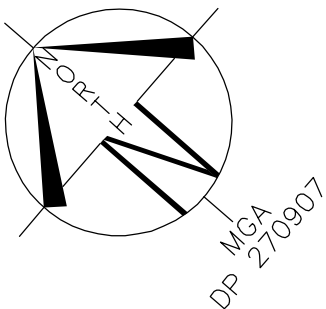


NORTH



PROVIDE T2 FRAMING  
TO DWELLING IN LIEU  
OF STANDARD



- (B) EASEMENT TO DRAIN WATER 2.5 WIDE (VIDE DP1206507)  
(BB) EASEMENT TO DRAIN WATER 2.5 WIDE  
(CC) EASEMENT TO DRAIN WATER 2 WIDE  
(EE) EASEMENT FOR ACCESS, MAINTENANCE AND SUPPORT 0.9 WIDE  
(HH) EASEMENT TO DRAIN WATER 1.5 WIDE  
(O) EASEMENT FOR ACCESS, CONSTRUCTION AND MAINTENANCE 0.9 WIDE

LOT 3

D.P: 270907

L.G.A: NORTHERN BEACHES

SITING HAS BEEN COMPLETED  
IN ACCORDANCE WITH  
PITTWATER DCP 21 - D16

SITE AREA 344.1 m<sup>2</sup>

ROOF AREA 176.2 m<sup>2</sup>

LANDSCAPED AREA

TOTAL LANDSCAPE AREA: 94.1 m<sup>2</sup>  
(MIN. DIMENSION OF 3.0m) 27.3 %

MIN. REQUIRED BY COUNCIL: 35 %

PRIVATE OPEN SPACE

TOTAL OPEN SPACE AREA: 103.3 m<sup>2</sup>  
(MIN. DIMENSION OF 3.0m)

MIN. REQUIRED BY COUNCIL: 80 m<sup>2</sup>

HEIGHT RESTRICTION

MAXIMUM RIDGE HEIGHT 10.5 m  
(F.F.L. MUST BE ACCURATE. CHANGES IN LEVELS  
MAY NOT COMPLY WITH REQUIREMENTS)

Maximum 1000mm CUT  
Maximum 1000mm FILL

WIND CLASSIFICATION: "N2 "

SLAB CLASSIFICATION: "H2 "

NOTE:

ALL GROUND LINES ARE APPROXIMATE.  
EXTENT OF FILL & BATTER WILL BE  
DETERMINED ON SITE. SEDIMENT BARRIERS  
ARE TO BE CUSTOMISED SITE SPECIFIC

STORMWATER TO  
STREET VIA  
RAINWATER TANK

REFER TO HYDRAULIC DETAILS



THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT

DA2020/0208

## SITE PLAN

SCALE 1:200

GENERAL NOTES

- A) THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED  
B) AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY  
C) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION  
D) CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.

CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

**ClarendonHomes**

BL No. 2298C  
ABN 18 003 892 706

Clarendon Homes (NSW) P/L  
21 Solent Circuit, Baulkham Hills NSW 2153  
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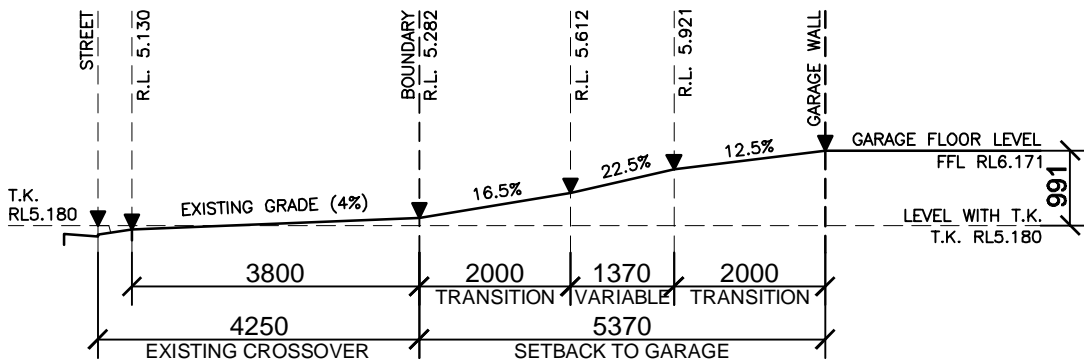
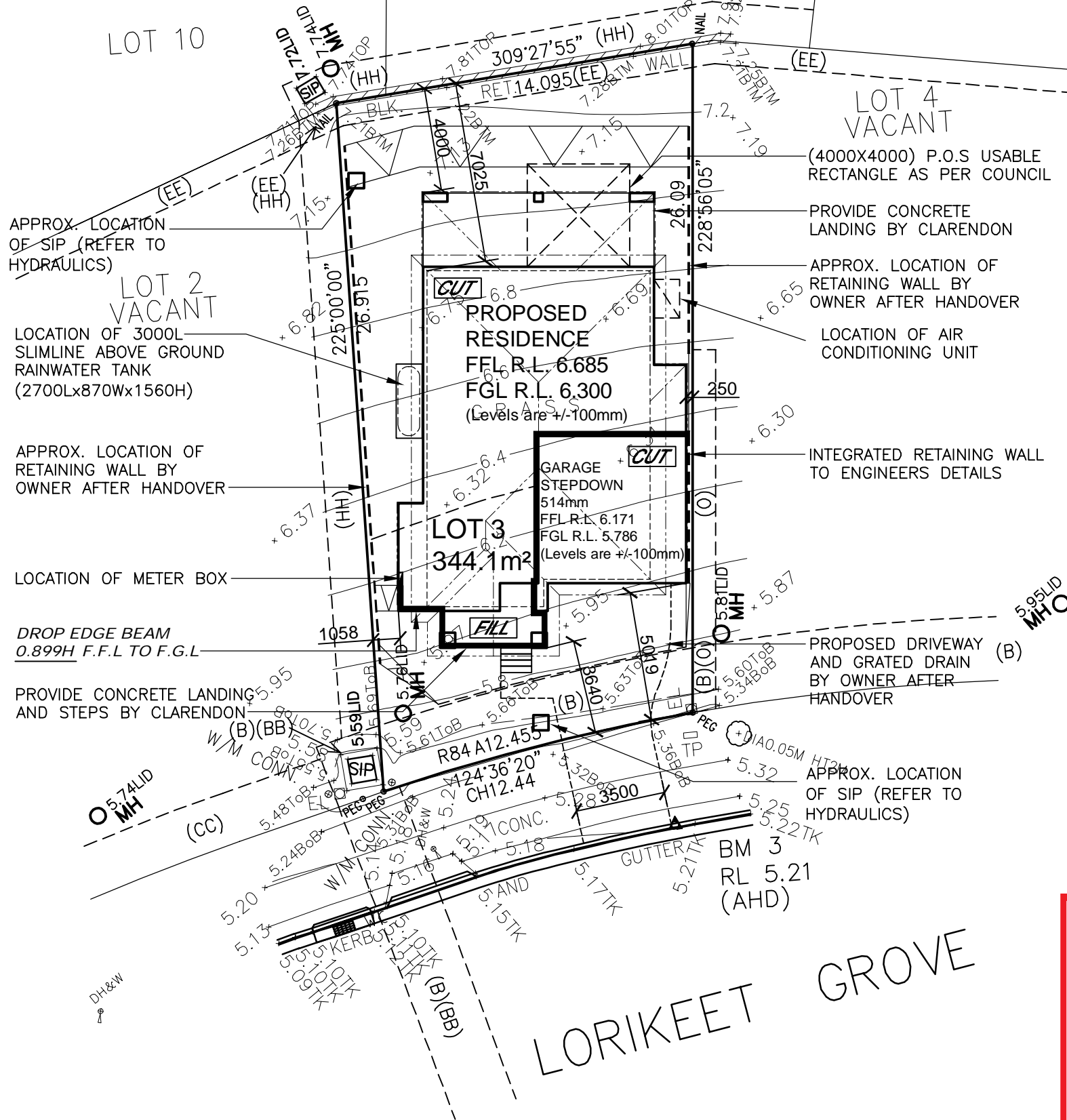
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# ALL DIMENSIONS TO STRUCTURAL  
ELEMENTS. DIMENSIONS TO BE READ  
IN PREFERENCE TO SCALING.

PRODUCT:  
**BRONTE 26**  
Hamptons  
R/H Garage  
  
Sapphire Specification

CLIENT:  
**Mr. CARRAGHER**  
**Mrs. CARRAGHER**  
  
SITE ADDRESS:  
Lot 3 No.73, D.P: 270907  
Lorikeet Grove  
WARRIEWOOD 2102

DA DRAWINGS

DRAWN: BG	DATE: 11.11.19	Rev: <b>G</b>
RATIO @ A3: 1:200	CHECKED: BG	
SHEET: 2	JOB No: 29913970	NSW



DRIVEWAY GRADIENT PROFILE

SCALE-1:100

(S) SMOKE ALARM

● AIR CONDITIONING DUCT

DP ○ DOWN PIPE LOCATION

TAP X GARDEN TAP LOCATION

COB LIFT OFF HINGES

SP STEEL POST

TSP TELESCOPIC STEEL POST

ARTICULATION JOINTS TO ENGINEERS DETAILS

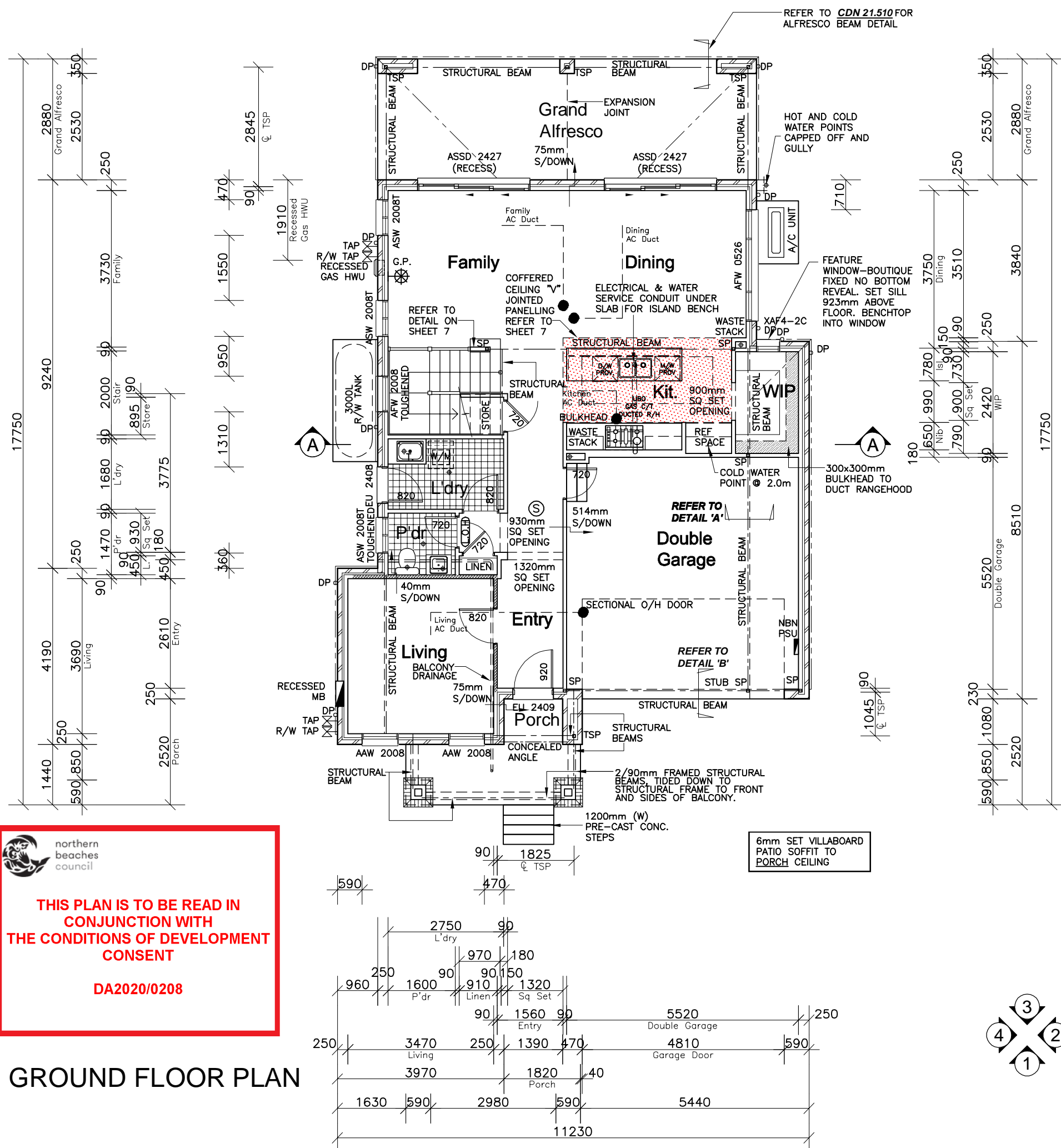
⊗ EXHAUST FAN

NOTE:  
(UNLESS NOTED OTHERWISE)  
300 DEEP BULKHEADS & SQ.  
SETS. 150 DROPPED CEILINGS

PROVIDE SOUND INSULATION WALL BATTS TO INTERNAL WALLS OF LIVING (ONLY)

NOTE:  
INTERNAL DOOR LEAF HEIGHTS TO GROUND FLOOR TO BE 2340mm(H)

PROVIDE T2 FRAMING TO DWELLING IN LIEU OF STANDARD



**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**

**DA2020/0208**

## GROUND FLOOR PLAN

CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

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# ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.

PRODUCT:  
**BRONTE 26**  
Hamptons  
R/H Garage  
  
Sapphire Specification

CLIENT:  
**Mr. CARRAGHER**  
**Mrs. CARRAGHER**  
  
SITE ADDRESS:  
**Lot 3 No.73, D.P: 270907**  
**Lorikeet Grove**  
**WARRIEWOOD 2102**

### DA DRAWINGS

DRAWN: PG.	DATE: 26.11.19	Rev: <b>G</b>
RATIO @ A3: 1:100	CHECKED: J.S	
SHEET: <b>3</b>	JOB No: <b>29913970</b>	<b>NSW</b>

SMOKE ALARM

DOWN PIPE LOCATION

LIFT OFF HINGES

STEEL POST

TELESCOPIC STEEL POST

ARTICULATION JOINTS TO ENGINEERS DETAILS

EXHAUST FAN

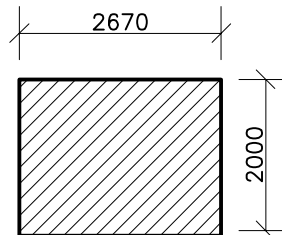
AIR CONDITIONING DUCT



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2020/0208

NOTE:  
(UNLESS NOTED OTHERWISE)  
300 DEEP BULKHEADS & SQ. SETS. 150 DROPPED CEILINGS

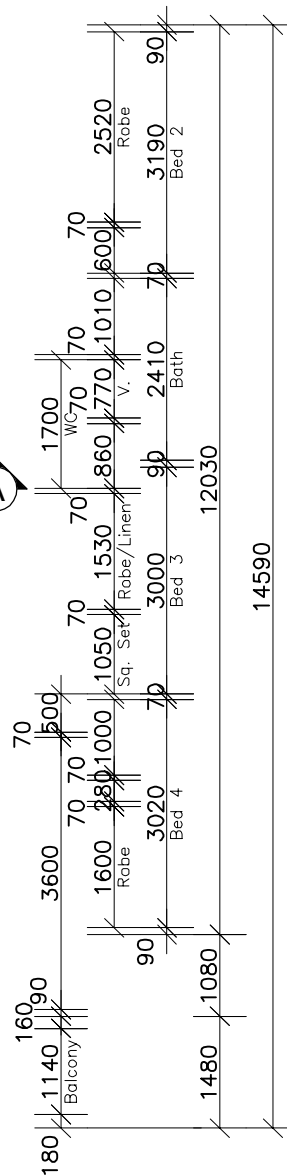
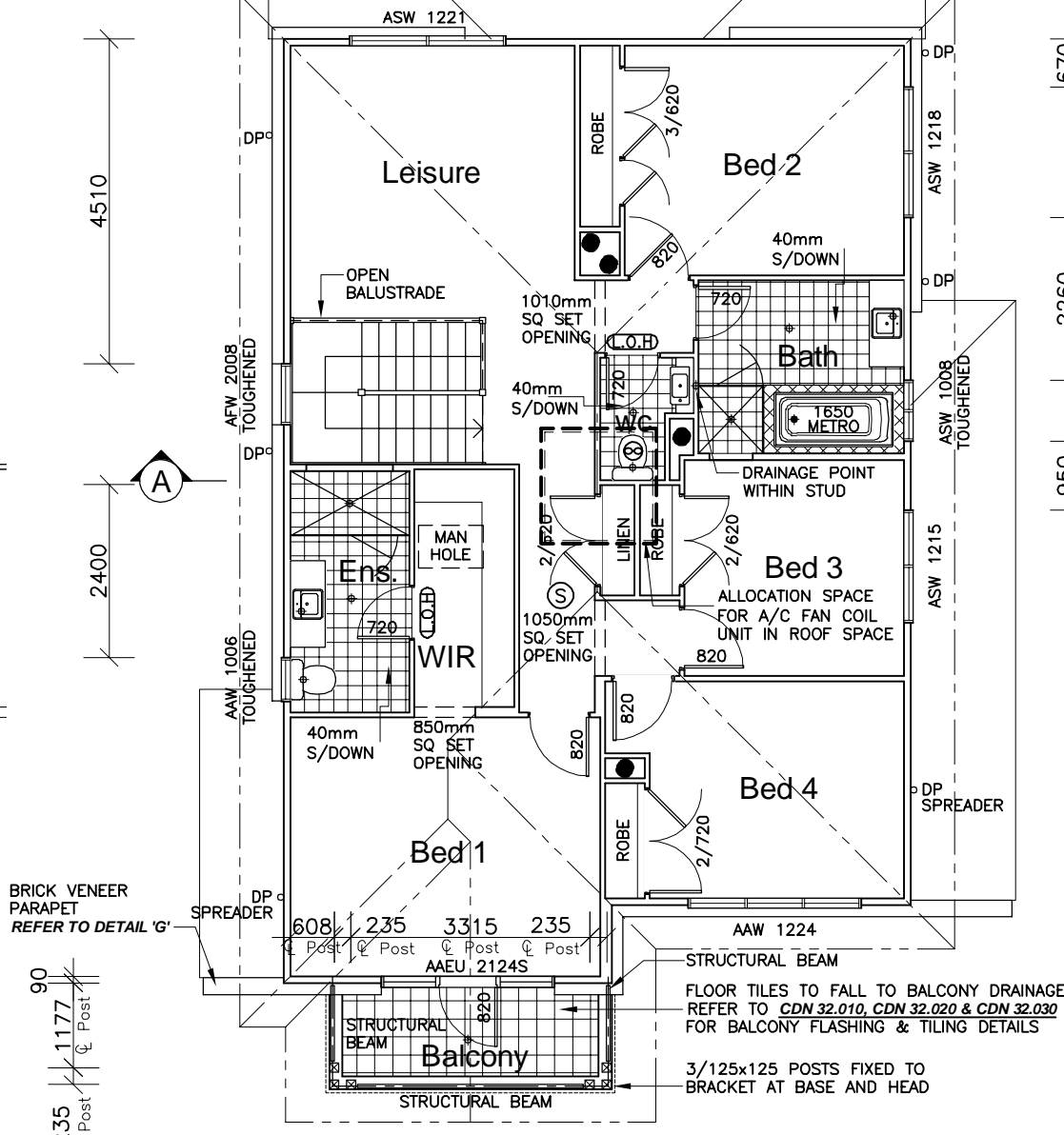
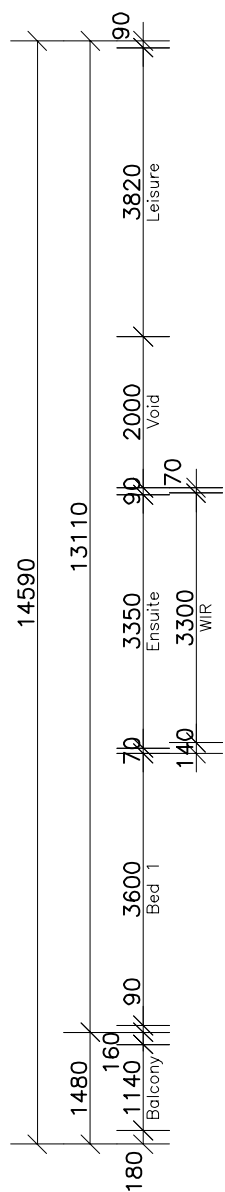


STAIR CUTOUT  
SCALE 1:100

NOTE:  
ALL FIRST FLOOR BEDROOM & LIVING WINDOWS TO BE FITTED WITH A RESTRICTING DEVICE COMPLIANT WITH PART 3.9.2.5 OF THE B.C.A - PROTECTION OF OPENABLE WINDOWS

NOTE:  
SHOWER NOOK/RECESS REFER TO **CDN 54.240** & SHEET 10 FOR DETAILS

PROVIDE T2 FRAMING TO DWELLING IN LIEU OF STANDARD



## FIRST FLOOR PLAN

CLIENT'S SIGNATURE: DATE:

**ClarendonHomes**

BL No. 2298C  
ABN 18 003 892 706

Clarendon Homes (NSW) P/L  
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PRODUCT:  
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Hamptons  
R/H Garage  
  
Sapphire Specification

CLIENT:  
Mr. CARRAGHER  
Mrs. CARRAGHER  
SITE ADDRESS:  
Lot 3 No.73, D.P: 270907  
Lorikeet Grove  
WARRIEWOOD 2102

### DA DRAWINGS

DRAWN: PG.	DATE: 26.11.19	Rev:
RATIO @ A3: 1:100	CHECKED: J.S	G
SHEET: 4	JOB No: 29913970	NSW



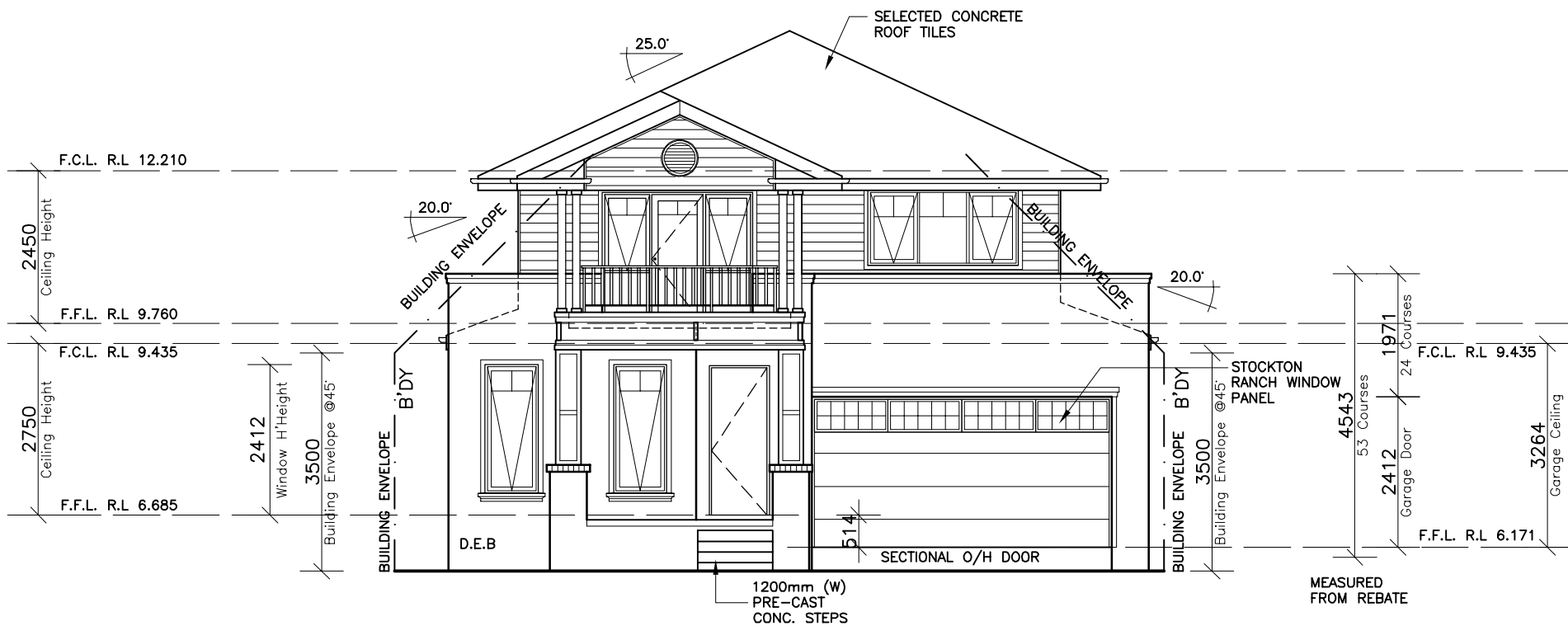
NOTE:  
REFER TO SHEETS 13, 14 & 15 FOR ALL  
MOULDING & TIMBER TRIM DETAILS

NOTE:  
HEIGHT OF DROP EDGE BEAM MAY  
VARY DUE TO SITE CONDITIONS  
UPON COMPLETION OF SITE WORKS

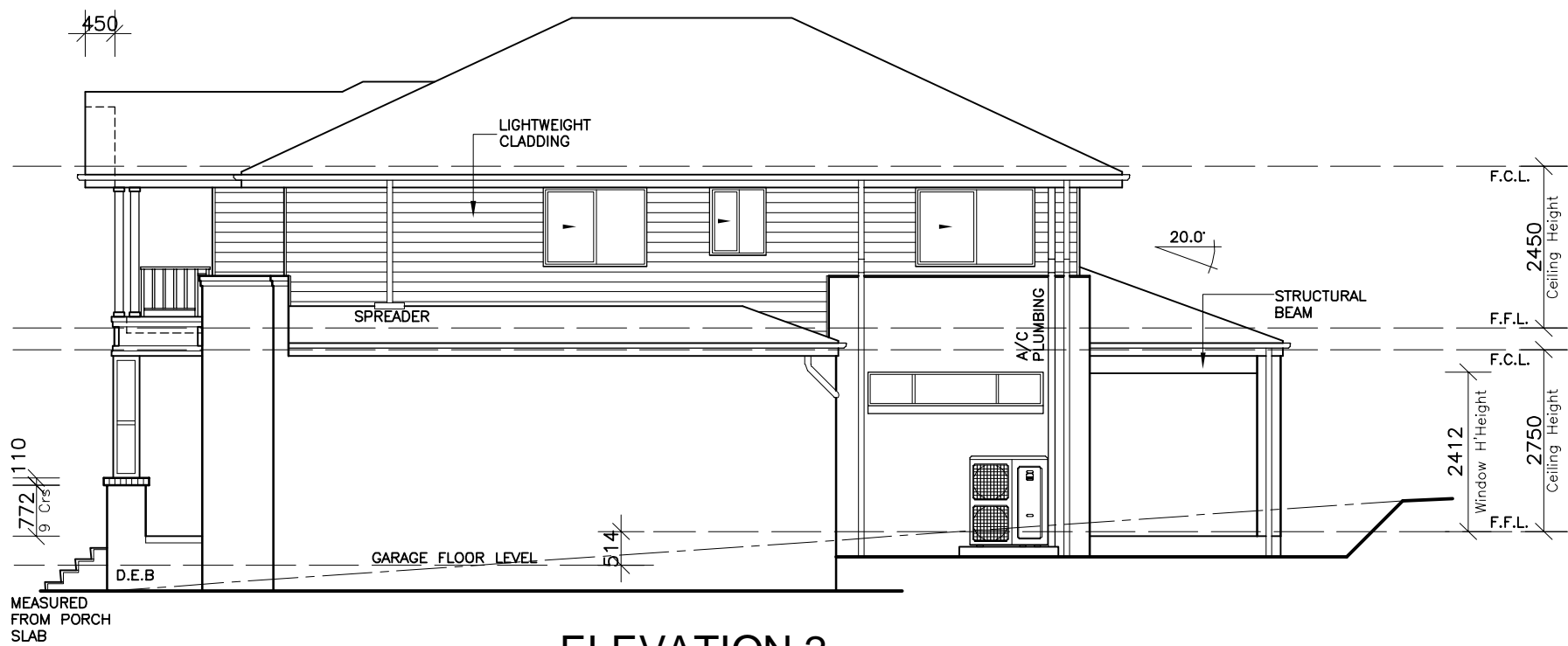
NOTE:  
NUMBER OF STEPS REQUIRED MAY  
VARY DEPENDING ON SITE  
CONDITIONS

NOTES:  
FOR DROP-OFF'S REFER  
TO FRAMING DETAILS  
**CDN 21.010-21.080**

PROVIDE T2 FRAMING  
TO DWELLING IN LIEU  
OF STANDARD



ELEVATION 1  
-SOUTH WEST-



ELEVATION 2  
-SOUTH EAST-



northern  
beaches  
council

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**DA2020/0208**

CLIENT'S SIGNATURE: \_\_\_\_\_

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DA DRAWINGS

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RATIO @ A3: 1:100	CHECKED: J.S	
SHEET: <b>5</b>	JOB No: <b>29913970</b>	<b>NSW</b>

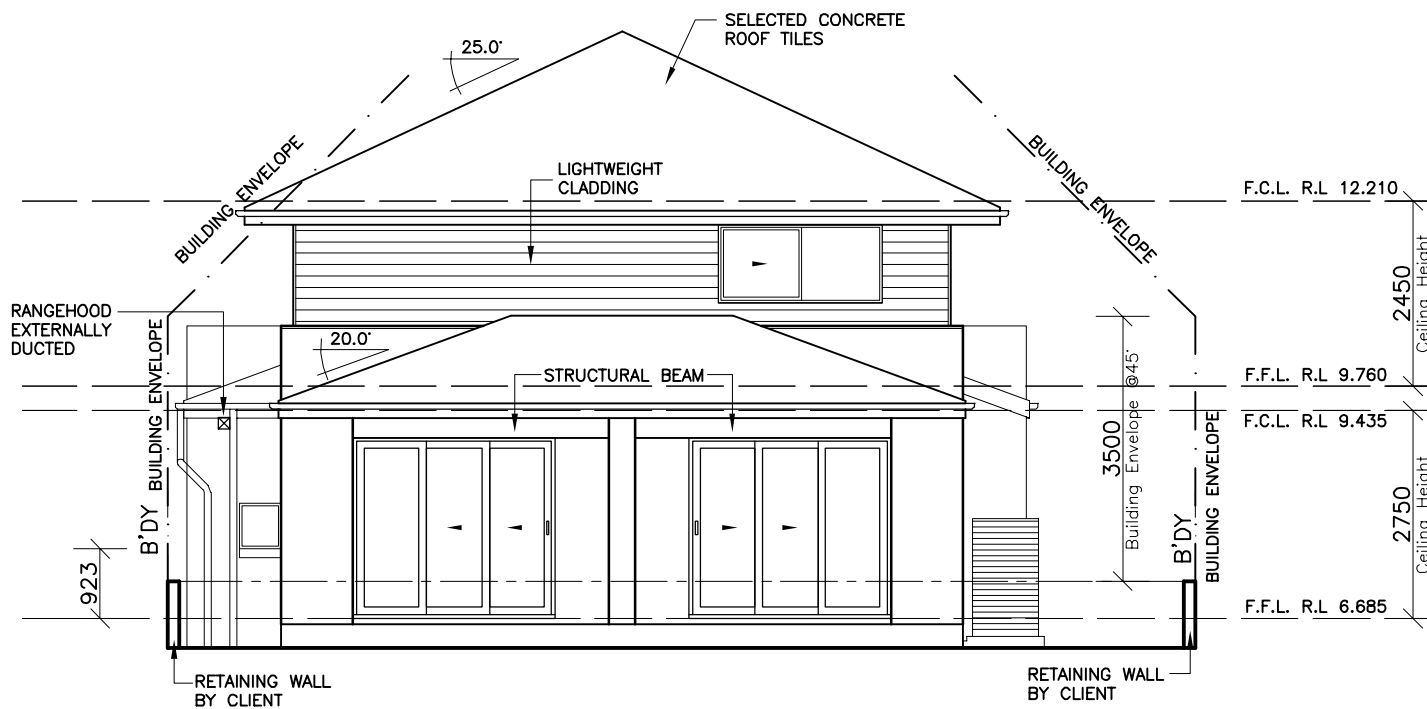
NOTE:  
REFER TO SHEETS 13, 14 & 15 FOR ALL  
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NOTE:  
HEIGHT OF DROP EDGE BEAM MAY  
VARY DUE TO SITE CONDITIONS  
UPON COMPLETION OF SITE WORKS

NOTE:  
NUMBER OF STEPS REQUIRED MAY  
VARY DEPENDING ON SITE  
CONDITIONS

NOTES:  
FOR DROP-OFF'S REFER  
TO FRAMING DETAILS  
**CDN 21.010-21.080**

PROVIDE T2 FRAMING  
TO DWELLING IN LIEU  
OF STANDARD



ELEVATION 3  
-NORTH EAST-



ELEVATION 4  
-NORTH WEST-



northern  
beaches  
council

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DA2020/0208

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DA DRAWINGS

DRAWN: PG.	DATE: 26.11.19	Rev:
RATIO @ A3: 1:100	CHECKED: J.S	<b>G</b>
SHEET: <b>6</b>	JOB No: <b>29913970</b>	<b>NSW</b>

NOTE:  
INTERNAL DOOR LEAF HEIGHTS TO  
GROUND FLOOR TO BE 2340mm(H)

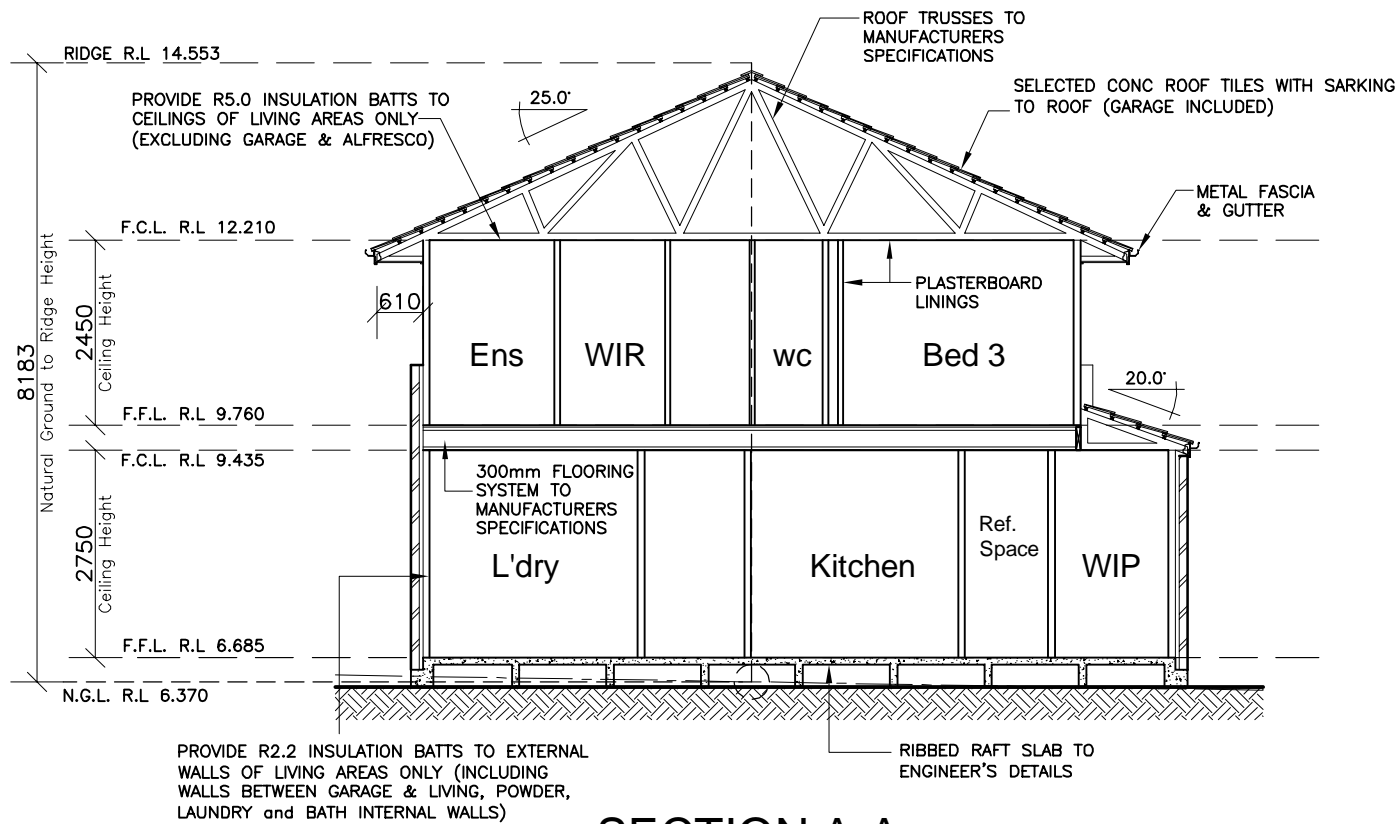
PROVIDE T2 FRAMING  
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OF STANDARD



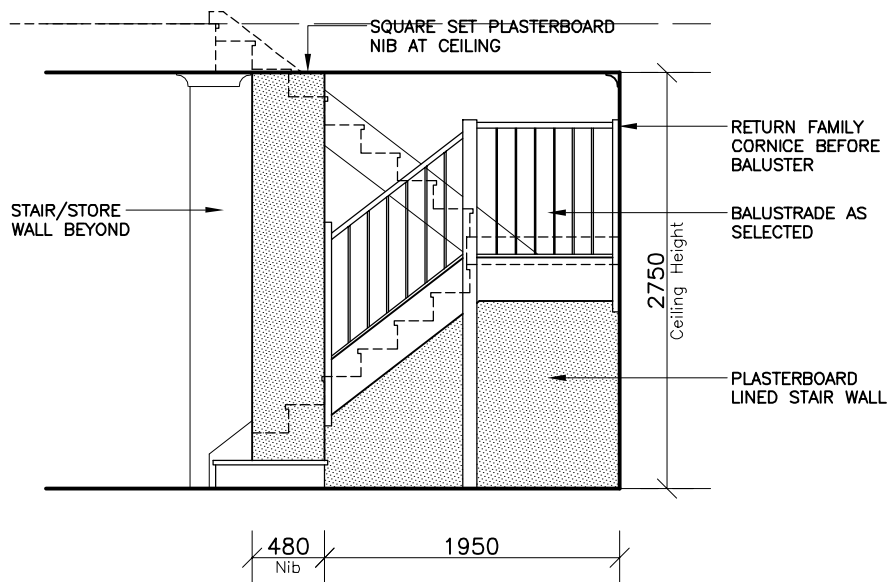
NOTE:  
PROVIDE THE FOLLOWING DUE TO  
PROXIMITY TO COASTAL WATERS:

- \* EXPOSURE GRADE BRICKS,
- \* STAINLESS STEEL WALL TIES,
- \* LINTELS AND EXPOSED STRUCTURAL STEEL IN ACCORDANCE WITH THE B.C.A.,
- \* COLORBOND VALLEY GUTTERS,
- \* EXPOSURE GRADE MORTAR

PROVIDE R2.2 INSULATION BATTS TO CEILING  
JOISTS BETWEEN GARAGE & FIRST FLOOR and  
PORCH & FIRST FLOOR CANTILEVER (BED 1)

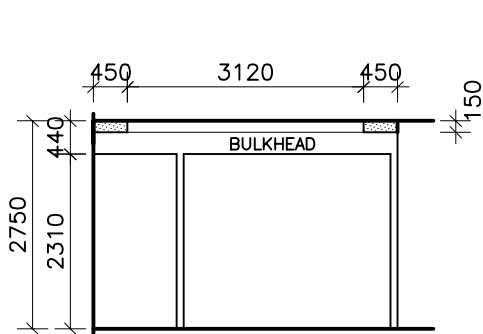


SECTION A-A.



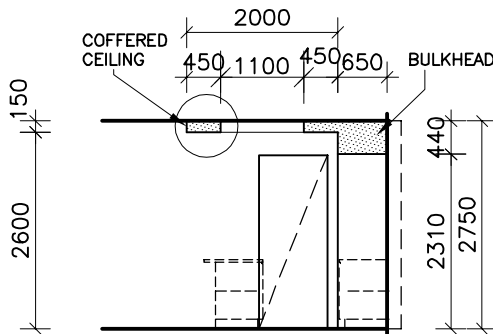
STAIR ELEVATION

VIEWED FROM FAMILY  
SCALE 1:50



KITCHEN COFFERED  
CEILING DETAIL

VIEWED FROM MEALS RM



KITCHEN COFFERED  
CEILING DETAIL

VIEWED FROM FAMILY RM



northern  
beaches  
council

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DA2020/0208

CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

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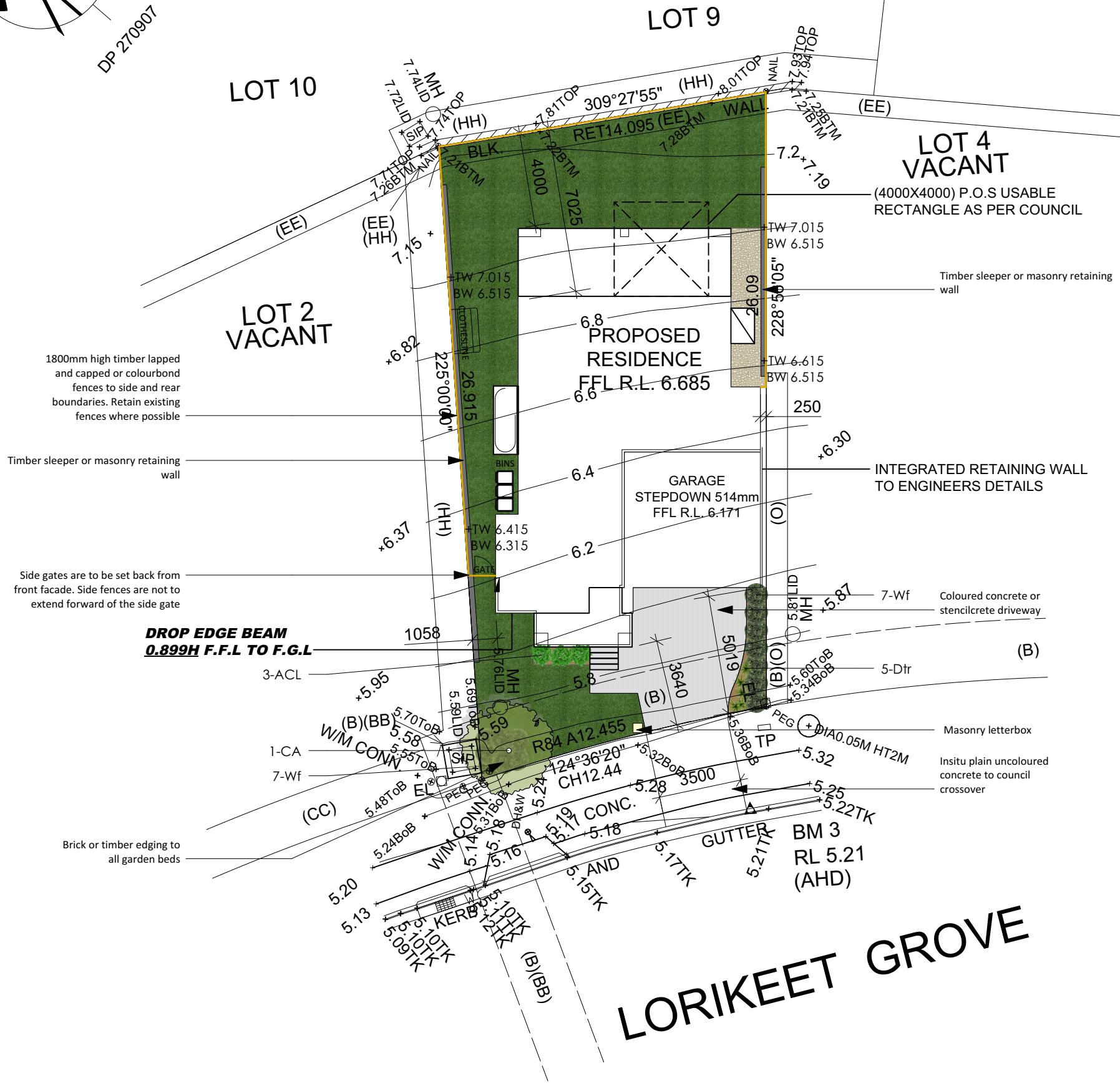
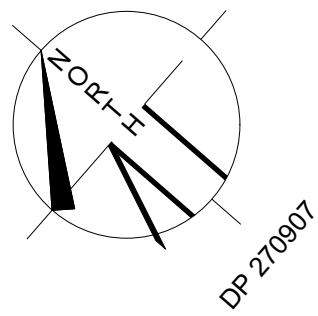
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RATIO @ A3: 1:100	CHECKED: J.S	G
SHEET: 7	JOB No: 29913970	NSW



Any existing trees are to be protected in accordance with councils Tree Protection Detail

**Legend**

- Colour / Stencil Concrete
- Pebbles / Decorative Gravel Areas
- Planting Areas
- Lawn Areas
- Retaining Wall
- 1800mm High Boundary Fencing

Revision Schedule			
Issue:	Description:	By:	Date:
A	Submission Plan	JS	09/12/19

Drafted:  
JS

Scale: 1:200

Sheet:  
1 of 4

Reference:  
LP 01

Designed by:  
**Julian Saw**  
Diploma of Horticulture  
(Landscape Design)

- General Notes:
- See Architects drawings for site levels, setbacks and extent of cut and fill.
  - This plan shall be read in conjunction with the Hydraulic Engineers drawings.
  - All relevant Australian standards are to be adhered to.
  - Any structural items are to be installed as per the manufacturer/engineers specifications.
  - This plan is indicative only and not for construction purposes

SITE CALCULATIONS		
LOT AREA	344.1 sq m	
LANDSCAPED AREA TOTAL	94.1 sq m	27.345%

[Click Here to View Our Plant Profiles!](#)

Client: **Mr Carragher**  
**Mrs Carragher**

Client Signatures:  
1.  
2.

Job No. **190433**

Drawing: **Landscape Plan**

Address: **Lot 3, No.73 Lorikeet Grove**  
**Warriewood**

Council: **Northern Beaches**

Ph: 0437 043 112  
www.dappledesigns.com.au

**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**

**DA2020/0208**

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- (B) EASEMENT TO DRAIN WATER 2.5 WIDE (VIDE DP1206507)
- (BB) EASEMENT TO DRAIN WATER 2.5 WIDE
- (CC) EASEMENT TO DRAIN WATER 2 WIDE
- (EE) EASEMENT FOR ACCESS, MAINTENANCE AND SUPPORT 0.9 WIDE
- (HH) EASEMENT TO DRAIN WATER 1.5 WIDE
- (O) EASEMENT FOR ACCESS, CONSTRUCTION AND MAINTENANCE 0.9 WIDE



LANDSCAPE SPECIFICATION

SITE ESTABLISHMENT

ALL RUBBISH, DEBRIS, FALLEN BRANCHES SHALL BE CLEARED FROM LANDSCAPED AREAS AND DISPOSED OF USING SKIP BINS ONSITE OR BY TRANSPORTING TO THE LOCAL WASTE MANANAGEMENT FACILITY. ANY UNUSED BRICKS, CONCRETE BLOCKS OR TIMBER SHOULD BE EITHER RE-USED ONSITE WHERE POSSIBLE OR RECYCLED AT THE LOCAL WASTE MANANAGEMENT FACILITY.

TREE PROTECTION

TREES TO BE RETAINED SHALL BE PROTECTED DURING SITE WORKS AND TREE PROTECTION BARRIERS INSTALLED ACCORDING TO TREE PROTECTION DETAILS. NO EXCAVATION OR CHANGE IN SOIL LEVEL SHOULD TAKE PLACE AROUND THE BASE OF SUCH TREES. ANY ARBORIST REPORT MUST BE ADHERED TO AND TREE PROTECTION ZONES MAINTAINEDWHERE APPLICABLE.

WEED ERADICATION

AREAS TO BE LANDSCAPED ARE TO BE SPRAYED WITH GLYPHOSATE AT THE RECOMMENDED RATE AT LEAST 1 WEEK PRIOR TO ANY LANDSCAPE WORKS TAKING PLACE IN ORDER TO ALLOW WEEDS TO DIE OFF. CARE IS TO BE TAKEN TO PROTECT REMAINING VEGETATION FROM THE HERBICIDE APPLICATION AND SHOULD ONLY BE UNDERTAKEN IN STILL WEATHER. ALL WEEDS ARE THEN TO BE DISPOSED OF APPROPRIATELY AT THE LOCAL WASTE MANANAGEMENT FACILITY.

GARDEN BED PREPERATION

ENSURE ALL GARDEN BEDS HAVE BEEN EXCAVATED TO 250MM BELOW FINISHED LEVELS. RIP THE SUBGRADE A FURTHER 100MM IN DEPTH. INSTALL PREMIUM GARDEN SOIL OR MIX NATURAL TOP SOIL WITH IMPORTED SOIL TO A DEPTH OF 250MM. INSTALL 75MM DEPTH OF LEAF LITTER MULCH FROM ANL LANDSCAPE SUPPLIES OR EQUIVALENT.

LAWN AREA PREPERATION

EXCAVATE LAWN AREAS TO A DEPTH OF 100MM BELOW REQUIRED FINISHED LEVELS. DO NOT EXCAVATE WITHIN WITHIN TREE PROTECTION ZONES WHERE APPLICABLE OR WITHIN 1500MM OF THE TRUNK OF ANY EXISTING TREES TO BE RETAINED. ENSURE THAT ALL SURFACE WATER IS DIRECTED TOWARD ANY DRAINAGE PITS, KERBS AND AWAY FROM ANY BUILDINGS. SUBGRADE IS TO BE RIPPED TO A DEPTH OF 150MM AND A 50MM DEEP LAYER OF TURF UNDERLAY INSTALLED ON TOP. LAWNS SHOULD HAVE AN EVEN GRADE SO THAT NO PONDING OR POOLING OCCURS. 'SIR LAUNCHER' FERTILISER OR EQUIVELANT SHOULD BE SPREAD OVER LAWN AREAS PRIOR TO LAYING TURF. LAY 'SIR WALTER BUFFALO' TURF ROLLS CLOSELY BUTTED ENSURING NO GAPS BETWEEN ARE PRESENT. ROLL AND WATER THOROUGHLY AFTER LAYING.

PLANTING

PLANTS ARE TO BE HEALTHY, FREE OF PEST/DISEASES AND TRUE TO TYPE & SPECIES. REFER TO LANDSCAPE PLAN FOR LOCATION AND SPACING. ALL PLANTS SHOULD BE PLACED IN A HOLE DUG TWICE THE SIZE OF THE POT. GENTLY TEESE THE ROOTS OF ANY POT BOUND PLANTS. THE BASE OF THE TRUNK SHOULD BE INSTALLED LEVEL WITH THE SURFACE OF THE GROUND AND DISH CREATED AROUND THE BASE OF EACH PLANT TO AID WITH WATER RETENTION. WATER THOROUGHLY AFTER PLANTING.

PLANT LIST

TYPE	SYMBOL	BOTANIC NAME	COMMON NAME	MATURE HEIGHT X WIDTH	NATIVE?	QTY	POT SIZE
TREES							
	CA	CUPANIOPSIS ANACARDIOIDES	TUCKEROO	8M X 4M	YES	1	45LTR
SHRUBS							
	AcI	ACACIA 'LIMELIGHT'	LIMELIGHT	1M X 1M	YES	3	200MM
	Wf	WESTRINGIA FRUITICOSA	COASTAL ROSEMARY	UP TO 1.5M TRIMMED	YES	14	200MM
GRASSES & STRAP LEAF PLANTS							
	Dtr	DIANELLA TASMANICA 'TAS RED'	TAS RED DIANELLA	0.45M X 0.45M	YES	5	140MM

STAKING

ALL TREES AND TOP HEAVY SCREENING SHRUBS SHOULD BE STAKED WITH 2 X 25MM X 25MM LONG TIMBER STAKES PER PLANT. LENGTH OF STAKES IS DEPENDENT ON THE HEIGHT AND STABILITY OF THE TREE/SHRUB. STAKES SHOULD BE FIRMLY POSITIONED. HESSIAN TAPE IS TO BE PLACED AROUND THE TREE AND STAKES ALLOWING SOME MOVEMENT IN ORDER TO ALLOW THE TRUNK TO DEVELOP STRENGTH OVERTIME.

GARDEN EDGING

USE EITHER 'HAVEN' BRICK EDGING OR SIMILAR LAID ON A 50MM THICK BED OF MORTAR, OR TREATED TIMBER EDGING SECURED WITH INGROUND TIMBER STAKES. ALL GARDENS ARE TO HAVE EDGING INSTALLED AND BE INSTALLED AS PER PLAN.

RETAINING WALLS

REFER TO MANUFACTURERS INSTRUCTIONS FOR CONSTRUCTION OF RETAINING WALLS. DETAILS ON THIS PLAN ARE A GUIDE ONLY.

COMPLETION

SITE IS TO BE CLEARED OF ANY SURPLUS MATERIALS AND DEBRIS PRIOR TO PRACTICAL COMPLETION. WORK IS TO BE COMPLETED TO THE SATISFACTION OF COUNCILS GUIDELINES AND ANY DA CONDITIONS

MAINTENANCE PERIOD

A 12 MONTH MAINTENANCE PERIOD FROM THE DATE OF PRACTICAL COMPLETION WILL APPLY. DURING THIS TIME THE OWNER IS RESPONSIBLE FOR RECTIFYING ANY DEFECTIVE WORK. DURING THE MAINTENACE PERIOD THE FOLLOWING ACTIVITIES ARE TO BE UNDERTAKEN.

a) REPLACEMENTS: ANY PLANTS/TREES THAT HAVE DIED SHALL BE REPLACED WITH THE SAME SPECIES AND SIZE AS INDICATED ON THIS PLAN. THE SPECIMENS MUST BE IN GOOD HEALTH AND FREE FROM PESTS AND DISEASES.

b) WATERING: REGULAR WATERING OF PLANTS IS REQUIRED. PLANTS SHOULD BE WATERED TWICE A WEEK WITHIN THE FIRST

2 MONTHS OF PLANTING AND AND DURING DRY PERIODS. LESS FREQUENT WATERING IS REQUIRED ONCE PLANTS ARE ESTABLISHED AND DURING PERIODS OF RAIN. THE CONTRACTOR/OWNER SHOULD USE THEIR DISCRETION.

c) GARDEN BEDS: GARDEN AREAS SHOULD BE REGULARLY WEEDED AND MULCH TOPPED UP IF REQUIRED. NO BARE SOIL IS TO BE PRESENT AND SPECIFIED DEPTHS MAINTAINED.

d) LAWN AREAS: LAWN AREAS SHALL BE MOWN REGULARLY (AT LEAST ONCE A WEEK IN GROWING SEASON) IN ORDER TO PROMOTE A THICK LAWN THAT OUTCOMPETES ANY WEEDS. LAWN CLIPPINGS ARE NOT TO BE SPREAD OVER GARDEN AREAS. ANY DEAD AREAS OF LAWN OCCURING THE MAINTENANCE PERIOD, ARE TO BE REPLACE WITH THE TURF VARIETY SPECIFED IN THE PLAN.

e) PRUNING: ADEQUATE HORTICULTURAL PRUNING METHODS SHOULD BE USED ON PLANTS AS BECOMES NECESSARY. ANY HEDGES ARE TO BE TRIMMED REGULARLY, DEAD AND DANGEROUS TREE BRANCHES PRUNED AND LIGHT PRUNING OF SHRUBS TO PROMOTE THICK FOLIAGE COVER.

f) FERTILISING: 'ORGANIC LIFE' FERTILISER OR EQUIVELANT SHALL BE APPLIED AS PER MANUFACTURERS INSTRUCTIONS TO ALL GARDEN BEDS ONCE PER MONTH. DYNAMIC LIFTER OR SIMILAR SHOULD BE APPLIED TO ALL LAWN AREAS TWICE A YEAR, ONCE IN MID SPRING AND ONCE IN EARLY SUMMER. WATER THOROUGHLY AFTER EACH APPLICATION OF FERTILISER.

Revision Schedule			
Issue:	Description:	By:	Date:
A	Submission Plan	JS	09/12/19

Drafted: JS	Scale: 1:200 
Sheet: 2 of 4	Reference: LP 01

Designed by:  
**Julian Saw**  
**Diploma of Horticulture**  
**(Landscape Design)**

General Notes:  
1. See Architects drawings for site levels, setbacks and extent of cut and fill.  
2. This plan shall be read in conjunction with the Hydraulic Engineers drawings.  
3. All relevant australian standards are to be adhered to.  
4. Any structural items are to be installed as per the manufacturer/engineers specifications.  
5. This plan is indicative only and not for construction purposes

SITE CALCULATIONS		
LOT AREA	344.1 sq m	
LANDSCAPED AREA TOTAL	94.1 sq m	27.345%

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Client: **Mr Carragher**  
**Mrs Carragher**

Client Signatures:  
1.  
2.

Job No. **190433**

Drawing: **Plant List/Specification**

Address: **Lot 3, No.73 Lorikeet Grove**  
**Warriewood**

Council: **Northern Beaches**

Ph: 0437 043 112  
www.dappledesigns.com.au

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2020/0208

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