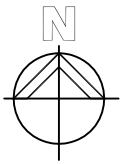


- Ⓐ .. DENOTES RIGHT OF CARRIAGEWAY, VARIABLE WIDTH (D.P.1026519)
- Ⓑ .. DENOTES EASEMENT FOR SUPPORT, 0.15 WIDE (D.P.1026519)
- Ⓒ .. DENOTES RIGHT OF FOOTWAY, VARIABLE WIDTH (D.P.1026519)
- Ⓓ .. DENOTES RIGHT OF CARRIAGEWAY, VARIABLE WIDTH (D.P.1080296)
- MAR .. DENOTES GIS MARITIME TITLE BOUNDARY



DATUM: STRUCTURAL LEVEL OF EXISTING TERRACE
TOP OF STRUCTURAL COPING TO BE LEVEL WITH THE DATUM POINT

EXISTING GLASS BALUSTRADE 1200mm
MINIMUM HIGH WITH CHILDPROOF
SELF-LOCKING GATE AS PER SWIMMING
POOL FENCING AS 1926.1-2012 TO REMAIN

VOLUME OF WATER IN SPA
= 3.0 KL

NOTES

ALL WORKS "BY CUSTOMER" ARE NOT INCLUDED
IN WORKS UNDER PREMIER POOLS CONTRACT
OR CONSTRUCTION CERTIFICATE.

THIS DRAWING IS NOT TO BE SCALED.
DIMENSIONS TO BE RECOGNISED OVER SCALING.
ALL DIMENSIONS AND LEVELS TO BE CHECKED ON SITE.

SITE COVERAGE CALC.

AREA OF BLOCK = 1307 sq m Approx. to MHWM

EXISTING IMPERVIOUS AREAS :

RESIDENCE = 250.7 sq m
EXISTING BALCONY = 91.5 sq m (to remain)
EXISTING BALCONY = 7.7 sq m (to be removed)
EXISTING SWIMMING POOL = 23.5 sq m
DRIVEWAY/PATHS = 130.4 sq m
IMPERVIOUS AREA = 503.8 sq m

PROPOSED spa BY PREMIER POOLS:

SPA WATER = 5.7 sq m
SPA COPING = 2.0 sq m

TOTAL PROPOSED IMPERVIOUS AREA
= 503.8 sq m = 38.5%

AVAILABLE SOFT/LANDSCAPE AREA
= 803.2 sq m = 61.5%



Builders Licence No. 34971
Premier Pools Pty Ltd A.C.N. 002 664048
9/303 Pacific Hwy Lindfield NSW 2070
Telephone: 9415 8888 Facsimile: 9415 8899

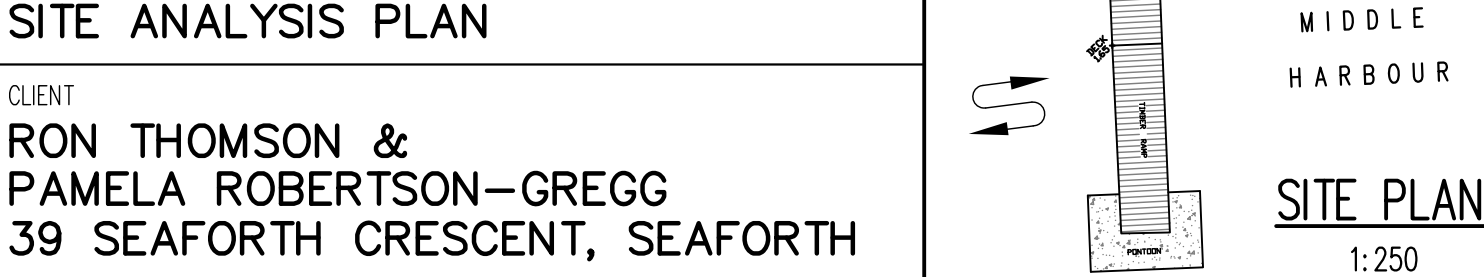


THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

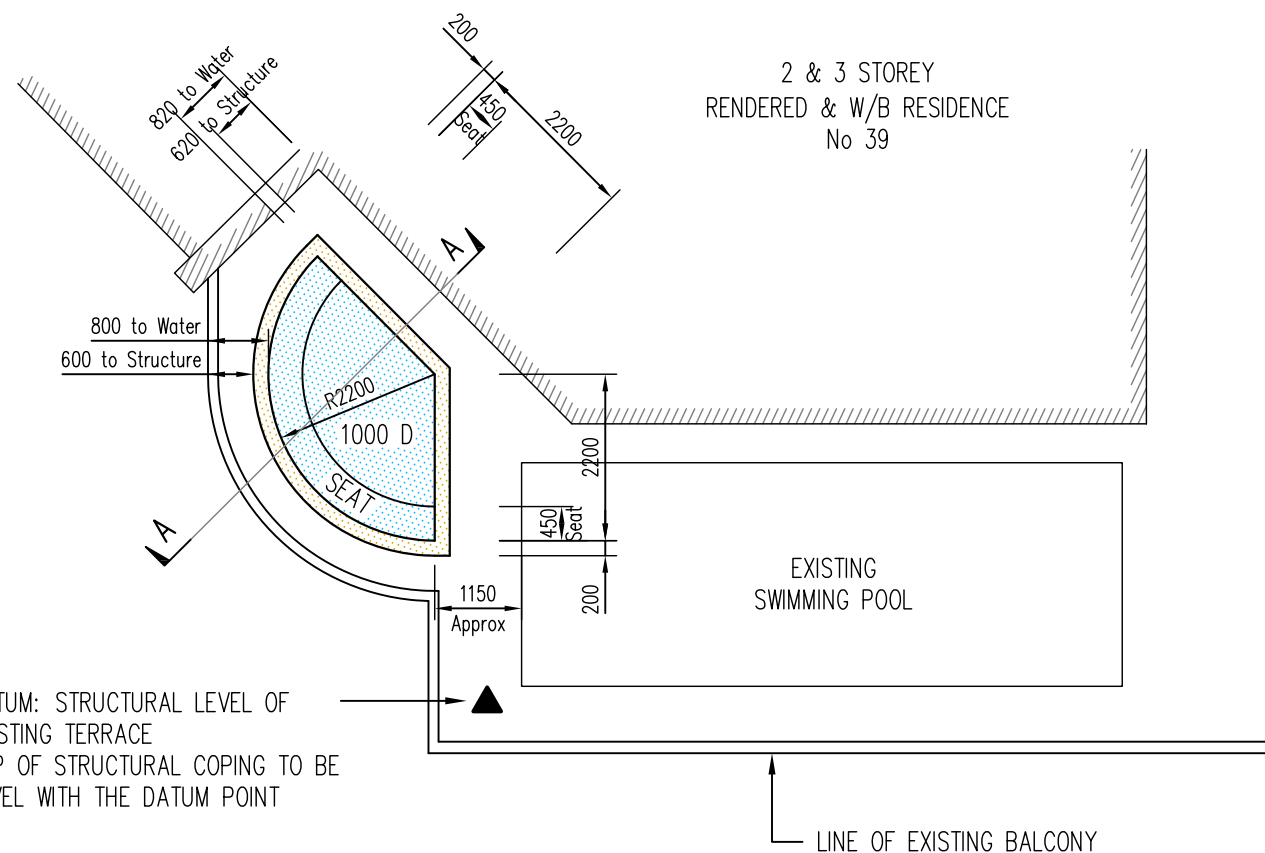
DA2022/0808

TITLE
SITE ANALYSIS PLAN

CLIENT
RON THOMSON &
PAMELA ROBERTSON-GREGG
39 SEAFORTH CRESCENT, SEAFORTH



DRAWN	KA
DATE	5th MARCH '22
SCALE	1:250
DWG. NO.	1/3
JOB NO.	7011

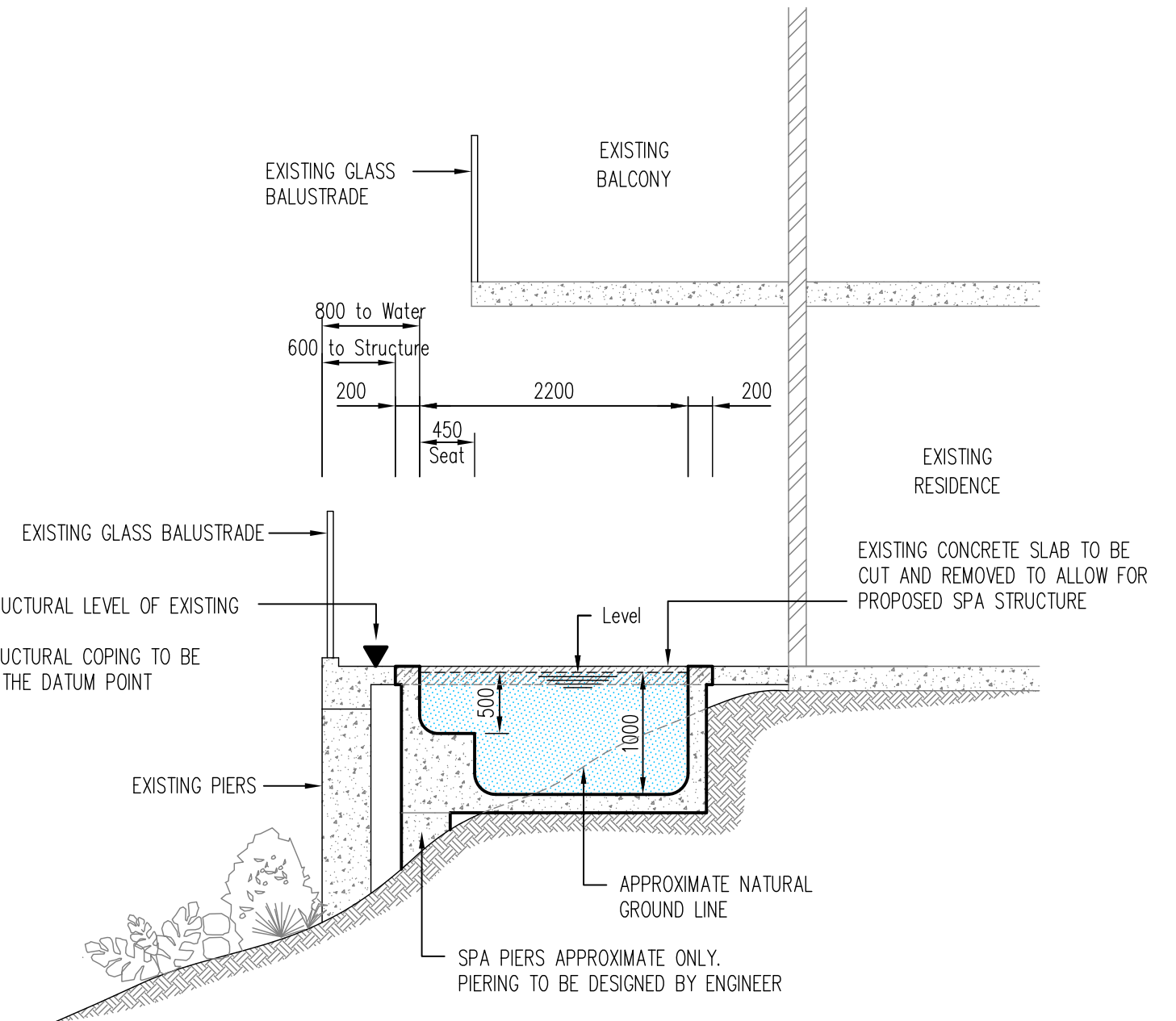


SPA PLAN
1 : 100

⊕
100 DENOTES APPROXIMATE HEIGHT OF STRUCTURAL COPING
ABOVE/BELOW EXISTING GROUND LEVEL

NOTE: THIS DRAWING IS NOT TO BE SCALED
DIMENSIONS TO BE RECOGNISED OVER SCALING
ALL DIMENSIONS AND LEVELS TO BE CHECKED ON SITE

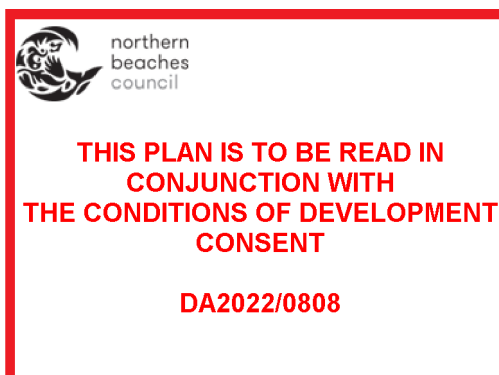
TOTAL VOLUME OF WATER IN SPA
= 3.0 Kilotres Approx.



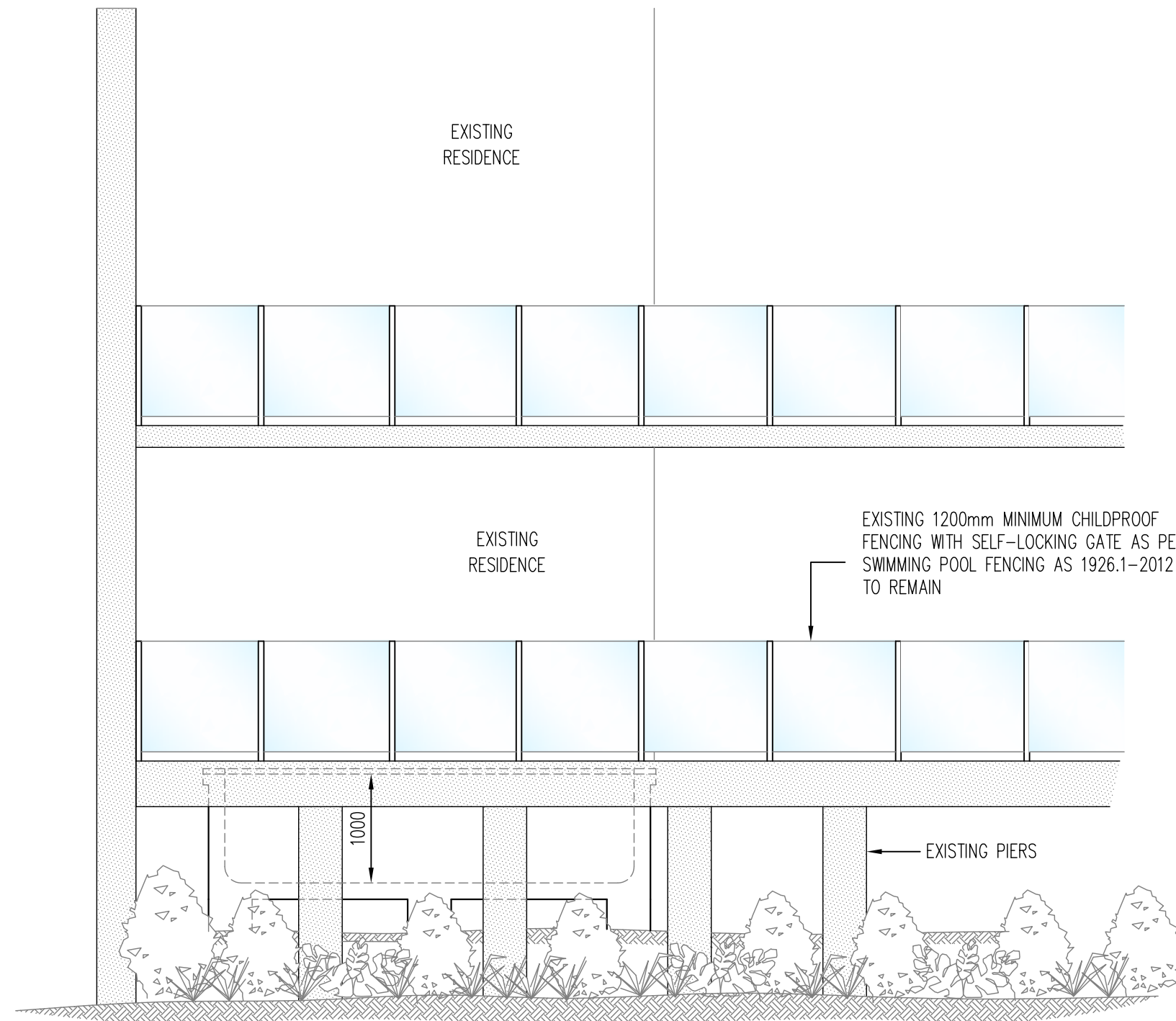
SECTION A - A
1 : 50



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TITLE	SPA PLAN & SECTIONAL ELEVATION		DRAWN	KA
CLIENT	RON THOMSON & PAMELA ROBERTSON-GREGG 39 SEAFORTH CRESCENT, SEAFORTH		DATE	5th MAR. 2022
			SCALE	AS SHOWN
			DWG. NO.	2/3
			JOB NO.	7011



SOUTH-WEST ELEVATION

1 : 50



northern
beaches
council

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2022/0808



Builders Licence No. 34971
Premier Pools Pty Ltd A.C.N. 002 664048
9/303 Pacific Hwy Lindfield NSW 2070
Telephone: 9415 8888 Facsimile: 9415 8899

TITLE	ELEVATIONAL PLAN		DRAWN	KA
			DATE	5th MAR. 2022
CLIENT	RON THOMSON & PAMELA ROBERTSON-GREGG 39 SEAFORTH CRESCENT, SEAFORTH		SCALE	AS SHOWN
			DWG. NO.	3/3
			JOB NO.	7011