

Retail 02 63-67 The Corso Manly NSW 2095

INTERNAL ALTERATIONS OF GROUND FLOOR SHOPFRONT AND RETAIL AREA for GET SASHIMI TAKEAWAY

Issue No.	Purpose of Issue	Issue Date
1	For Owners Consent	18/11/24
2	For DA	21/11/24
3	For Strata Approval	28/11/24
4	For Strata Approval/For DA	13/12/24
5	For Strata Approval/For DA	13/01/25
6	For Strata Approval/For DA	30/01/25
7	For DA	26/02/25
8	For DA	01/04/25
9	For DA	07/04/25

Project Sheet List		
Sheet No.	Sheet Name	Current Revision
C001	Cover Sheet	9
L100	General Notes	D
L101	General Legend	D
S001	Legends - Lighting	C
S003.1	Legends - Equipment	C
S003.2	Legends - Equipment	D
S003.3	Legends - Equipment	C
S005.1	Legends - Finishes	C
S005.2	Legends - Finishes	C
P100	Location Plan	D
P101	Existing Plan	D
P102	Demolition Plan	F
P103	Proposed Plan	M
P103.1	Layout Plan - Ground Level	J
P103.2	Layout Plan - Mezzanine Level	F
P103.3	Kitchen Plan - FOH	E
P103.4	Kitchen Plan - BOH	D
P104.1	Reference Plan - Ground Level	F
P104.2	Reference Plan - Mezzanine Level	F

Project Sheet List		
Sheet No.	Sheet Name	Current Revision
P105.1	Reflected Ceiling Plan - Ground Level	E
P105.2	Reflected Ceiling Plan - Mezzanine Level	C
E101.1	South Elevation - Existing	C
E101.2	South Elevation - Demolition	D
E101.3	South Elevation - Proposed	F
E102	Shopfront Elevations	E
E103	Shopfront Elevations	G
E104	Shopfront Elevations	J
E105	Elevations and Sections	E
E106	Elevations and Sections	E
E107	Elevations and Sections	C
E108	Elevations and Sections	C
E109	Elevations and Sections	D
D401	Signage	F
A501	Appendix - Waste Storage Plan	C

Grand total: 34



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Get Sashimi Pty Ltd

PROJECT: 2435
Get Sashimi Manly
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Manly NSW 2095

NOTE:

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4	For Strata Approval/For DA	13/12/24	Cover Sheet	C001
5	For Strata Approval/For DA	13/01/25		
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7	For DA	26/02/25	DRAWN BY TT	CHECKED AT
8	For DA	01/04/25		
9	For DA	07/04/25		
			CLIENT APPROVAL	ISSUE 9 07/04/25

SCALE AS SHOWN

CHECKED AT

ISSUE 9 07/04/25

RESPONSIBILITY

The contractor is responsible for all works under the contract. The contractor agrees to carry out and complete the works by the practical completion date.

The contractor :

- Shall comply with all laws that are relevant to the conduct of works, including any laws relating to the environment, and play any fees in respect of complying with all laws.
- Will obtain all Authority approvals (excluding Council DA and construction certificate) necessary for the conduct of the works, and pay any fees in respect of those approvals, before the commencement of the works or relevant part of the work.
- Obtain landlord & body corporate approvals for any work affecting other tenancies as a result of the works. In carrying out the works, comply with all relevant Australian Standards, environmental standard and industry codes, including any construction or operating standards advised by FHC, the OHS act and work cover requirements.
- Shall take all necessary measure to protect people and property at or near the site and perform the works in such a way as to minimize all noise, disturbance and inconvenience to FHC and its neighbor tenants, its representative and any other occupier of the site or in the vicinity of the site.
- Shall immediately notify the client and design project managers of any damage to the site during the course of work. The appropriate repair and action to the approval of the project manager shall be undertaken by the contractor

DIMENSION

The contractor is to verify all dimension figured on the drawings by actual site measurement. Any discrepancy with the figural dimension on plan must be immediately drawn to the attention of Liteco Studio.

LIMITATION OF WORK, RESTRICTION & SPECIAL REQUIREMENTS

- Work operation, storage of materials, location of plant and equipment and material are to be confined to the site.
- All core hole drilling requires the certification from a certified structural engineer
- Storage of all material is to be contained to the site.
- No site parking is available other than for deliveries as determined by the landlord management.
- All rubbish and garbage is to be removed by the head contractor.
- Every contractor must register with the security and the site foreman/construction manager on entry and exit from the site.
- Dilapidation report and survey is to be carried out with the project manager at the start of the project

SUPERVISION & SITE MEETINGS

- The Contractor is to accept responsibility for co-ordination and administration of the work, including all sub contractor and independent contracts. Arrange and monitor a programme with each other contractor supplier, local authority and statutory undertaker, and obtain and supply information as necessary for coordination of the work.

STANDARD SPECIFICATION MATERIAL & WORKMANSHIP

Where reference is made to Standards Association of Australia (SAA) & Standard Specification (AS), shall apply to the relevant materials or operation and be deemed to be incorporated and be deemed to be incorporated in this specification.

The contractor shall obtain and on Final completion surrender to the project manager all necessary approvals and certificates issued by the authorities.

All samples of timber are to be submitted to Liteco Studio for approval before use in the building.

All work shall be carried out in through workman line manner by skilled tradesman only, and any work not executed to a high standard of finish will be rejected by the project manager and shall be replaced or redone by the contractor at his own expense.

No substitution or specified material is to be made without approval of Liteco Studio.

FOREMAN, SITE SUPERVISION & CONSTRUCTION MANAGEMENT

The contractor is to employ a thoroughly competent foreman/ construction manager or site supervisor for the sole purpose of carrying out the whole of the work, and the project manager reserves the right to insist on a change if not satisfied.

The foreman is to be employed for the duration of the project and is to be single point of contact with the project manager, client, contractor and suppliers on the site. The foreman or construction manager is responsible for the site and all trades excluding furniture suppliers.

OTHER RESPONSIBILITIES INCLUDE BUT NOT LIMITED TO

- Site deliveries acceptance and supervision.
- Site rubbish removal supervision.
- Site supervision of all of out of hours work including below floor tenancies as outlined in the contract specification and drawings.
- Site inductions of all trades.
- Site supervision of all occupational health and safety procedures.
- Site supervision of contractor risk management of all trades.
- Site supervision or emergency procedures.
- Site fire warden and first aid responsibilities as per the NSW OHS act and landlord rules and regulation.
- Hold a current St John Ambulance or equally approved senior first aid certificate.

EXISTING SERVICES

The contractor shall obtain information on the location and depth of any services, which exists on the site including those not shown on the drawings.

The contractor shall exercise the greatest care during the progress of the work to avoid damage to any utilities service including gas, water, sewer, electric power, telephone etc, within the limit of the work and still be held responsible for any such damage caused by the contractor or Agents of the contractor directly or indirectly.

Adhere to all authorities recommendation.

Replace any marker tapes or concealed, the contractor is to clearly mark in an unobtrusive manner to the approval of the project manager.

The use of services shall be in accordance with OH&S and workcover guideline

COMMUNICATION

The head contractor must be contactable all the times during the course of the project. The head contractor must maintain mobile & email services on site.

COMPLETION

Before the issue of the certificate of practical completion, the contractor shall arrange to

- Clean all floors and window.
- Ease and oil locks and similar working parts.
- Remove all stains and dropping of paint and mortar.
- Label and hand over all keys numbered and tagged.
- Test all services, fixtures and equipment.
- Leave the project clean, tidy and fit for use or occupancy by the client.
- Provide information for warranties and guarantees of services and fittings.
- Obtain and issue all services maintenance manuals, certificates of compliance.

The contractor shall ensure that any defects found in the project prior to final completion are expeditiously remedied, provided such defects are not due to normal wear and tear or acts by other outside the control of the contractor after the date of practical completion.

Defects: the contractor is responsible for completing all defects prior to informing the project manager or practical completion.

CONSTRUCTION PROGRAMME

A full detailed construction program for each construction period scenario shall be submitted within 1 week from appointment and shall allow public holiday, coordination of activities and their relationship, external dependencies such as approvals and material deliveries, the sequence of events which map out a critical path, services installation, demolition and strip out. The contractor shall provide an updated programme at weekly intervals during the course of the project in Microsoft project of software approved by project manager.

AUTHORITIES APPROVALS & DOCUMENTATION ON THE SITE

The appointed head contractor is to keep a full set of the current issue of all contract Documents and copy of Development and Construction Certificate approvals and condition on site during the entire course of the project including architectural drawings, services drawing and all specification.

INTENT OF SPECIFICATION & DRAWINGS

The work to be provided under this contract documentation comprises the design, supply, delivery, installation, commissioning testing, and warranty of the works as listed in the specification and all associated drawings.

PERFORMANCE

The head contractor is to allow for full design, supply, delivery, installation, commissioning, testing and the warranty of the works in line with the documentation and client requirements. By accepting the contract, the contractor shall deemed to have guaranteed that the installation shall meet the performance requirement of this specification, the proposed approved design and client requirement.

DEFECTIVE WORK

The contractor shall, at his own expense, reconstruct, alter, replace the works or supply the material and plant in accordance with the approved design when

- Any work are deemed to be defective
- Any material or plant is inferior in quality or performance

SAMPLES

Where required the contractor shall submit identified samples of any materials or items to be used on the project.

All work not conforming to the approved samples will be rejected and replaced.

CODES & AUTHORITIES

The installation of the proposed systems as required executing the contract works shall comply with the requirement of all relevant codes and authorities having jurisdiction and specifically with the following:

- Building Code of Australia (BCA)
- AS 1668 part 1 (Fire and Smoke Control) and part 2 (Ventilation)
- AS 2107 (Acoustic)
- AS 3000 (SAA Wiring Rules)
- Sydney Water
- NSW Health Act
- HB40-1922 Code of Good Practice
- CFC's/NSW Ozone Act and Legislation
- Council & Private Certifier condition of Development and Construction Certificate Approval
- Fire brigade, Board of Fire Commission
- BCA B1D4, AS 1288-2021, AS 2047 and AS 1170.1 Glazing (including decals)
- All floor, wall and ceiling materials and lining will have fire hazard properties complying with BCA clause C2D11 and specification S7C3 & S7C4 of the BCA as applicable.
- Service penetrations in fire rated construction as per BCA C413, C4D15 & Spec 13, and AS1530.4-2014 & AS1530.4-2014 & AS 4072.1-2005 Amdt 1.
- All exits and path of travel to an exit from any point on the floor, including the minimum unobstructed width of any path of travel to exits, will comply with D2D7 & D2D8 of the BCA
- Balustrade and handrails will comply with BCA clause D3D17 to D3D23 and AS 1170
- All doors handle, locks and fail safe devices will comply with clause D3D26 of the BCA
- All doors including automatic (power operated) doors as per D3D24 & D3D25 of the BCA
- Marking of glazing as per BCA D4D13 & AS1428.1-2009 Amdt 1&2.
- Fire Hydrant (FH) provide coverage of the new layout as per BCA E1D2 and Specification 18, and AS2419-2021.
- Fire Hose Reel (FHR) provide coverage of the new layout as per BCA E1D3 & AS 2441-2005 Amdt 1.
- Automatic Fire suppression system to comply as per BCA E1D4, Specification 18 & AS2118.1-2017 Amdt 1.
- Portable Fire Extinguisher to comply as per BCA E1D14 & AS2444-2001.
- Automatic Fire Smoke detection system to comply as per BCA E2D3, E2D9, Clause S20C4 of Specification 20 & AS1670.1-2018.
- Emergency Lighting to comply as per BCA E2D8 Specification 19 E4D2 & AS2293.1 - 2018.
- Exit Signs to comply as per BCA E4D5, E4D6, E4D8 Specification 25 & AS2293.1-2018.
- Disabled access, facilities & circulation space will comply with Part D4 of the BCA & AS 1428.4
- Artificial lighting & power to comply as per BCA F6D5, Section J7 & AS/NZS 1680.0-2009.
- Mechanical ventilation and air conditioning to comply as per BCA F6D6, J5D6, Part J6, & AS1668.2-2012 Amdt 1.
- Heated water supply (energy efficiency) is to comply as per BCA J8D2 & Part B2 of NCC Vol. 3.
- All requirement essential fire safety measures will be provided or adjusted (where appropriate) to comply with the base building fire safety schedule and alternative solution requirement, unless otherwise altered in the fire safety schedule issued with CC/CDC approval for the proposal work. Refer to Fire Safety Schedule (or Annual Fire Safety statement) issued for the base building and the CC/CDC issued for the proposed work.

FOOD PREMISES CODE & AUTHORITIES

Contractor to ensure all construction has been checked to comply with the requirement of:

- The relevant provisions of the Building Code of Australia relating to:
- mechanical ventilation, and the position of all proposed air intake and discharge points relative to the amenity of the neighborhood, and toilet and other sanity facilities for patrons and staff.
- AS 4674-2004 design, construction and fitout of food premises
- FSANZ food standard code
- The Food Act 2003
- The Food Regulation 2004
- The minimisation of likely contamination of food and the provision of temperature control as required by the food regulation.
- Council Code for Waste Handling in building
- All relevant DA consent conditions



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A	Initial Concept	13/11/24	General Notes	L100
B	For Owners Consent	18/11/24		
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			CLIENT APPROVAL	ISSUE D 26/02/25

General Abbreviation:

DIA - DIAMETER
 AFFL - ABOVE FINISHED FLOOR LEVEL
 APPROX - APPROXIMATELY
 BOH - BACK OF HOUSE
 CH - CEILING HEIGHT
 CL - CENTRE LINE
 COMMS - COMMUNICATIONS
 COS - CHECK ON SITE
 EDB - ELECTRICAL DISTRIBUTION BOARD
 FCL - FINISHED CEILING LEVEL
 FFL - FINISHED FLOOR LEVEL
 FHR - FIRE HOSE REEL
 FOH - FRONT OF HOUSE
 MAX - MAXIMUM
 MDF - MEDIUM DENSITY FIBRE BOARD
 mm - MILLIMETRE
 MIN - MINIMUM
 NOM - NOMINAL
 O/A - OVERALL
 PCA - PRINCIPAL CERTIFYING AUTHORITY
 R - RADIUS
 SFL - STRUCTURAL FLOOR LEVEL
 SHS - SQUARE HOLLOW SECTION
 SPEC - SPECIFICATION
 TBC - TO BE CONFIRMED
 TYP - TYPICAL
 U/S - UNDERSIDE
 WPO - WATERPROOF POWER OUTLET (SCREW TYPE)

Power Plan Legend:

- SINGLE GENERAL POWER OUTLET
- ⊖ DOUBLE GENERAL POWER OUTLET
- ⊖ 3 PHASE CONNECTION IN RED
- ⊖ HARD WIRED EQUIPMENT (SIGNAGE/LED)
- ▶ DATA/TELEPHONE CONNECTION

ALL OUTLET NOTED WITH MOUNT HEIGHT
 AFFL. ALLOW GENERAL POWER OUTLET TO BE 10A UNLESS STATED.

Power Plan Notes:

- All cabling to be concealed from view where possible.
- Allow for power access and installation of ceiling recessed speaker.
- Allow for power access and installation of CCTV cameras.
- Builder to allow for power access to any illuminated signage and digital screens.
- Allow for power access for integrated LED strip within the joinery.
- Power poles and conduits not permitted.

Hydraulics Legend:

- COLD WATER
- HOT WATER
- HOT & COLD
- GAS POINT
- ◆ FLOOR WASTE
- DRAIN
- ⊕ SEWER
- TUNDISH
- ▨ NO PENETRATIONS ALLOWED

Hydraulics Plan Notes:

- Contractor to check all dimensions on site including the existing drain point prior to the construction.
- Allow to share the drain point where possible. To be reviewed and confirmed by Hydraulic consultant.
- Reuse existing drains, water supply points and floor wastes where possible.
- Dishwasher has two drain points which to be shared in to one allocated drain point.
- All pipework to be concealed from view where possible.
- Floor waste grate to be stainless steel finish with bucket trap.

RCP Legend:

- CEILING ACCESS PANEL
- AIR DIFFUSER
- ⊖ CCTV CAMERA
- ⊖ SMOKE DETECTOR
- ⊖ EMERGENCY LIGHT
- EXIT LIGHT
- ⊖ EMERGENCY SPEAKER
- ⊖ MUSIC SPEAKER
- DINING DOWNLIGHT
- KITCHEN DOWNLIGHT
- ⊖ TRACK SPOT LIGHT
- 2HEAD DOWNLIGHT
- EXISTING DOWNLIGHT

RCP Notes:

- Contractor to allow for installation of adequate emergency lighting, speakers and smoke detectors to comply with all BCA requirements.
- Contractor to allow for installation of sprinklers and ensure all are installed according to AS2118.1. To be reviewed by mechanical and fire engineer.
- Contractor to allow installation of CCTV system.
- Mechanical engineer to review and confirm the air conditioning requirement.
- Refer to lighting and ceiling schedule for specification details. Shopfitter to allow lighting to be dimmable to ensure lighting level are able to be controlled. Engage with client to confirm switch configuration requirement.

General Legend:

- 1 ← ELEVATION REFERENCE
- A101 ← DRAWING REFERENCE (GO TO)
- 1 ← SECTION REFERENCE
- A101 ← DRAWING REFERENCE (GO TO)
- 1 ← DETAIL REFERENCE
- A101 ← DRAWING REFERENCE (GO TO)
- REFERENCE
- 1 VIEW NAME
- R101 VIEW SCALE
- DRAWING REFERENCE (GO TO)

- ⊖ FINISHES REFERENCE
Refer to Finishes schedule
- ⊖ EQUIPMENT REFERENCE
Refer to Equipment schedule
- ⊖ FURNITURE REFERENCE
Refer to Furniture schedule
- ⊖ LIGHTING REFERENCE
Refer to Lighting schedule
- FF1 Floor Finish Area
- Location CH2500 Ceiling Finish
- CEILING REFERENCE
- BASE BUILDING GRID LINE
- LANDLORD LEASE LINE

Core Wall Style Legend:

- EXISTING WALLS
- NEW WALLS
- WALLS FOR DEMOLITION
- ▨ COOL ROOM WALL PANELS
- ▨ FREEZER ROOM WALL PANELS
- ▨ METAL STUD
- ▨ TIMBER STUD
- ▨ SOLID CONSTRUCTION

NOTE:
 REFER TO DRAWING NOTES AND FINISHES PLAN FOR PROJECT SPECIFIC WALL FINISHES.
 WALLS DRAWN ON PLANS MAY SHOW ADDITIONAL COMPONENTS TO WALL FINISHES (PLASTERBOARD/TILES/CFC ETC).
 CROSS REFERENCE PLANS WITH ELEVATIONS TO ENSURE WALLS ARE CONSTRUCTED AS REQUIRED.
 SOLID WALL CONSTRUCTION IS REQUIRED FOR ALL FOOD TENANCY PREMISES.
 FOOD PREMISES REQUIRE PIPEWORK AND CONDUITS TO BE CHASED INTO WALLS PRIOR TO FINAL FINISHES.



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General Legend	L101
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AS SHOWN	AT	D 26/02/25

Lighting Fixture Schedule

ID	Image	Model	Description	QTY	Colour (K)	Beam Angle	Cut-out	IP	Watts	Total (W)	Manufacturer	Supplier	Notes
EL1		TBC by Supplier	Emergency Light	7	3200 K	0.00°	0	20	3 W	21 W	TBC by Supplier	Shopfitter	
EL2		TBC by Supplier	Exit Sign	4	5000 K	0.00°	0	20	3 W	12 W	TBC by Supplier	Shopfitter	
EX1		N/A	Existing Downlight	6	3000 K	60.00°	90	20	15 W	90 W	N/A	EXISTING	
L1-W		Smart Tri-Color 15W White	Kitchen Downlight	25	3000 K	60.00°	125	54	15 W	375 W	Auslite	Shopfitter	
L2-W		Koky B White	Dining Adjustable Downlight	28	3000 K	60.00°	90	20	12 W	336 W	Auslite	Shopfitter	
L3-W		BOXA Square S 2x15W White	Rectangular 2 lamp Downlight	8	3000 K	24.00°	183	20	30 W	240 W	Auslite	Shopfitter	2x15W. Cutout 103x183mm.
T3		Jedi Middy 19W White	Track mount spot light	12	3000 K	0.00°	0	N/A	25 W	300 W	Auslite	Shopfitter	

Grand total: 90

1374 W

**ALL LIGHTING CIRCUITS TO BE DIMMABLE WHERE POSSIBLE.
 BACK OF HOUSE LIGHTING CIRCUITS TO INCLUDE PROXIMITY SENSORS
 TABLE TO BE READ IN CONJUNCTION WITH REFLECTED CEILING PLAN DRAWING
 WINDOW DISPLAY AND SHOP SIGNAGE TO BE ON TIMER**



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Kitchen Equipment Schedule

ID	Image	Model	Description	QTY	W	D	H	Power (W)	Amps	Gas (MJ)	Drain	Manufacturer	Supplier	Notes
KITCHEN EQUIPMENT														
NM1		ASM865CE	Norimaki Machine	3	348	655	590	180 W	1 A	0	No	Autec	Liteco Hospitality	
RC1		SW10000	Roband Electric Rice Cooker 10L	1	530	530	390	2990 W	13 A	0	No	Roband	Liteco Hospitality	
SC1		ScalePOS	Benchtop Scale	4	450	300	500	0 W	0 A	0	No	IPOS	CLIENT	
SL1		TBC with Supplier	Benchtop Sashimi Slicer	1	720	540	540	240 W	10 A	0	No	Daikyo	CLIENT	
SM1		ASM430CE	Sushi Rice Ball Machine	3	310	509	583	225 W	1 A	0	No	Autec	Liteco Hospitality	
MISCELLANEOUS														
BN1		FG354060GRAY	Vented Slim Jim® 87L Grey	8	279	559	762	0 W	0 A	0	No	Rubbermaid	Liteco Hospitality	



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TITLE
Legends - Equipment

DRAWN BY **TT**

CLIENT APPROVAL


DRAWING NO. **S003.1**

SCALE **AS SHOWN**



CHECKED **AT**

ISSUE **C** 26/02/25



Kitchen Equipment Schedule

ID	Image	Model	Description	QTY	W	D	H	Power (W)	Amps	Gas (MJ)	Drain	Manufacturer	Supplier	Notes
BN2		WBC1-240	Refrigerated Waste Bin Cooler	1	1090	920	1230	240 W	10 A	0	No	Thermaster	Liteco Hospitality	
BN3		240Ltr 2 Wheel Waste Bin - Green	240Ltr 2 Wheel Waste Bin	1	585	730	1060	0 W	0 A	0		Sulo	Shopfitter	For Seafood Waste located within bin cooler.
BN4		660Ltr 2 Wheel Waste Bi	660Ltr 2 Wheel Waste Bin	2	585	730	1060	0 W	0 A	0		N/A	EXISTING	Existing Waste Bin.

POS & TECHNOLOGY

PS1		CI-10X	Cashier Machine	2	480	475	750	120 W	12 A	0	No	Glory	CLIENT	Integrate with Display Case/Joinery.
TV3		UA32T5300AWX XY	32" LCD Smart TV	3	737	50	438	93 W	15 A	0	No	<varies>	Shopfitter	

REFRIGERATION

DG1		ICE DAE1501	2Dr Dry Aging Meat Display Unit	1	1500	850	1950	75 W	2 A	0	No	ICE	Liteco Hospitality	Black Edition.
DR1		TCE1000N	2Dr Drink Fridge	1	1130	700	2210	199 W	3 A	0	No	Skope	Shopfitter	Standard white colour.



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CLIENT:
Get Sashimi Pty Ltd






PROJECT: 2435
Get Sashimi Manly
Retail 02 63-67 The Corso
Manly NSW 2095

NOTE:

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No.	Description	Date	TITLE	DRAWING NO.
A	For Owners Consent	18/11/24	Legends - Equipment	S003.2
B	For DA	21/11/24		
C	For Strata Approval	28/11/24		SCALE AS SHOWN
D	For DA	26/02/25		CHECKED AT
			DRAWN BY TT	ISSUE D 26/02/25
			CLIENT APPROVAL	

Kitchen Equipment Schedule

ID	Image	Model	Description	QTY	W	D	H	Power (W)	Amps	Gas (MJ)	Drain	Manufacturer	Supplier	Notes
R15		KUR15-2	2Dr Underbench Fridge 1500mmW	5	1500	700	850	1570 W	13 A	0	No	Turbo Air	Liteco Hospitality	
R18		KUR18-3	3Dr Underbench Fridge 1800mmW	1	1800	700	850	366 W	3 A	0	No	Turbo Air	Liteco Hospitality	
UF1		KF45-2	Upright 2Dr Freezer	1	1260	850	1926	550 W	4 A	0	No	Turbo Air	Liteco Hospitality	
UR1		KR45-2	Upright 2Dr Fridge	2	1260	850	1926	700 W	5 A	0	No	Turbo Air	Liteco Hospitality	
WASH UP														
W1		M2C	Passthrough Dishwasher	1	713	815	1510	7100 W	15 A	0	Yes	Washtech	Liteco Hospitality	3 Phase Connection. Allow hoodless model.

Grand total: 41 14648 W 106 A 0



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No.	Description	Date
A	For Owners Consent	18/11/24
B	For DA	21/11/24
C	For DA	26/02/25

TITLE
Legends - Equipment

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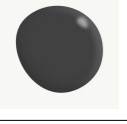

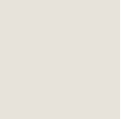


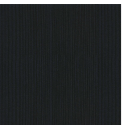


DRAWING NO. **S003.3**


SCALE **AS SHOWN**

CHECKED **AT**


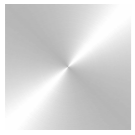





ISSUE **C** 26/02/25

Finishes & Material Schedule

ID	Image	Location	Description	Code	Notes	Supplier
Finish 01 PAINT						
		Paint - Ivory Render	Shopfront Wall Paint	Domino - SG6G8 Weathershield Matt	Allow external grade Weathershield or similar product. Low VOC Matt, Anti-mould.	Dulux
P1		Paint - White	White Paint Finish	Vivid White SW1G1	Low VOC Matt, Anti-mould.	Dulux
P2		Paint - Black	Internal Wall/Joinery Paint	Domino - SG6G8	Low VOC Matt, Anti-mould.	Dulux
P6		Paint - Textured Red	Salmon Pink Textured Paint	Pagoda - Stone Course Finish	Low VOC Matt, Anti-mould.	Porters Paint
PC1		Powdercoat - White	White Powdercoat Finish	Dulux Duratec Zeus Talc Satin #900-84682	Low VOC Satin	Dulux Powdercoatings
PC2		Powdercoat - Black	Black Powdercoat Finish	Dulux Duralloy Black (C/B Night Sky) Satin 27219268	Low VOC Satin	Dulux Powdercoatings
PC3		Powdercoat - Pink Red	Salmon Pink Powdercoat Finish	Dulux Duratec Signal Red Gloss #2654294G	Low VOC Gloss	Dulux Powdercoatings
Finish 02 LAMINATE						
L2		Laminate - Black	Black Melamine Joinery	Black Natural Finish.		Polytec
L3		Laminate - Natural Oak	Timber Laminate	Natural Oak Woodmatt Finish	Woodmatt Finish	Polytec
Finish 03 TILE						
T4		Tile - Finger Mosaic	20x145mm Concave Silk White Finger Mosaic Tile	3431-19 Concave Silk White 20x145mm Satin Finish.	EPOXY Grout: Mapei #103 Moon White	Surface Studio

 <p style="font-size: small;">Suite 42, Level 7, 591 George St, Sydney P (+61 2) 8068 1755 F (+61 2) 9264 8787 info@liteco.com.au</p>	CLIENT: Get Sashimi Pty Ltd	NOTE: • All drawings to be read in conjunction with all engineers documentation and specification. • Contractor to ensure all new building works, new fittings and fixtures are installed to the current BCA, Australian Standards and Work Cover Regulations. • The Contractor shall use figured dimensions in preference to scaled dimensions. All dimensions shall be verified on site by the Contractors prior to commencing any work or preparing shop drawings. • All materials are to be used in accordance with manufacturer's specifications and instructions, and to comply with relevant Australian Standards. • Partition set-out to be approved by Project Manager on-site prior to construction. • COPYRIGHT These drawings and the designs are the property of Liteco Project and must not be used, retained or copied without written permission of Liteco Project.	No.	Description	Date	TITLE Legends - Finishes	DRAWING NO. S005.1	
	PROJECT: 2435 Get Sashimi Manly Retail 02 63-67 The Corso Manly NSW 2095		A For Owners Consent 18/11/24 B For DA 21/11/24 C For DA 26/02/25	DRAWN BY TT	SCALE AS SHOWN			
						CLIENT APPROVAL	CHECKED AT	ISSUE C 26/02/25

Finishes & Material Schedule

ID	Image	Location	Description	Code	Notes	Supplier
T5		Tile - FOH Kitchen Wall	100x300mm Light Grey Chevron Tile	10067-02 CH Light Grey Chevron Tile	EPOXY Grout: Mapei #103 Moon White	Surface Studio
Finish 05 METAL						
SS1		Stainless Steel	Stainless Steel	304 Stainless Steel. Brushed finish.	Brushed finish. Ensure to be brushed same direction.	Shopfitter
Finish 06 FLOOR						
FF1		Floor - Kitchen Epoxy	Hychem Commercial Kitchen Epoxy Floor	Epoxy Flooring. Slip rating P5, colour to be black.	100mm high skirting, allow min. R25mm coving detail to wall/floor junction. To be applied in reversible manner where above existing timber flooring.	Slabtek
FF3		Floor - Retail	Hychem Commercial Retail Epoxy Flooring	APC Hyperflake Sandstone on N23 Natural Grey. P3 slip rating.	Allow P3 slip rating. To be applied in reversible manner to protect existing timber flooring.	Slabtek
FF6		Floor - Mezzanine	Dining Floor Tile	Timeless Beige 600x600mm P5	EPOXY Grout:Mapei #290 Cream	Metz Tile
FF7		Floor - Storage	600x600mm Dark Grey Floor Tile	600x600mm Shine Antracite 2544	EPOXY Grout: Mapei #120 Black	TFO
Finish 07 MISCELLANEOUS						
G1		Glass - Clear	Transparent Glass	Shopfitter Glazier to confirm.	Clear glass for ambient display Polished edges.	Shopfitter
G2		Glass - Mirror	Clear Mirror Panel	TBC by Supplier		Shopfitter
ST3		Stone - Bellini Bianco	White Sintered Stone	Bellini Bianco Matt Finish	20mm thickness.	Smartstone
V2		Upholster - Red	Red Vinyl Upholster	Lustrell Charisma Salsa FLC12SALS		Warwick



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No.	Description	Date
A	For Owners Consent	18/11/24
B	For DA	21/11/24
C	For DA	26/02/25

TITLE
Legends - Finishes

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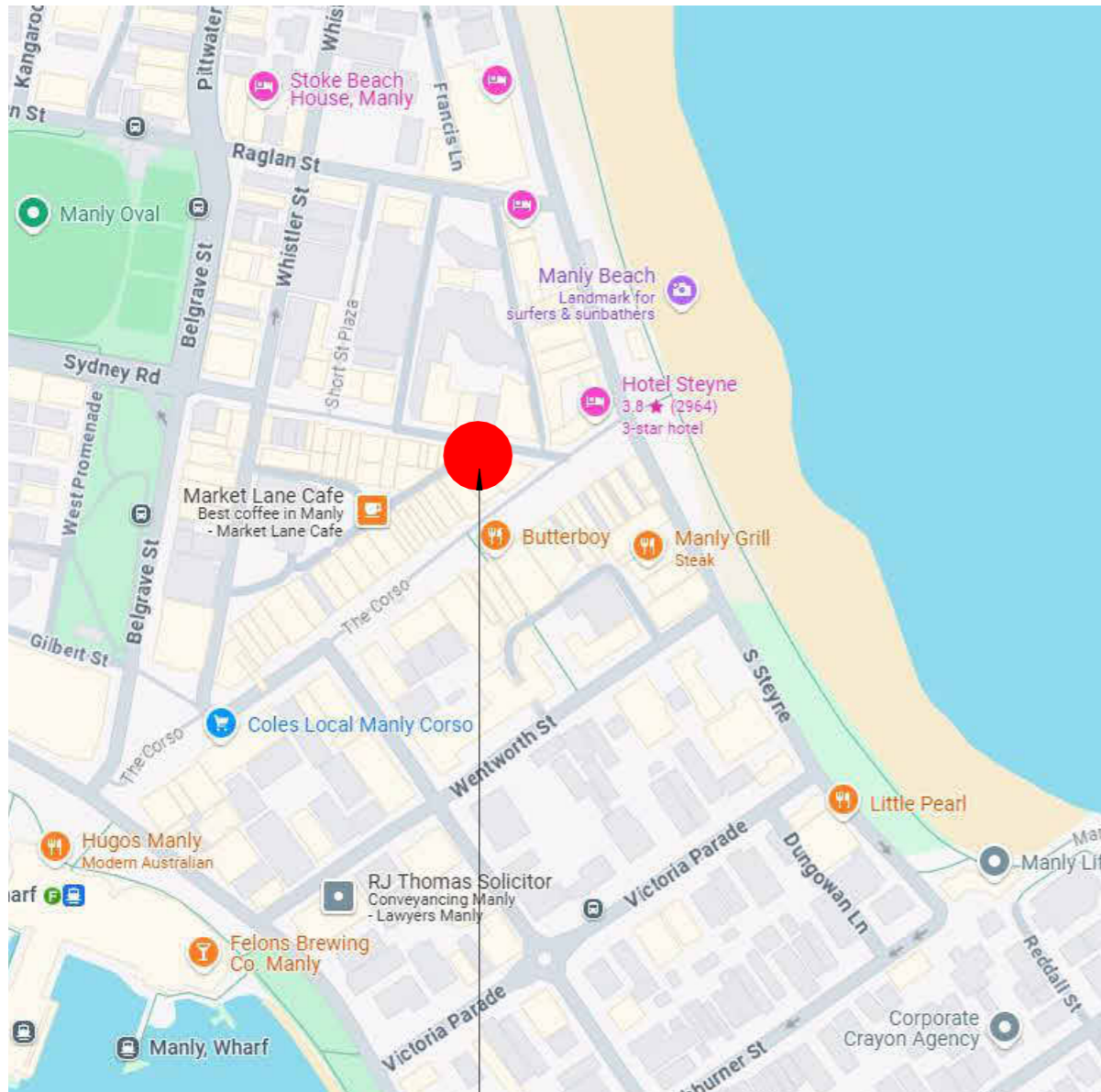
CLIENT APPROVAL

DRAWING NO. **S005.2**

SCALE **AS SHOWN**

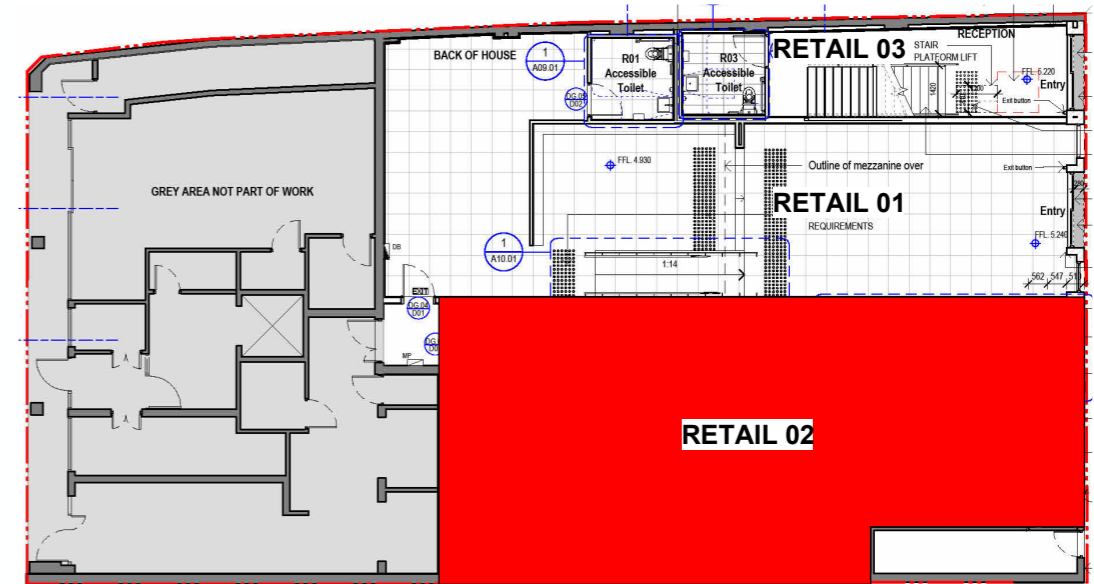
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ISSUE **C** 26/02/25



01 Location Map
NTS

Retail 02 63-67 The Corso
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02 Site Location
NTS



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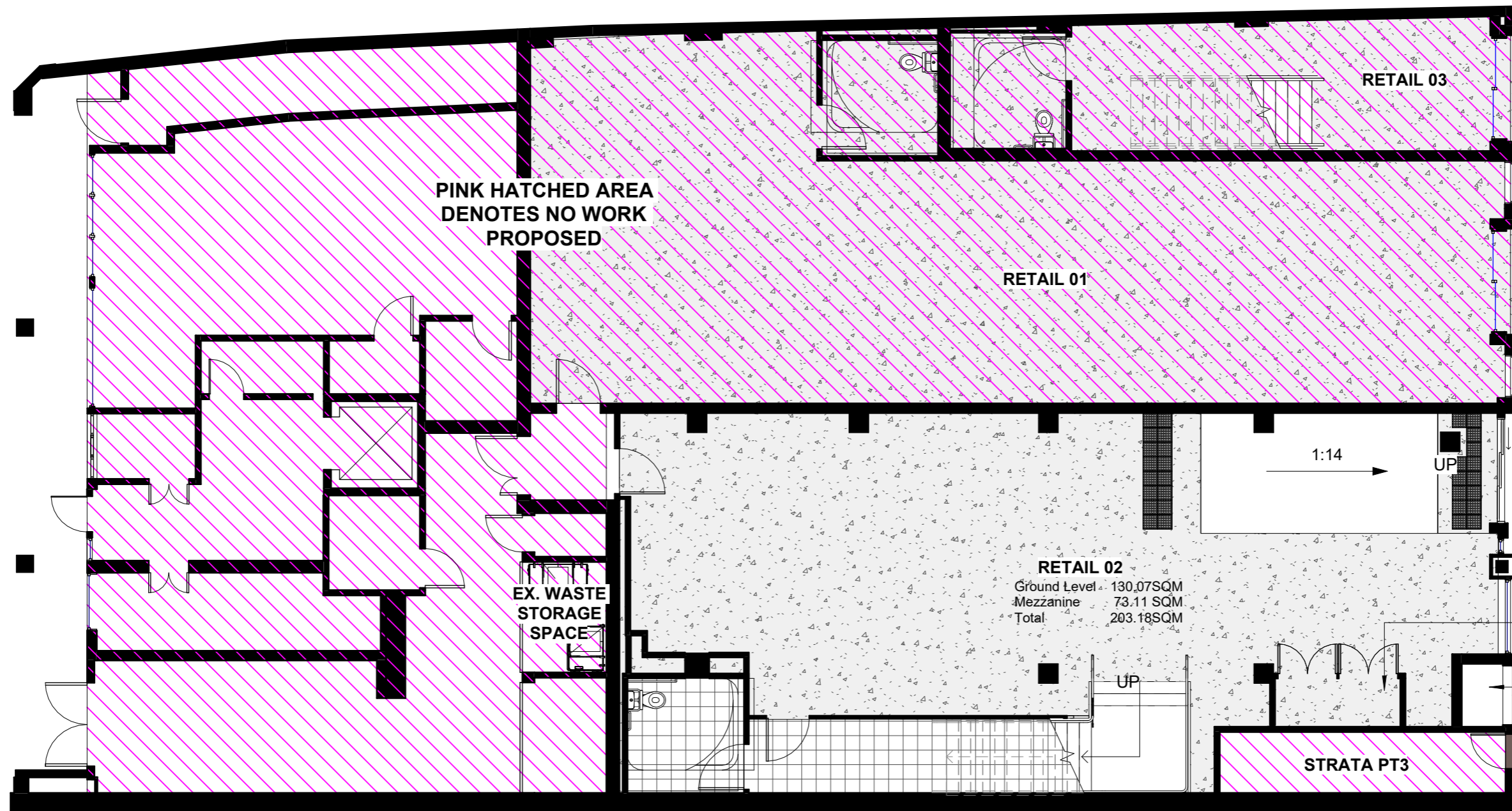
CLIENT:
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No.	Description	Date
A	Initial Concept	13/11/24
B	For Owners Consent	18/11/24
C	For DA	21/11/24
D	For DA	26/02/25

TITLE		DRAWING NO.	
Location Plan		P100	
DRAWN BY		SCALE	
TT		AS SHOWN	
CLIENT APPROVAL		CHECKED	
		AT	
		ISSUE	
		D 26/02/25	



1 Existing Plan - Overall
E102 1 : 100@A3

Existing Plan Notes:

1. No new work proposed to existing unless noted or indicated on plans.
2. Shopfitter to visit and inspect the site prior to construction to confirm latest condition.



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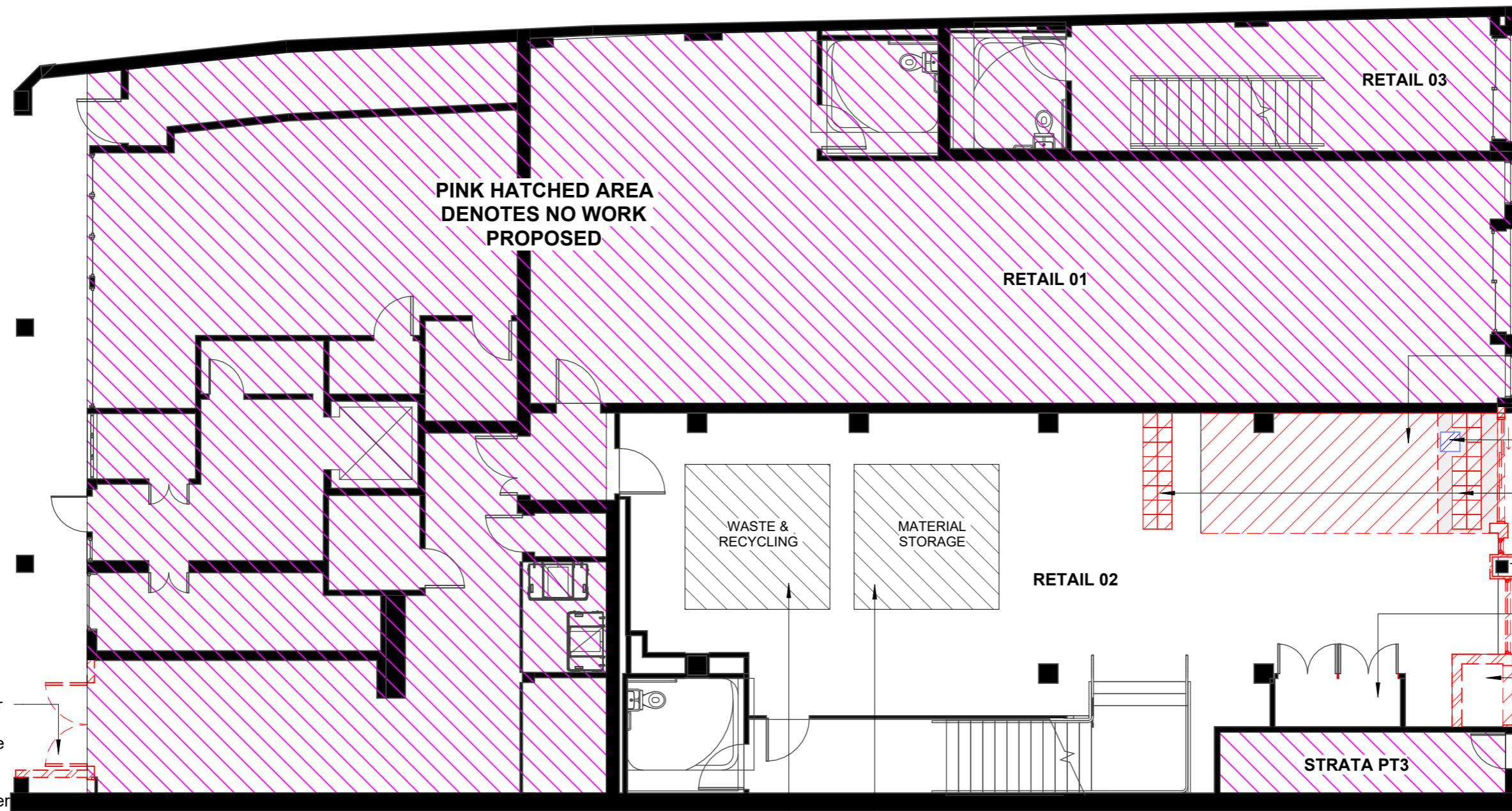
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No.	Description	Date
A	Initial Concept	13/11/24
B	For Owners Consent	18/11/24
C	For DA	21/11/24
D	For DA	26/02/25

TITLE	
Existing Plan	
DRAWN BY	TT
CLIENT APPROVAL	

DRAWING NO.	
P101	
SCALE	AS SHOWN
CHECKED	AT
ISSUE	D 26/02/25



Existing double door to be removed and replaced with double panel door on right hand side to allow relocation of sprinkler booster.

- Existing ramp to be removed or covered by new floor finish.
- Existing column to be relocated.
- Existing floor tactile to be removed.
- Existing column remain. Allow new finish.
- Existing sprinkler booster to remain.
- Existing sprinkler booster to be relocated to rear side of building.

1 Demolition Plan - Overall
E102 1 : 100@A3

Nominated area of temporarily storage space of material and generated waste during demolition/construction.

Demolition Legend:

- RED HATCHED ITEM TO BE REMOVED/DEMOLISHED.
- BLUE HATCHED ITEM TO BE REUSED AND RELOCATED.

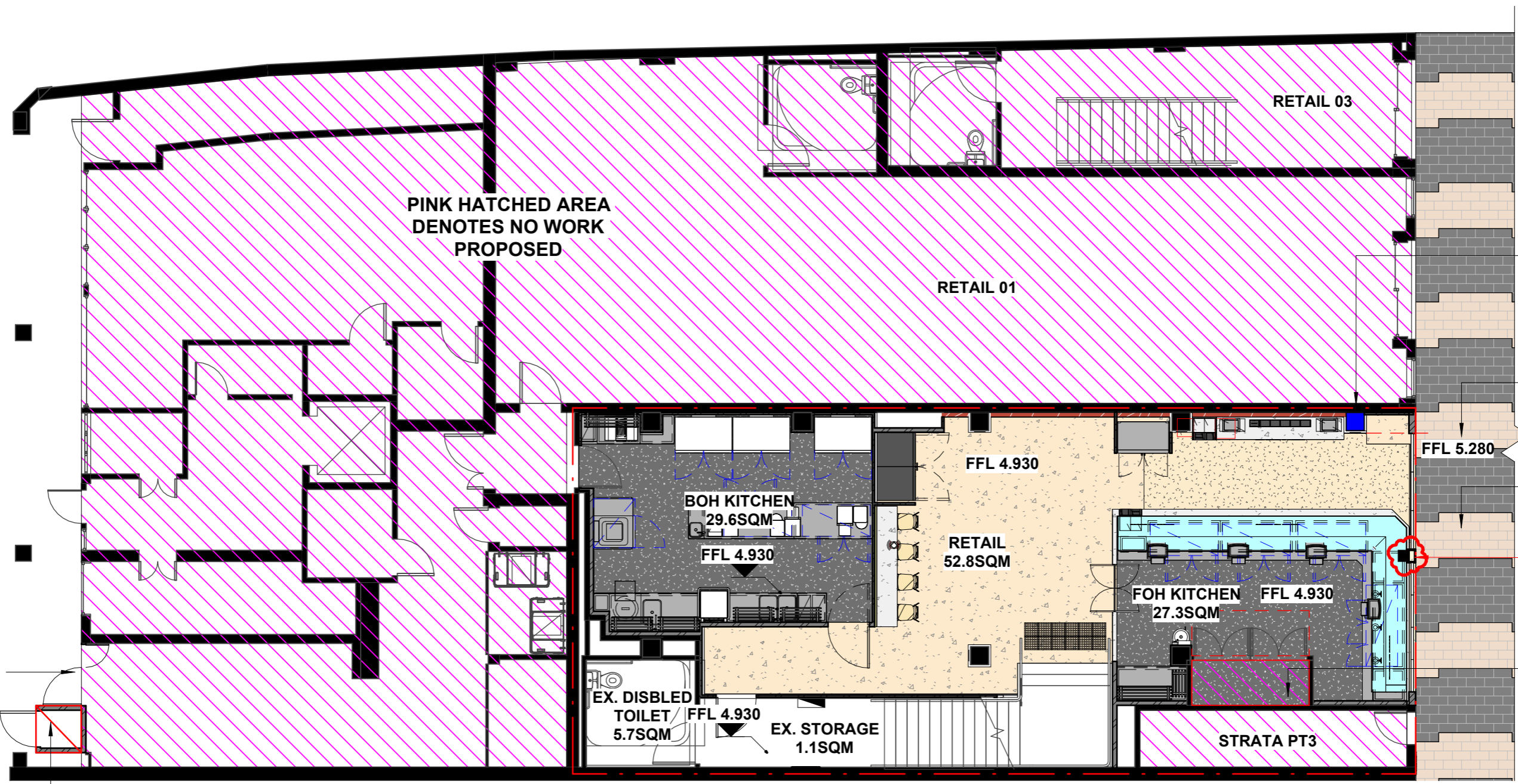
Demolition Plan Notes:

1. All items to remain and reused unless stated on plans or indicated in hatches.
2. Any unused core holes to be capped and concealed.
3. Shopfitter to allow make good and patch existing finish after demolition/removal of items where possible.

No.	Description	Date
A	Initial Concept	13/11/24
B	For Owners Consent	18/11/24
C	For DA	21/11/24
D	For Strata Approval/For DA	13/12/24
E	For Strata Approval/For DA	30/01/25
F	For DA	26/02/25

TITLE	DRAWN BY	CLIENT APPROVAL
Demolition Plan	TT	

DRAWING NO.	SCALE	CHECKED	ISSUE
P102	AS SHOWN	AT	F
			26/02/25



PINK HATCHED AREA DENOTES NO WORK PROPOSED

Blue box denotes relocated column as per structural engineer drawings.

No change to Floor Finish level and remain aligned with existing pedestrian paving.

Existing outdoor public paving remain. No work proposed.

COLUMN CLADDING REVISED.

Existing sprinkler control valve.

Existing double door opening to be filled with new wall and double panel door.

Nominated position of relocated sprinkler booster to rear side of building enclosed with solid masonry walls with adequate fire seal. Access door to be fire rated 90/90/90. Base Building Fire Engineer to review and confirm.

1 Proposed Plan - Overall
E102 1 : 100@A3

Wall Legend:

	EXISTING WALL
	METAL STUD
	TIMBER STUD
	SOLID CONSTRUCTION

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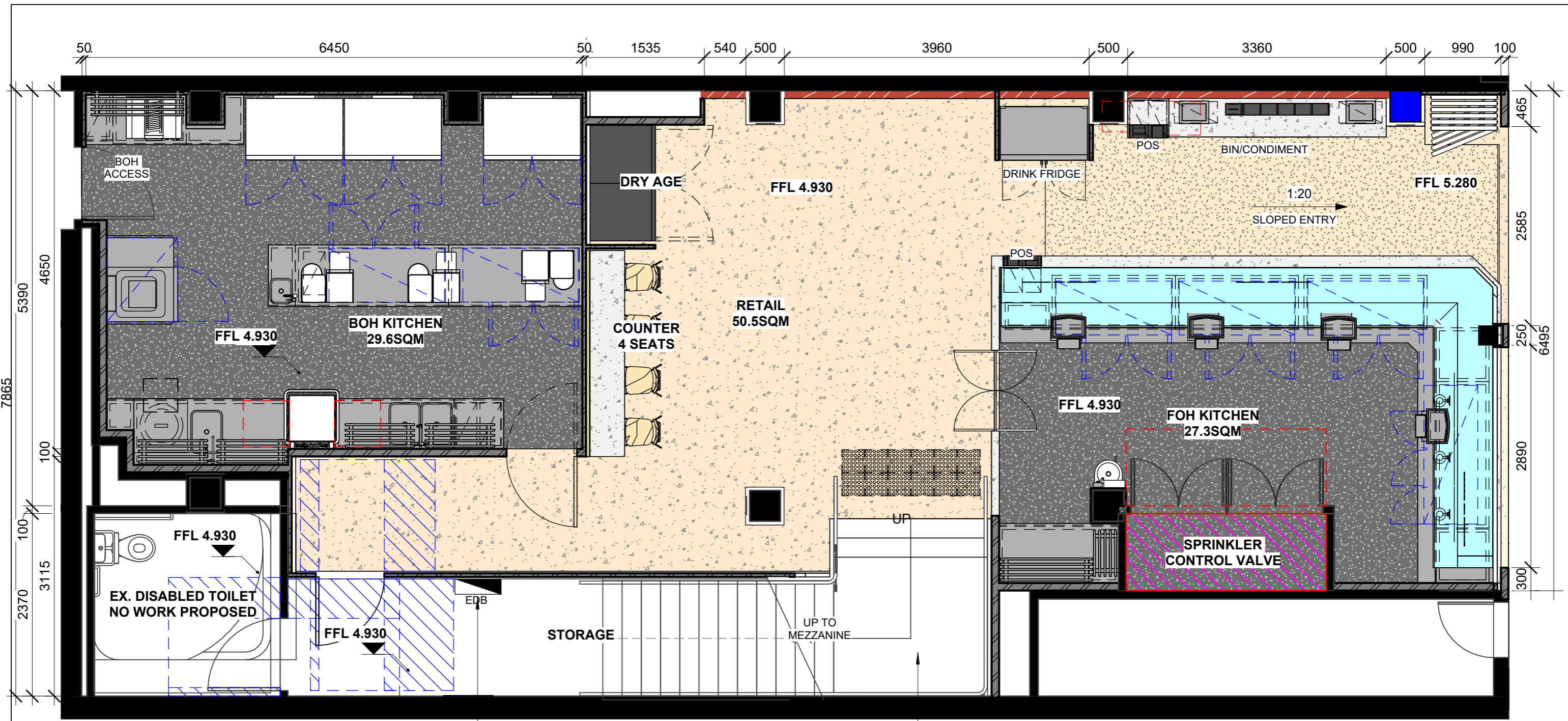
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No.	Description	Date
H	For Client Review	20/02/25
I	For Client Review	24/02/25
J	For DA	26/02/25
K	For Client Review	05/03/25
L	For DA	01/04/25
M	For DA	07/04/25

TITLE: Proposed Plan
DRAWN BY: TT
CLIENT APPROVAL:

DRAWING NO.	P103
SCALE	AS SHOWN
CHECKED	AT
ISSUE	M 07/04/25



1 Layout Plan - Ground
1 : 50@A3

12150

6025

Existing stair case.
No work proposed.

Existing EDB. No
work proposed.



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E	For DA	21/11/24
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G	For Strata Approval/For DA	13/12/24
H	For Strata Approval/For DA	30/01/25
I	For Client Review	18/02/25
J	For DA	26/02/25

TITLE
Layout Plan - Ground Level

DRAWN BY
TT

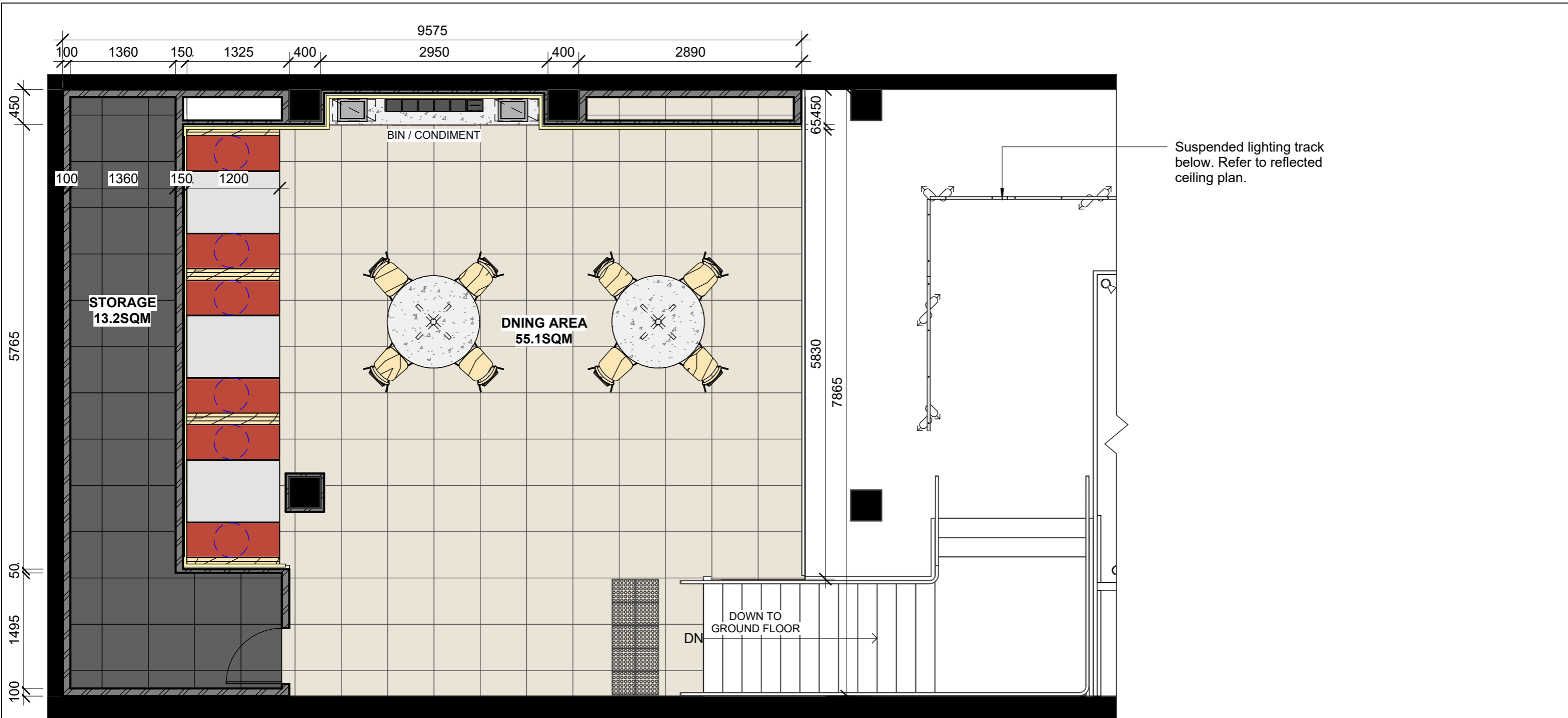
CLIENT APPROVAL

DRAWING NO.
P103.1

SCALE
AS SHOWN

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ISSUE
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1 Layout Plan - Mezzanine
1 : 50@A3



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No.	Description	Date
A	Preliminary Layout Plan	04/11/24
B	Revised Layout	06/11/24
C	Initial Concept	13/11/24
D	For Owners Consent	18/11/24
E	For DA	21/11/24
F	For DA	26/02/25

TITLE	
Layout Plan - Mezzanine Level	
DRAWN BY	TT
CLIENT APPROVAL	

DRAWING NO.	
P103.2	
SCALE	AS SHOWN
CHECKED	AT
ISSUE	F 26/02/25

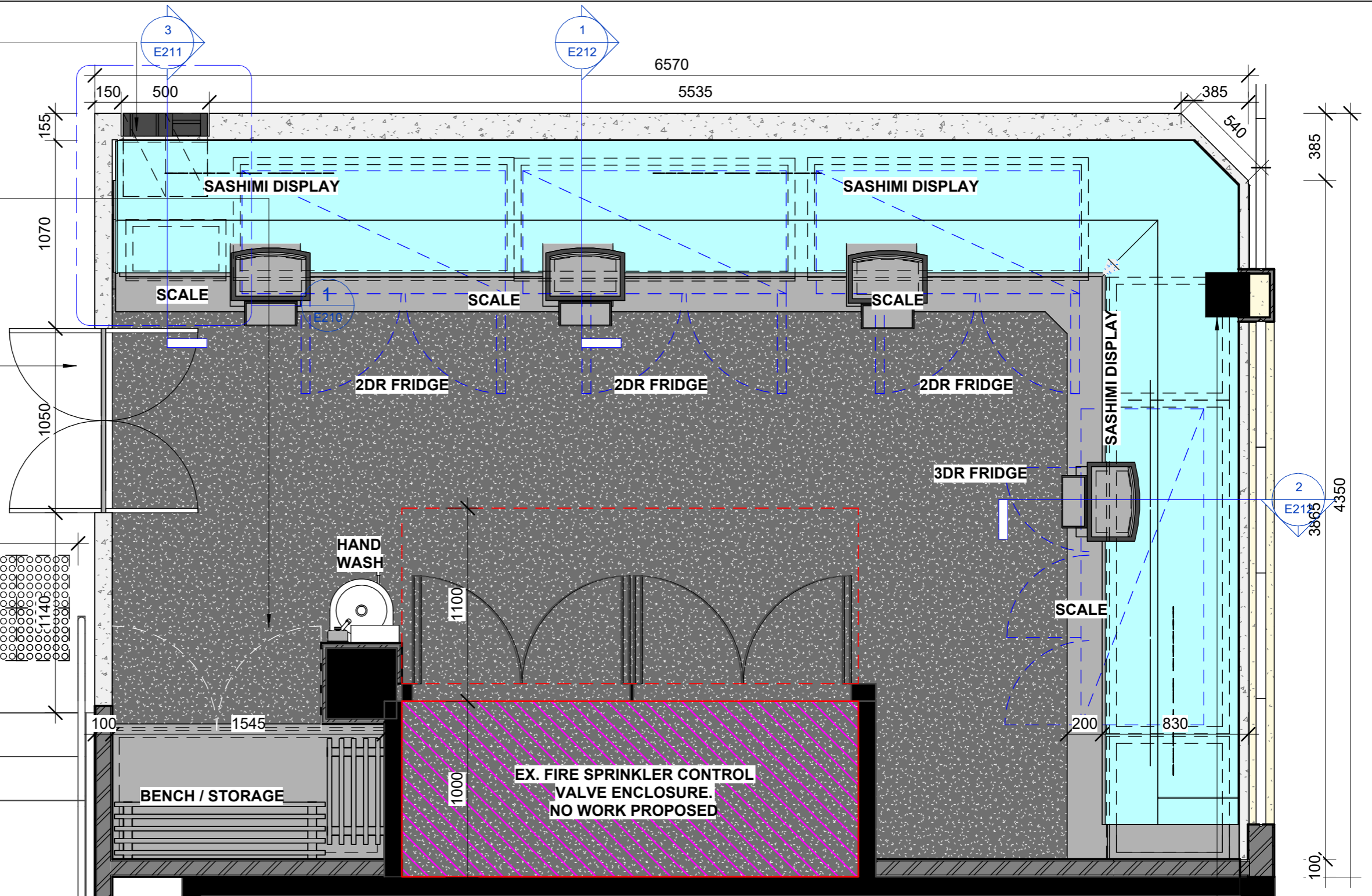
CI10X cash POS unit integrated within Sashimi Display case. Allow 10mm tolerance to each side to fit within recessed space.

Knee operated wall mount handwash basin. Allow tower dispenser and soap dispenser installed above as per AS4674-2004.

Staff access door. Allow min. 1000mmW clear opening.

Allow floor tactile as per AS1428.1-2021.

Existing stair case remain. No new work proposed.



Layout Plan Notes:

1. All new walls and plinths to be solid construction as per BCA and Food Safety requirements.

Wall Legend:

- EXISTING WALL
- METAL STUD
- TIMBER STUD
- SOLID CONSTRUCTION

1 Kitchen Plan - FOH
P104.1 1 : 25@A3

Existing column to be cladded with new finish. Fabricator to ensure glass case to built around column.



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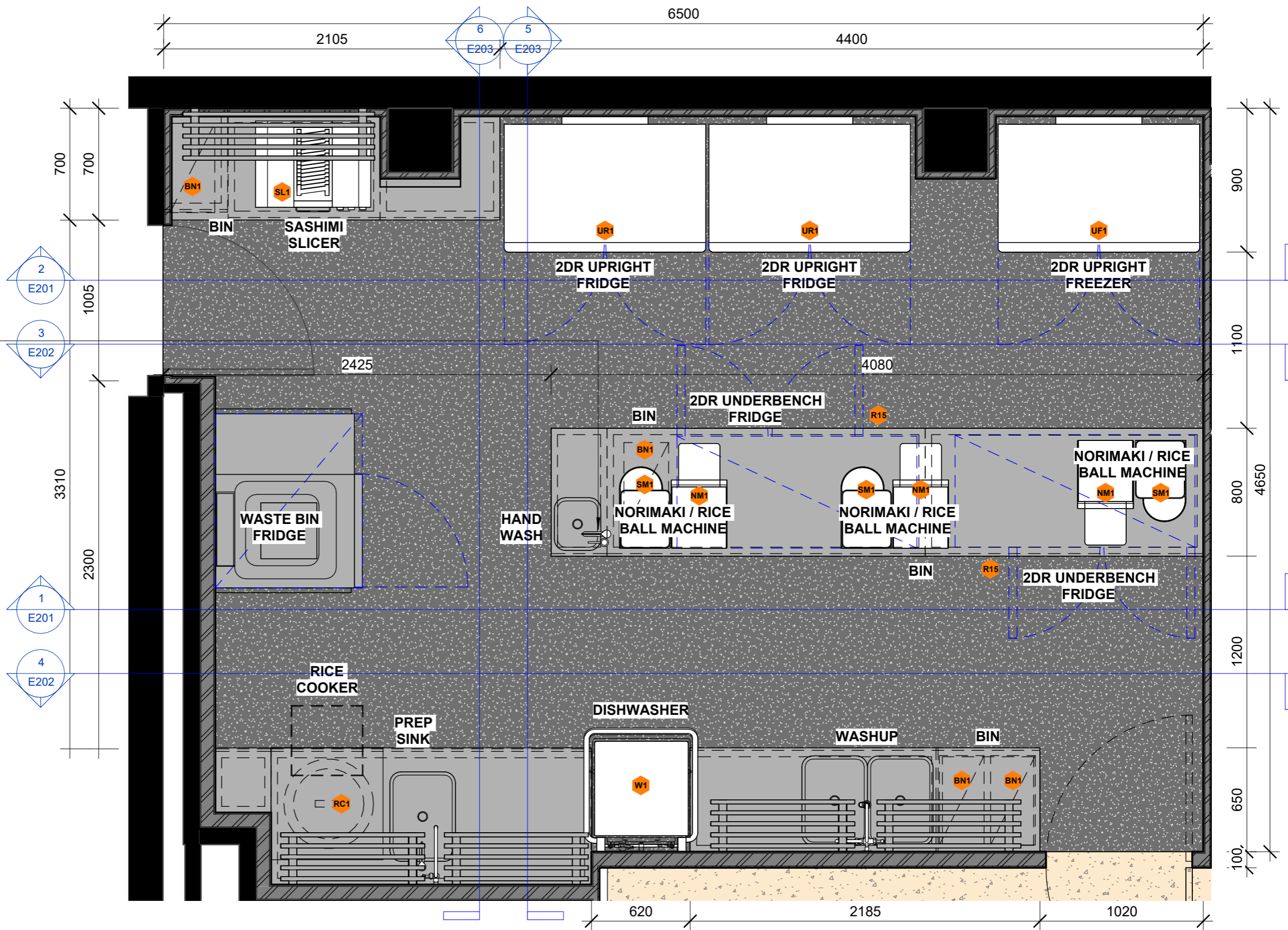
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C	For Strata Approval/For DA	13/12/24
D	For Strata Approval/For DA	30/01/25
E	For DA	26/02/25

TITLE	
Kitchen Plan - FOH	
DRAWN BY	TT
CLIENT APPROVAL	

DRAWING NO.	
P103.3	
SCALE	AS SHOWN
CHECKED	AT
ISSUE	E 26/02/25



Layout Plan Notes:

1. All new walls and plinths to be solid construction as per BCA and Food Safety requirements.

Wall Legend:

- EXISTING WALL
- METAL STUD
- TIMBER STUD
- SOLID CONSTRUCTION

1 Kitchen Plan - BOH
P104.1 1 : 25@A3



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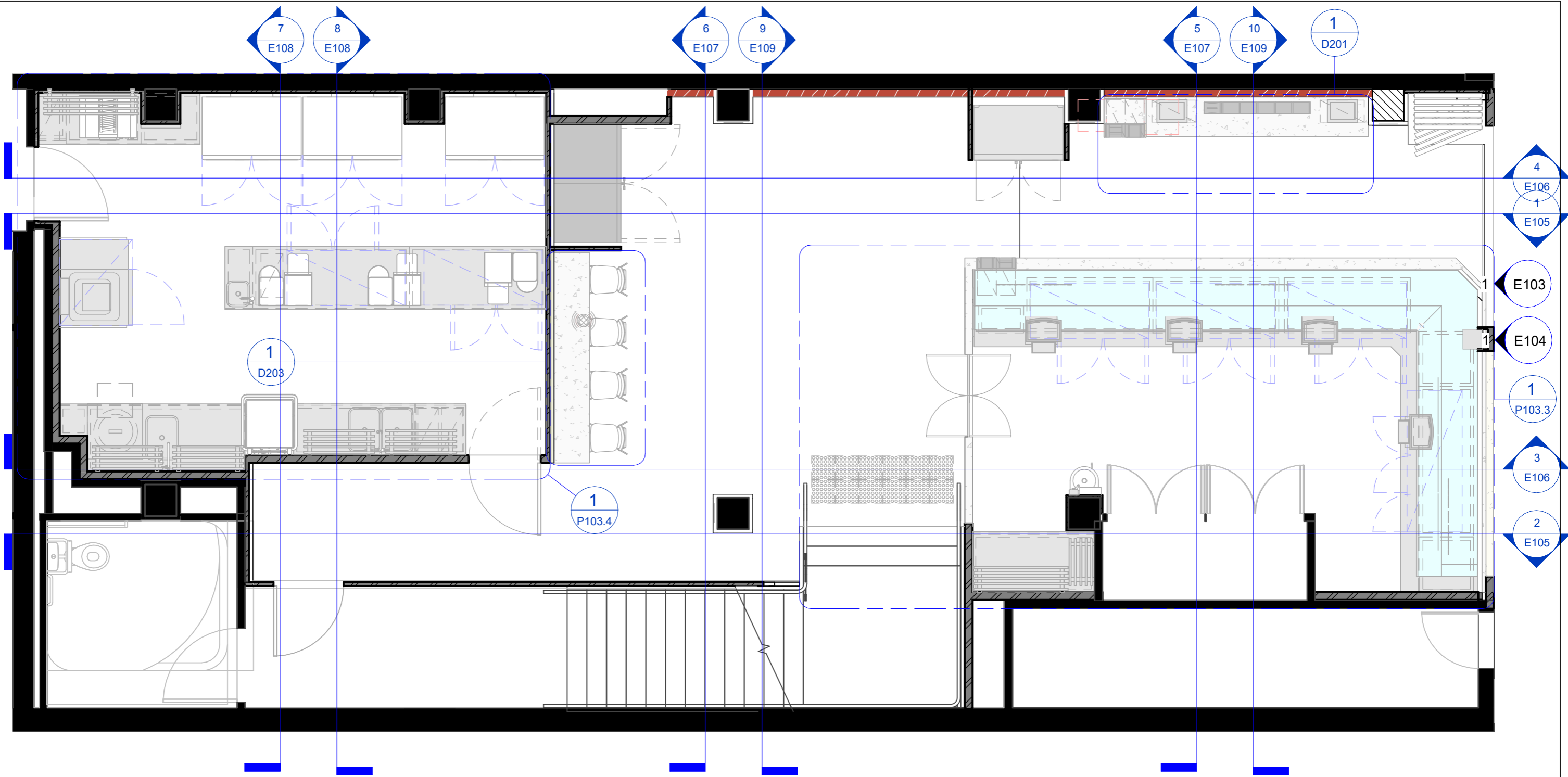
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No.	Description	Date
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B	For DA	21/11/24
C	For Strata Approval	28/11/24
D	For DA	26/02/25

TITLE	DRAWING NO.
Kitchen Plan - BOH	P103.4
DRAWN BY	TT
CLIENT APPROVAL	

SCALE	CHECKED	ISSUE
AS SHOWN	AT	D
		26/02/25



1 Reference Plan - Ground Floor
1 : 50@A3

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CLIENT:
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PROJECT: 2435
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Retail 02 63-67 The Corso
Manly NSW 2095

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No.	Description	Date
A	Preliminary Layout Plan	04/11/24
B	Revised Layout	06/11/24
C	Initial Concept	13/11/24
D	For Owners Consent	18/11/24
E	For DA	21/11/24
F	For DA	26/02/25

TITLE
Reference Plan - Ground Level

DRAWN BY TT

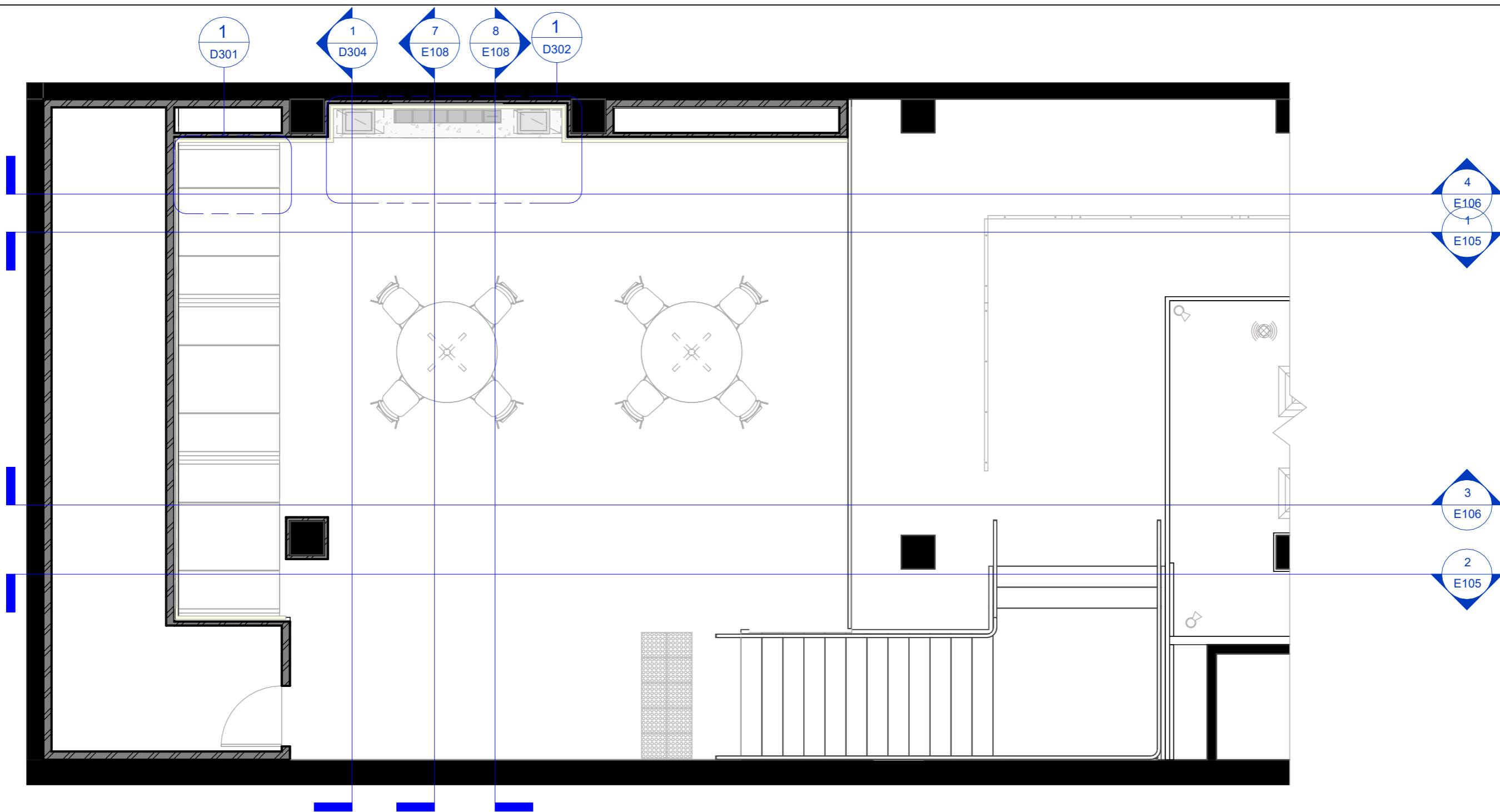
CLIENT APPROVAL

DRAWING NO. P104.1

SCALE AS SHOWN

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ISSUE F 26/02/25



1 Reference Plan - Mezzanine
1 : 50@A3

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C	Initial Concept	13/11/24
D	For Owners Consent	18/11/24
E	For DA	21/11/24
F	For DA	26/02/25

TITLE
Reference Plan -
Mezzanine Level

DRAWN BY TT

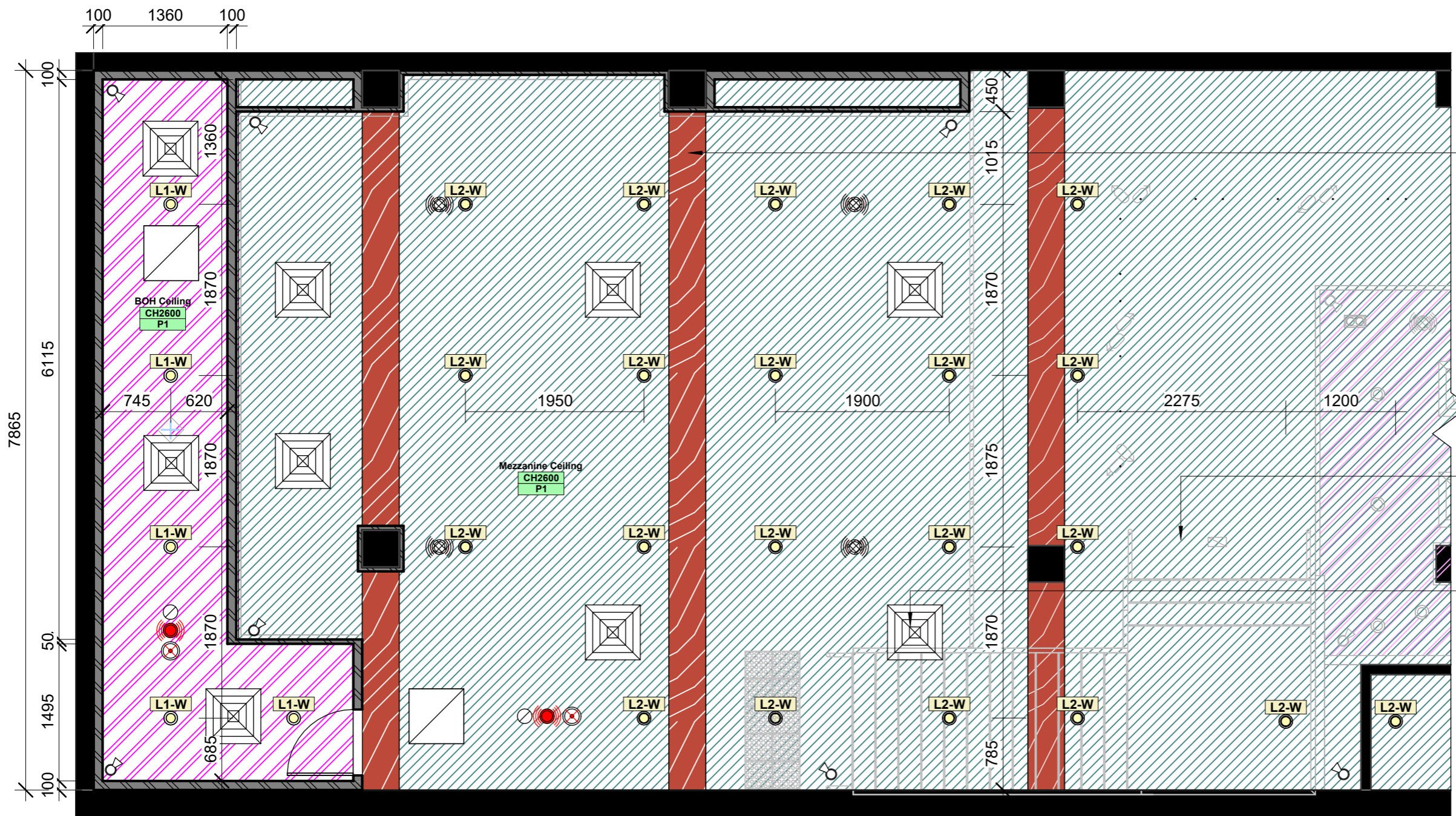
CLIENT APPROVAL

DRAWING NO.
P104.2

SCALE AS SHOWN

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ISSUE F 26/02/25



Existing beam at mezzanine area to be repainted red. Finish ref: P6

Existing plasterboard ceiling by base building to remain and reused where possible.

Allow mechanical air conditioning air diffuser. Mechanical engineer to review and confirm final position as per BCA compliance.

1 Mezzanine Floor
E101.1 1 : 50@A3

RCP Legend:

- | | | | |
|--|----------------------|--|--------------------|
| | CEILING ACCESS PANEL | | EXIT LIGHT |
| | AIR DIFFUSER | | EMERGENCY SPEAKER |
| | CCTV CAMERA | | MUSIC SPEAKER |
| | SMOKE DETECTOR | | DINING DOWNLIGHT |
| | EMERGENCY LIGHT | | KITCHEN DOWNLIGHT |
| | | | TRACK SPOT LIGHT |
| | | | 2HEAD DOWNLIGHT |
| | | | EXISTING DOWNLIGHT |

RCP Notes:

- Contractor to allow for installation of adequate emergency lighting, speakers and smoke detectors to comply with all BCA requirements.
- Contractor to allow for installation of sprinklers and ensure all are installed according to AS2118.1. To be reviewed by mechanical and fire engineer.
- Contractor to allow installation of CCTV system.
- Mechanical engineer to review and confirm the air conditioning requirement.
- Refer to lighting and ceiling schedule for specification details. Shopfitter to allow lighting to be dimmable to ensure lighting level are able to be controlled. Engage with client to confirm switch configuration requirement.

No.	Description	Date
A	For Owners Consent	18/11/24
B	For DA	21/11/24
C	For DA	26/02/25

TITLE	DRAWING NO.
Reflected Ceiling Plan - Mezzanine Level	P105.2
DRAWN BY TT	SCALE AS SHOWN
CLIENT APPROVAL	CHECKED AT
	ISSUE C 26/02/25

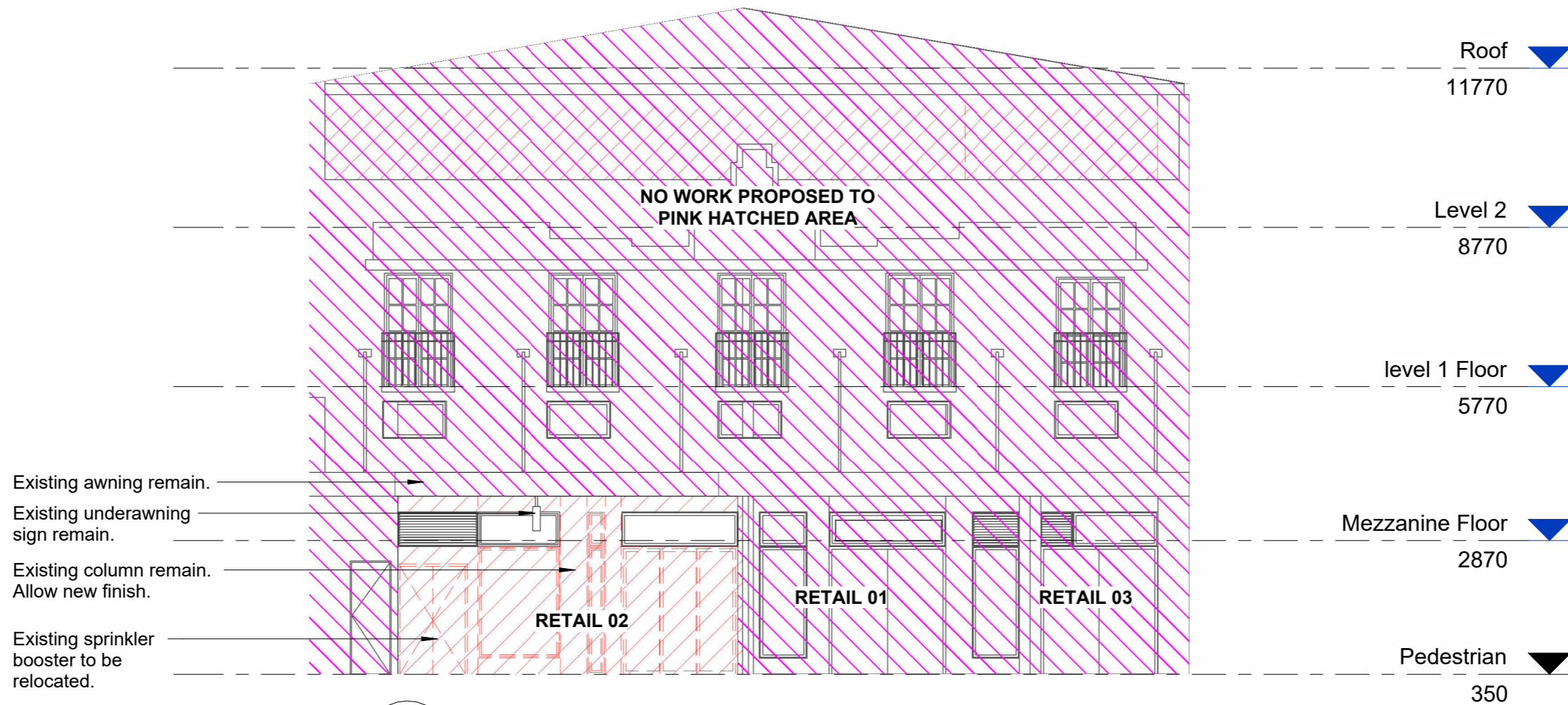


1 South Elevation - Existing
1 : 100@A3

No.	Description	Date
A	For Owners Consent	18/11/24
B	For DA	21/11/24
C	For DA	26/02/25

TITLE	South Elevation - Existing
DRAWN BY	TT
CLIENT APPROVAL	

DRAWING NO.	E101.1
SCALE	AS SHOWN
CHECKED	AT
ISSUE	C 26/02/25



1 South Elevation - Demolition
1 : 100@A3



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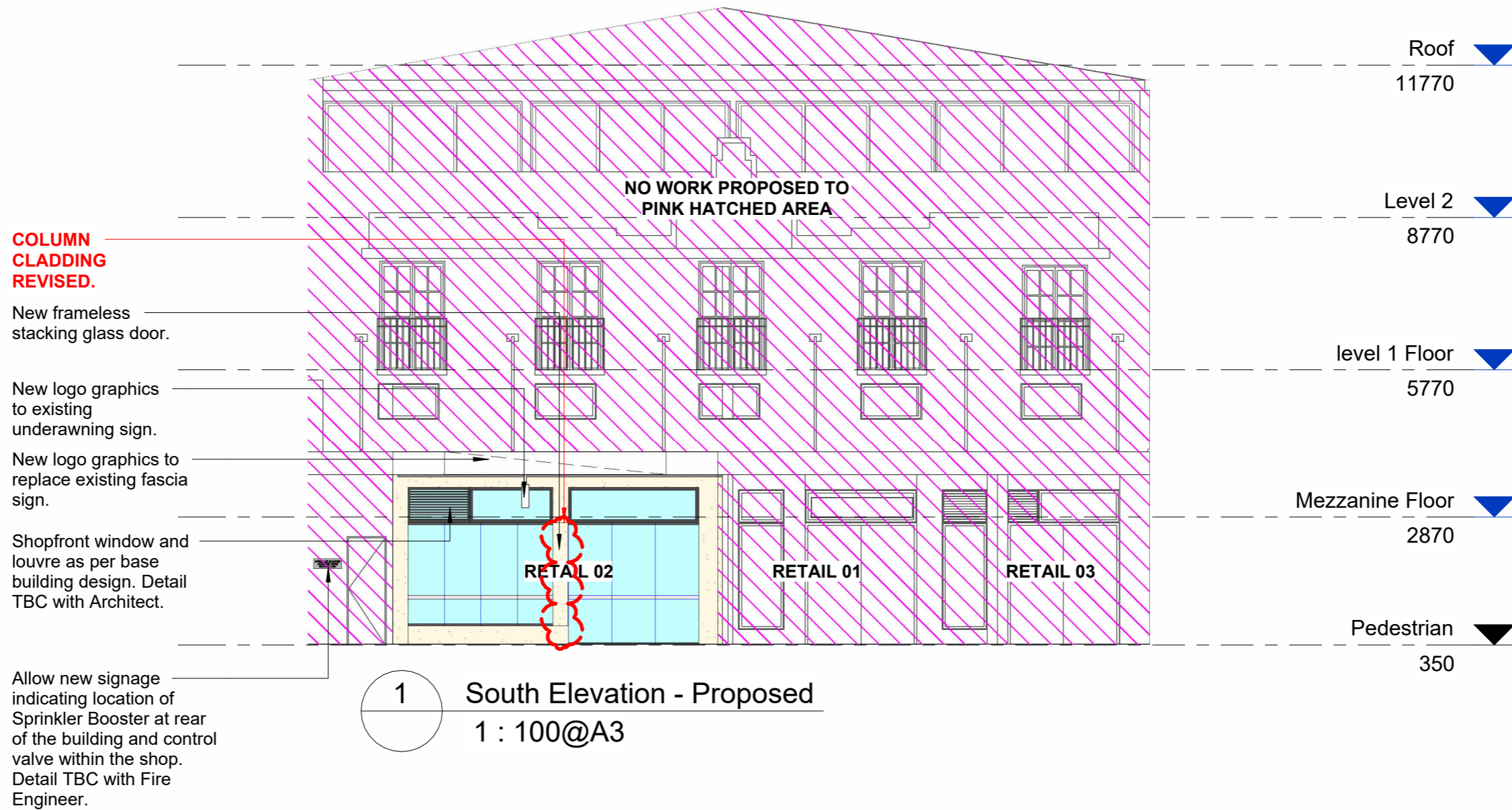
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No.	Description	Date
A	For Owners Consent	18/11/24
B	For DA	21/11/24
C	For Strata Approval/For DA	30/01/25
D	For DA	26/02/25

TITLE	
South Elevation - Demolition	
DRAWN BY	TT
CLIENT APPROVAL	

DRAWING NO.	
E101.2	
SCALE	AS SHOWN
CHECKED	AT
ISSUE	D 26/02/25



1 South Elevation - Proposed
1 : 100@A3

No.	Description	Date
A	For Owners Consent	18/11/24
B	For DA	21/11/24
C	For Strata Approval	28/11/24
D	For DA	26/02/25
E	For Client Review	20/03/25
F	For DA	01/04/25

TITLE	South Elevation - Proposed
DRAWN BY	TT
CLIENT APPROVAL	

DRAWING NO.	E101.3
SCALE	AS SHOWN
CHECKED	AT
ISSUE	F 01/04/25



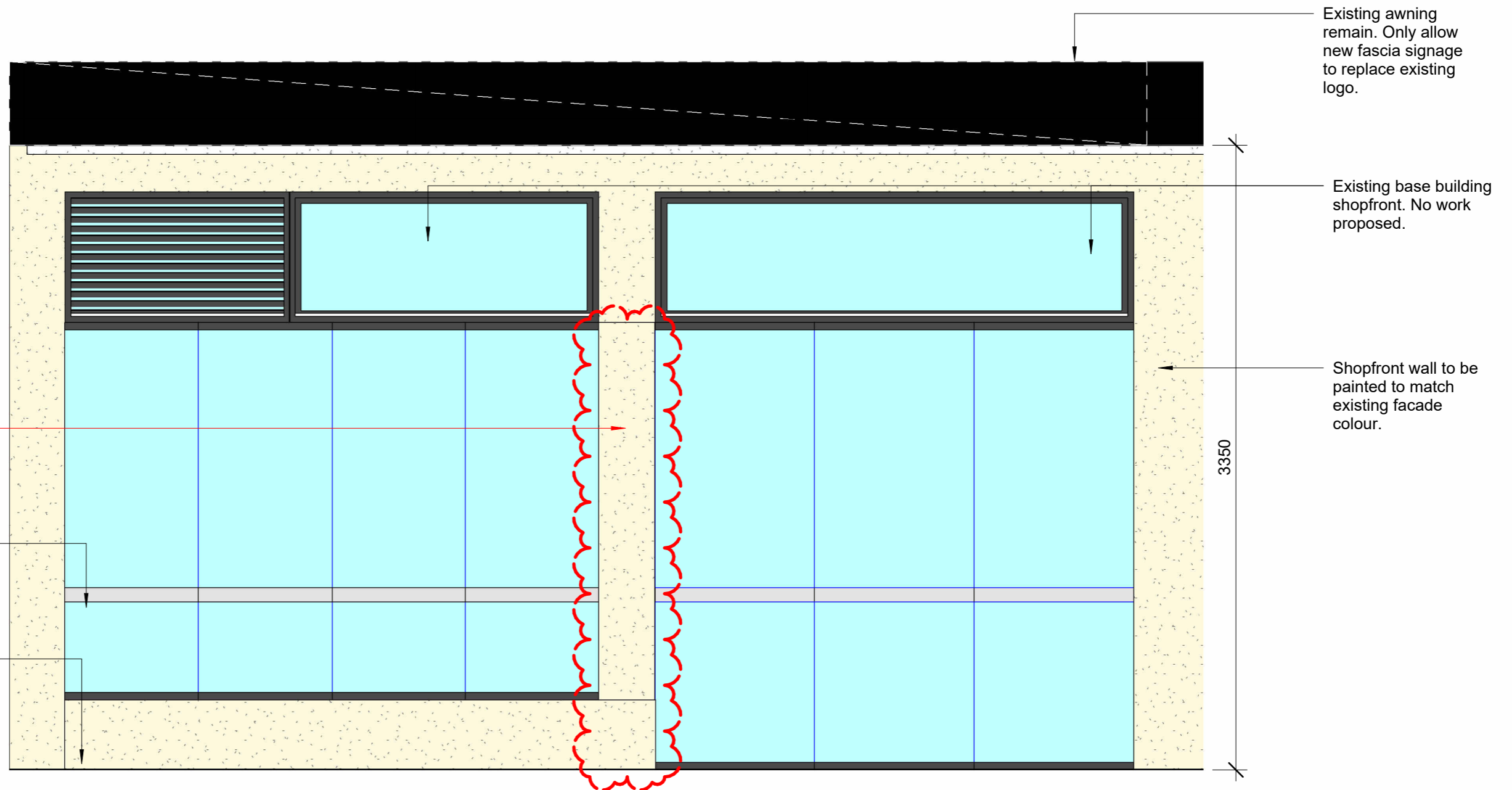
1 North Elevation
1 : 100@A3

Nominated position of relocated sprinkler booster. Finish to match existing wall facade colour.

Existing double door to be replaced with new double panel door retain approved door opening.

No.	Description	Date
A	For Owners Consent	18/11/24
B	For DA	21/11/24
C	For Strata Approval	28/11/24
D	For Strata Approval/For DA	13/01/25
E	For DA	26/02/25

TITLE	DRAWING NO.
Shopfront Elevations	E102
DRAWN BY TT	SCALE AS SHOWN
CLIENT APPROVAL	CHECKED AT
	ISSUE E 26/02/25

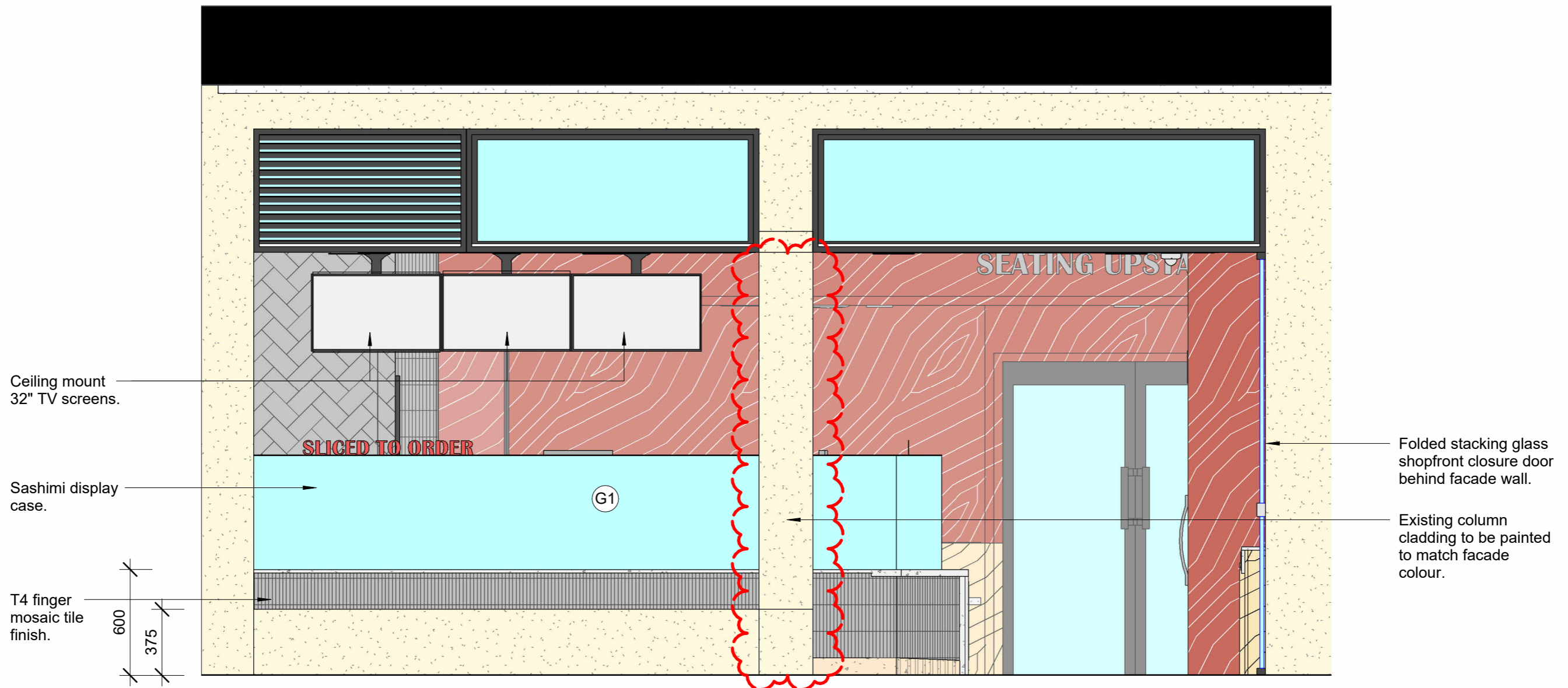


1 Shopfront Elevation - Close
 P104.1 1 : 25@A3

No.	Description	Date
B	For DA	21/11/24
C	For Strata Approval	28/11/24
D	For DA	26/02/25
E	For Client Review	26/03/25
F	For DA	01/04/25
G	For DA	07/04/25

TITLE	
Shopfront Elevations	
DRAWN BY	TT
CLIENT APPROVAL	

DRAWING NO.	
E103	
SCALE	AS SHOWN
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ISSUE	G 07/04/25



1 Shopfront Elevation - Open
 P104.1 1 : 25@A3



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No.	Description	Date
E	For Strata Approval/For DA	30/01/25
F	For DA	26/02/25
G	For Client Review	20/03/25
H	For Client Review	26/03/25
I	For DA	01/04/25
J	For DA	07/04/25

TITLE
 Shopfront Elevations

DRAWN BY TT

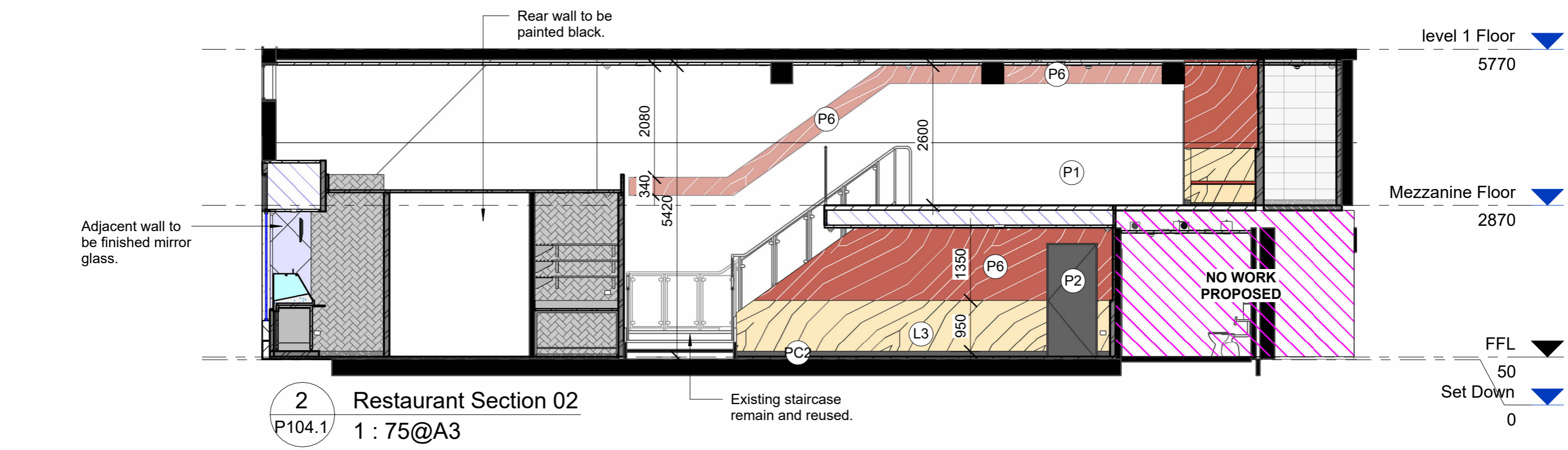
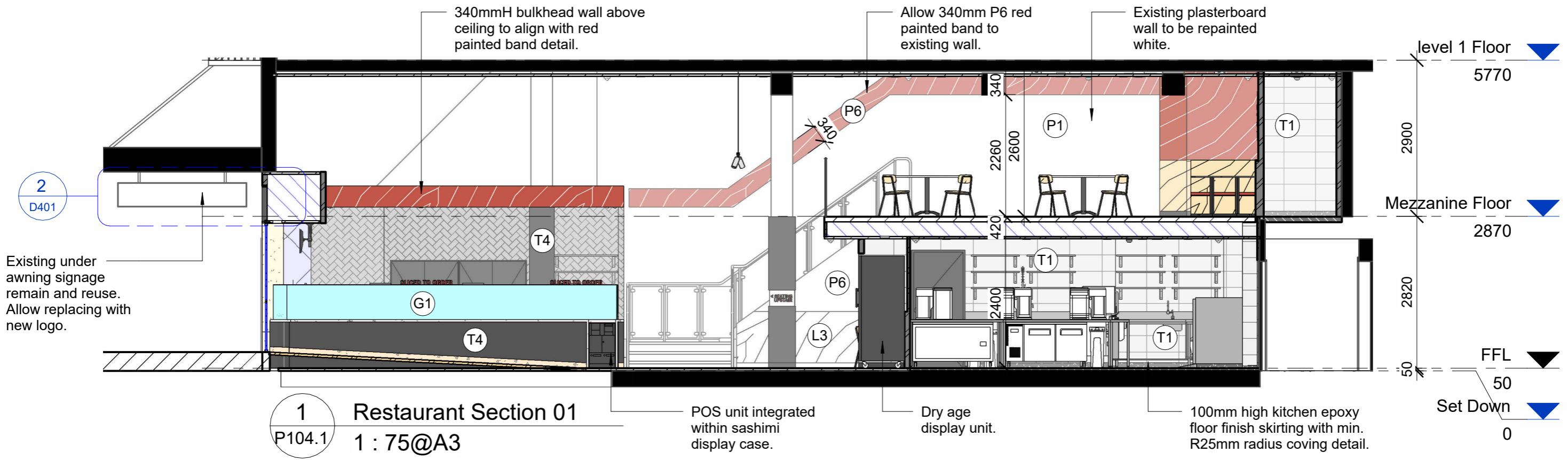
CLIENT APPROVAL

DRAWING NO. E104

SCALE AS SHOWN

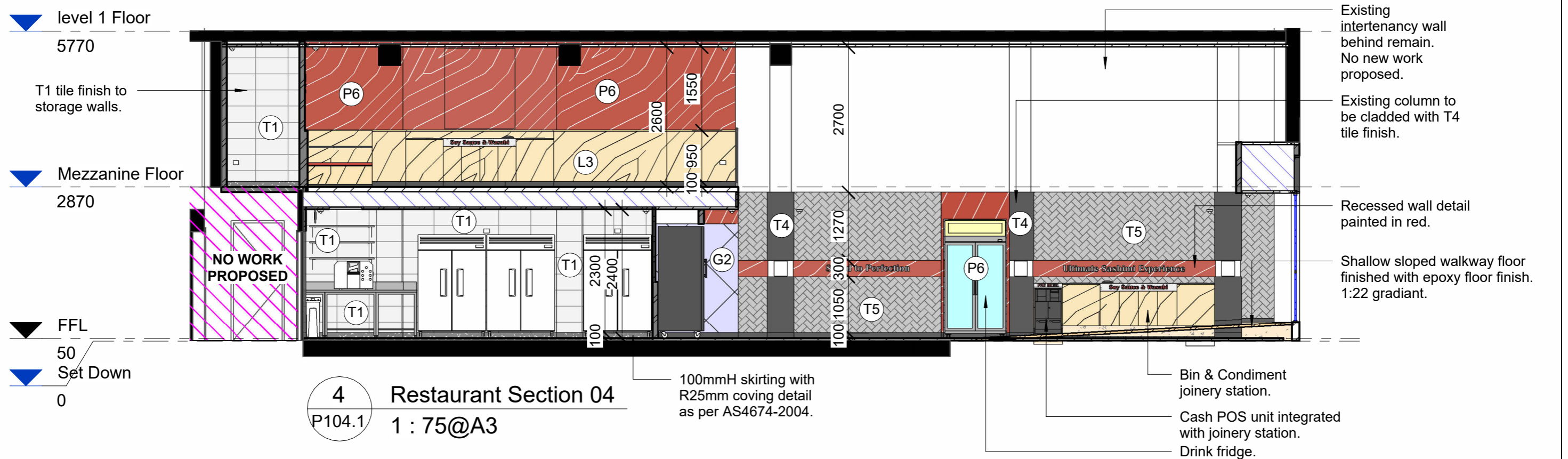
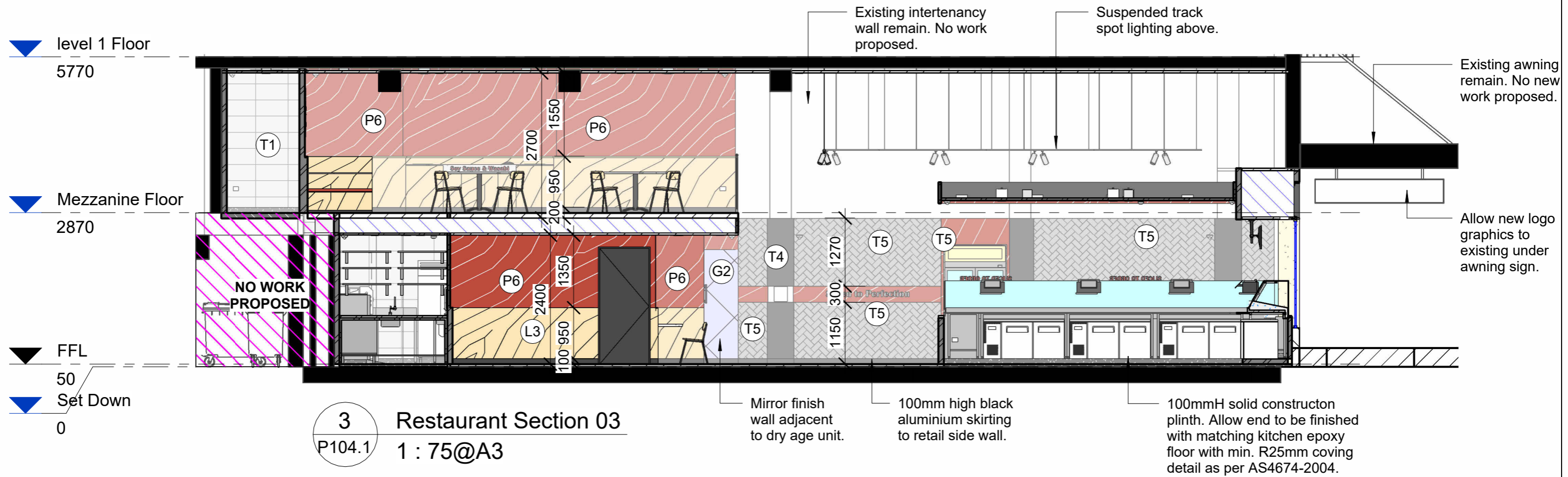
CHECKED AT

ISSUE J 07/04/25



No.	Description	Date
A	For Owners Consent	18/11/24
B	For DA	21/11/24
C	For Strata Approval/For DA	13/12/24
D	For Strata Approval/For DA	30/01/25
E	For DA	26/02/25

TITLE	DRAWING NO.
Elevations and Sections	E105
DRAWN BY	SCALE
TT	AS SHOWN
CLIENT APPROVAL	CHECKED
	AT
	ISSUE
	E 26/02/25



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C	For Strata Approval/For DA	13/12/24
D	For Strata Approval/For DA	30/01/25
E	For DA	26/02/25

TITLE	DRAWING NO.
Elevations and Sections	E106
SCALE	AS SHOWN
DRAWN BY	TT
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CLIENT APPROVAL	ISSUE E 26/02/25

Rear face to be painted black.

Suspended track spot lighting above.

Existing stair case and balustrade remain.

Beam above mezzanine dining to be painted red.

level 1 Floor

5770

Existing balustrade remain.

Mezzanine Floor

2870

Dry age unit.

FFL

50

Set Down

0

Towel dispenser.

Wall mount soap dispenser.

Knee operated handwash basin.

5

Restaurant Section 05

P104.1

1 : 50@A3

6

Restaurant Section 06

P104.1

1 : 50@A3



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B	For DA	21/11/24
C	For DA	26/02/25

TITLE
Elevations and Sections

DRAWN BY TT

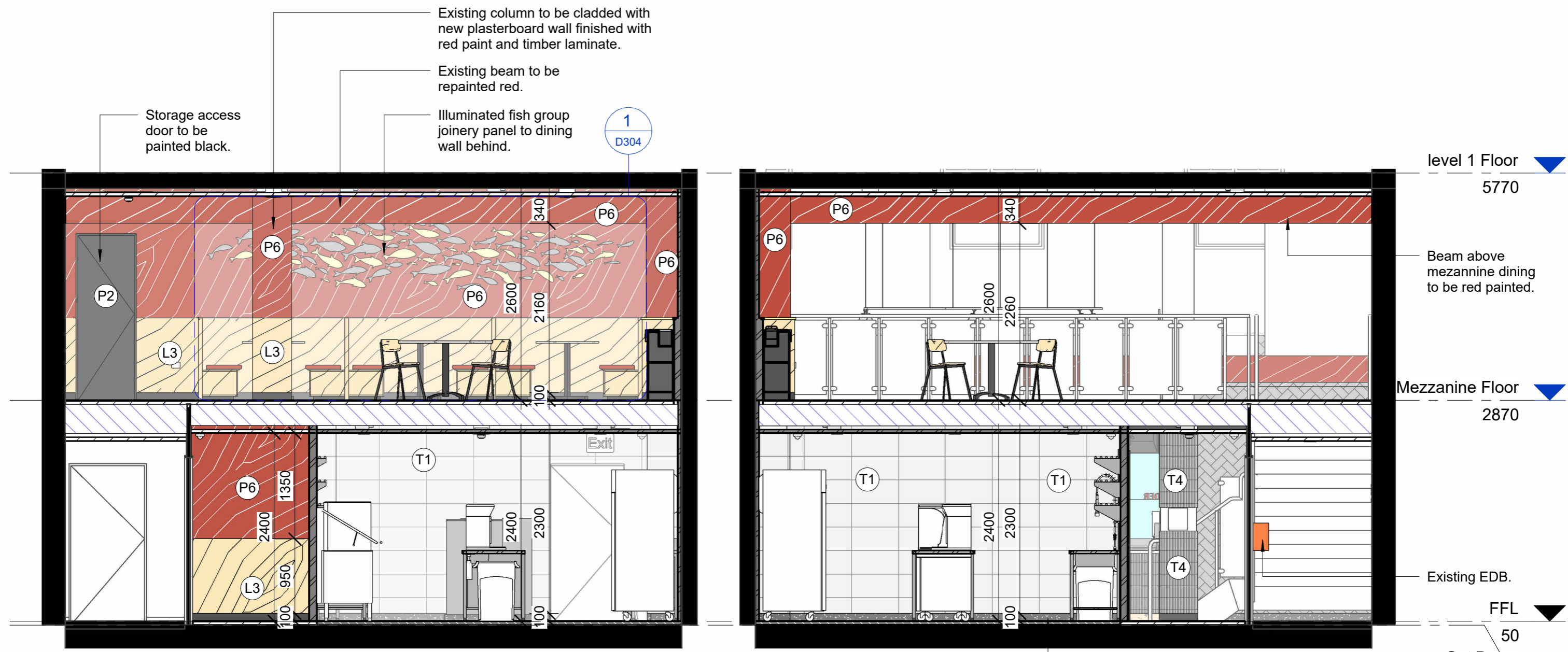
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DRAWING NO.
E107

SCALE AS SHOWN

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ISSUE C 26/02/25



7 Restaurant Section 07
P104.1 1 : 50@A3

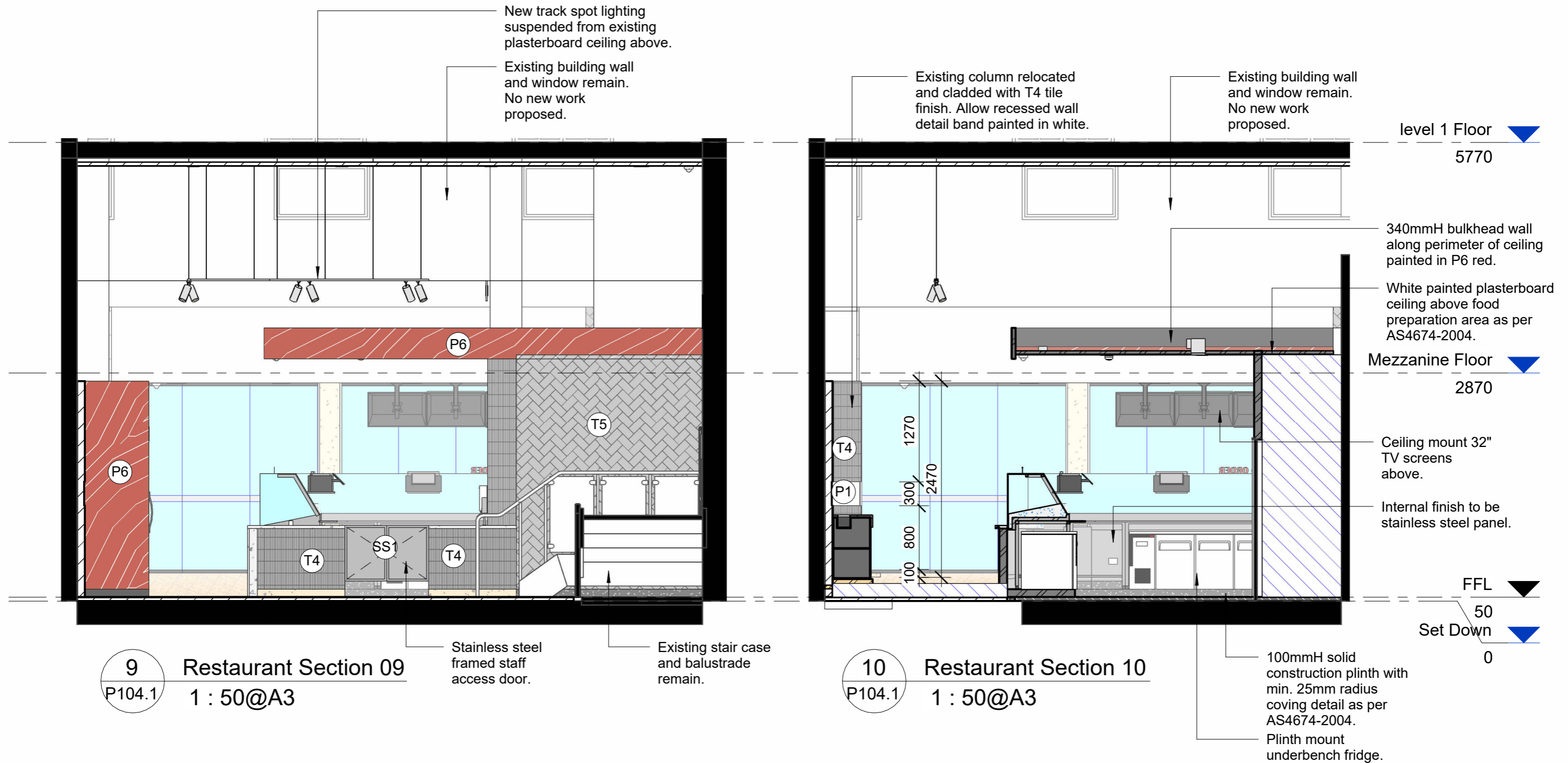
8 Restaurant Section 08
P104.1 1 : 50@A3

100mmH kitchen epoxy flooring with min. 25mm radius coving detail as per AS4674-2004.

No.	Description	Date
A	For Owners Consent	18/11/24
B	For DA	21/11/24
C	For DA	26/02/25

TITLE	
Elevations and Sections	
DRAWN BY	TT
CLIENT APPROVAL	

DRAWING NO.	
E108	
SCALE	AS SHOWN
CHECKED	AT
ISSUE	C 26/02/25



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TITLE
Elevations and Sections

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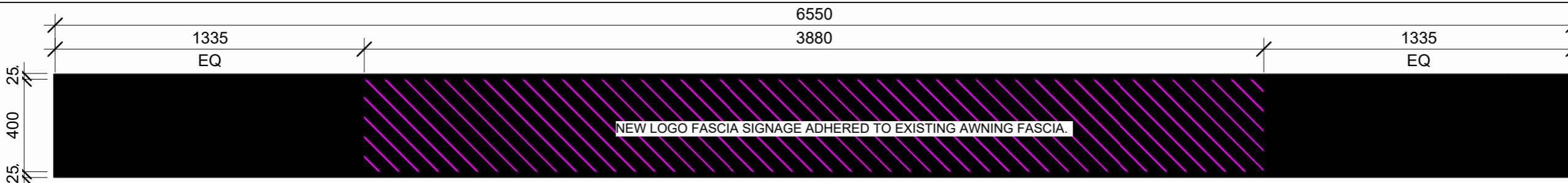
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DRAWING NO.
E109

SCALE AS SHOWN

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ISSUE D 26/02/25



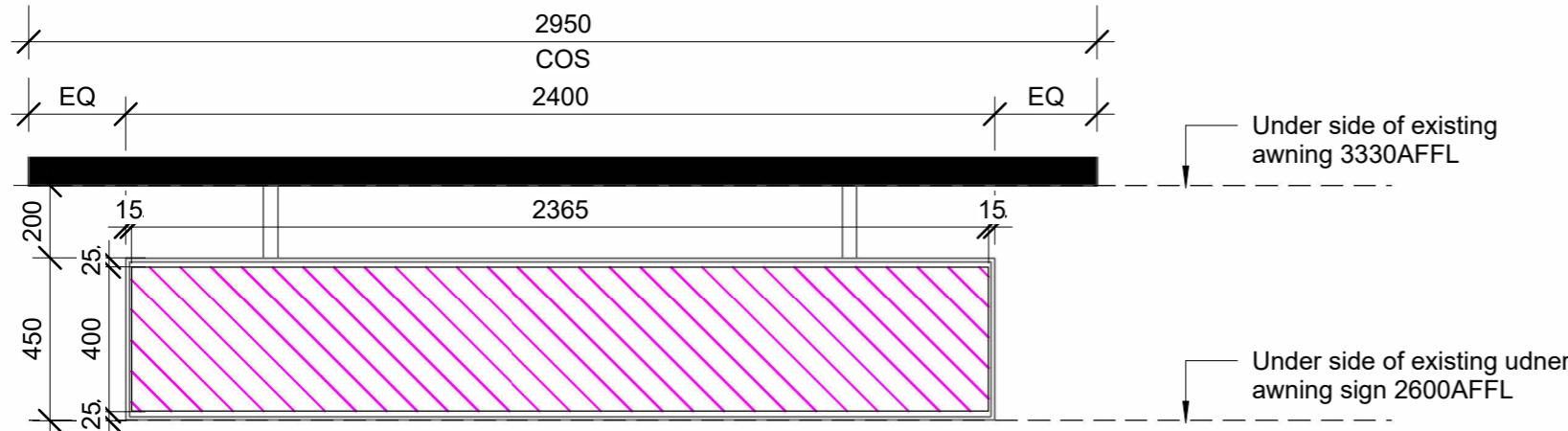
Reference Photo - Existing awning

1 Sign A - Awning Fascia Sign
1 : 20@A3



SIGN A - Awning Fascia Sign

OVERALL SIZE: 400mmH X 3380mmW
 MATERIAL: Printed logo graphics board fixed to existing awning fascia
 FIXINGS: Adhered to existing awning fascia.
 QUANTITY: 1
 NOTES: Colour to match logo brand colour.
 Artwork Graphics to be provided by Graphic Designer.
 Final size to be confirmed on site to suit existing awning. To be center position of shopfront.

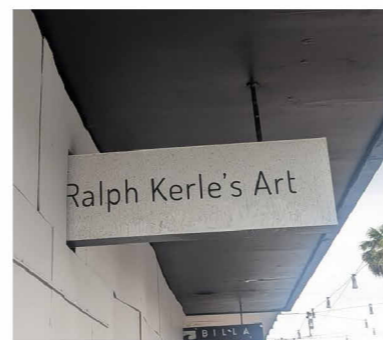


2 Sign B - Under Awning Sign
E105
1 : 20@A3

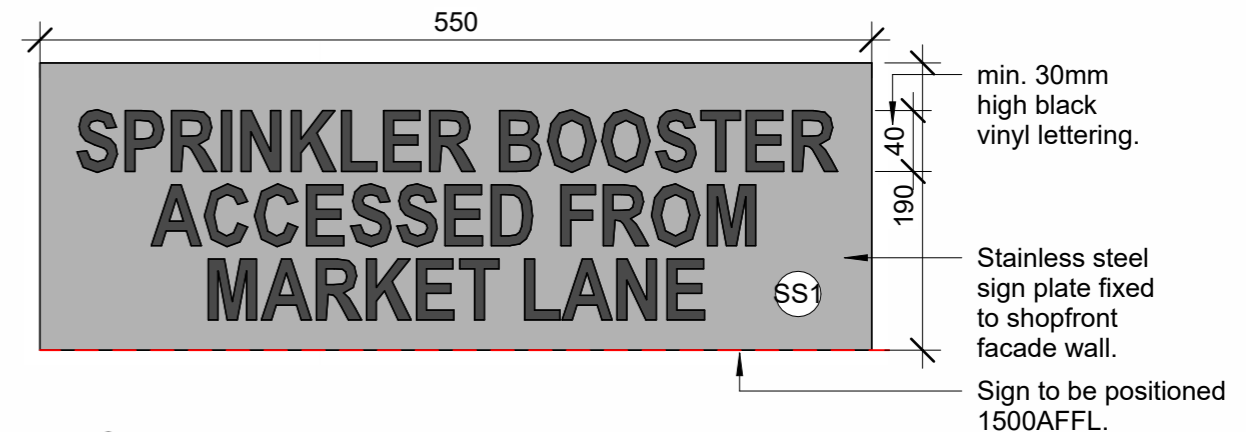


SIGN B - Under Awning sign

OVERALL SIZE: 2400mmW X 450mmH
 MATERIAL: Existing illuminated udner awning signage.
 FIXINGS: Replacing logo graphics only.
 QUANTITY: 1 (double sided)
 NOTES: Colour to match logo brand colour.
 Artwork Graphics to be provided by Graphic Designer.



Reference Photo - Existing Under awning sign



3 Sign C - Fire Booster Location Sign
1 : 5@A3

SIGN C - Fire Booster Location Sign

OVERALL SIZE: 190mmH X 550mmW
 MATERIAL: Stainless steel plate with vinyl printed lettering.
 FIXINGS: Adhered to existing shopfront wall behind.
 QUANTITY: 1
 NOTES: Final wording TBC with Fire Engineer.
 Artwork Graphics to be provided by Graphic Designer.
 Final size and position to be confirmed on site to suit existing wall.



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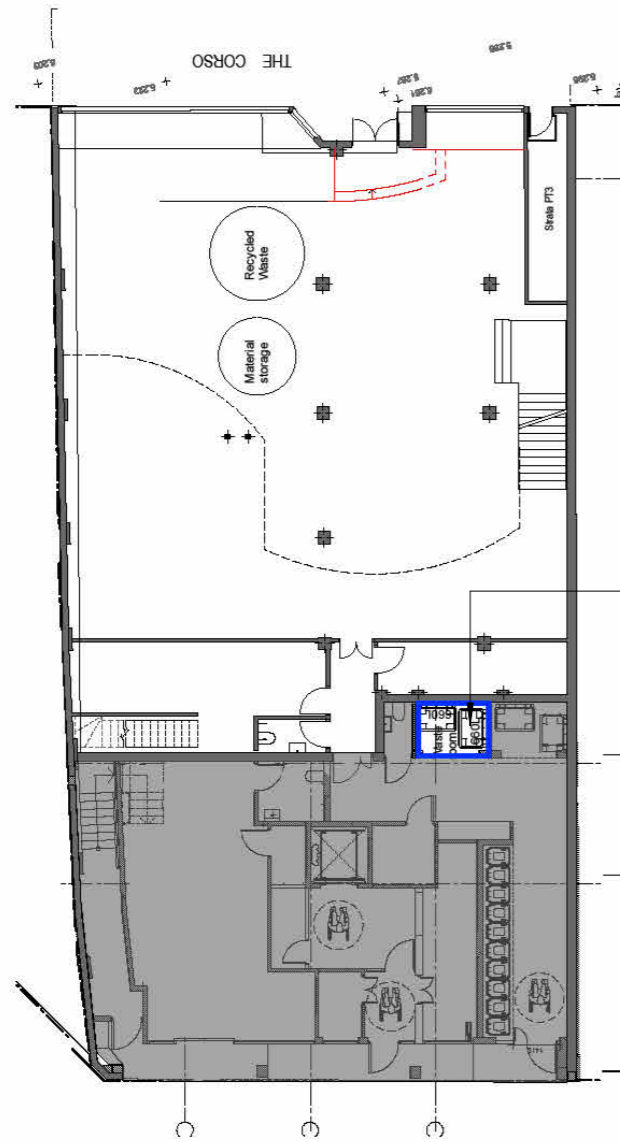
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No.	Description	Date	TITLE	DRAWING NO.	
A	For Owners Consent	18/11/24	Signage	D401	
B	For DA	21/11/24			
C	For Strata Approval/For DA	13/01/25		SCALE AS SHOWN	
D	For Strata Approval/For DA	30/01/25		DRAWN BY TT	CHECKED AT
E	For DA	26/02/25		CLIENT APPROVAL	ISSUE F 05/03/25
F	For Client Review	05/03/25			

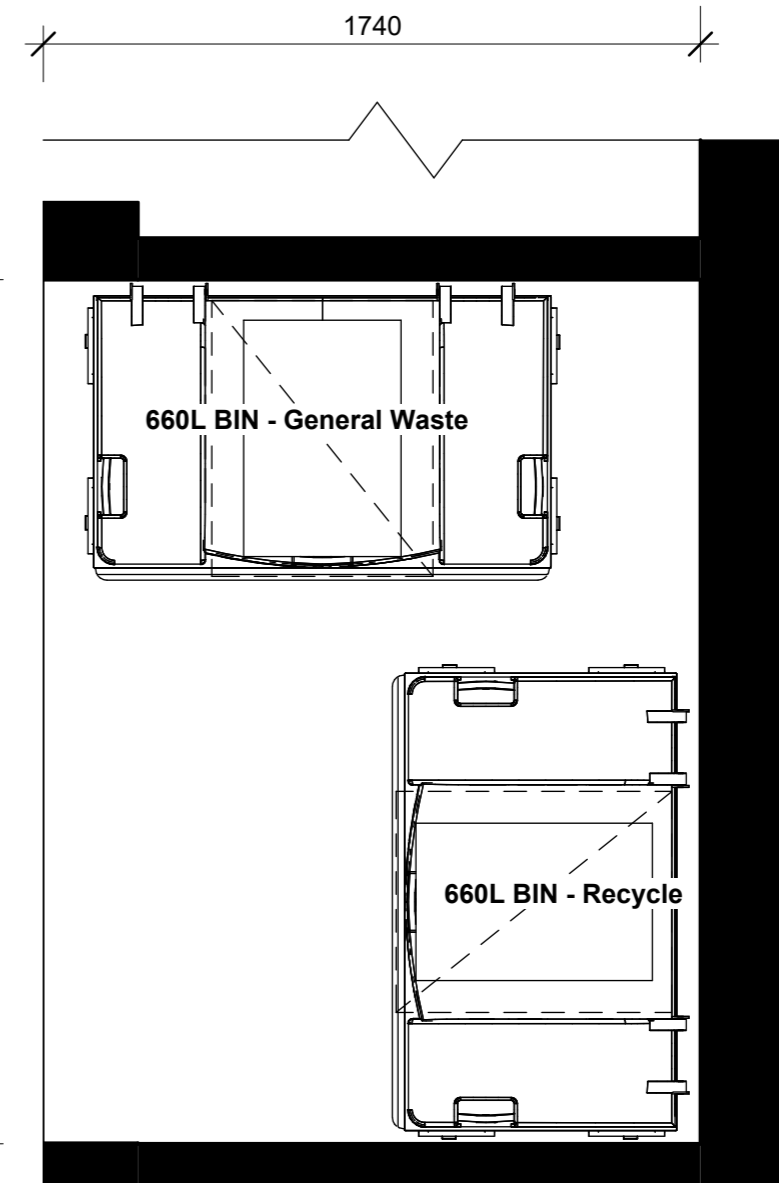
PROPOSAL: PROPOSED RETAIL FITOUT

ADDRESS: 63-67 The Corso Manly NSW

Waste Management Plan.
Waste Area Storage



Nominated location of waste storage area as per Base Building Waste Management.



1 Waste Storage Plan
1 : 20@A3



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No.	Description	Date	TITLE	DRAWING NO.
A	For Owners Consent	18/11/24	Appendix - Waste Storage Plan	A501
B	For DA	21/11/24		
C	For DA	26/02/25		
			DRAWN BY	TT
			CLIENT APPROVAL	
				SCALE AS SHOWN
				CHECKED AT
				ISSUE C 26/02/25