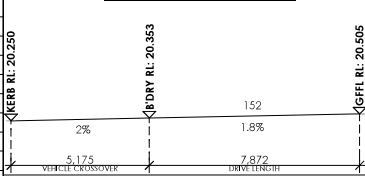


SITE CALCULATIONS		
LODGE: CDC		
SITE AREA: 404.6m²		
	REQUIRED	PROPOSED
FRONT SETBACK	AVERAGE/5.72m (MIN)	5.8m TO BALCONY
GARAGE SETBACK	1m (MIN BEHIND B/LINE)	1.07m/7.872m
GF REAR SETBACK	3m (MIN)	9.027m
FF REAR SETBACK	8m (MIN)	14.387m
GF SIDE SETBACK	0.9m (MIN)	0.964m LHS
FF SIDE SETBACK	1.225m (MIN)	1.225m RHS
OVERALL BUILDING HEIGHT	8.5m (MAX)	7.59m
ARTICULATION ZONE	1.5m (MAX FORWARD FRONT SB)	5.8m
FSR/GFA AREA	251.175m² (MAX)	226.99m²
LANDSCAPE AREA (MIN)	15%/60.70m²	29%/117.77m²
TOTAL FRONT YARD AREA		71.66m²
FRONT YARD LANDSCAPE (MIN)	25%/17.91m²	38%/27.43m²
PRINCIPAL POS AREA	24m²/6m x 4m	24m²/6m x 4m

Area	m2
VOIDS	14.92
ALFRESCO	22.17
BALCONY FRONT	18.17
UPPER FLOOR	115.01
PORCH	2.42
GARAGE	33.00
GROUND FLOOR	122.70
	328.39 m²
Area FSR/GFA	m2
GROUND FLOOR	111.63
FIRST FLOOR	103.06
GARAGE	12.30
	226.99 m²
Area	m2
POS	24.00
LANDSCAPING	117.77

### DRIVEWAY GRADIENT



**THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF  
DEVELOPMENT CONSENT**

**DA2024/0656**

### NORTH NOTE

BEARINGS SHOWN HAVE BEEN DETERMINED FROM NSW LAND REGISTRY SERVICES PLANS AND ARE RELATED TO MAGNETIC NORTH. TRUE NORTH IS APPROXIMATE ONLY AND FURTHER INVESTIGATION WOULD BE REQUIRED TO DETERMINE ACCURATE TRUE NORTH.

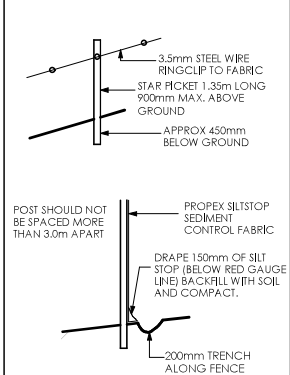
### SCHEDULE OF TREES

	DIAMETER	HEIGHT	TYPE
T1	0.20	-	STUMP
T2	0.60	8m	-
T3	0.60	1m	STUMP
T4	0.10	3m	-
T5	0.10	3m	-
T6	0.10	3m	-
T7	0.40	8m	PALM
T8	0.20	6m	PALM
T9	0.10	3m	-

### ABBREVIATIONS

EB - ELECTRICAL BOX  
EM - ELECTRICAL METER  
GM - GAS METER  
H - HYDRANT  
KO - KERB OUTLET  
LH - LAMP HOLE  
LP - LIGHT POLE  
MH - MAN HOLE  
MS - MAINTENANCE SHAFT  
PP - POWER POLE  
R - HYDRANT RECYCLED  
SH - SHRUB  
SIO - SEWER INSPECTION OPENING  
SMH - SEWER MAN HOLE  
SR - STOP VALVE RECYCLED  
SV - STOP VALVE  
SVP - SEWER VENT PIPE  
SWP - STORM WATER PIT  
T - TREE  
TP - TELECOMMUNICATIONS PIT  
VER - VERANDAH  
WT - WATER TAG  
WM - WATER METER  
WMR - WATER METER RECYCLED  
WC, GC, EC, TC - SERVICE CONDUIT  
W/C - WATER CLOSET

### SEDIMENT CONTROL DETAIL



**NOTE:** PROVIDE 1.8m HIGH SECURITY FENCE TO PERIMETER OF SITE AS REQUIRED BY COUNCIL



Disclaimer: Some items displayed or noted on these plans may be for indicative nominal placement or certification purposes only. The written words in any accompanying building tender will on all occasions take precedence to the plan. All internal room dimensions shown on any floor plan are to timber frame for construction purpose.

Notes:

- Refer to Engineer's details for all expansion joint locations.
- Refer to Engineer's details for all steel beam locations.
- Refer to truss manufacturers details for all floor joist sizes & directions.
- Refer to A/C manufacturers details for A/C duct positions.
- A/C duct locations may need to change due to construction requirements (i.e. joist location, structural beams etc.)
- Floor finishes as selected as per tender.

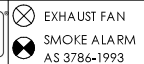
REVISION SCHEDULE			
ISSUE	DESCRIPTION	DATE	INITIAL
I	AMENDED AS PER CDC REQUIREMENTS	25/09/23	AS
D	SUBMISSION PLANS	04/05/23	AS
E	CLIENT AMENDMENT - ADDITIONAL WINDOWS TO BEDS 2 & 3	26/05/23	AS
F	AMENDED PLANS AS PER HYDRAULIC ENGINEER'S PLANS	30/05/23	AS
G	AMENDED BASIX	02/06/23	AS
H	AMENDED REAR ALFRESCO ROOF DESIGN	29/08/23	AS

SCALE  
1:200



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DP No:  
7310



### SITE PLAN

PROPOSAL:  
NEW BRICK VENEER TWO STOREY DWELLING

CLIENT:  
MR M. BATTAGLIA

ADDRESS:  
LOT 74 (No.48) JOHNSON STREET  
FRESHWATER, NSW 2096

### CONSTRUCTION PLANS

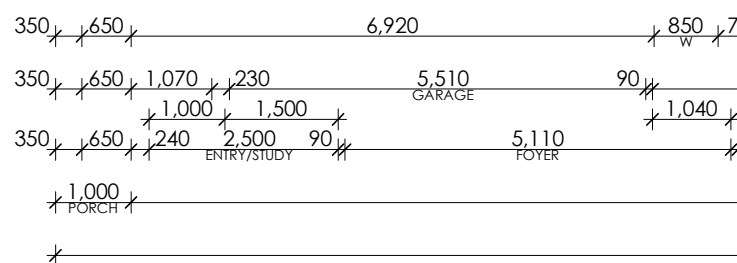
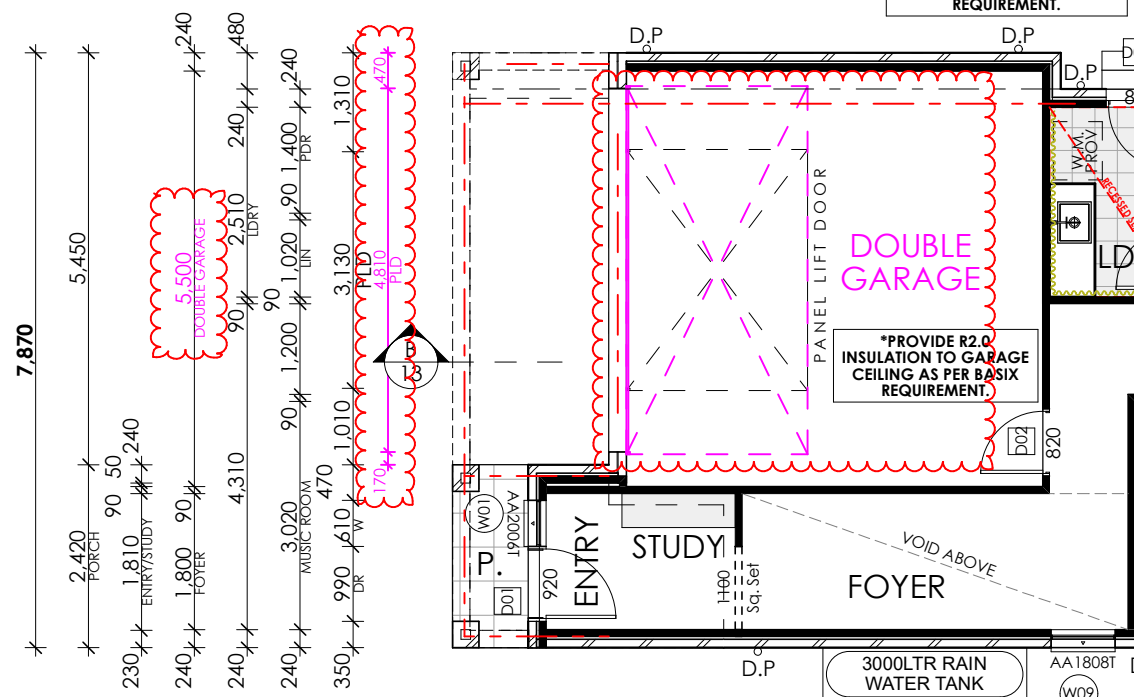
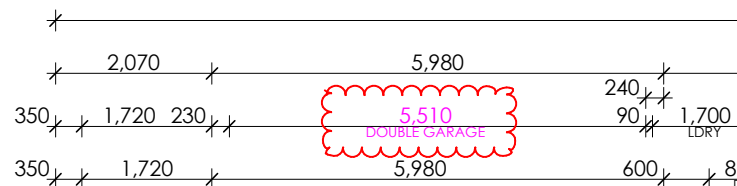
SIGNED: .....

DATE: ..... / ..... / .....20.....

CL REP: .....

LODGE: CDC	CONSTRUCT
COUNCIL: NORTHERN BEACHES	ON
FLOOR PLAN: CUSTOM	PLOT DATE: 25/09/2023
FACADE: CUSTOM	SOIL CLASSIFICATION: 'M' CLASS
	PROJECT No: 48_JOHNSON
	SHEET: 02

Area	m2
VOIDS	14.92
ALFRESCO	22.17
BALCONY FRONT	18.17
UPPER FLOOR	115.01
PORCH	2.42
GARAGE	33.00
GROUND FLOOR	122.70
	328.39 m²




**THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT**

DA2024/0656

**NOTE:**  
REFER TO KITCHEN MANUFACTURERS  
PLANS FOR ALL CABINITY LAYOUTS.

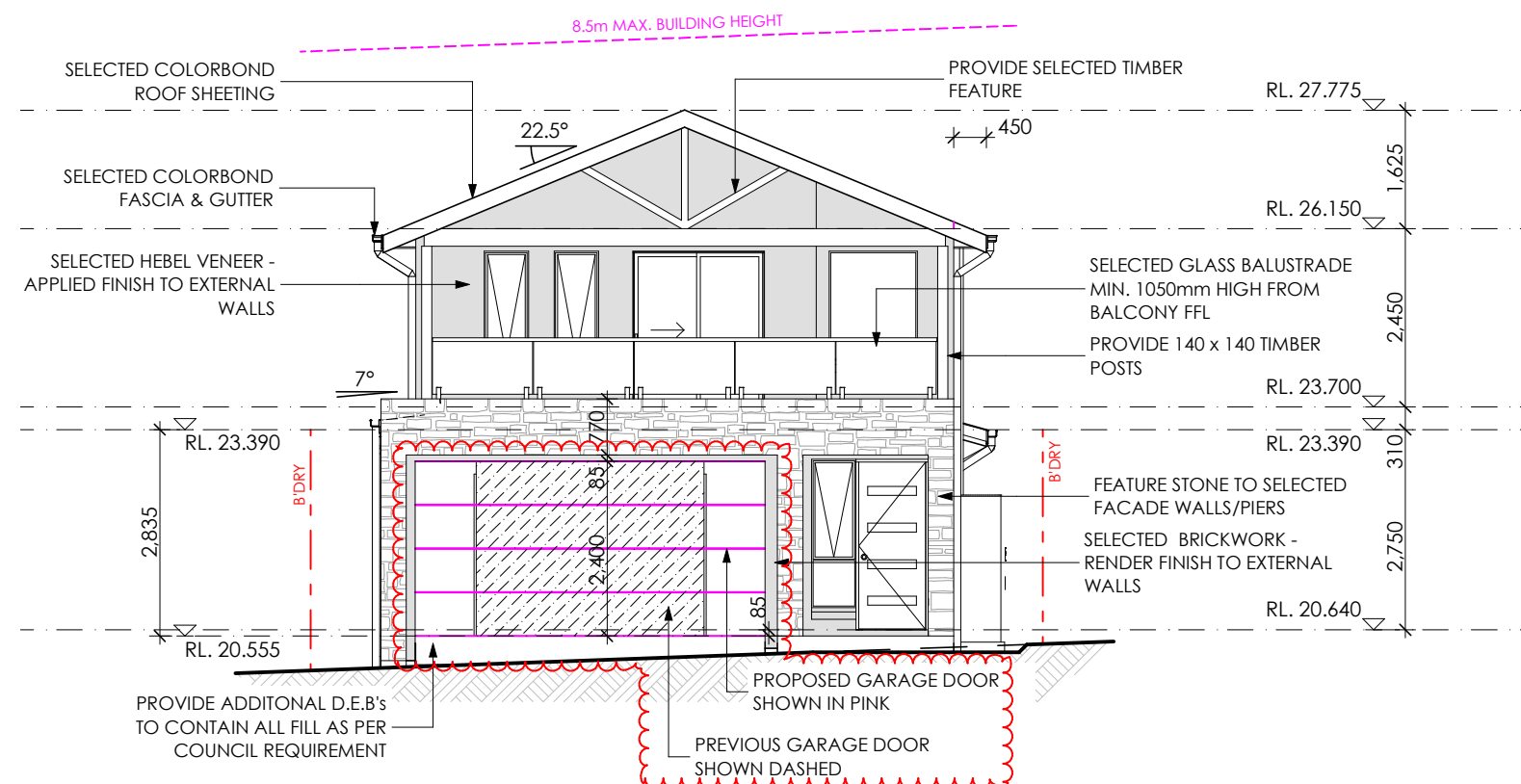
**NOTE:**  
LOCATION OF ELECTRICITY BOX TO BE  
DETERMINED ON SITE.

**NOTE:**  
PROVISIONS FOR PLUMBING STACKS  
AND AC DROPPERS TO BE HIDDEN IN  
NON-HABITABLE AREAS.

**NOTE:**  
 SMOKE ALARMS INSTALLED AS PER  
 AS 3786. SMOKE ALARM MUST BE  
 CONNECTED TO MAIN POWER WHERE  
 CONSUMER POWER IS SUPPLIED TO THE  
 BUILDING

 **NOTE:**  
RECESSED FLOORS/SLABS TO  
WET AREAS

**PROPOSED CHANGES  
TO APPROVED PLANS  
SHOWN CLOUDED**



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Notes:

- Refer to Engineer's details for all expansion joint locations.
- Refer to Engineer's details for all steel beam locations.
- Refer to truss manufacturers details for all floor joist sizes & directions.
- Refer to A/C manufacturers details for A/C duct positions.
- A/C duct locations may need to change due to construction requirements (ie. joint location, structural beams etc.)
- Floor finishes as selected as per tender.

REVISION SCHEDULE				
ISSUE	DESCRIPTION	DATE	INITIAL	
H	AMENDED REAR ALFRESCO ROOF DESIGN	29/08/23	AS	
I	AMENDED AS PER CDC REQUIREMENTS	25/09/23	AS	
J	UPDATED BASIX	27/09/23	AS	
K	AMENDED PLANS AS PER UPDATED HYDRAULICS	27/10/23	AS	
L	GARAGE DOOR AMENDMENT	15/04/24	EY	
G	AMENDED BASIX	02/06/23	AS	

SCALE

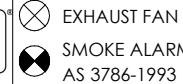
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DP No:
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7310



## GROUND FLOOR PLAN

PROPOSAL:  
NEW BRICK VENEER TWO STOREY DWELLING

CLIENT:  
MR M. BATTAGLIA

ADDRESS:  
LOT 74 (No.48) JOHNSON STREET  
FRESHWATER, NSW 2096

LODGEMENT:
------------

**CDC**

COUNCIL:

NORTHERN BEACHES

FLOOR PLAN

CUSTOMER

CUSTOM
FACADE:
CUSTOM

STAGE:  
CONSTRUCTION

CONSTRUCTION
PLOT DATE:

TEST DATE:	15/04/2024
------------	------------

SOIL CLASSIFICATION:  
I M L CLASS

PROJECT No:	
-------------	--

48 JOHNSON

48_JOHNSON	
SHEET:	09