

PROPOSED RESIDENCE

Lot 80, DP 11784

12 Ingleside Road,

INGLESIDE NSW 2101

DEVELOPMENT APPLICATION

GENERAL SPECIFICATIONS

Builder, sub-contractor to check all dimensions on site prior to commencement of any works.

Provide rubble access throughout construction period to council requirements.

Demolition works to be carried out in accordance with as 2601. All excavation, demolition works to be carried out in a careful systematic manner to avoid damage to excess structures.

All brickwork to comply with AS3700 masonry in buildings.

Provide vertical articulation control joint in brickwork to comply with part 3.3.1.8 of BCA

Provide tree protection measures to trees to be retained in accordance with council requirements.

Refer to Engineers details & specifications for all structural works.

All roof water and storm-water runoff to be connected to a council approved system of collection and/or disposal.

All sewer waste to be connected to the existing mains service in accordance with as 3500.

All pre-fabricated timber trusses and frames to utilize sustainable plantation timbers installed to the manufacturer's detail and specification.(for more detail refer to main specification provided with tender documents)

All timber works to comply with AS1684 national timber framing code.

All concrete slabs, retaining walls, structural steel, foundations and footings to be designed & specified by the consulting structural engineer and built strictly in accordance with such details, as approved.

Plumbing services to be carried out only by licensed tradespersons and in accordance with AS3500.3.2, AS3500.2.2, AS3500.1.2, AG 601 and other associated standards and codes.

Contractor to ensure selected tiles, fittings, etc, are appropriate and suitable for each application.

All insulation to be provided and installed in accordance with AS4859.1, AS3999 (bulk insulation), AS1904 (foil insulation) and associated standards and codes.

Any proposed variations to the details supplied in these documents must be discussed with and approved by Construction by Design Pty Ltd in writing, before the contractor orders or installs the relevant materials or systems.

The contractor must ensure that all proprietary systems and materials used in the construction of these works will be compatible with the details provided by Construction by Design Pty Ltd.

All measurements shown and scheduled are nominal. the contractor shall check all measurements on site before ordering materials and check any anomalies with Construction by Design Pty Ltd before proceeding.

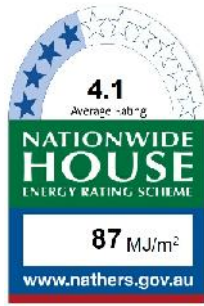
Nibs to internal doorways to allow 100mm min. Clearance to architrave and where this is not possible discuss approved alternative with Construction by Design Pty Ltd.

Provide matching insect screens as approved to all opening window sashes.

Where compliant natural ventilation is not provided to bathrooms, ensuites, wcs, laundries and the like, the room must be provided with mechanical ventilation as per BCA clause 3.8.5.2.



APPROACH FACADE



Certificate no.: 0000568616
Assessor Name: Brad Hoad
Accreditation no.: 20731
Certificate date: 31 Jul 2016
Dwelling Address: 12 Ingleside Road
INGLESIDE, NSW
2101
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13	LIGHTING PLAN (FF)
12	LIGHTING PLAN (GF)
11	WINDOW SCHEDULE
10	WINDOW SCHEDULE
9	BUSHFIRE
8	ELEVATION & SECTIONS
7	ELEVATIONS
6	ELEVATIONS
5	ROOF PLAN
4	FIRST FLOOR
3	GROUND FLOOR
2.2	SHADOW DIAGRAMS
2.1	LANDSCAPE PLAN
2	SITE PLAN
1	COVER
SHEET	DESCRIPTION

PRELIMINARY ISSUE
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Date

date	issue	amendment
29.06.16	A	PRELIMINARY ISSUE
29.06.16	B	TENDER ISSUE
01.06.16	C	ISSUE FOR DA
31.06.16	D	REVISED ROOF PITCH
26.06.16	E	DA ISSUE

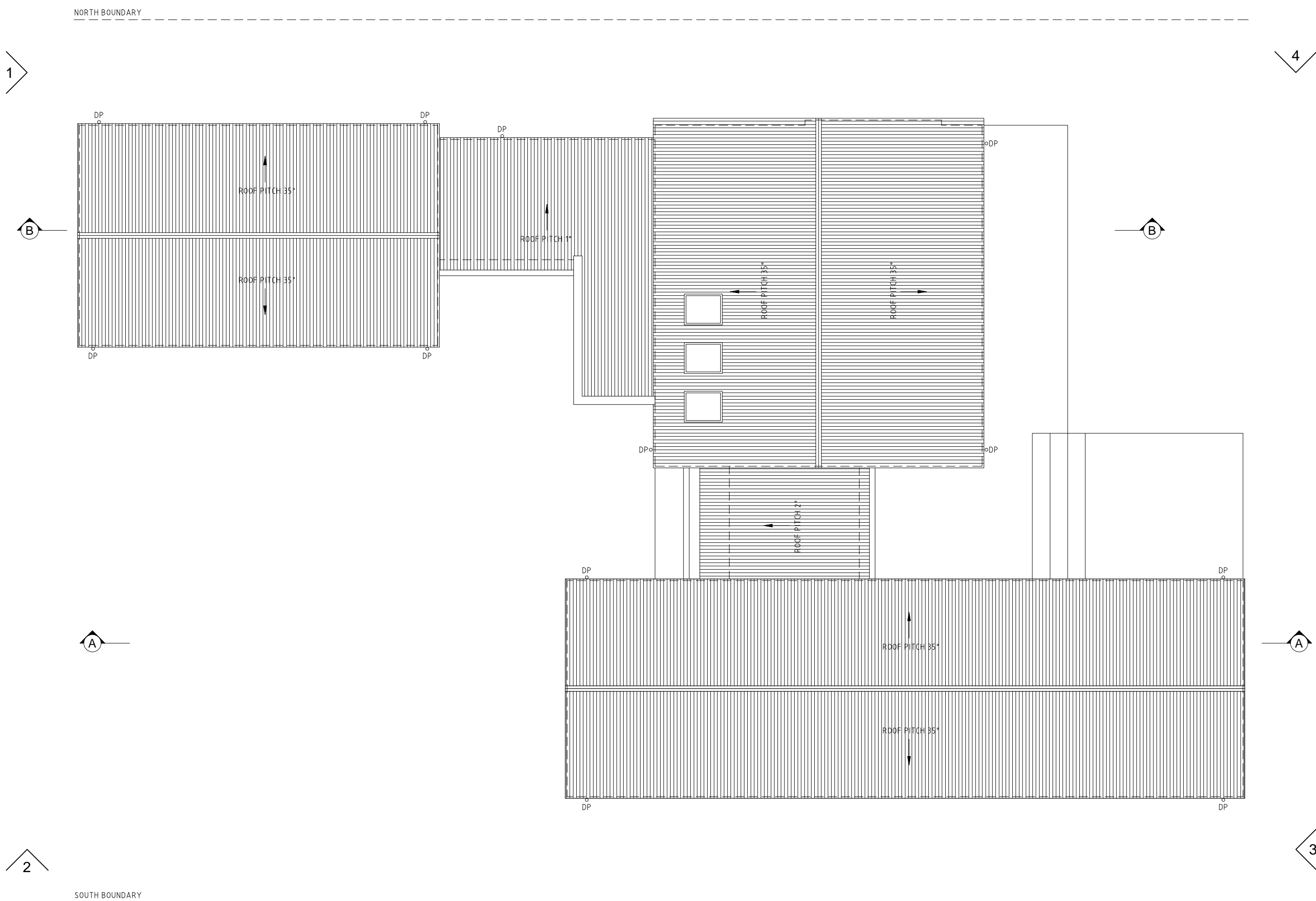
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project
PROPOSED DOUBLE STOREY RESIDENCE
LOT 80, DP 11784, 12 INGLESIDE ROAD
INGLESIDE NSW 2101

drawing title
date 03.06.16
job no C803028
scale NTS @ A2

drawn LR
checked LW

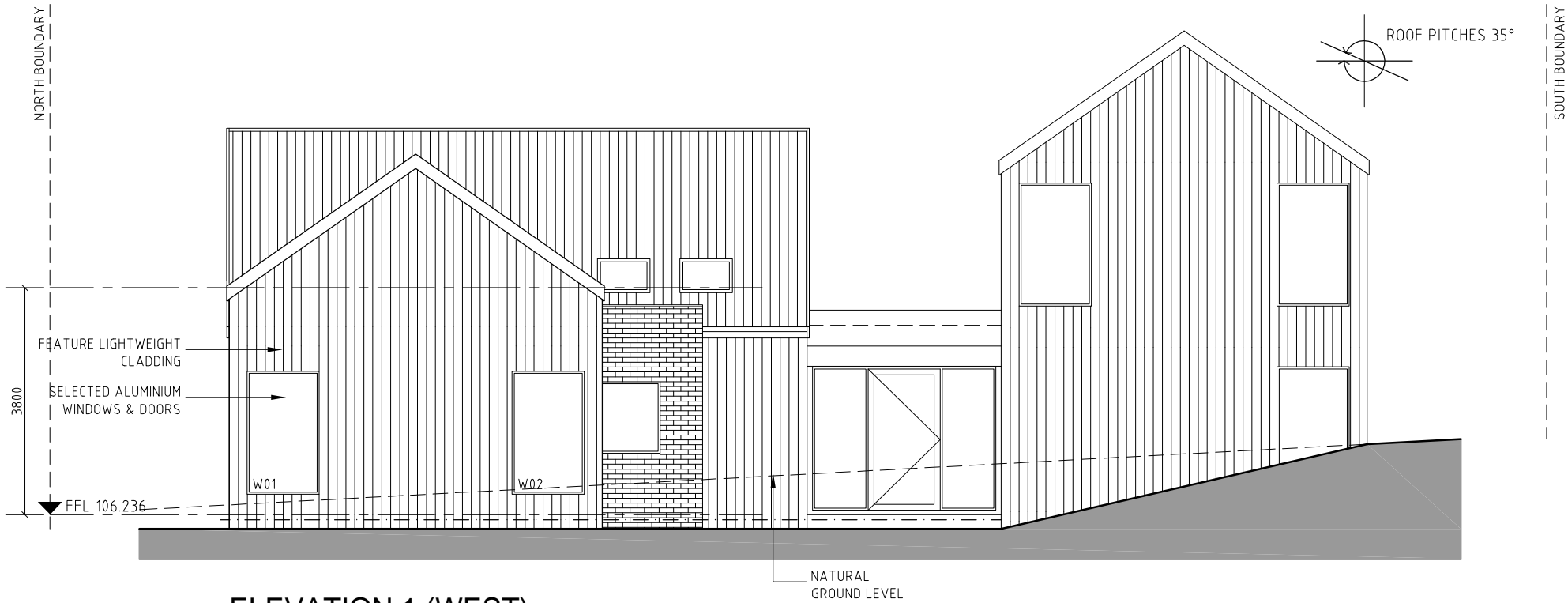
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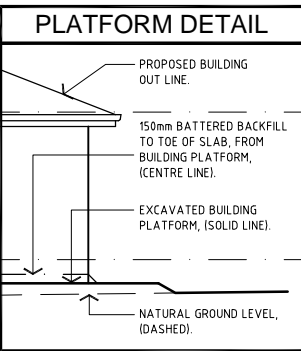
HOUSE TO BE CONSTRUCTED TO
BAL- 29
BUSHFIRE CONSTRUCTION



05 sheet

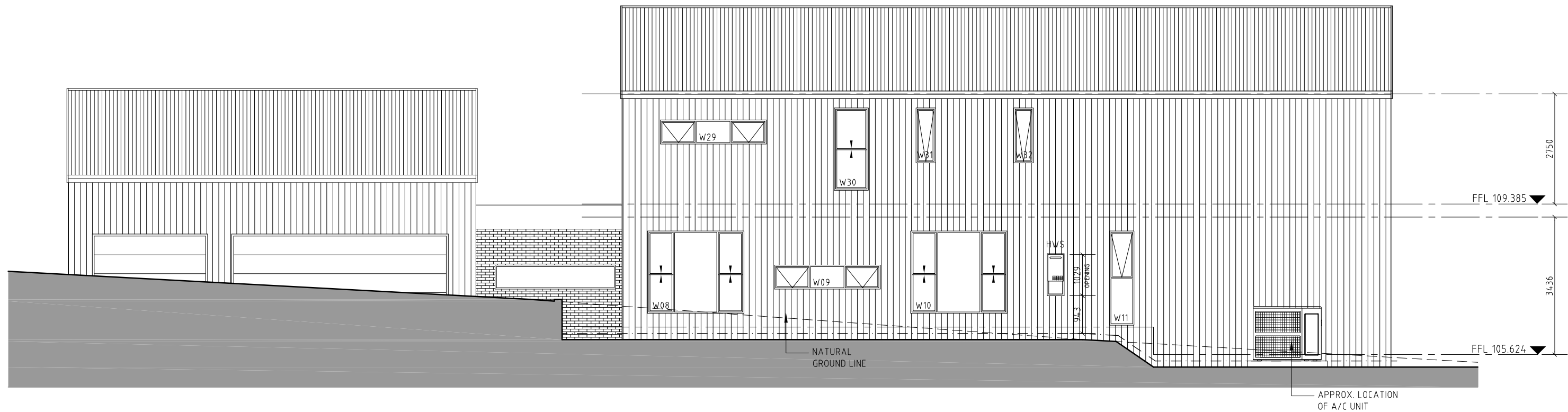


ELEVATION 1 (WEST)

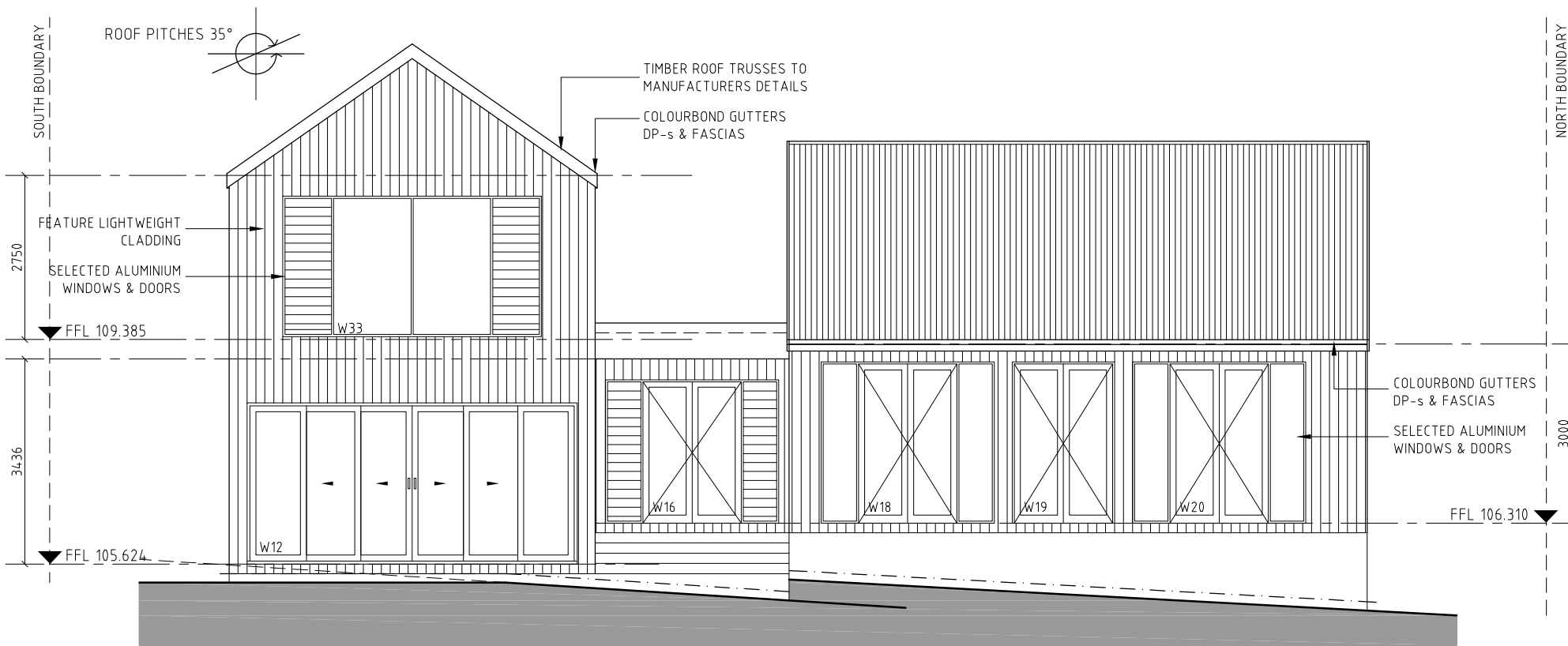


CONSTRUCTION IS REQUIRED TO COMPLY WITH THE REQUIREMENTS STATED WITHIN THE FOLLOWING:
NATHERS CERTIFICATE 0000568618
DATED 31.07.16
BASIX CERTIFICATE 7473345
DATED 01.08.16

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ELEVATION 2 (SOUTH)



ELEVATION 3 (EAST)



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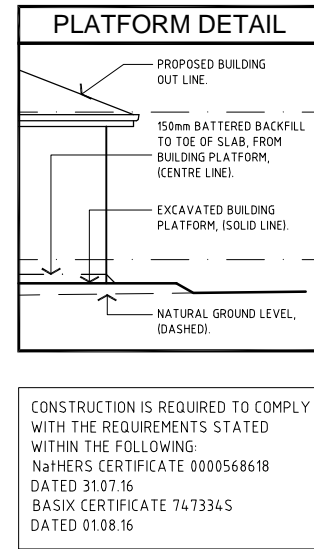
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project
PROPOSED DOUBLE STOREY RESIDENCE
LOT 80, DP 11784, 12 INGLESIDE ROAD
INGLESIDE NSW 2101

drawing title
ELEVATIONS
date 03.06.16
job no CBD3028
scale 1:100 @ A2

drawn LR

checked LW



Architectural elevation drawing of the rear facade of a building. The drawing shows a structure with a brickwork section labeled "L'DRY" and a gabled section. Key features include windows W04, W06, W07, W27, and W28. Annotations specify "ROOF PITCH 1°" and "ROOF PITCHES 35°". Level markers indicate "FFL 106.310" and "FFL 109.385". Material notes include "SELECTED FACE BRICKWORK" and "NATURAL GROUND LEVEL". A north arrow is present at the top center.

4.1
Average Rating

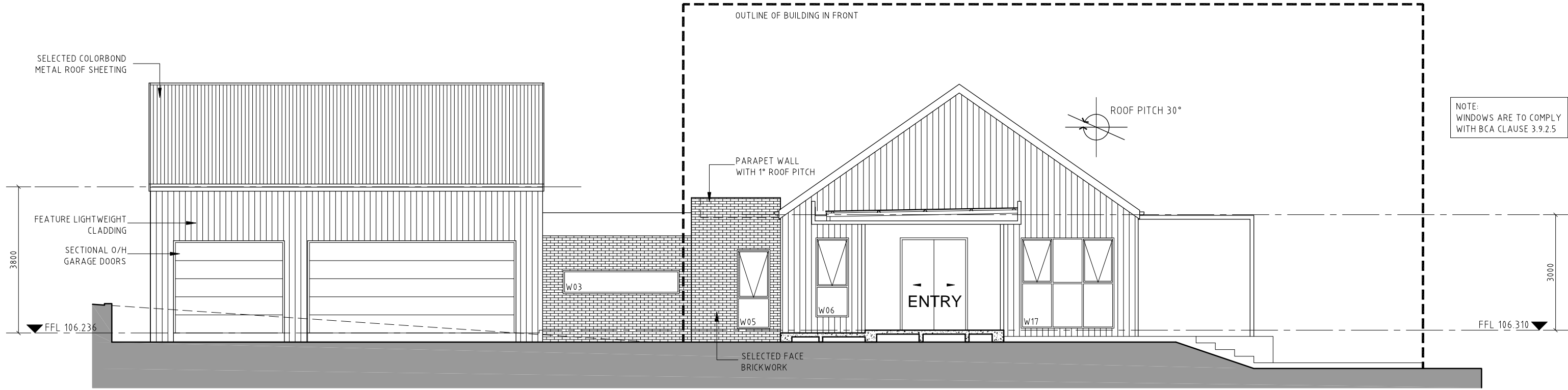
**NATIONWIDE
HOUSE**
ENERGY RATING SCHEME

87 MJ/m²

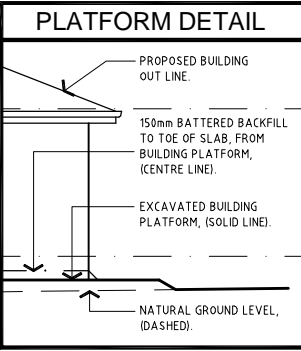
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drawing title
ELEVATIONS
 date 03.06.16 drawn LR
 job no CBD3028 checked LW
 scale 1:100 @ A2 **07** sheet



ELEVATION 7



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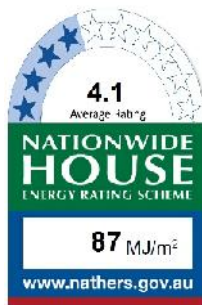
project
PROPOSED DOUBLE STOREY RESIDENCE
LOT 80, DP 11784, 12 INGLESIDE ROAD
INGLESIDE NSW 2101

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date 03.06.16
job no CB03028
scale 1:100 @ A2

drawn LR
checked LW

08 sheet

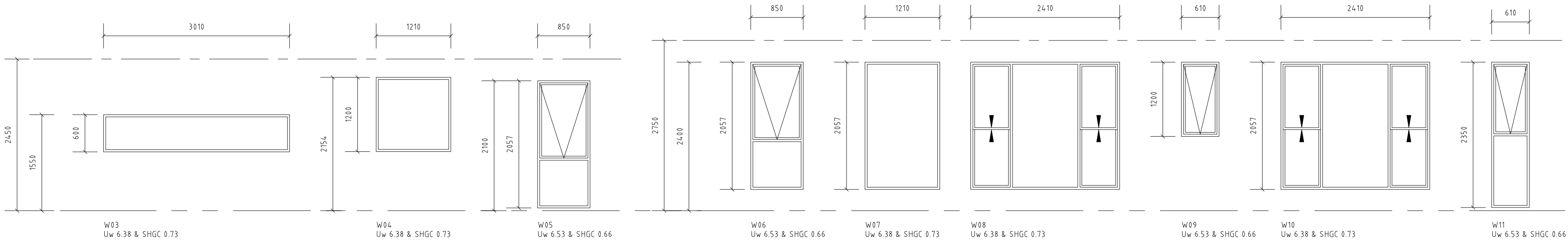
HOUSE TO BE CONSTRUCTED TO BAL-29 BUSHFIRE CONSTRUCTION (EAST ELEVATIONS)	
ITEM	BY
EXTERNAL WALLS.	BRICK VENEER
PROVIDE A SCREEN , HAVING AN APERTURE SIZE NO GREATER THAN 2mm , CONSTRUCTED OF CORROSION RESISTANT ALUMINIUM TO ALL WEEP HOLES AND VENTS.	
WINDOWS	ALUMINIUM FRAME
THE GLAZING SHALL BE MIN.5mm TOUGHENED GLAZING	
PROVIDE A SCREEN , HAVING AN APERTURE SIZE NO GREATER THAN 2mm , CONSTRUCTED OF CORROSION RESISTANT ALUMINIUM TO ALL OPENABLE PORTIONS OF THE WINDOWS.	
WHERE GLAZING IS LESS THAN 400mm FROM THE GROUND OR LESS THAN 400mm ABOVE DECKS, CARPORT ROOFS, AWNINGS & SIMILAR ELEMENTS OR FITTINGS HAVING AN ANGLE LESS THAN 18 DEGREES TO THE HORIZONTAL THAT PORTION SHALL BE SCREENED WITH A CORROSION RESISTANT ALUMINIUM MESH WITH A MAX. APERTURE OF 2mm.	
ALL EXTERNALLY FITTED HARDWARE TO BE CONSTRUCTED OF METAL.	
EXTERNAL DOORS	
SIDE HUNG DOORS	
MAIN ENTRY	
BUSHFIRE RESISTANT FRAME IN ACCORDANCE W/- AS3959-2009 & IF APPLICABLE MINIMUM 5mm GRADE 'A' SAFETY GLASS TO SIDELITE DOORS TO BE TIGHT FITTING TO THE DOOR FRAME AND/OR ABUTTING DOOR.	
COMPLETELY PROTECTED EXTERNALLY BY A SCREEN , HAVING AN APERTURE SIZE NO GREATER THAN 2mm , CONSTRUCTED OF CORROSION RESISTANT ALUMINIUM.	
PROVIDE WEATHER STRIPS, DRAUGHT EXCLUDERS, OR DRAFT SEALS.	
EXTERNAL HUNG DOORS (ie LAUNDRY , GARAGE).	
BUSHFIRE RESISTANT FRAME IN ACCORDANCE W/- AS3959-2009. DOOR TO BE TIGHT FITTING TO THE DOOR FRAME AND/OR ABUTTING DOOR.	
COMPLETELY PROTECTED EXTERNALLY BY A SCREEN , HAVING AN APERTURE SIZE NO GREATER THAN 2mm , CONSTRUCTED OF CORROSION RESISTANT ALUMINIUM.	
PROVIDE WEATHER STRIPS, DRAUGHT EXCLUDERS, OR DRAFT SEALS.	
SLIDING DOORS	
FULLY FRAMED ALUMINIUM W/- GRADE 'A' SAFETY GLASS COMPLIANT W/- AS1288.	
OPENING SECTION COMPLETELY PROTECTED EXTERNALLY BY A SCREEN , HAVING AN APERTURE SIZE NO GREATER THAN 2mm , CONSTRUCTED OF CORROSION RESISTANT ALUMINIUM.	
GARAGE DOORS	
SECTIONAL OVERHEAD DOOR TO BE OF NON-COMBUSTIBLE MATERIAL & FITTED W/- SUITABLE SEALS WITH A MAXIMUM GAP NO GREATER THAN 3mm TO PREVENT ENTRY OF EMBERS.	
ROOF	METAL ROOF
THE ROOF TO WALL JUNCTION TO BE SEALED SO THAT THERE ARE NO GAPS GREATER THAN 3mm.	
THE ROOF TO BE FULLY SARKED WITH SARKING HAVING A FLAMMABILITY INDEX RATING OF NO GREATER THAN 5 AND DIRECTLY BELOW THE ROOF BATTENS SUCH THAT THE ENTIRE ROOF IS COVERED, INCLUDING THE RIDGE. NO GAPS ARE TO BE LEFT THAT WOULD PERMIT THE ENTRY OF EMBERS SPECIFICALLY AROUND FASCIAS, GUTTERS & VALLEYS ETC.	
ANY PENETRATION THROUGH THE ROOF WILL BE ADEQUATELY SEALED WITH NON-COMBUSTIBLE MATERIALS TO PREVENT ANY GAPS GREATER THAN 3mm.	
EAVES	
ANY PENETRATION THROUGH THE EAVES WILL BE ADEQUATELY SEALED WITH NON-COMBUSTIBLE MATERIALS TO PREVENT ANY GAPS GREATER THAN 3mm.	
ANY GAPS IN THE EAVES GREATER THAN 3mm WILL BE FITTED WITH EMBER GUARDS MADE OF NON-COMBUSTIBLE MATERIALS , OR A MESH OR PERFORATED SHEET HAVING A MAXIMUM APERTURE SIZE OF 2mm CONSTRUCTED OF ALUMINIUM.	
JOINTS IN EAVES LININGS TO BE SEALED W/- PLASTIC JOINING STRIPS OR TIMBER STORM MOULDS AS PERMITTED BY AS3959-2009.	
WATER & GAS SUPPLY PIPES.	
ALL ABOVE GROUND , EXPOSED WATER & GAS SUPPLY PIPES TO BE METAL.	



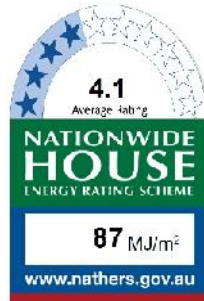
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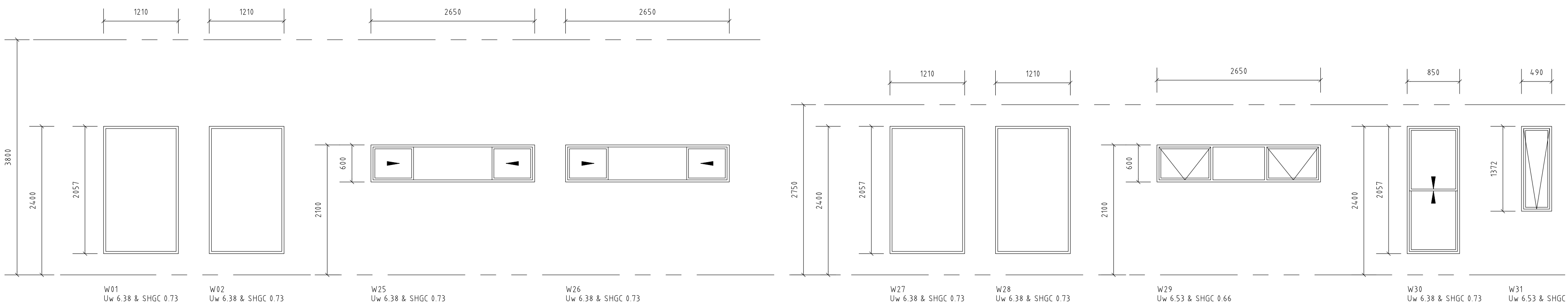
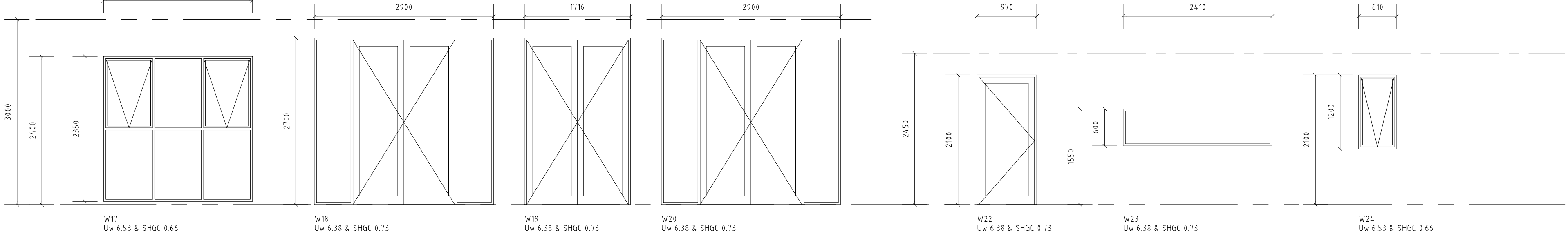
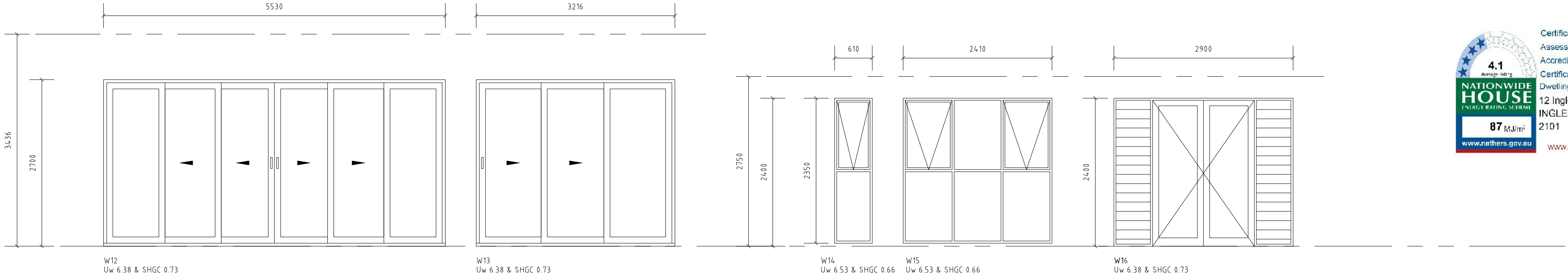
CONSTRUCTION IS REQUIRED TO COMPLY WITH THE REQUIREMENTS STATED WITHIN THE FOLLOWING NATHERS CERTIFICATE 0000568618 DATED 31.07.16 BASIX CERTIFICATE 7473345 DATED 01.08.16



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HOUSE TO BE CONSTRUCTED TO
BAL- 29
BUSHFIRE CONSTRUCTION



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date
29.06.16
29.06.16
01.08.16
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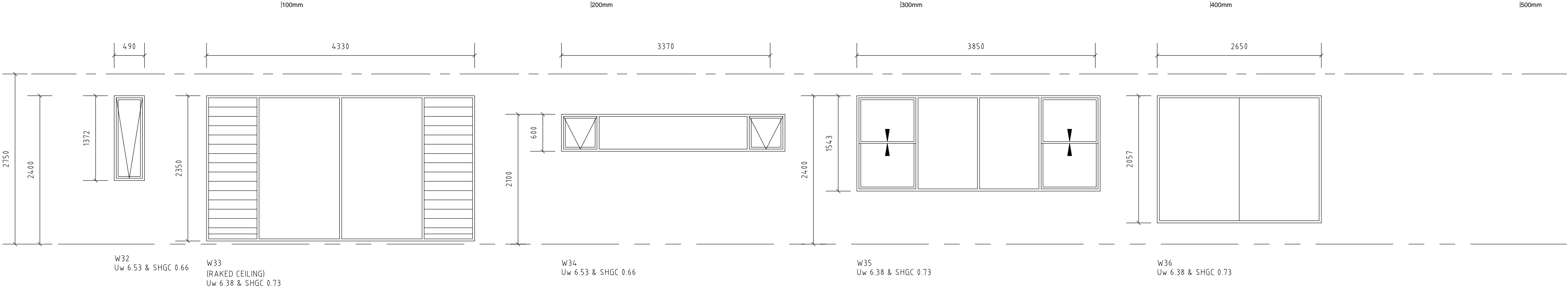
amendment
PRELIMINARY ISSUE
TENDER ISSUE
ISSUE FOR DA
REVISED ROOF PITCH
DA ISSUE

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project
PROPOSED DOUBLE STOREY RESIDENCE
LOT 80, DP 11784, 12 INGLESIDE ROAD
INGLESIDE NSW 2101

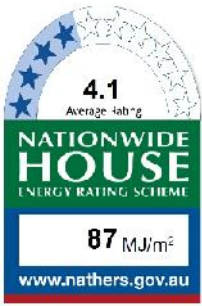
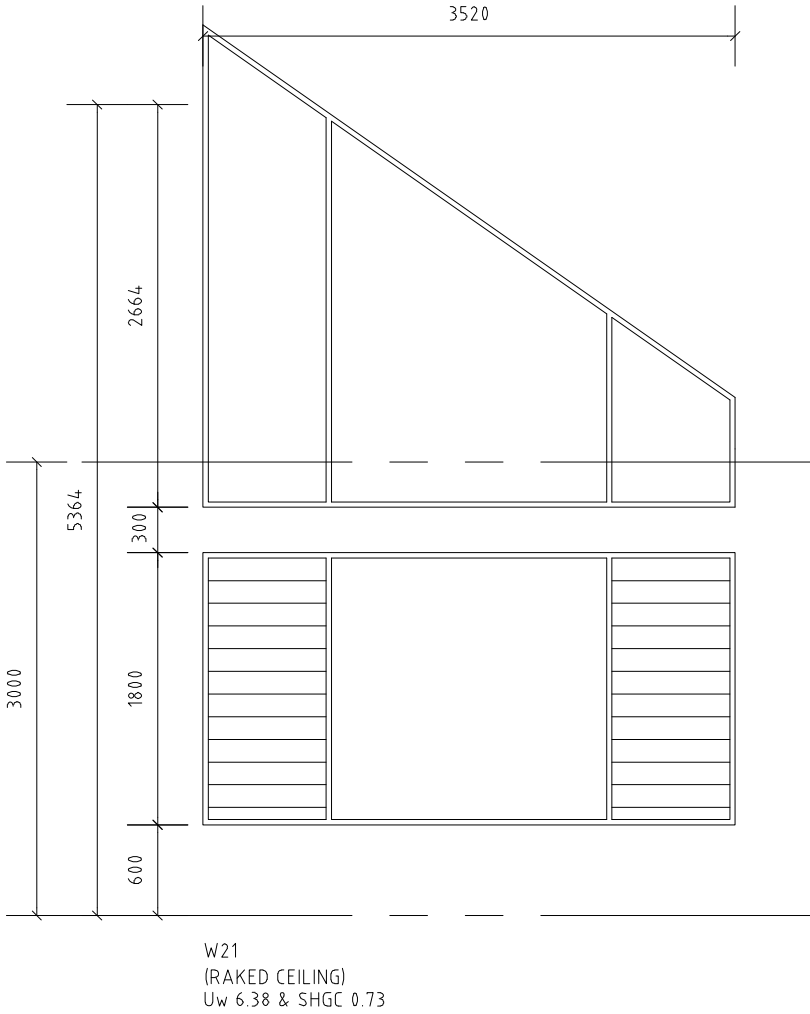
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HOUSE TO BE CONSTRUCTED TO **BAL- 29** BUSHFIRE CONSTRUCTION



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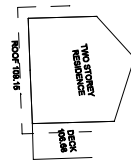
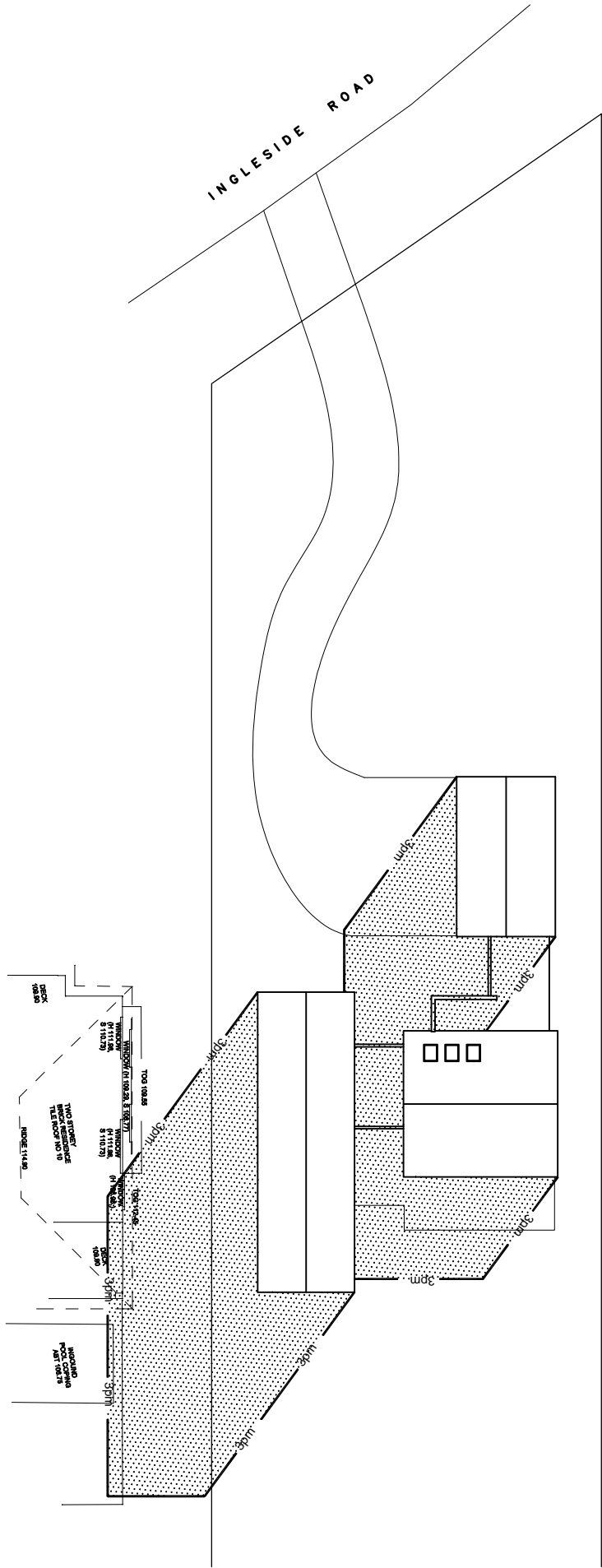
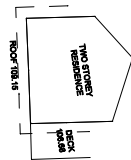
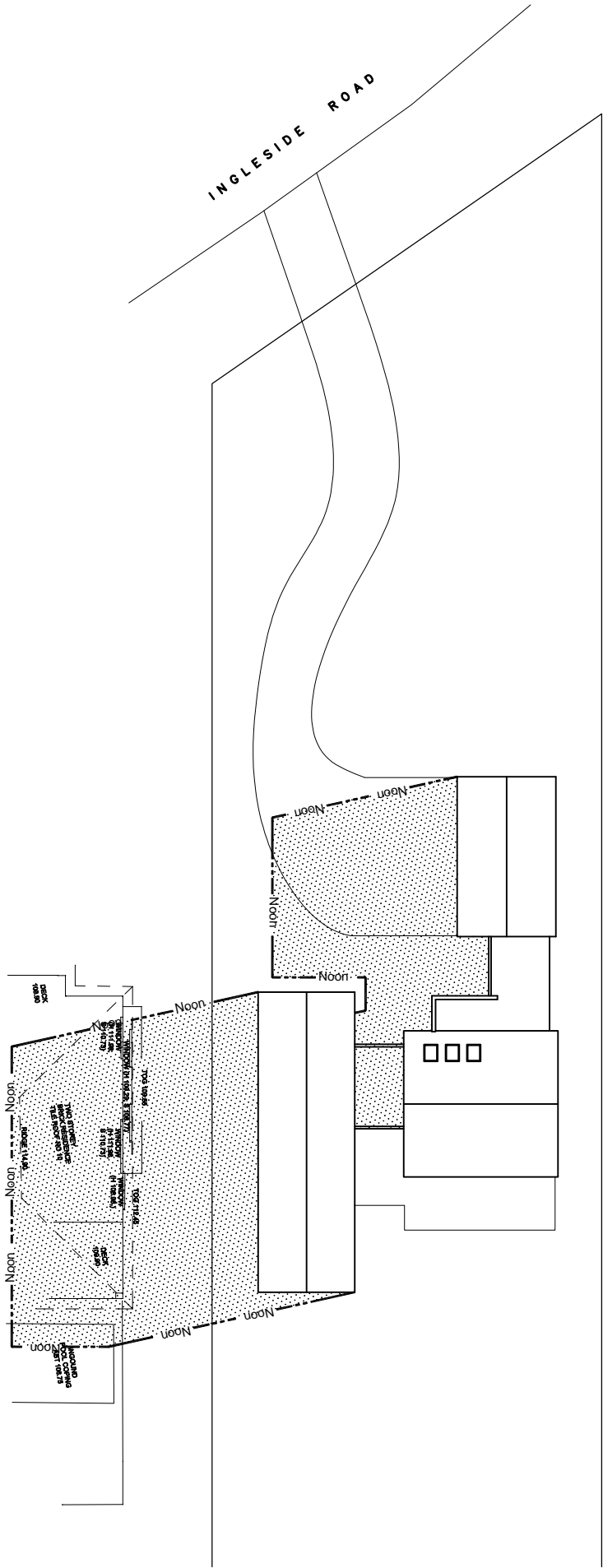
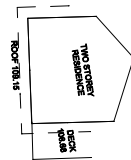
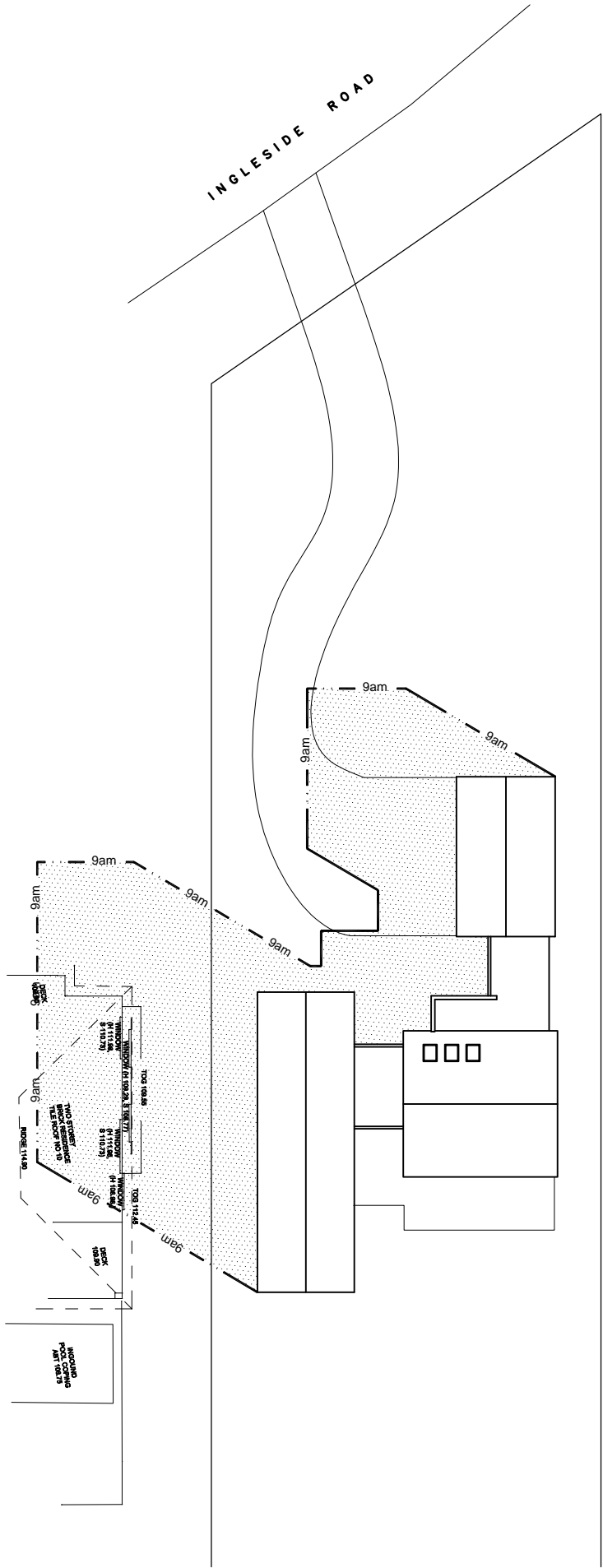
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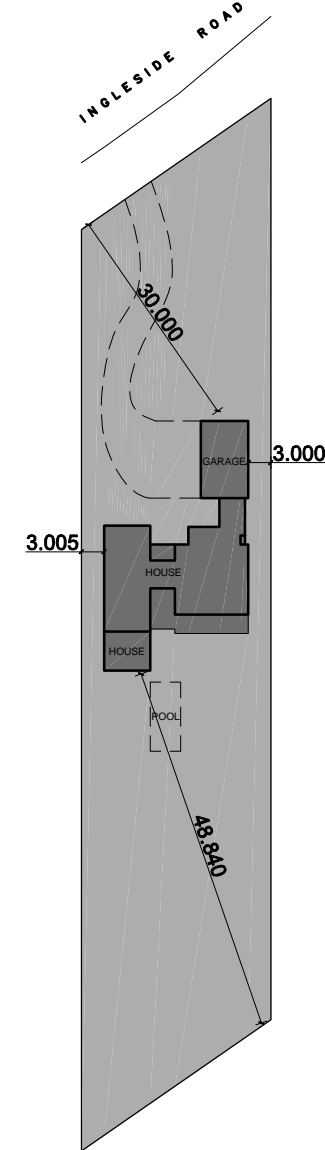
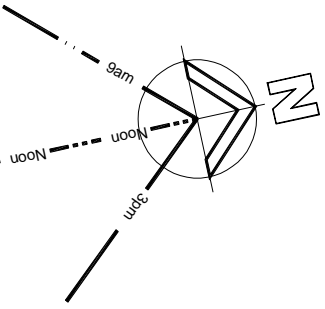
project
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job no CB03028
scale 1:50 @ A2

drawn LR
checked LW



NOTE: SHADOWS TAKEN ON 22nd JUNE
AT 9:00am, NOON & 3:00pm



LOCATION PLAN
SCALE NTS @ A2



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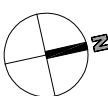
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2.2 sheet

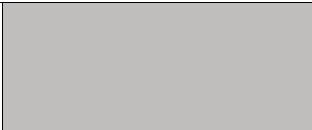
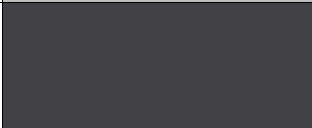
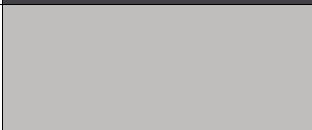



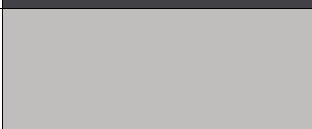
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EXTERIOR SCHEDULE OF FINISHES

PROJECT 12 INGLESIDE RD, INGLESIDE

PROJECT NUMBER CBD3028

SELECTIONS ARE SUBJECT TO MANUFACTURERS AVAILABILITY AND STOCK. IF A PRODUCT IS CHOSEN THAT IS NO LONGER AVAILABLE FROM A SUPPLIER THEN AN ALTERNATIVE PRODUCT/COLOUR WILL BE SELECTED THAT IS CLOSE TO THE ORIGINAL. COLOURS MAY VARY FROM SAMPLES GIVEN.

ITEM	DESCRIPTION	SELECTION	SAMPLE
Roof/Gutter/Facia (1)	Colorbond www.colorbond.com	Colorbond Shale Grey	
Roof/Gutter/Facia (2)	Colorbond www.colorbond.com	Colorbond Monument	
Windows	Vantage Windows	Annotec Natural Pearl	
Garage Door	B&D Garage Doors www.bnd.com.au	Colorbond Shale Grey	
Entry Door	Hume Doors & Timber www.humedoors.com.au	Dark Oak (Intergrain Stain)	
Brickwork / Mortar	Boral Bricks - Off White	Austral Symmetry Earth	
Cladding Type (1)	Taubmans	Colorbond Monument	
Cladding Type (2)	Taubmans	Colorbond Shale Grey	
Driveway & Paths			