CONSTRUCTION STAGE

MATERIALS ON-SITE		DESTINATION		
		REUSE AND RECYCLING		DISPOSAL
Expected Waste Materials	Estimated Volume (m³)	ON-SITE ★ specify proposed reuse or on-site recycling methods	OFF-SITE ★ BROWN BROS BINS, TRANSPORTED TO KIMBRIKI RECYCLING CENTRE TERREY HILLS	BROWN BROS, BINS ★ TRANSPORTED TO KIMBRIKI LANDFILL
Excavation Material	21.0	FILL AS FORMWORK	—	—
Green Waste	3.0	—	11	—
Bricks	1.5	—	11	—
Concrete	1.0	—	11	—
Timber -	2.5	—	11	—
Metals -	1.0	—	11	—
Plasterboard	3.75	—	—	11
Other -	—	—	—	—

SECTION THREE - USE OF PREMISES

TYPE OF WASTE TO BE GENERATED	EXPECTED VOLUME PER WEEK
Please specify. For example: glass, paper, food waste, offcuts, etc.	★ Estimated Volume (m³)
GLASS & PAPER	0.2 DWELLING COLLECTED BY COUNCIL

SECTION FOUR - ON-GOING MANAGEMENT

HOUSEHOLD RUBISH & NON-RECYCLED GARBAGE	COLLECTED BY COUNCIL
0.5 DWELLING	

WASTE MANAGEMENT PLAN

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