

SHADOWS DIAGRAMS 21 JUNE - 9am



DESIGNER HOME ADDITIONS  
Licence 60007c

9938 5611  
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PO BOX 1183 • DEE WHY 2099  
TEL : 9938 5611  
FAX : 9938 5911  
EMAIL : sales@yourstyle.com.au  
WEB : www.yourstyle.com.au  
A DIVISION OF TAG TEAM CONSTRUCTIONS PTY LTD

Client Name : JODY & GEMMA WALL

Client Address : 385 CONDOMINE STREET,  
ALLAMBIE HEIGHTS 2100

Client No. : WAL 0622 01 DA

All construction work to be performed in accordance with  
Australian Standards and Building Code of Australia 2019.

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Project Number: WAL 0622 01 DA Included Pages: 1 -

Signed..... Date: Friday, 30 September 2022

Client's signature

Project Acceptance

We agree to these works in accordance with Your Style's  
Building Specification & Quote Document and this Design.

Signed..... Date: Friday, 30 September 2022

Your Style Designer Home Additions

Signed..... Date: Friday, 30 September 2022

Client's signature

Signed..... Date: Friday, 30 September 2022

Client's signature

Drawing Title : SHADOWS 21 JUNE 9am

Project Name : First Floor Addition

Architect: Your Style Designer Home Additions

Status : DA STAGE

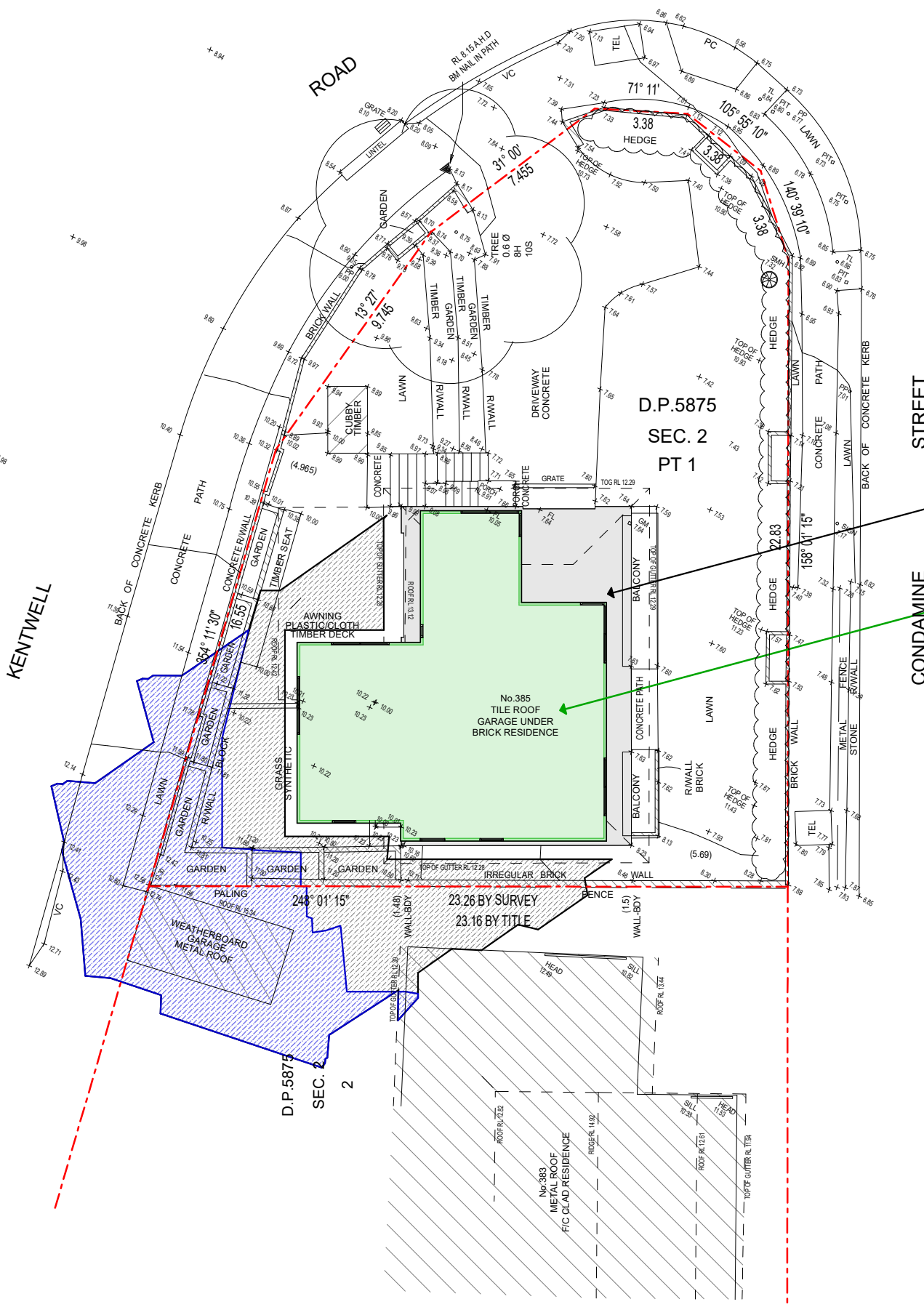
Scale : 1:200

Plot Date : Friday, 30 September 2022

Drawing No. : 14

File Location: WAL 0622 01 DA.pln

**Your Style Construction Certificate Excludes:**  
Items in red and/or listed here do not form part of Your Style's  
Construction Certificate and will not be approved for  
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[Blue hatched box] = Proposed Shadows

[Grey hatched box] = Existing Shadows

[Pink hatched box] = Shadows cast by  
Neighbouring homes

[Orange hatched box] = Fence/hedge Shadows

DAVID STUTCHBURY  
REGISTERED SURVEYOR  
IDENTIFICATION No: SU002051



- NOTES:
- THE POSITION OF IMPROVEMENTS TO BOUNDARIES ARE DIAGRAMMATIC ONLY UNLESS STATED. THE LOCATION OF BUILDINGS RELATIVE TO THE BOUNDARIES HAS BEEN DETERMINED AND ARE SHOWN ON THE PLAN.
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  - NO INVESTIGATIONS HAVE BEEN MADE OF BUILDING RESTRICTIONS WHICH MAY APPLY TO THIS LAND
  - CONTOUR INTERVAL 1.0m MINOR 5.0m MAJOR
  - ORIGIN OF LEVELS: SSM 4853 RL 17.490 A.H.D.
  - THE SPREAD AND HEIGHT OF TREES SHOWN ARE INDICATIVE ONLY AND CANNOT BE SHOWN ACCURATELY WITHOUT ADDITIONAL DETAILED SURVEY.
  - BEARINGS SHOWN ARE RELATED TO MAGNETIC MERIDIAN
- LEGEND
- |                         |                              |
|-------------------------|------------------------------|
| AC - AIR CONDITIONER    | MH - MANHOLE                 |
| DPC - DAMP PROOF COURSE | PB - POWER BOX               |
| EBOX - ELECTRICITY BOX  | PC - PRAM CROSSING           |
| EP - ELECTRICITY PIT    | PP - POWER POLE              |
| FL - FLOOR LEVEL        | SMH - SEWER MANHOLE          |
| GM - GAS METER          | SV - STOP VALVE              |
| GS - GAS SERVICE        | SW - STORMWATER              |
| GP - GULLY PIT          | TEL - TELECOMMUNICATIONS PIT |
| HW - HOT WATER HEATER   | TL - TRAFFIC LIGHT           |
| HYD - HYDRANT           | VC - VEHICLE CROSSING        |
| IC - INSPECTION COVER   | WM - WATER METER             |
| LH - LAMP HOLE          | WS - WATER SERVICE           |
| LP - LIGHT POLE         |                              |

REFERENCE:  
11621/22

REG'D SURVEYOR

STUTCHBURY JAKUES PTY LTD  
LAND SURVEYING CONSULTANTS  
P.O. BOX 7249, BROOKVALE NSW 2100

PH: 8976 1600 E-MAIL: info@stutchbury.net.au

DATE: 6/9/2022

SCALE: 1:100

DATUM: A.H.D.

SITE AREA: 496.3m<sup>2</sup> BY SURVEY

SHEET 1 OF 1 SHEETS

CLIENT: YOUR STYLE

PROJECT: LEVEL & DETAIL SURVEY

PART LOT 1 SEC.2 D.P.5875

No.385 CONDOMINE STREET, ALLAMBIE HEIGHTS

LGA: NORTHERN BEACHES



SHADOWS DIAGRAMS 21 JUNE - 12pm



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Your Style Designer Home Additions

Signed..... Date: Friday, 30 September 2022

Client's signature

Signed..... Date: Friday, 30 September 2022

Client's signature

Drawing Title : SHADOWS 21 JUNE 12pm

Project Name : First Floor Addition

Architect: Your Style Designer Home Additions

Status : DA STAGE

Scale : 1:200

Plot Date : Friday, 30 September 2022

Drawing No. : 15

File Location: WAL 0622 01 DA.pln

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LEGEND

AC - AIR CONDITIONER  
DPC - DAMP PROOF COURSE  
EBOX - ELECTRICITY BOX  
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FL - FLOOR LEVEL  
GM - GAS METER  
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GP - GULLY PIT  
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HYD - HYDRANT  
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LH - LAMP HOLE  
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MH - MANHOLE  
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PC - PRAM CROSSING  
PP - POWER POLE  
SMH - SEWER MANHOLE  
SV - STOP VALVE  
SW - STORMWATER  
TEL - TELECOMMUNICATIONS PIT  
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VC - VEHICLE CROSSING  
WM - WATER METER  
WS - WATER SERVICE

REFERENCE:  
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DAVID STUTCHBURY  
REGISTERED SURVEYOR  
IDENTIFICATION No: SU002051

DATE: 6/9/2022

SCALE: 1:100

DATUM: A.H.D.

SITE AREA: 496.3m<sup>2</sup> BY SURVEY

SHEET 1 OF 1 SHEETS

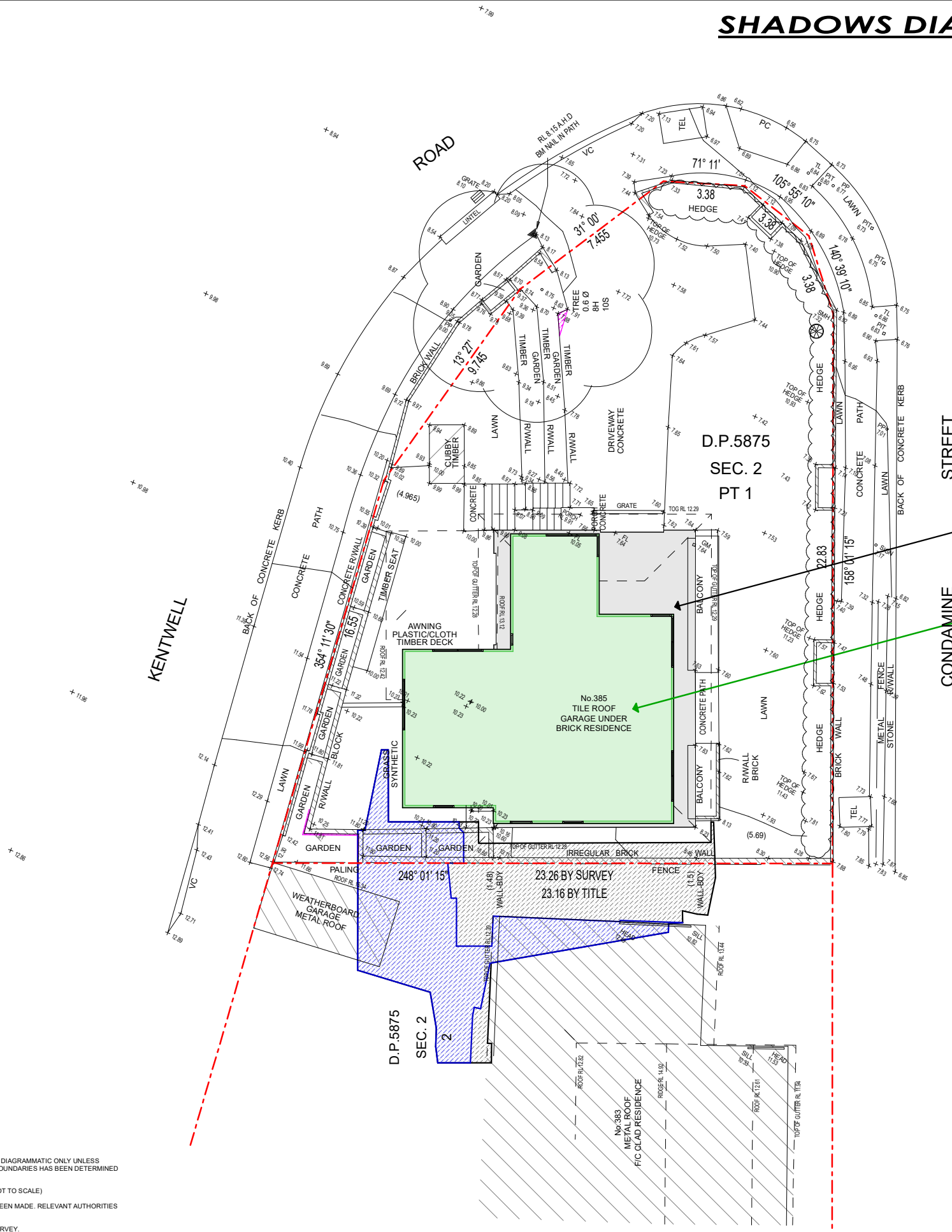
CLIENT: YOUR STYLE

PROJECT: LEVEL & DETAIL SURVEY

PART LOT 1 SEC.2 D.P.5875

No.385 CONDOMINE STREET, ALLAMBIE HEIGHTS

LGA: NORTHERN BEACHES



EXISTING HOME AND LANDSCAPED AREAS

PROPOSED FIRST FLOOR ADDITION ABOVE EXISTING HOME  
AND PATIO AREA

■ = Proposed Shadows

■ = Existing Shadows

■ = Shadows cast by  
Neighbouring homes

■ = Fence/hedge Shadows



SHADOWS DIAGRAMS 21 JUNE - 3pm



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Client No. :	WAL 0622 01 DA

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Client's signature

Project Acceptance

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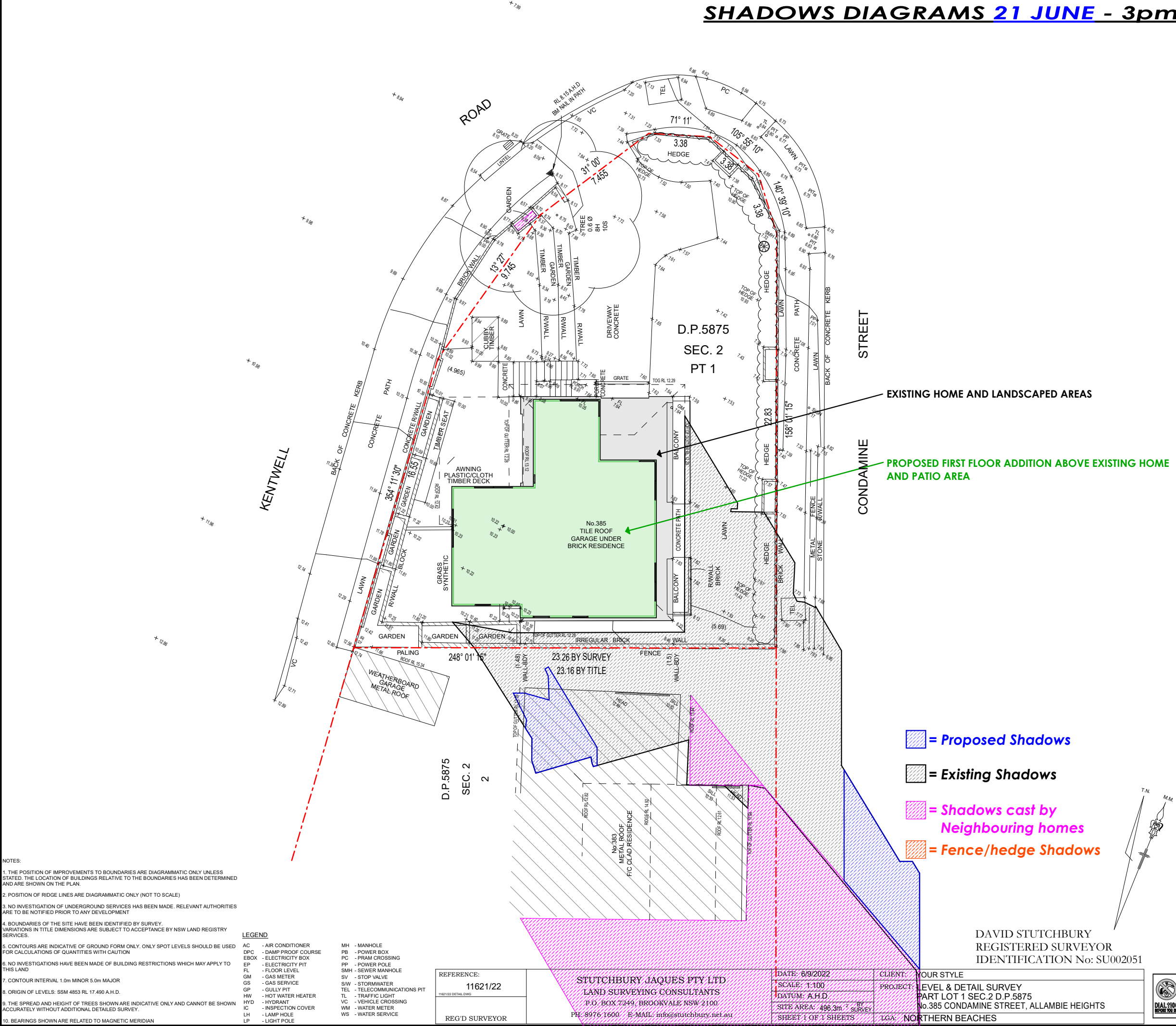
Signed..... Date: Friday, 30 September 2022  
Your Style Designer Home Additions

Signed..... Date: Friday, 30 September 2022  
Client's signature

Signed..... Date: Friday, 30 September 2022  
Client's signature

Drawing Title :	SHADOWS 21 JUNE 3pm		
Project Name :	First Floor Addition		
Architect:	Your Style Designer Home Additions		
Status :	DA STAGE	Scale :	1:200
Plot Date :	Friday, 30 September 2022	Drawing No. :	16
File Location:	WAL 0622 01 DA.pln		

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- LEGEND
- |                         |                              |
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| HW - HOT WATER HEATER   | TEL - TELECOMMUNICATIONS PIT |
| HYD - HYDRANT           | TL - TRAFFIC LIGHT           |
| IC - INSPECTION COVER   | VC - VEHICLE CROSSING        |
| LH - LAMP HOLE          | WM - WATER METER             |
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REFERENCE: 11621/22	STUTCHBURY JAUQUES PTY LTD LAND SURVEYING CONSULTANTS P.O. BOX 7249, BROOKVALE NSW 2100 PH: 8976 1600 E-MAIL: info@stutchbury.net.au	DATE: 6/9/2022 SCALE: 1:100 DATUM: A.H.D. SITE AREA: 496.3m <sup>2</sup> BY SURVEY SHEET 1 OF 1 SHEETS	CLIENT: YOUR STYLE PROJECT: LEVEL & DETAIL SURVEY PART LOT 1 SEC.2 D.P.5875 No.385 CONDOMINE STREET, ALLAMBIE HEIGHTS LGA: NORTHERN BEACHES
REG'D SURVEYOR	DAVID STUTCHBURY REGISTERED SURVEYOR IDENTIFICATION No: SU002051		





SHADOWS DIAGRAMS 20 MARCH - 9am



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Your Style Designer Home Additions

Signed..... Date: Friday, 30 September 2022

Client's signature

Signed..... Date: Friday, 30 September 2022

Client's signature

Drawing Title : SHADOWS 20 MARCH 9am

Project Name : First Floor Addition

Architect: Your Style Designer Home Additions

Status : DA STAGE

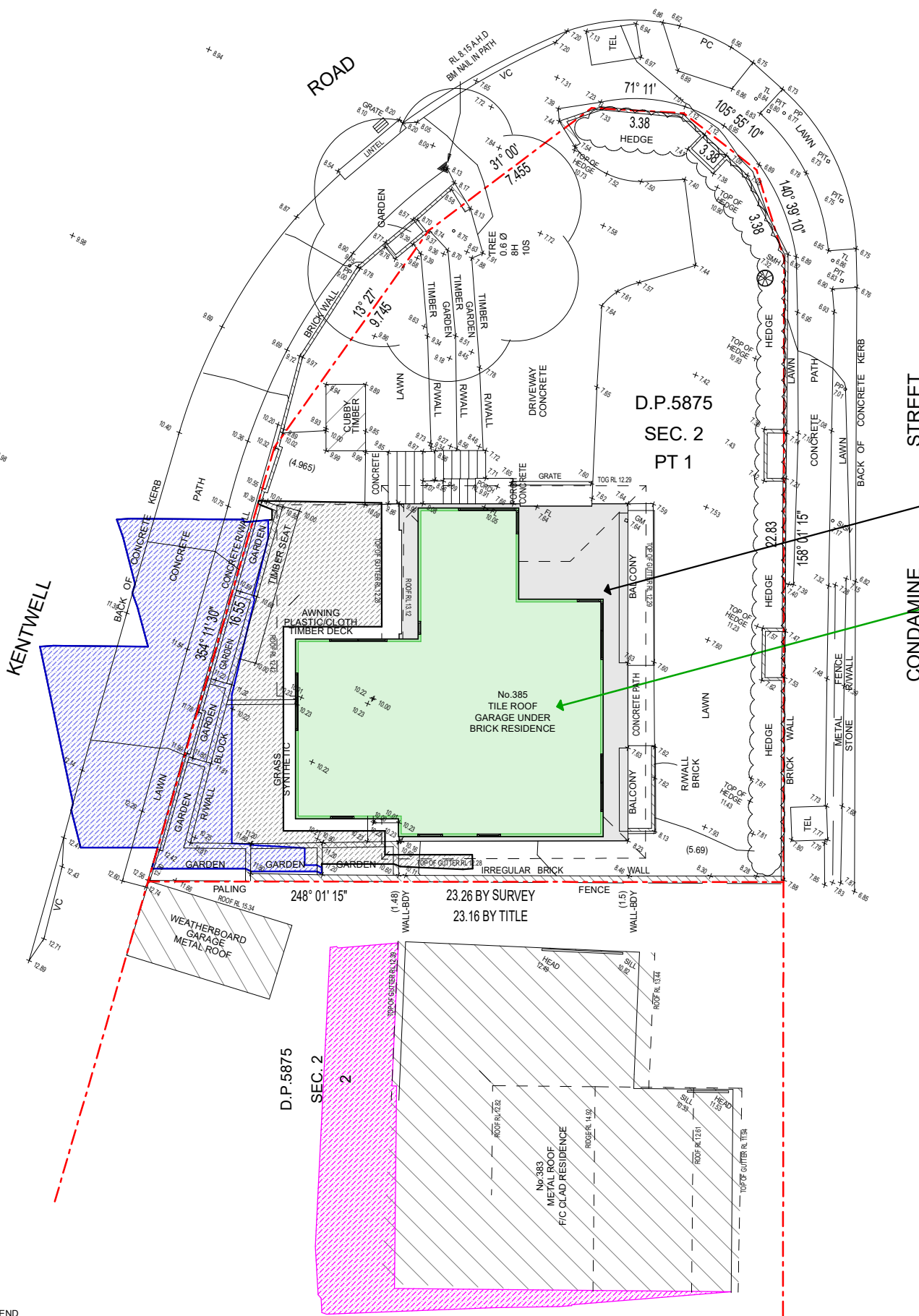
Scale : 1:200

Plot Date : Friday, 30 September 2022

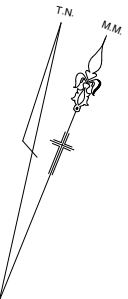
Drawing No. : 17

File Location: WAL 0622 01 DA.pln

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- Proposed Shadows
- Existing Shadows
- Shadows cast by Neighbouring homes
- Fence/hedge Shadows



DAVID STUTCHBURY  
REGISTERED SURVEYOR  
IDENTIFICATION No: SU002051

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- LEGEND
- |      |                     |     |                          |
|------|---------------------|-----|--------------------------|
| AC   | - AIR CONDITIONER   | MH  | - MANHOLE                |
| DPC  | - DAMP PROOF COURSE | PB  | - POWER BOX              |
| EBOX | - ELECTRICITY BOX   | PC  | - PRAM CROSSING          |
| EP   | - ELECTRICITY PIT   | PP  | - POWER POLE             |
| FL   | - FLOOR LEVEL       | SMH | - SEWER MANHOLE          |
| GM   | - GAS METER         | SV  | - STOP VALVE             |
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PH: 8976 1600 E-MAIL: info@stutchbury.net.au

DATE: 6/9/2022  
SCALE: 1:100  
DATUM: A.H.D.  
SITE AREA: 496.3m<sup>2</sup> BY SURVEY  
SHEET 1 OF 1 SHEETS

CLIENT: YOUR STYLE  
PROJECT: LEVEL & DETAIL SURVEY  
PART LOT 1 SEC.2 D.P.5875  
No.385 CONDOMINE STREET, ALLAMBIE HEIGHTS  
LGA: NORTHERN BEACHES





SHADOWS DIAGRAMS 20 MARCH - 12pm



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Client's signature

Drawing Title : SHADOWS 20 MARCH 12pm

Project Name : First Floor Addition

Architect: Your Style Designer Home Additions

Status : DA STAGE

Scale : 1:200

Plot Date : Friday, 30 September 2022

Drawing No. : 18

File Location: WAL 0622 01 DA.pln

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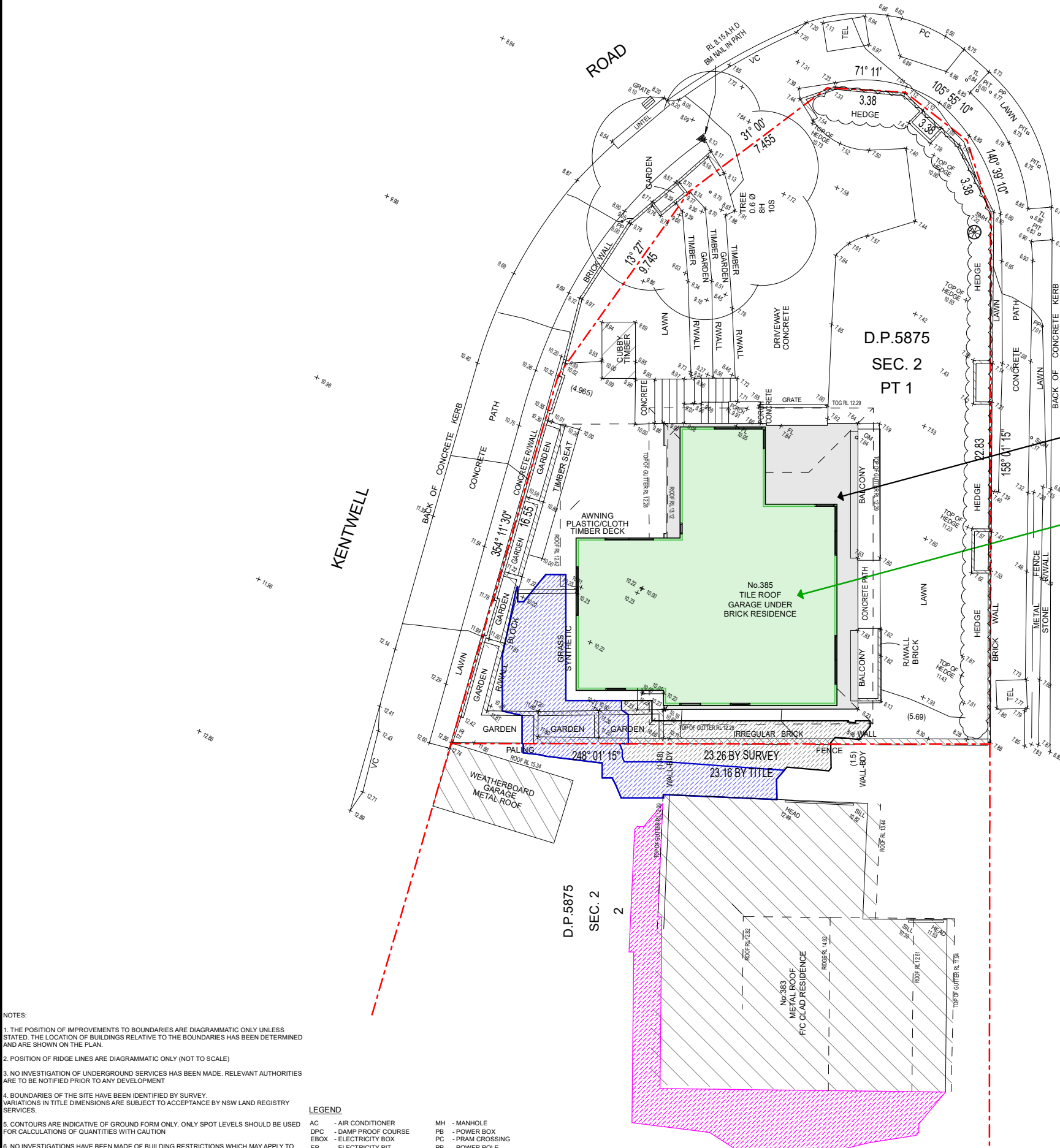
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SHEET 1 OF 1 SHEETS

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LGA: NORTHERN BEACHES

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IDENTIFICATION No: SU002051



EXISTING HOME AND LANDSCAPED AREAS

PROPOSED FIRST FLOOR ADDITION ABOVE EXISTING HOME  
AND PATIO AREA

[Blue hatched box] = Proposed Shadows

[Grey hatched box] = Existing Shadows

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SHADOWS DIAGRAMS 20 MARCH - 3pm



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Building Specification & Quote Document and this Design.

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Your Style Designer Home Additions

Signed..... Date: Friday, 30 September 2022

Client's signature

Signed..... Date: Friday, 30 September 2022

Client's signature

Drawing Title : SHADOWS 20 MARCH 3pm

Project Name : First Floor Addition

Architect: Your Style Designer Home Additions

Status : DA STAGE

Scale : 1:200

Plot Date : Friday, 30 September 2022

Drawing No. : 19

File Location: WAL 0622 01 DA.pln

Your Style Construction Certificate Excludes:  
Items in red and/or listed here do not form part of Your Style's  
Construction Certificate and will not be approved for  
construction under Your Style's Construction Certificate and  
will require a separate CC Application.

- NOTES:
- THE POSITION OF IMPROVEMENTS TO BOUNDARIES ARE DIAGRAMMATIC ONLY UNLESS STATED. THE LOCATION OF BUILDINGS RELATIVE TO THE BOUNDARIES HAS BEEN DETERMINED AND ARE SHOWN ON THE PLAN.
  - POSITION OF RIDGE LINES ARE DIAGRAMMATIC ONLY (NOT TO SCALE)
  - NO INVESTIGATION OF UNDERGROUND SERVICES HAS BEEN MADE. RELEVANT AUTHORITIES ARE TO BE NOTIFIED PRIOR TO ANY DEVELOPMENT
  - BOUNDARIES OF THE SITE HAVE BEEN IDENTIFIED BY SURVEY. VARIATIONS IN TITLE DIMENSIONS ARE SUBJECT TO ACCEPTANCE BY NSW LAND REGISTRY SERVICES.
  - CONTOURS ARE INDICATIVE OF GROUND FORM ONLY. ONLY SPOT LEVELS SHOULD BE USED FOR CALCULATIONS OF QUANTITIES WITH CAUTION
  - NO INVESTIGATIONS HAVE BEEN MADE OF BUILDING RESTRICTIONS WHICH MAY APPLY TO THIS LAND
  - CONTOUR INTERVAL 1.0m MINOR 5.0m MAJOR
  - ORIGIN OF LEVELS: SSM 4853 RL 17.490 A.H.D.
  - THE SPREAD AND HEIGHT OF TREES SHOWN ARE INDICATIVE ONLY AND CANNOT BE SHOWN ACCURATELY WITHOUT ADDITIONAL DETAILED SURVEY.
  - BEARINGS SHOWN ARE RELATED TO MAGNETIC MERIDIAN

LEGEND

AC - AIR CONDITIONER  
DPC - DAMP PROOF COURSE  
EBOX - ELECTRICITY BOX  
EP - ELECTRICITY PIT  
FL - FLOOR LEVEL  
GM - GAS METER  
GS - GAS SERVICE  
GP - GULLY PIT  
HW - HOT WATER HEATER  
HYD - HYDRANT  
IC - INSPECTION COVER  
LH - LAMP HOLE  
LP - LIGHT POLE

MH - MANHOLE  
PB - POWER BOX  
PC - PRAM CROSSING  
PP - POWER POLE  
SMH - SEWER MANHOLE  
SV - STOP VALVE  
SW - STORMWATER  
TEL - TELECOMMUNICATIONS PIT  
TL - TRAFFIC LIGHT  
VC - VEHICLE CROSSING  
WM - WATER METER  
WS - WATER SERVICE

REFERENCE:  
11621/22

REG'D SURVEYOR

STUTCHBURY JAUQUES PTY LTD  
LAND SURVEYING CONSULTANTS

P.O. BOX 7249, BROOKVALE NSW 2100

PH: 8976 1600 E-MAIL: info@stutchbury.net.au

DATE: 6/9/2022

SCALE: 1:100

DATUM: A.H.D.

SITE AREA: 496.3m<sup>2</sup> BY SURVEY

SHEET 1 OF 1 SHEETS

CLIENT: YOUR STYLE

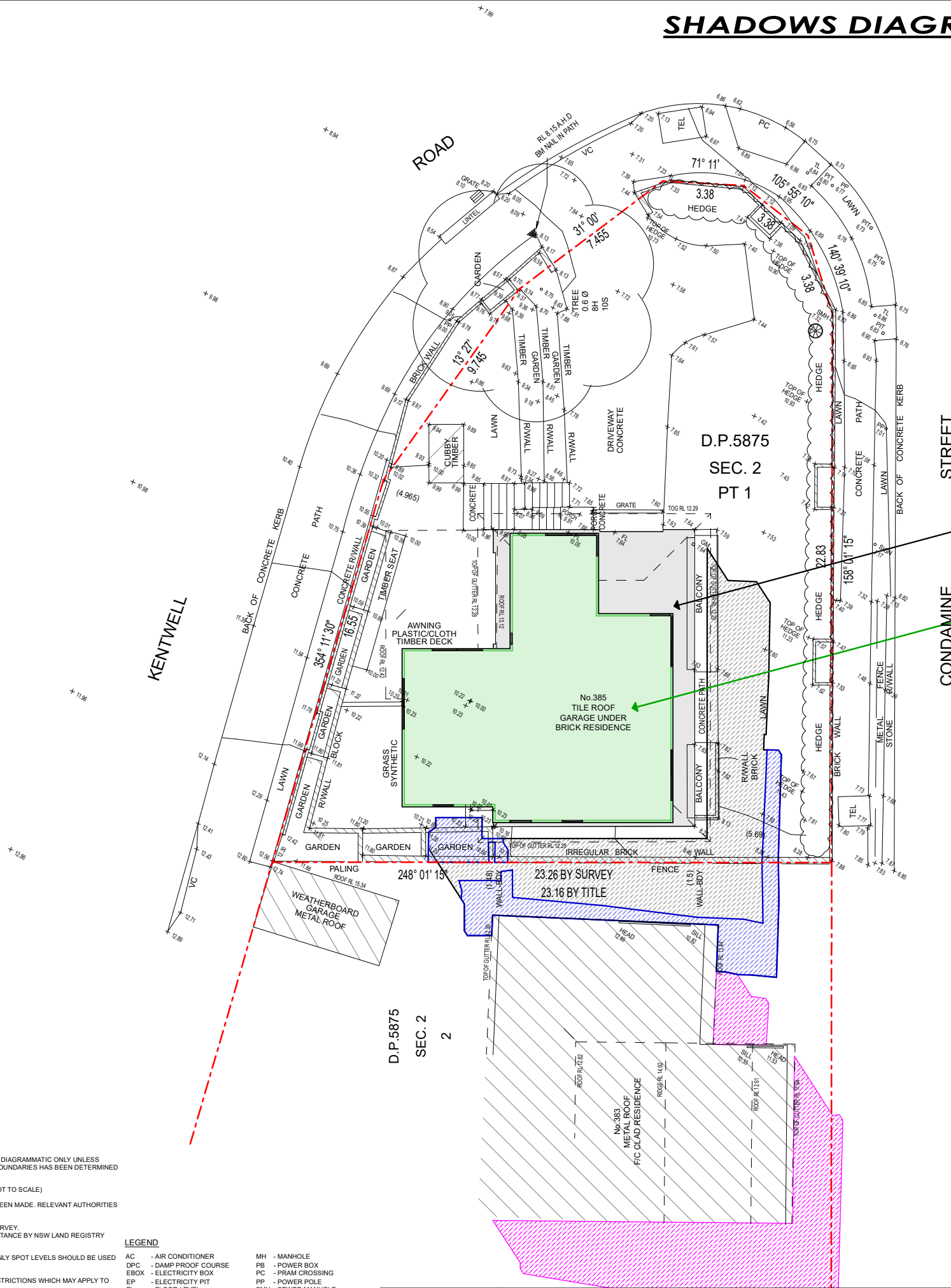
PROJECT: LEVEL & DETAIL SURVEY

PART LOT 1 SEC.2 D.P.5875

No.385 CONDOMINE STREET, ALLAMBIE HEIGHTS

LGA: NORTHERN BEACHES

DAVID STUTCHBURY  
REGISTERED SURVEYOR  
IDENTIFICATION No: SU002051



EXISTING HOME AND LANDSCAPED AREAS

PROPOSED FIRST FLOOR ADDITION ABOVE EXISTING HOME  
AND PATIO AREA

[Blue hatched box] = Proposed Shadows

[Grey hatched box] = Existing Shadows

[Pink hatched box] = Shadows cast by  
Neighbouring homes

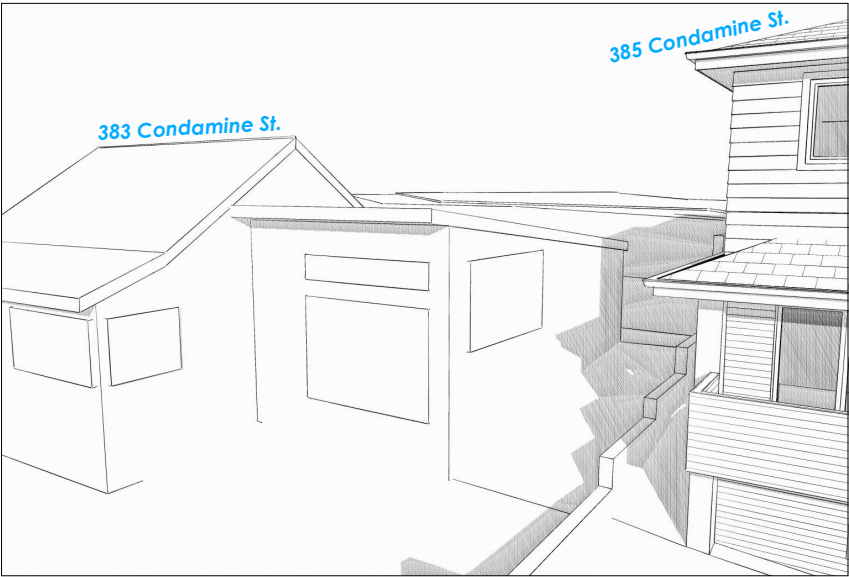
[Orange hatched box] = Fence/hedge Shadows



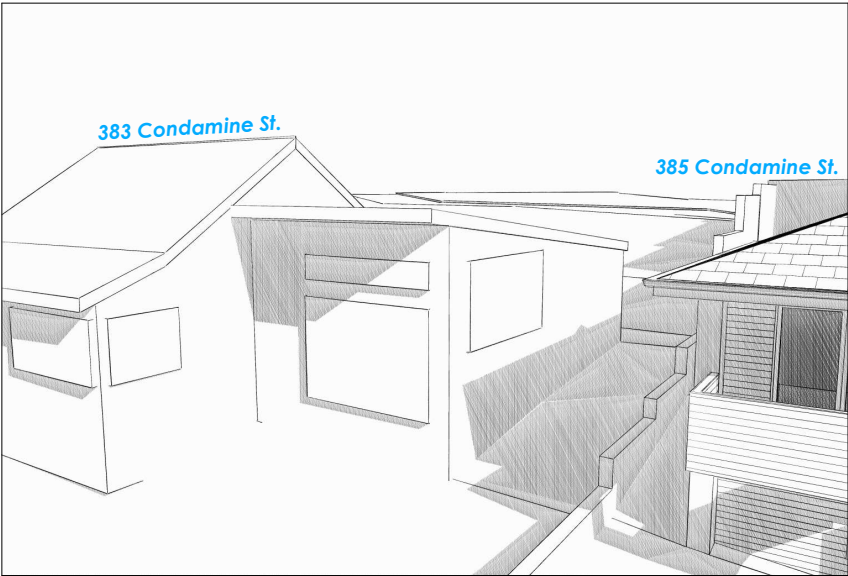
EXISTING & PROPOSED SHADOWS - JUNE 21 SOUTHERN NEIGHBOUR



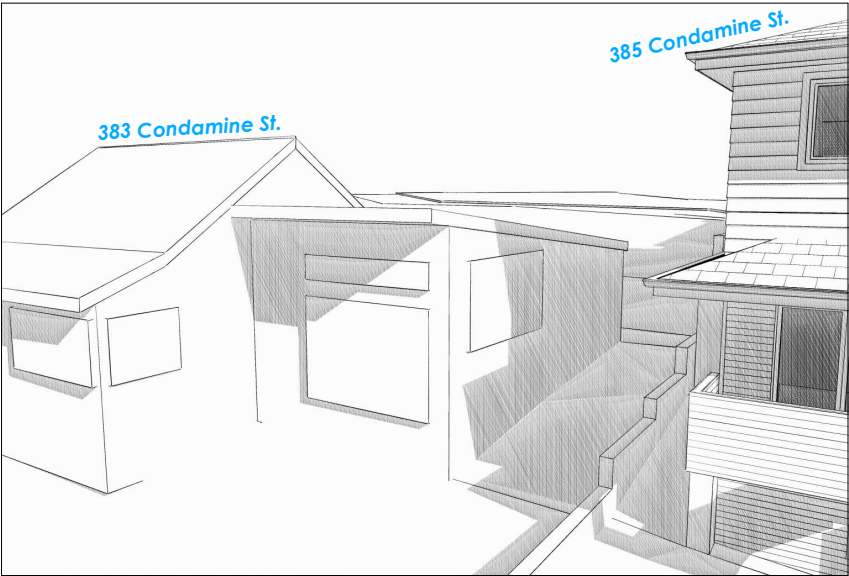
EXISTING SHADOWS - 9am (view from the East)



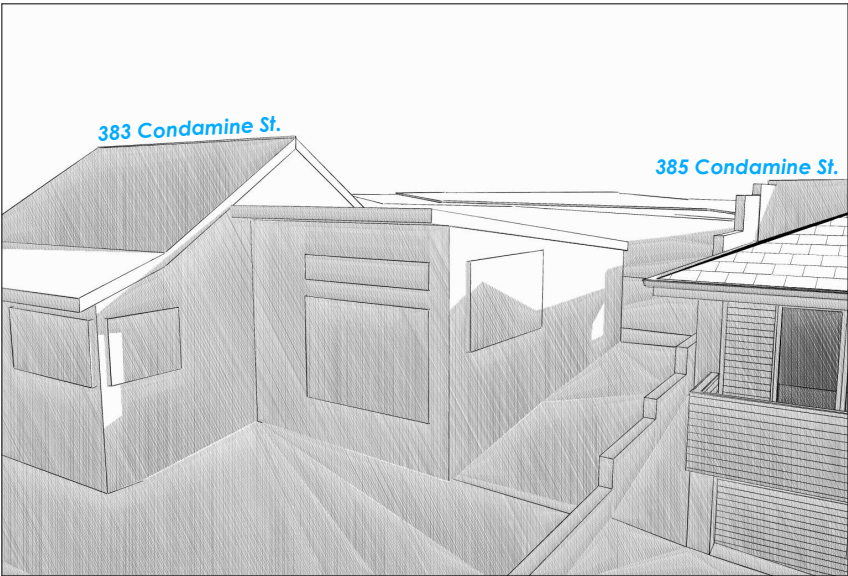
PROPOSED SHADOWS - 9am (view from the East)



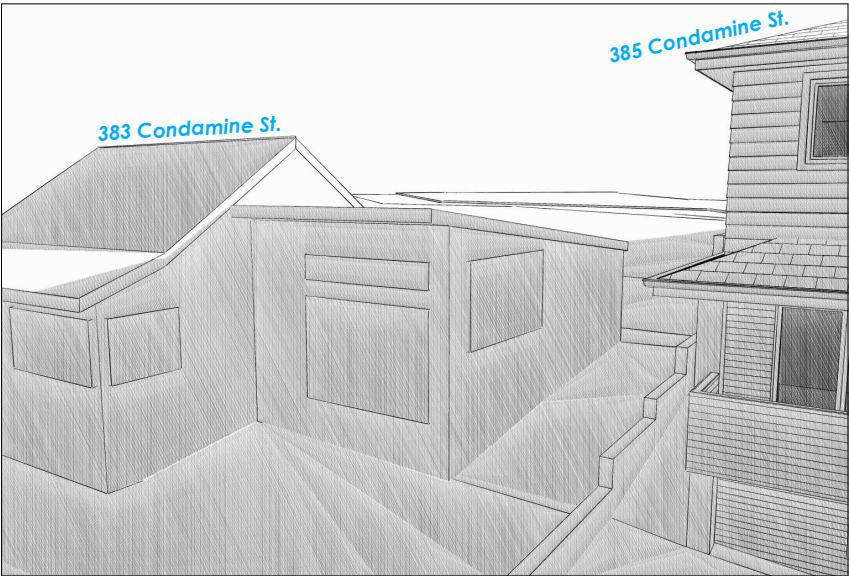
EXISTING SHADOWS - 12pm (view from the East)



PROPOSED SHADOWS - 12pm (view from the East)



EXISTING SHADOWS - 3pm (view from the East)



PROPOSED SHADOWS - 3pm (view from the East)



DESIGNER HOME ADDITIONS  
Licence 60007c

9938 5611  
www.yourstyle.com.au

PO BOX 1183 • DEE WHY 2099  
TEL : 9938 5611  
FAX : 9938 5911  
EMAIL : sales@yourstyle.com.au  
WEB : www.yourstyle.com.au  
A DIVISION OF TAG TEAM CONSTRUCTIONS PTY LTD

ABN 92 003 918 116 • ACN 003 918 116  
BUILDER LICENCE • 60007C

Client Name : JODY & GEMMA WALL

Client Address : 385 CONDAMINE STREET,  
ALLAMBIE HEIGHTS 2100

Client No. : WAL 0622 01 DA

All construction work to be performed in accordance with  
Australian Standards and Building Code of Australia 2019.

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Project Number: WAL 0622 01 DA Included Pages: 1-

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Project Acceptance

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Drawing Title : 3D SHADOWS 21 JUNE

Project Name : First Floor Addition

Architect: Your Style Designer Home Additions

Status : DA STAGE

Scale :

Plot Date : Friday, 30 September 2022

Drawing No. : 20

File Location: WAL 0622 01 DA.pln

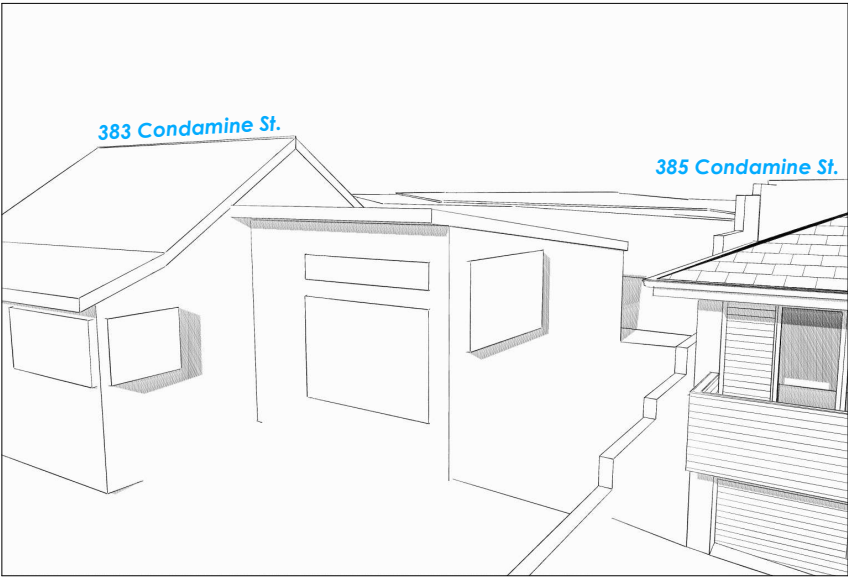
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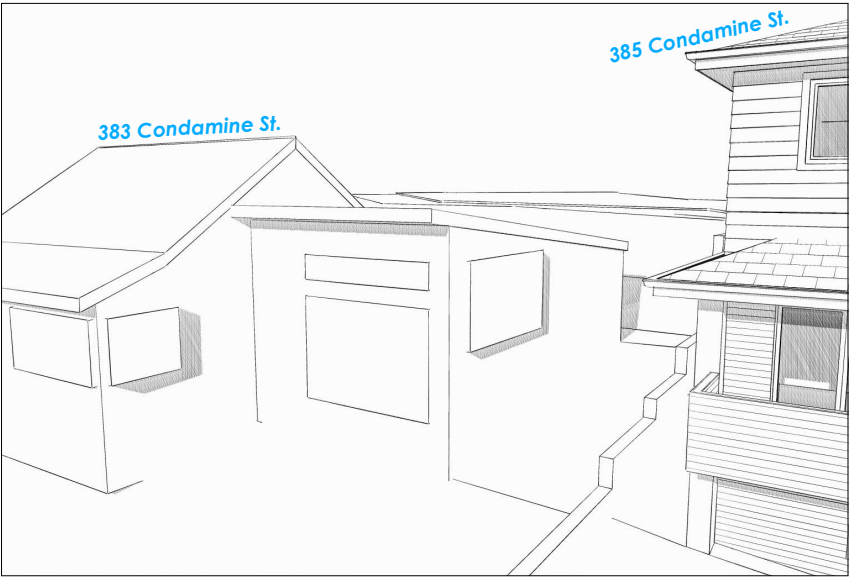
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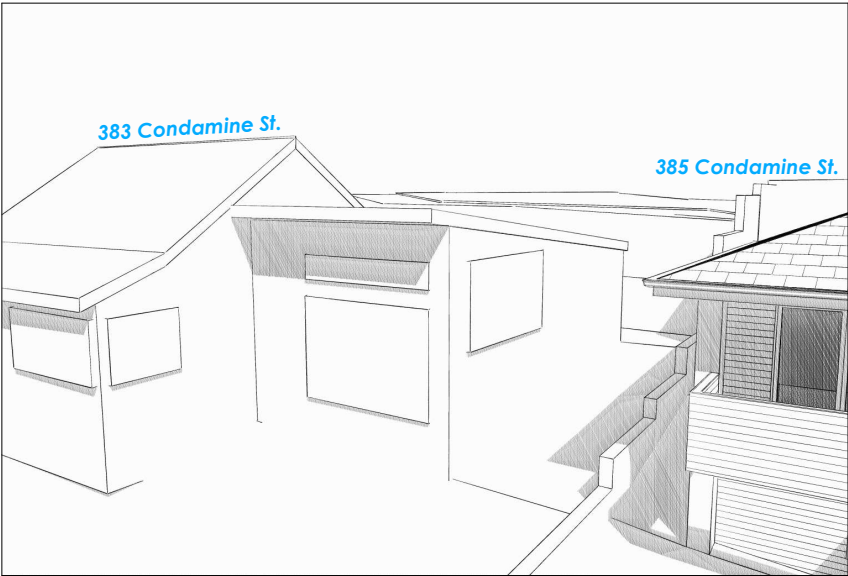
EXISTING & PROPOSED SHADOWS - MARCH 20 SOUTHERN NEIGHBOUR



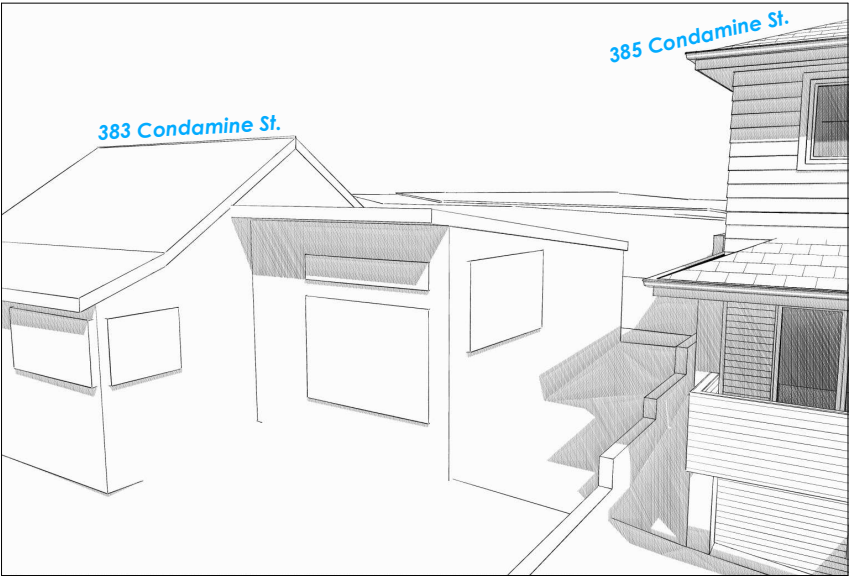
EXISTING SHADOWS - 9am (view from the East)



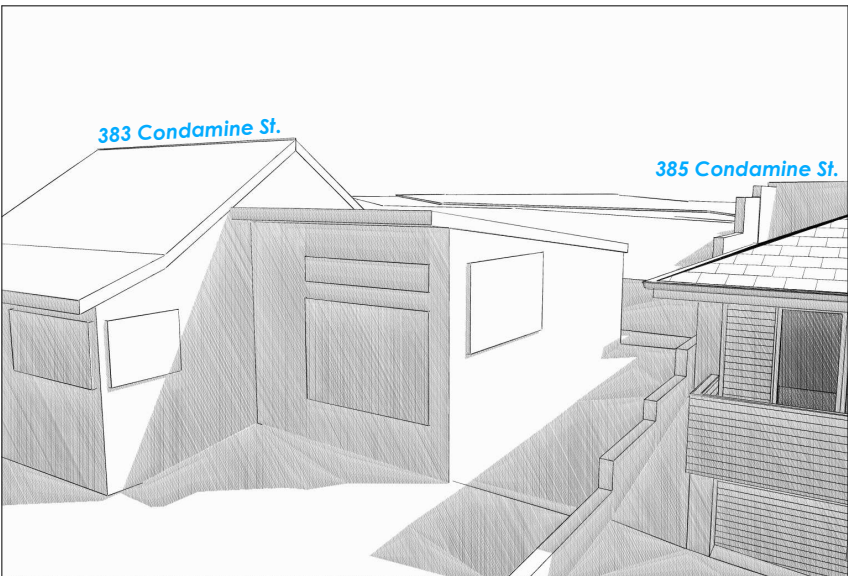
PROPOSED SHADOWS - 9am (view from the East)



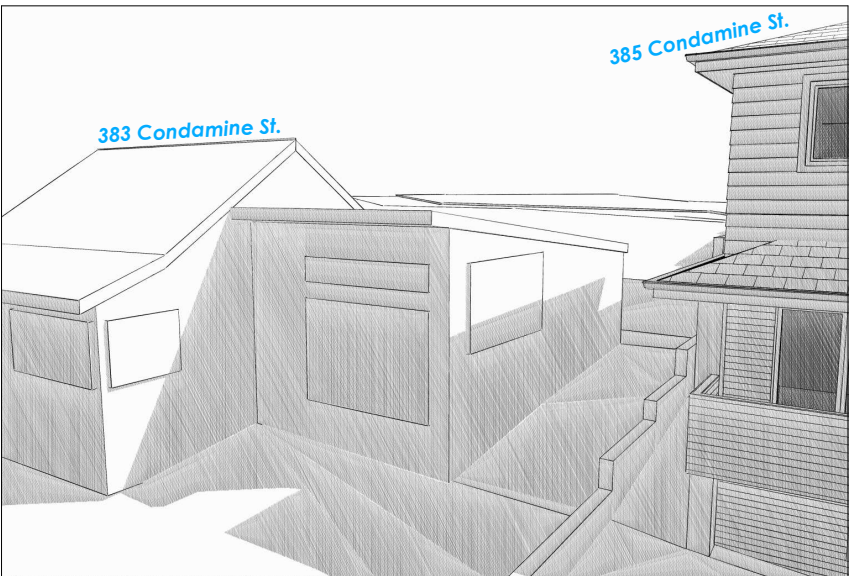
EXISTING SHADOWS - 12pm (view from the East)



PROPOSED SHADOWS - 12pm (view from the East)



EXISTING SHADOWS - 3pm (view from the East)



PROPOSED SHADOWS - 3pm (view from the East)



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Drawing Title : 3D SHADOWS 20 MARCH

Project Name : First Floor Addition

Architect: Your Style Designer Home Additions

Status : DA STAGE Scale :

Plot Date : Friday, 30 September 2022

File Location: WAL 0622 01 DA.pln Drawing No. : 21

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-
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-