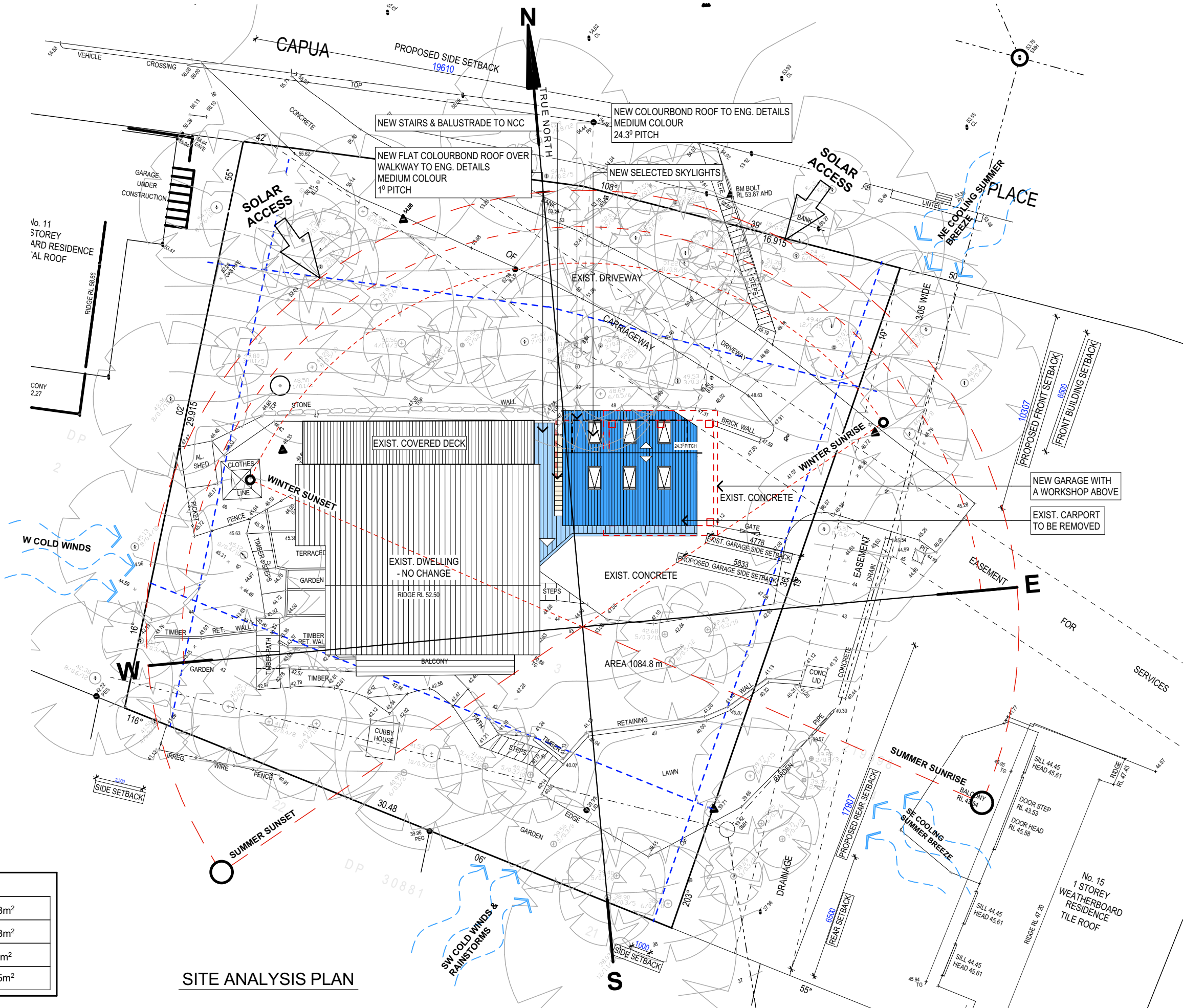




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THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
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CONSENT

DA2020/0305



SITE ANALYSIS PLAN

LOT 3 - DP 219898
SITE AREA: 1084.8m²

FLOOR AREA CALCULATION:

SITE AREA:	1084.8m ²
EXISTING FLOOR AREA TOTAL	175.58m ²
PROPOSED NEW FLOOR AREA	28.47m ²
TOTAL NEW FLOOR AREA	204.05m ²

SITE ANALYSIS PLAN

TRUE NORTH:



NOTES:

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REV: DATE: DESCRIPTION:

A -- 6.4..20 - remove building from right of carriageway

PROJECT DETAILS:
PROPOSED ALTERATIONS AND ADDITIONS
13 CAPUA PLACE, AVALON BEACH

DRAWING TITLE:
SITE ANALYSIS PLAN

DATE:
NOVEMBER/2019

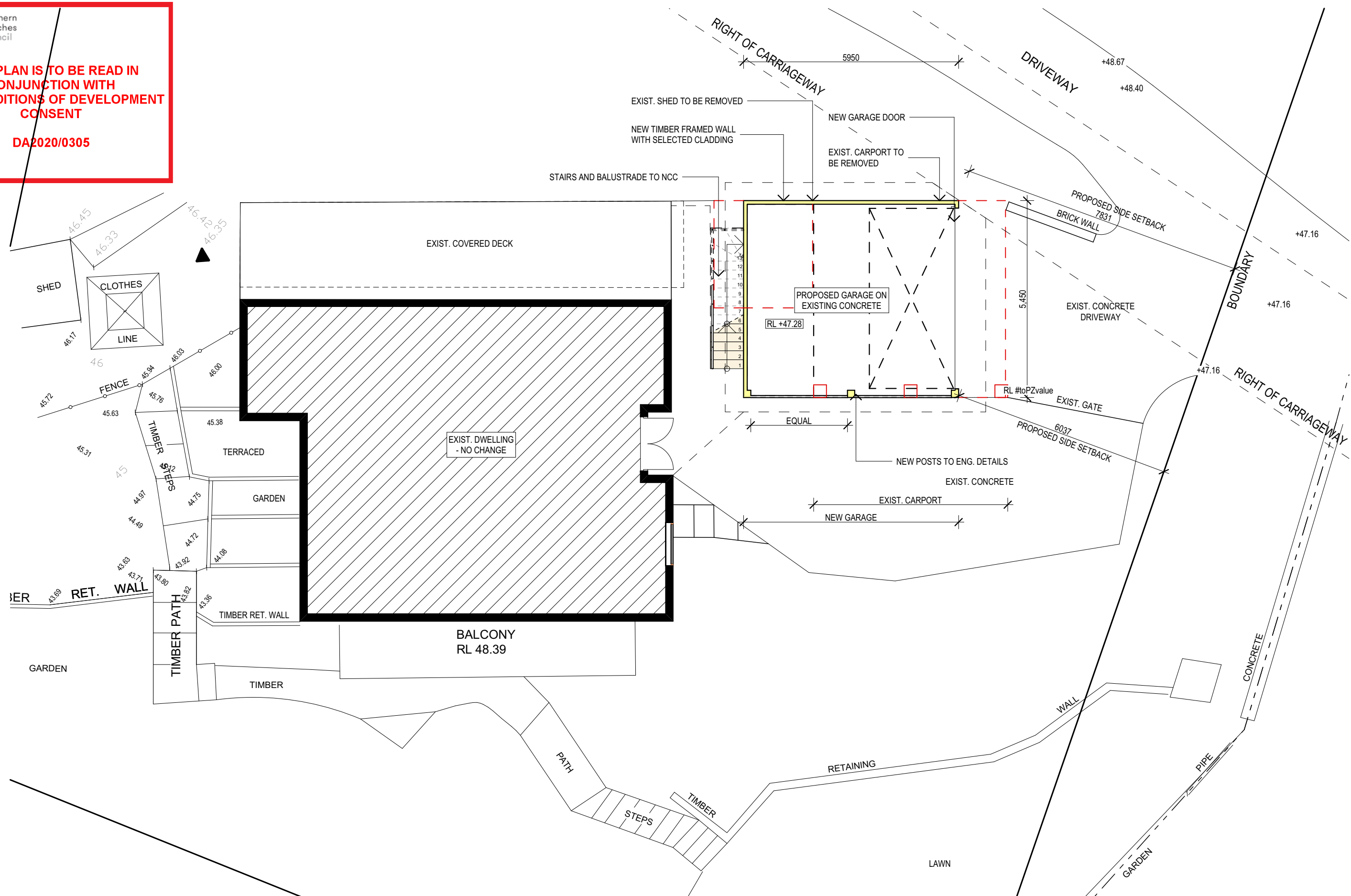
JOB No:
752/19

DRAWN BY:
DB

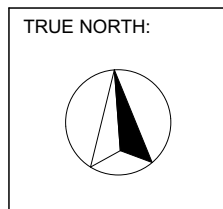
CHECKED BY:
JJ

SCALE:
1:200 @ A3

DRAWING No:
DA.01



GROUND FLOOR PLAN



NOTES:

- All structures including stormwater & drainage to engineer's details.
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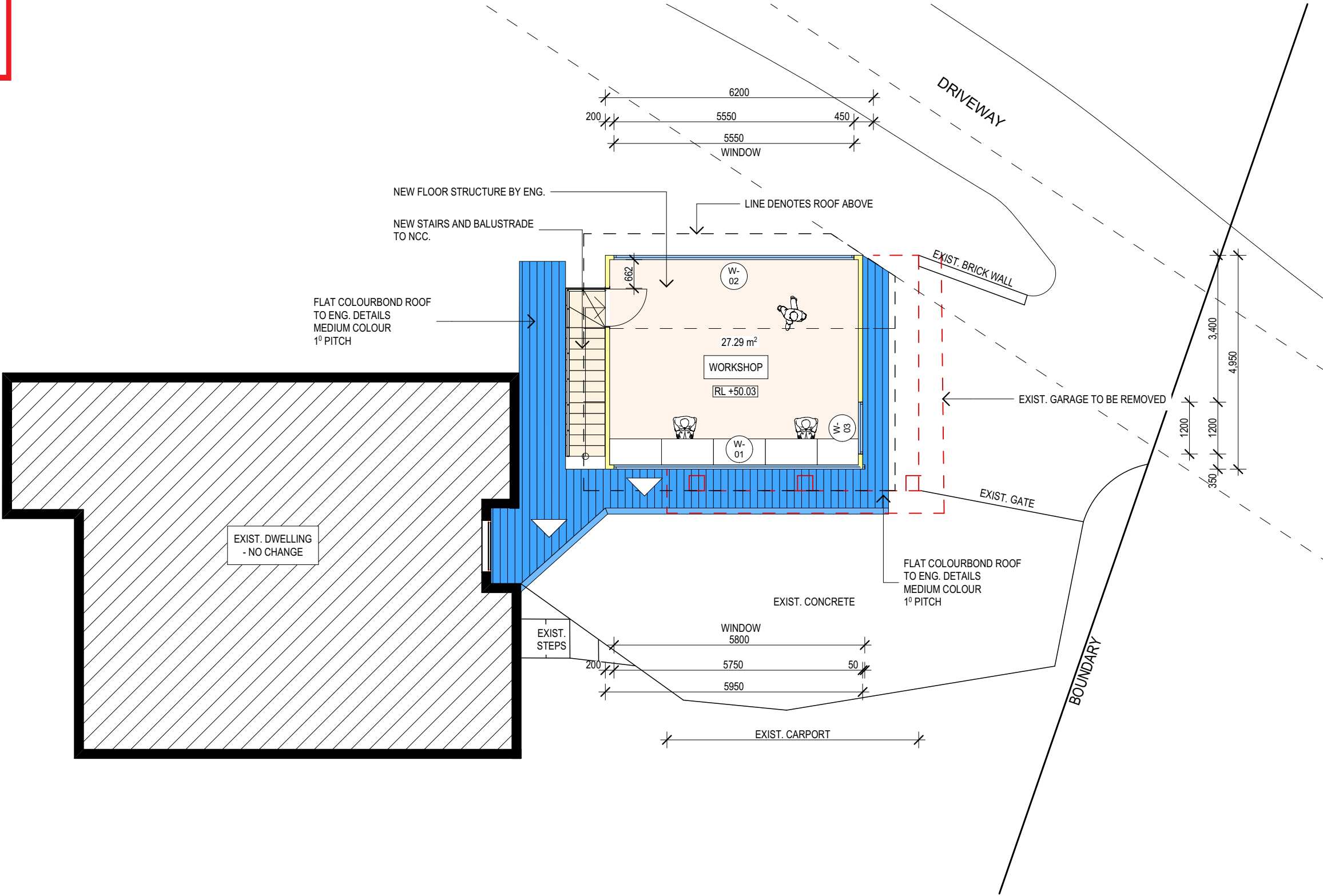
<h1><i>JJ Drafting</i></h1> <p>174 Garden St, North Narrabeen, NSW, 2101 PO Box 687, Dee Why, NSW, 2099 Mob. 0414 717 541 Email. jjdraft@tpg.com.au www.jjdrafting.com.au</p>	REV:	DATE:	DESCRIPTION:
	A - 6.4.20 - remove building from right of carriageway		




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FIRST FLOOR PLAN

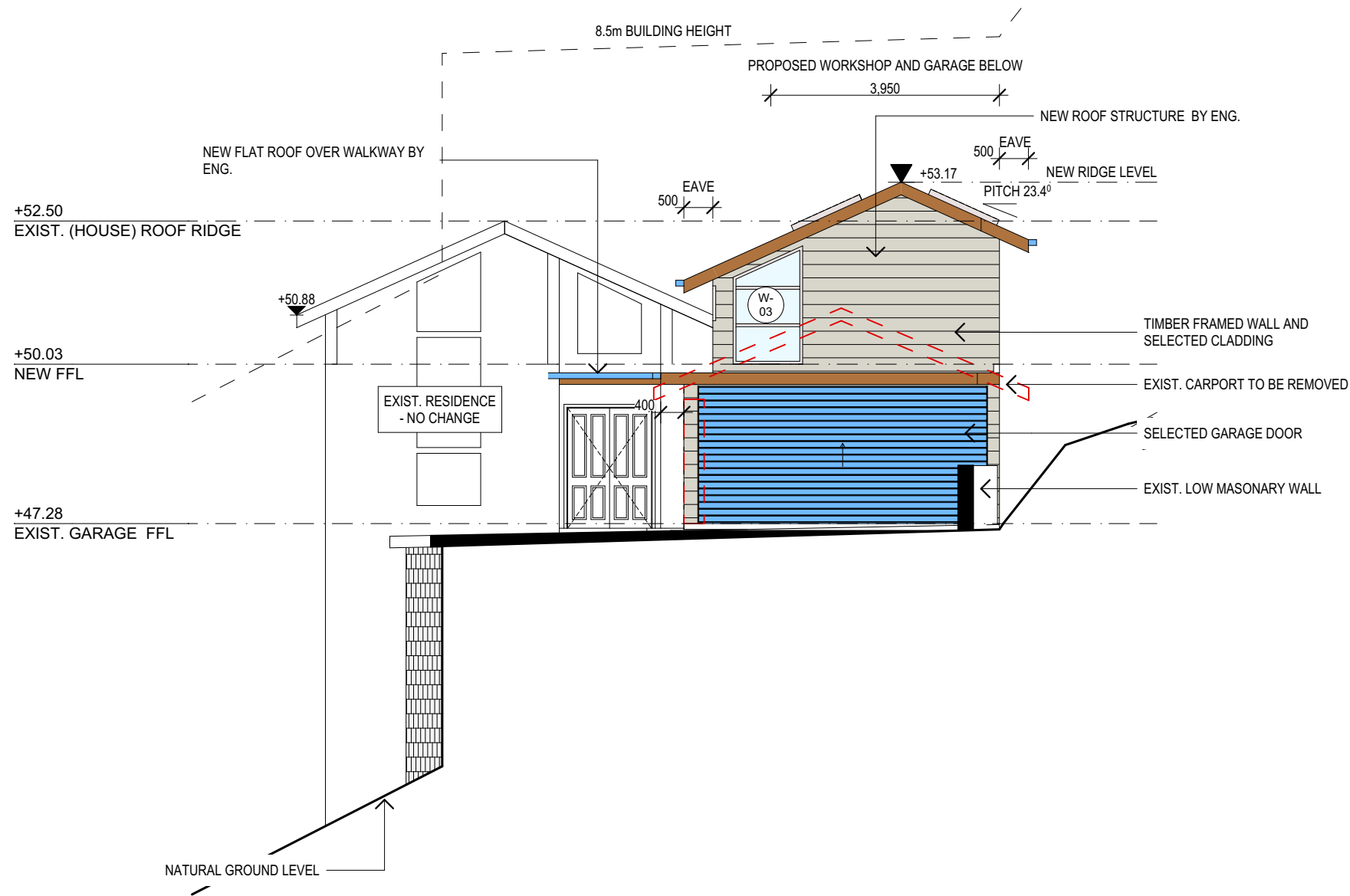
<div>TRUE NORTH:</div> <div></div>	<div>NOTES:</div> <ul style="list-style-type: none">• All structures including stormwater & drainage to engineer's details.• Do not obtain dimensions by scaling drawings.• All dimensions are to be checked on site prior to starting work.• These drawings are to be read in conjunction with all other consultant's drawings and specifications.• All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the relevant SAA Codes of Practice, the Building Code of Australia and local council requirements.• New materials are to be used throughout unless otherwise noted.• Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.	<div>JJ Drafting</div> <div>174 Garden St, North Narrabeen, NSW, 2101</div> <div>PO Box 687, Dee Why, NSW, 2099</div> <div>Mob. 0414 717 541</div> <div>Email. jjdraft@tpg.com.au</div> <div>www.jjdrafting.com.au</div>	<div>REV:</div> <div>DATE:</div> <div>DESCRIPTION:</div>	<div>PROJECT DETAILS:</div> <div>PROPOSED ALTERATIONS AND ADDITIONS</div> <div>13 CAPUA PLACE, AVALON BEACH</div>	<div>DATE:</div> <div>NOVEMBER/2019</div>	<div>DRAWN BY:</div> <div>DB</div>	<div>SCALE:</div> <div>1:100 @ A3</div>		
			<div>A -6.4.20 -remove building from right of carriageway</div>						
							<div>DRAWING TITLE:</div> <div>FIRST FLOOR PLAN</div>	<div>JOB No:</div> <div>752/19</div>	<div>CHECKED BY:</div> <div>JJ</div>



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EAST ELEVATION

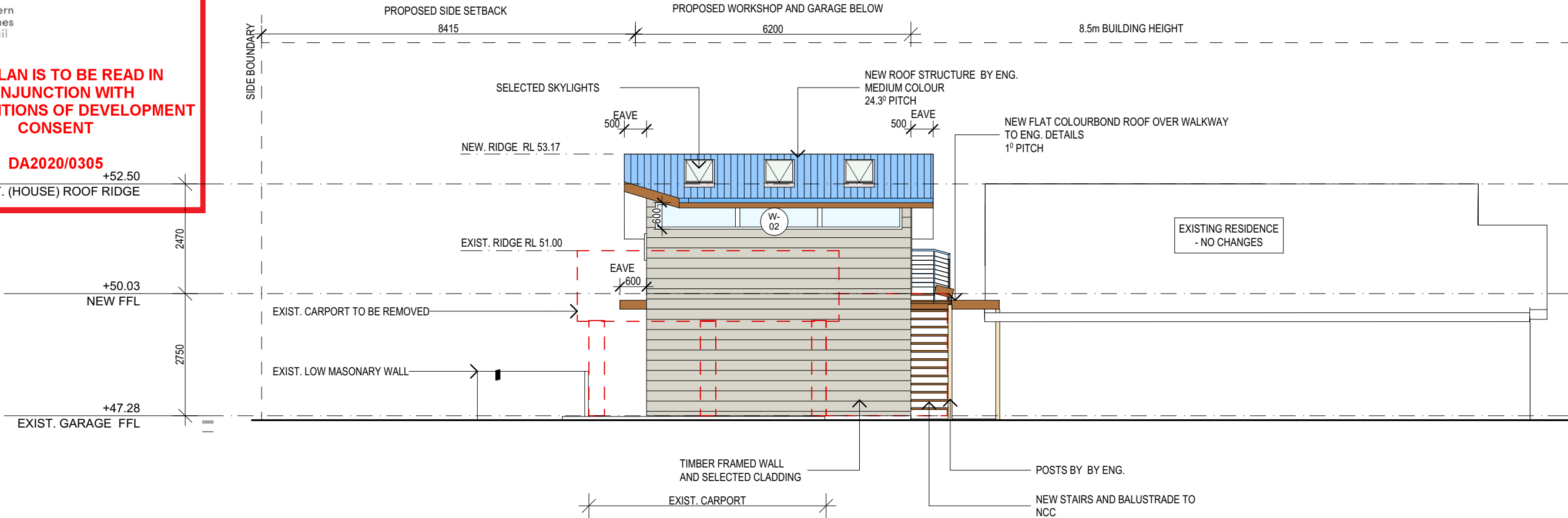
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			<div>DRAWING TITLE:</div> <div>ELEVATIONS</div>	<div>JOB No:</div> <div>752/19</div>	<div>CHECKED BY:</div> <div>JJ</div>	<div>DRAWING No:</div> <div>DA.05</div>	



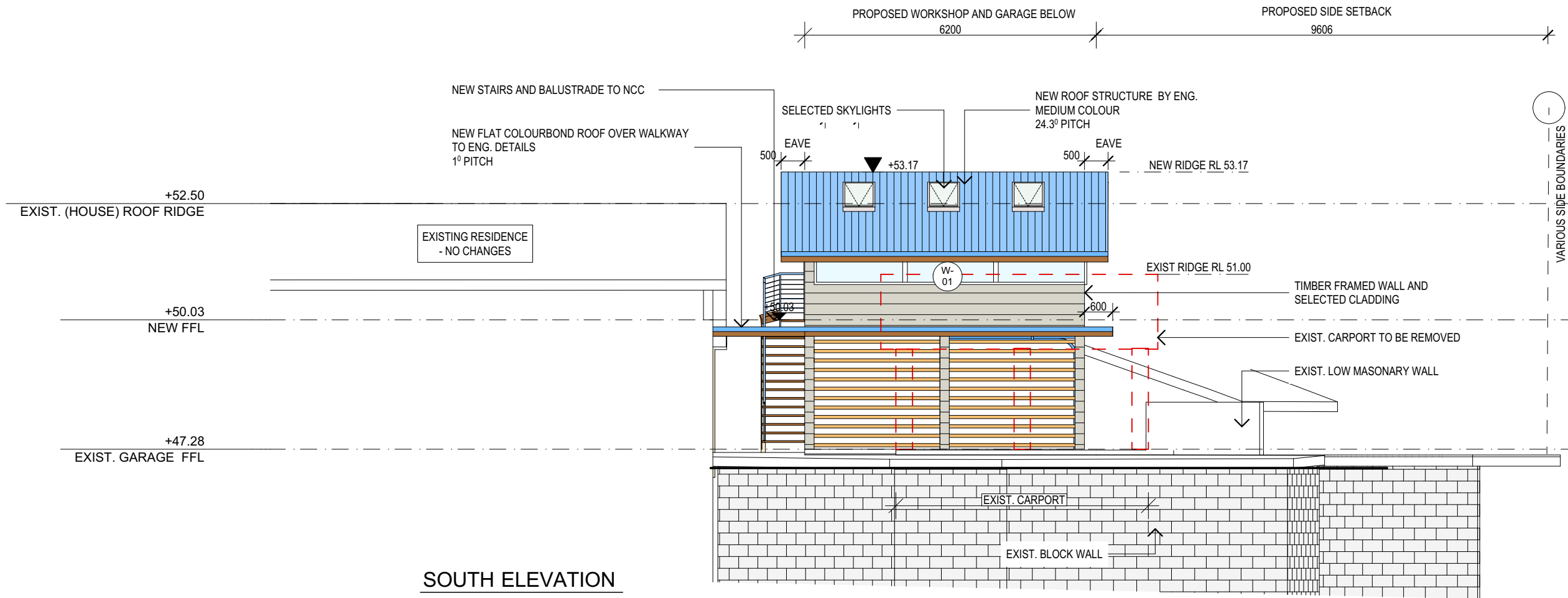
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NORTH ELEVATION



SOUTH ELEVATION

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				</					

EXTERNAL WALLS
- LIGHT FRAME WALLS FINISHED OFF WITH SELECTED CLADDING

DOORS AND WINDOWS
- ALUMINIUM FRAMED WINDOWS AND DOORS
- WEATHER STRIPPING IS TO BE PROVIDED TO ALL EXTERNAL WINDOWS AND DOORS

FLOORS
- REINFORCED CONCRETE SLAB ON GROUND TO GROUND FLOOR
- - TIMBER FLOOR FRAMING TO BE FINISHED WITH T&G HARDWOOD FLOORING TO FIRST FLOOR

ROOFING
- COLORBOND ROOF CLADDING

STORMWATER
- NEW DOWNPIPES TO BE CONNECTED INTO EXISTING STORMWATER LINE

GUTTERS AND DOWNPIPES
- COLORBOND GUTTERS AND DOWNPIPES
- MINIMUM SLOPE OF EAVES AND GUTTERS 1:200

FLASHING AND CAPPINGS
- SELECTION AND INSTALLATION OF METAL RAINWATER GOODS REFER TO AS2180
- FLASH PROJECTIONS ABOVE THE ROOF WITH TWO PART FLASHINGS CONSISTING OF AN APRON FLASHING AND OVER FLASHING, WITH AT LEAST 100mm OVERLAP.
- PROVIDE FOR INDEPENDENT MOVEMENT BETWEEN ROOF AND PROJECTION

TERMITE CONTROL
- TO AS3660.1

TIMBER FRAMING
- USE TREATED TIMBER WHERE REQUIRED FOR DURABILITY
- DO NOT USE TIMBER UNSUITABLE FOR EXPOSURE TO MOISTURE IN EXPOSED LOCATION
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS1684 AND 1720 AS APPLICABLE
- PROVIDE STRUCTURE BRACING IN ACCORDANCE WITH AS1684
- PROVIDE STRUCTURE TIEDOWN IN ACCORDANCE WITH AS1684
- USE GALVANISED FIXINGS WHERE EXPOSED TO WEATHER

CONCRETE
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH CURRENT EDITIONS OF THE AS3600
- FOOTINGS TO BE IN ACCORDANCE WITH AS1480
- ALL REINFORCEMENTS SHALL CONFORM TO AS1302, AS1303, AS1304

INTERNAL LININGS
- PROVIDE PLASTERBOARD LINING

SMOKE DETECTORS/ALARMS:
- NCC VOL 2 PART 3.7.2, FIRE/SMOKE DETECTORS COMPLYING WITH THE REQUIREMENTS OF THE LOCAL GOVERNMENT ACT AND/OR STATE OR TERRITORY REGULATIONS MUST BE FITTED IN THE LOCATIONS REQUIRED AND APPROVED BY THE AUTHORITY AND SHALL BE INSTALLED IN ACCORDANCE WITH AS3786.
- INSTALLATIONS IN BUILDINGS OTHER THAN CLASS 1 AND 10 MUST BE INSTALLED AND MANAGED TO COMPLY WITH NCC SPEC. E2.2a.
- MULTIPLE ALARMS WITHIN HOUSES AND SOLE OCCUPANCY UNITS MUST BE HARD WIRED AND INTERCONNECTED.

WASTE MANAGEMENT
- ALL WASTE SHALL BE TAKEN AWAY BY TRUCKS TO A SUITABLE LANDFILL OR RECYCLE DEPOT
- ALL WASTE SHALL BE COVERED DURING TRANSPORTATION
- WASTE GENERATED DURING CONSTRUCTION SHALL BE PLACED IN STEEL BINS AND TAKEN AWAY BY AN APPROVED CONTRACTOR TO A APPROVED LANDFILL SITE

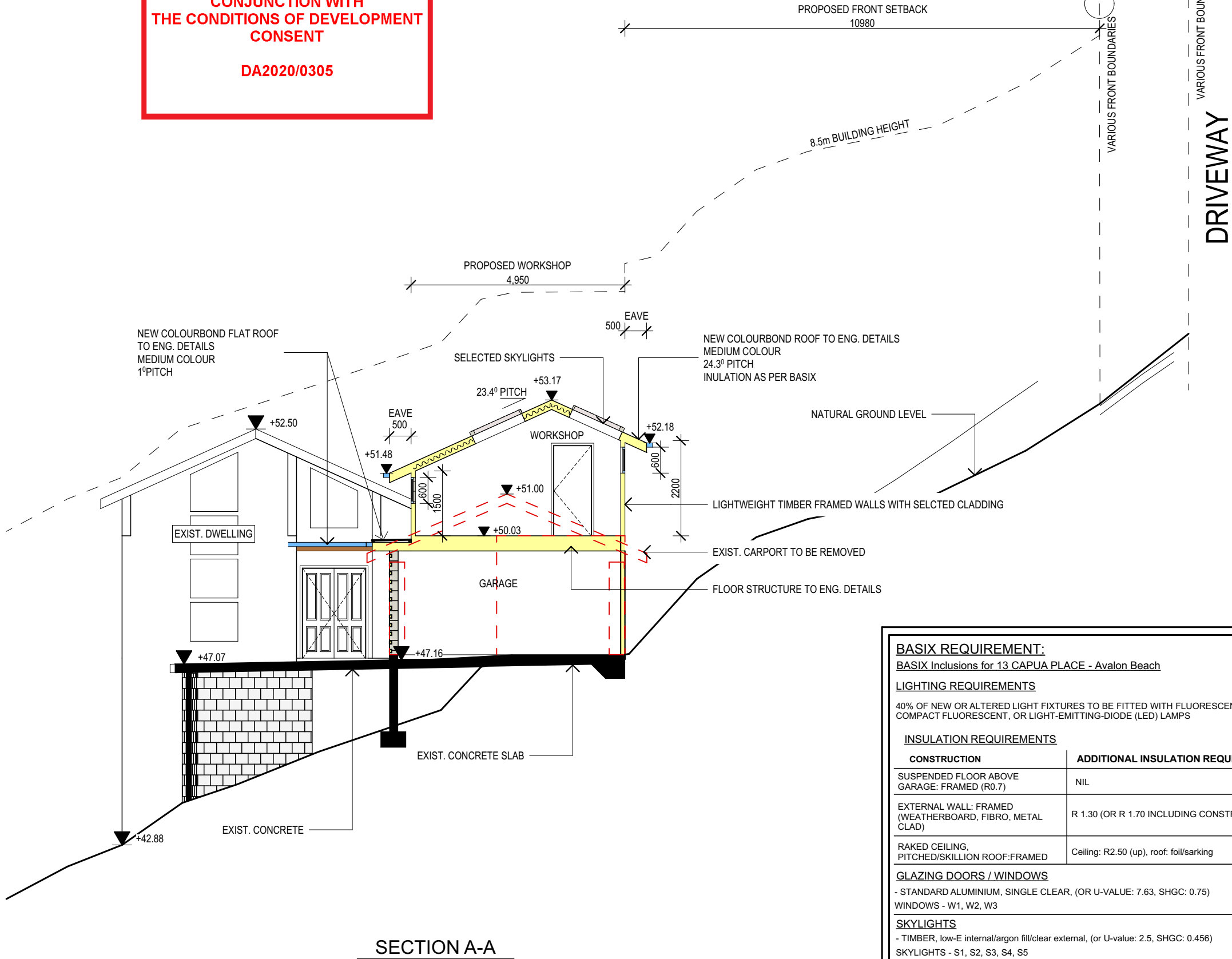
SEDIMENT CONTROL
- A FILTER CLOTH SYSTEM SHALL BE INSTALLED TO STOP ANY SEDIMENT ENTERING COUNCILS STORMWATER SYSTEM

NOTE:
ADDITIONS AND ALTERATIONS ARE TO BE READ IN CONJUNCTION AND COMPLY WITH THE BASIX CERTIFICATE, BUSHFIRE AND GEO TECH REPORTS.



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DA2020/0305



BASIX REQUIREMENT: BASIX Inclusions for 13 CAPUA PLACE - Avalon Beach	
LIGHTING REQUIREMENTS 40% OF NEW OR ALTERED LIGHT FIXTURES TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS	
INSULATION REQUIREMENTS	
CONSTRUCTION	ADDITIONAL INSULATION REQUIREMENT (R-VALUE)
SUSPENDED FLOOR ABOVE GARAGE: FRAMED (R0.7)	NIL
EXTERNAL WALL: FRAMED (WEATHERBOARD, FIBRO, METAL CLAD)	R 1.30 (OR R 1.70 INCLUDING CONSTRUCTION)
RAKED CEILING, PITCHED/SKILLION ROOF:FRAMED	Ceiling: R2.50 (up), roof: foil/sarking
GLAZING DOORS / WINDOWS - STANDARD ALUMINIUM, SINGLE CLEAR, (OR U-VALUE: 7.63, SHGC: 0.75) WINDOWS - W1, W2, W3	
SKYLIGHTS - TIMBER, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456) SKYLIGHTS - S1, S2, S3, S4, S5	

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REV:	DATE:	DESCRIPTION:
A -	6.4.20	remove building from right of carriageway

PROJECT DETAILS: PROPOSED ALTERATIONS AND ADDITIONS 13 CAPUA PLACE, AVALON BEACH
DRAWING TITLE: SECTION & BASIX

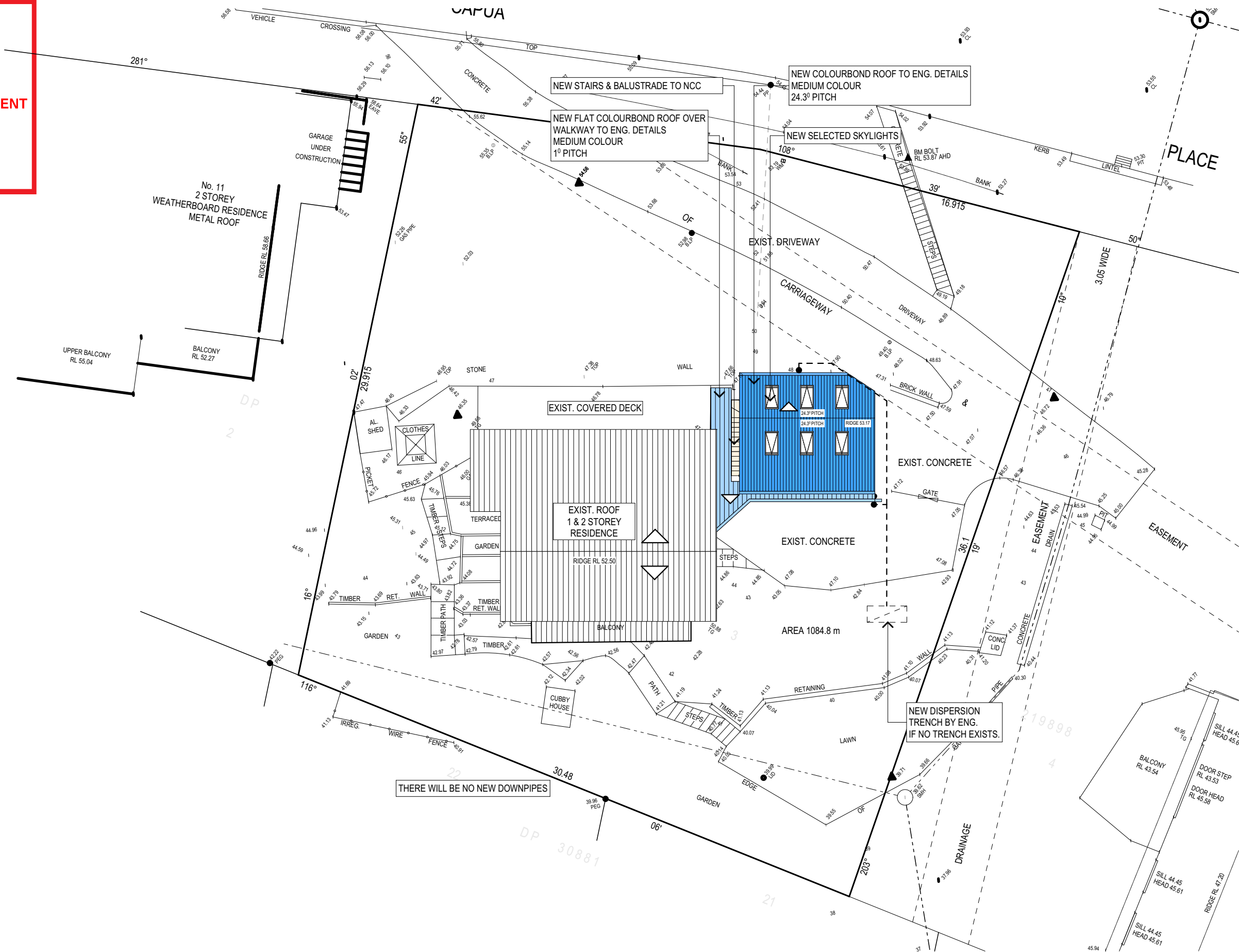
DATE: NOVEMBER/2019	DRAWN BY: DB	SCALE: 1:100 @ A3
JOB No: 752/19	CHECKED BY: JJ	DRAWING No: DA.07



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ROOF PLAN AND STORMWATER CONCEPT PLAN

LEGEND

EXISTING DOWNPIPES
NEW DOWNPIPES



TRUE NORTH:



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REV:	DATE:	DESCRIPTION:
A -	6.4.20	remove building from right of carriageway

PROJECT DETAILS:
PROPOSED ALTERATIONS AND ADDITIONS 13 CAPUA PLACE, AVALON BEACH
DRAWING TITLE:
ROOF PLAN & STORMWATER CONCEPT

DATE:	DRAWN BY:	SCALE:
NOVEMBER/2019	DB	1:200 @ A3
JOB No:	CHECKED BY:	DRAWING No:
752/19	JJ	DA.08