

LEGEND

WATER MAIN
TELSTRA PILLAR
TELSTRA MARKER POST
TELSTRA PIT
TELEGRAPH POLE
POWER POLE
ELECTRICAL PILLAR
POWER LIGHT POLE
LIGHT POLE
HYDRANT
RECYCLED WATER
WATER METER
STOP VALVE
WATER TAP
GAS METER
GAS DIRECTION MARKER
GAS INSPECTION POINT
SEWER MANHOLE
STREET SIGN
PRAM CROSSING
VEHICLE CROSSING

SEWER VENT
SEWER LAMP/POLE
SEWER INSPECTION POINT
SUBSOIL DRAIN
STORMWATER PIT
STORMWATER GRATE
SURFACE INLET PIT
UNTEL-KERB INLET PIT
UNTEL-KERB INLET PIT WITH GRATE
STORMWATER PIPE INCLUDING PIPE SIZE
HEADWALL
CLOTHES LINE
TREE: \varnothing DIAMETER
S SPREAD
H HEIGHT

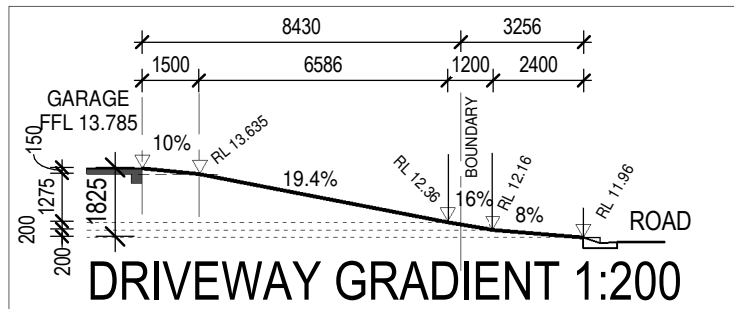
OVERHEAD ELECTRICITY LINE
OVERHEAD TELECOM LINE
SEWER LINE

L.G.A. : NORTHERN BEACHES
PARISH : MANLY COVE
COUNTY : CUMBERLAND

AREA LOT 23 SEC 6
VIDE DP 10609: 632.3 m²
BY CALC : 634.1 m²



BUSHFIRE ATTACK LEVEL (BAL)
BAL 12.5
(BAL IN ACCORDANCE WITH AS3959-2009)
TRADES & SUPPLIERS TO COMPLY WITH BAL LEVEL
IN ACCORDANCE WITH AS3959-2009



STORMWATER TO HYDRAULIC ENGIS DETAILS

FSR CALCULATIONS	
SITE AREA:	632.30m ²
HOUSE AREAS:	
Second floor living	=103.50m ²
First floor living	=124.55m ²
Rumpus	=28.36m ²
INTERNAL TOTAL:	=256.41m ²
FLOOR SPACE RATIO:	0.40:1
NOTE: FSR CALCULATED TO INTERNAL FACE OF EXTERNAL WALLS AS PER LEP DEFINITION	

SITE DETAILS	
LOT NUMBER:	23 Sec.6
DP NUMBER:	10609
AREAS	
SITE AREA:	632.30m ²
First floor	130.35 m ²
Second floor	112.27 m ²
Garage	49.37 m ²
Rumpus	33.09 m ²
Alfresco	32.46 m ²
Porch	27.52 m ²
Balcony	17.78 m ²
Grand total	402.85 m ²

DRIVEWAY:	46.000m ²
FLOOR SPACE RATIO:	0.40:1
SITE COVERAGE:	233.50m ²
PRIVATE OPEN SPACE:	290.00m ²
ROOF AREA:	220.00m ²

LANDSCAPE:	
TOTAL AREA OF VEGETATION:	= 200.00m ²

STORMWATER:	
RAINWATER TANK SIZE:	= 3000litre
-(ABOVE GROUND)	
ROOF AREA CONNECTED TO RAINWATER TANK: 22% MIN MIN- 50.00m ² (to eng's details)	
RAINWATER USES: GARDEN/TOILET/LAUNDRY	

SITE NOTES & CONDITIONS:	
-HOUSE LEVELS ARE APPROXIMATE ONLY & WILL BE DETERMINED ON SITE BY SUPERVISOR PRIOR TO CONSTRUCTION.	
-EXISTING STRUCTURES IN THE PROPOSED BUILDING AREA, TO BE REMOVED BY OWNER	
-EXISTING FENCING TO BE SECURED BY OWNER, PRIOR TO CONSTRUCTION & TO REMAIN OUTSIDE OF BUILDING PLATFORM.	
-EXISTING TREES & VEGETATION TO BE CUT & REMOVED FROM BUILDING AREA PRIOR TO CONSTRUCTION, BY OWNER.	
-WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALING.	
-DIMENSIONS SHOWN ARE TO FRAME AND UNDERSIDE OF ROOF TRUSSES	
-FINISHED OUTLINE OF EXCAVATED AREA IS INDICATIVE ONLY & WILL VARY ON SITE	
-ALL RETAINING WALLS ARE BY OWNER UNLESS NOTED OTHERWISE IN THE TENDER	
- ALL CONSTRUCTION WORK TO COMPLY WITH THE BCA AND ALL RELEVANT AUSTRALIAN STANDARDS	

SEVERE MARINE CLASSIFICATION SL1

ALL TRADES & SUPPLIERS TO COMPLY
WITH THE BCA AND ALL RELEVANT AUST STANDARDS

DEVELOPMENT APPROVAL BY:	CONSTRUCTION: CERTIFICATE BY:
NORTHERN BEACHES COUNCIL
DA No :	CC No :
Date :	Date :
Phone No: 1300 434 434	Phone No:

POSITION OF 3000L "THE EVOLUTION SERIES MKII" ABOVE
GROUND RAIN WATER TANK 1 TO BE INSTALLED IN
ACCORDANCE WITH COUNCIL GUIDELINES & THE NATIONAL
PLUMBING & DRAINAGE CODE AS/NZS 3500. THE RAINWATER
SUPPLY PLUMBING IS TO BE CONNECTED TO THE COLD WATER
SUPPLY TO WASHING MACHINE & EXTERNAL GARDEN TAPS

EXTERNAL A/C UNIT, A/C VENTS &
DROPPERS ARE APPROX. ONLY
AND MAY BE RE-POSITIONED ON SITE
TO SUIT DIFFERENT CONSTRUCTION OR
NOISE REQUIREMENTS. FINAL POSITION
TO BE DETERMINED BY A/C CONTRACTOR

SOLAR PANEL POSITION FOR
SOLAR SYSTEM ARE APPROX ONLY
SOLAR PANELS TO BE INSTALLED
AS PER MANUFACTURES
RECOMMENDATIONS AND GUIDELINES

SITE PLAN

ISSUE	AMENDMENT	DATE	PREMIUM FINISHES	
A	PFD.+ SV1 (HT)	06.02.19	DESIGN NAME: CUSTOM	
B	VARY A (EB)	15.04.19	DESIGN NO:	
C	VARY B,C & D (EB)	15.05.19	FACADE: CUSTOM	
D	VARY F (EB)	30.05.19	JOB NO: 17338	DATE: 23.09.19
E	VARY H, VARY I (EC)	18.07.19	DRAWN: ht	CHECKED:...
F	VARY L (EC)	23.09.19	SCALE: 1 : 200	SHEET NO:01 /
G	FFD & STORMWATER UPDATE (EB)	27.09.19	ISSUE: F Please discard all other plans	

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Wincrest Group Pty Ltd.
ACN 135 562 873
Builders License No. 213 442C
18 Pitt St, Paramatta NSW 2150
Ph:(02) 9635 1644 Fax:(02) 9633 4806

PROPOSED RESIDENCE FOR:
CLIENT: Mr CLARK & Mrs HAY

ADDRESS:
Lot23, Sec6 No 911 Pittwater RD
COLLARROY
NORTHERN BEACHES COUNCIL

DESIGN NAME: CUSTOM
DESIGN NO:
FACADE: CUSTOM

JOB NO: 17338 DATE: 23.09.19

DRAWN: ht CHECKED:...

SCALE: 1 : 200 SHEET NO:01 /

ISSUE: F Please discard all other plans

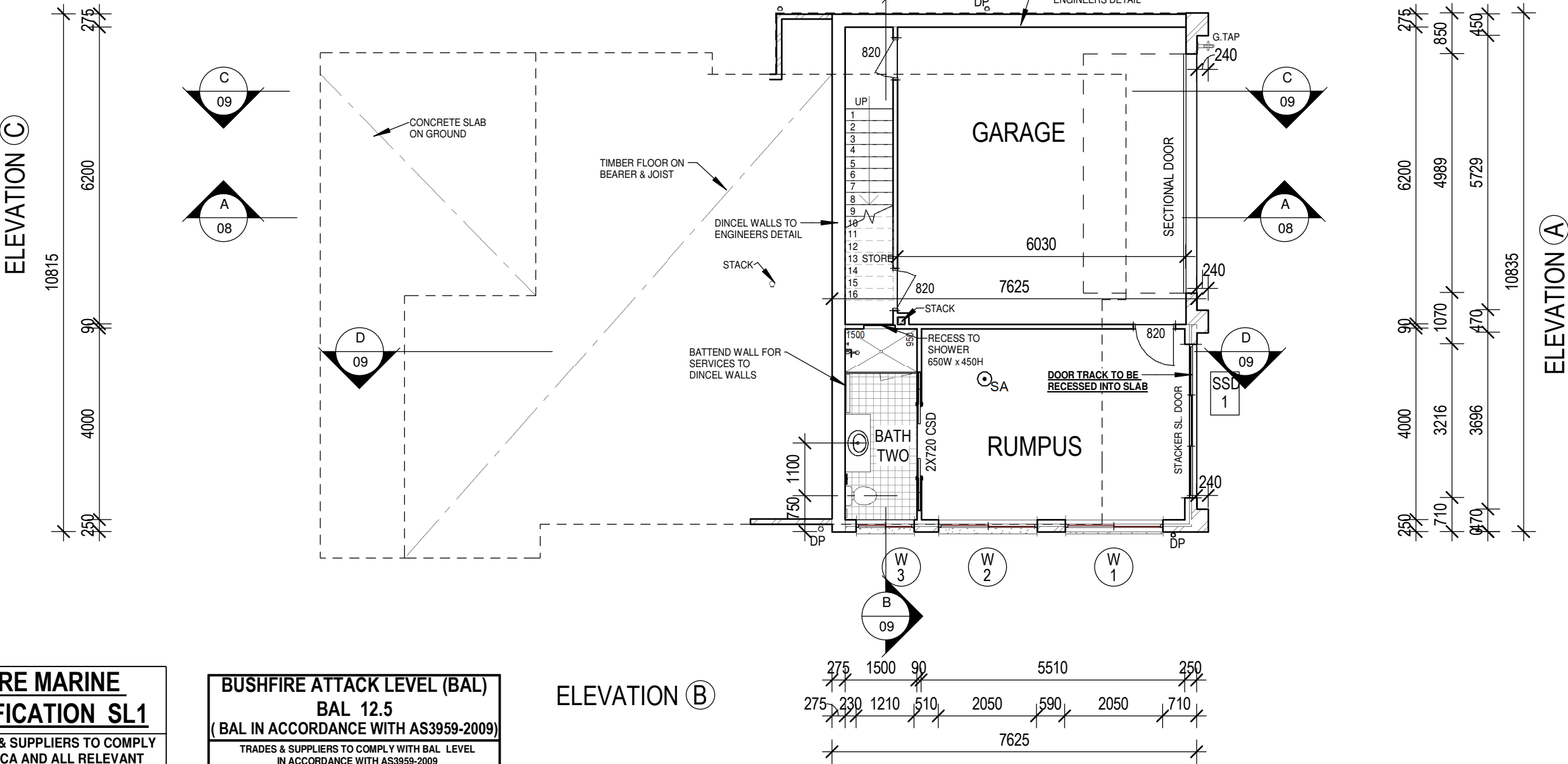
- LEGENDS
- 720 LIFT OFF DOOR HINGE
 - CJ* CONTROL BRICK JOINT
 - MH CEILING MAN HOLE
 - SA SMOKE ALARM
 - DP DOWN PIPE

SEAMLESS FINISH
ALL WET AREA FLOORS
TO BE RECESSED 50mm

ELEVATION D

EXTERNAL A/C UNIT, A/C VENTS AND DROPPERS
(IF REQUIRED) ARE APPROX. ONLY AND MAY BE
RE-POSITIONED ON SITE TO SUIT DIFFERENT
CONSTRUCTION OR NOISE REQUIREMENTS. FINAL
POSITION TO BE DETERMINED BY A/C CONTRACTOR

BASIX
ALL PLANS TO BE READ IN
CONJUNCTION WITH THE BASIX
CERTIFICATE AND ITS SCHEDULE
OF COMMITMENTS, WHICH ARE TO
BE COMPLIED WITH IN FULL



**SEVERE MARINE
CLASSIFICATION SL1**
ALL TRADES & SUPPLIERS TO COMPLY
WITH THE BCA AND ALL RELEVANT
AUSTRALIAN STANDARDS

**BUSHFIRE ATTACK LEVEL (BAL)
BAL 12.5
(BAL IN ACCORDANCE WITH AS3959-2009)**
TRADES & SUPPLIERS TO COMPLY WITH BAL LEVEL
IN ACCORDANCE WITH AS3959-2009

ELEVATION B

AREAS	
First floor	130.35 m ²
Second floor	112.27 m ²
Garage	49.37 m ²
Rumpus	33.09 m ²
Alfresco	32.46 m ²
Porch	27.52 m ²
Balcony	17.78 m ²
Grand total	402.85 m ²

LOWER LEVEL FLOOR PLAN

PREMIUM FINISHES

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A	PFD.+ SV1 (HT)	06.02.19			CLIENT: Mr CLARK & Mrs HAY	ADDRESS: Lot23, Sec6 No 911 Pittwater RD COLLARROY NORTHERN BEACHES COUNCIL		DESIGN NO:	
B	VARY A (EB)	15.04.19						FACADE: CUSTOM	
C	VARY B,C & D (EB)	15.05.19						JOB NO: 17338	DATE: 23.09.19
D	VARY F (EB)	30.05.19						DRAWN: ht	CHECKED:...
E	VARY H, VARY I (EC)	18.07.19	PRINTED: 2/10/2019 3:09:30 PM				SCALE: 1 : 100	SHEET NO:02 /	
F	VARY L (EC)	23.09.19					ISSUE: F Please discard all other plans		
G	FFD & STORMWATER UPDATE (EB)	27.09.19							
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LEGENDS

- (720) LIFT OFF DOOR HINGE
CJ* CONTROL BRICK JOINT
MH CEILING MAN HOLE
SA SMOKE ALARM
DP DOWN PIPE

**VRF Air
cond unit**

SEAMLESS FINISH

ALL WET AREA FLOORS
TO BE RECESSED

**SEVERE MARINE
CLASSIFICATION SL1**

ALL TRADES & SUPPLIERS TO COMPLY
WITH THE BCA AND ALL RELEVANT
AUSTRALIAN STANDARDS

BUSHFIRE ATTACK LEVEL (BAL)
BAL 12.5
(BAL IN ACCORDANCE WITH AS3959-2009)

TRADES & SUPPLIERS TO COMPLY WITH BAL LEVEL
IN ACCORDANCE WITH AS3959-2009

MID.LEVEL FLOOR PLAN

ISSUE		AMENDMENT		DATE	
A	PFD.+ SV1 (HT)			06.02.19	
B	VARY A (EB)			15.04.19	
C	VARY B,C & D (EB)			15.05.19	
D	VARY F (EB)			30.05.19	
E	VARY H, VARY I (EC)			18.07.19	
F	VARY L (EC)			23.09.19	
G	FFD & STORMWATER UPDATE (EB)			27.09.19	
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CLIENT:	Mr CLARK & Mrs HAY
ADDRESS: Lot23, Sec6 No 911 Pittwater RD COLLARROY NORTHERN BEACHES COUNCIL	

DESIGN NAME: CUSTOM	
DESIGN NO:	
FACADE: CUSTOM	
JOB NO: 17338	DATE: 23.09.19
DRAWN: ht	CHECKED:...
SCALE: 1 : 100	SHEET NO:03 /
ISSUE: F Please discard all other plans	

LEGENDS

- (720) LIFT OFF DOOR HINGE
- CJ* CONTROL BRICK JOINT
- MH CEILING MAN HOLE
- SA SMOKE ALARM
- DP DOWN PIPE

SEAMLESS FINISH

ALL WET AREA FLOORS
TO BE RECESSED

SOLAR PANELS TO BE INSTALLED
AS PER MANUFACTURES
RECOMMENDATIONS AND GUIDELINES

R2.5HD SOUNDBREAKER INSULATION
ABOVE RUMPUS CEILING

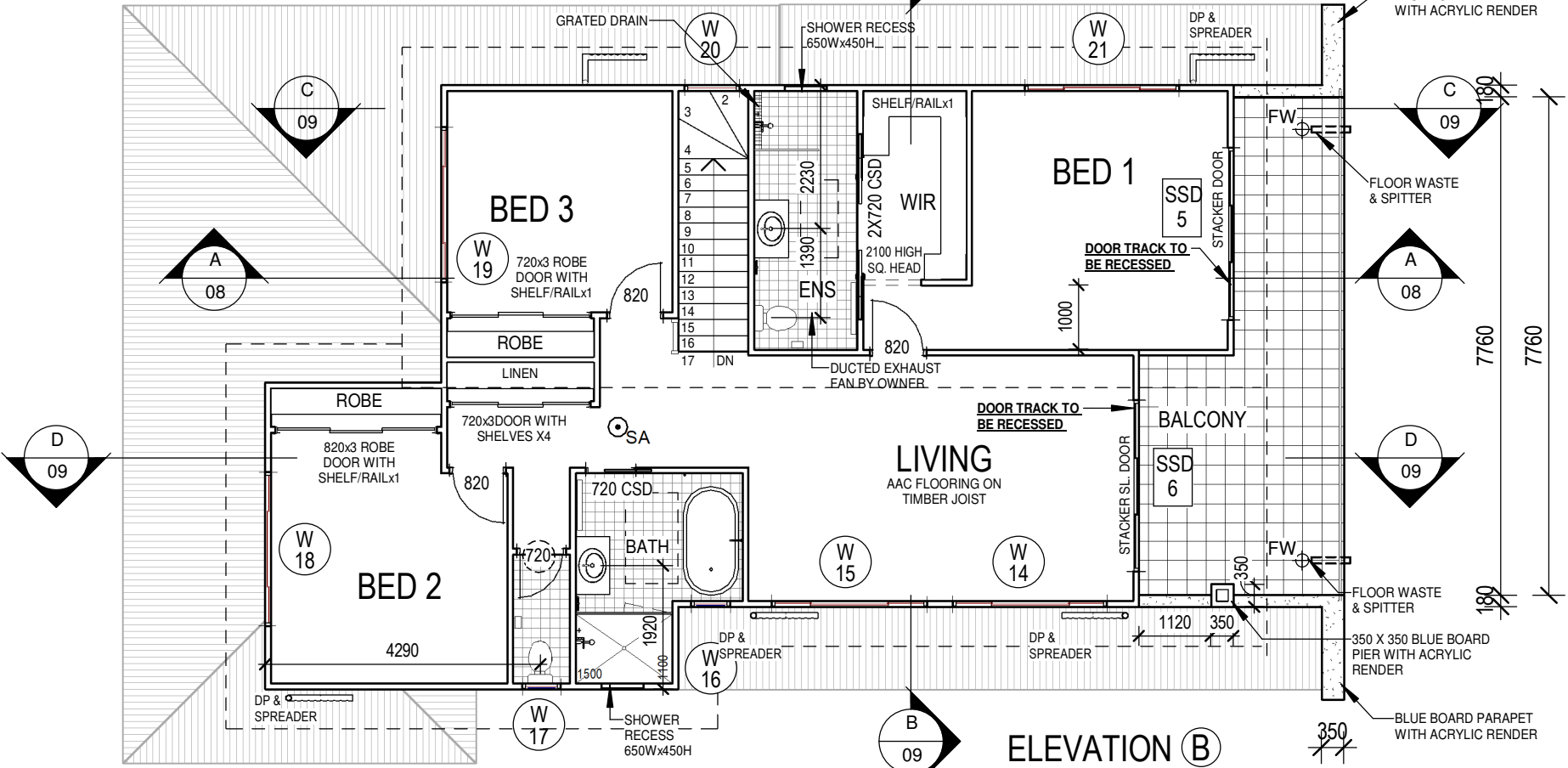
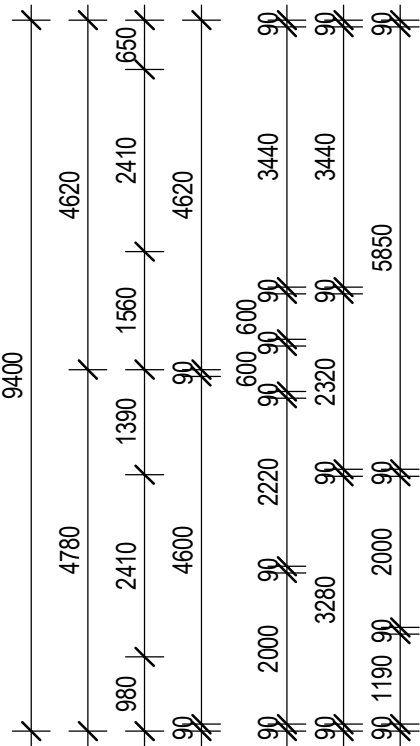
BASIX

ALL PLANS TO BE READ IN
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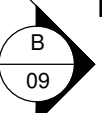
STAIR VOID2

1 : 100

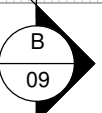
ELEVATION C



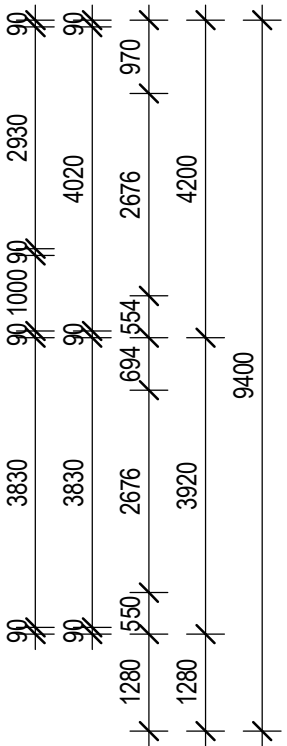
ELEVATION D



ELEVATION B



ELEVATION A



SEVERE MARINE
CLASSIFICATION SL1

ALL TRADES & SUPPLIERS TO COMPLY
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AUSTRALIAN STANDARDS

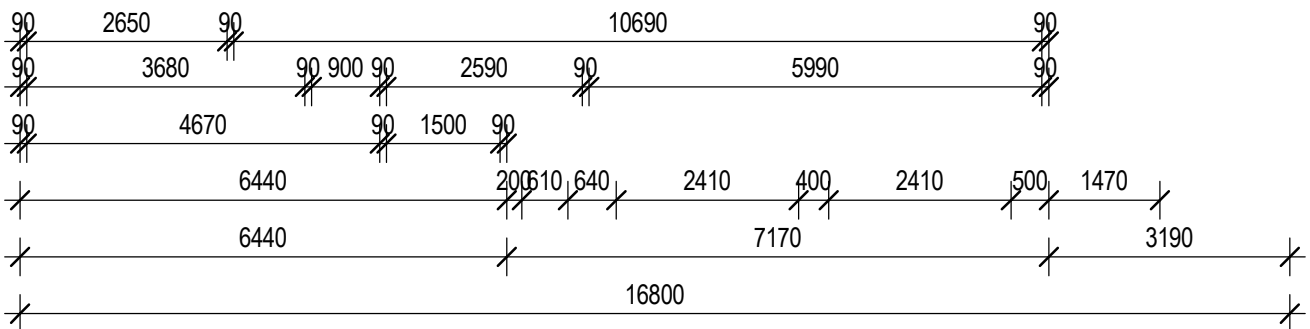
BUSHFIRE ATTACK LEVEL (BAL)

BAL 12.5

(BAL IN ACCORDANCE WITH AS3959-2009)

TRADES & SUPPLIERS TO COMPLY WITH BAL LEVEL
IN ACCORDANCE WITH AS3959-2009

FIRST FLOOR PLAN



EXTERNAL A/C UNIT, A/C VENTS AND DROPPERS
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PREMIUM FINISHES

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A	PFD.+ SV1 (HT)	06.02.19					DESIGN NO:	
B	VARY A (EB)	15.04.19	PRINTED: 2/10/2019 3:09:32 PM		ADDRESS: Lot23, Sec6 No 911 Pittwater RD COLLARROY NORTHERN BEACHES COUNCIL		FACADE: CUSTOM	
C	VARY B,C & D (EB)	15.05.19					JOB NO: 17338	DATE: 23.09.19
D	VARY F (EB)	30.05.19					DRAWN: ht	CHECKED:...
E	VARY H, VARY I (EC)	18.07.19					SCALE: 1 : 100	SHEET NO:04 /
F	VARY L (EC)	23.09.19					ISSUE: F Please discard all other plans	
G	FFD & STORMWATER UPDATE (EB)	27.09.19						

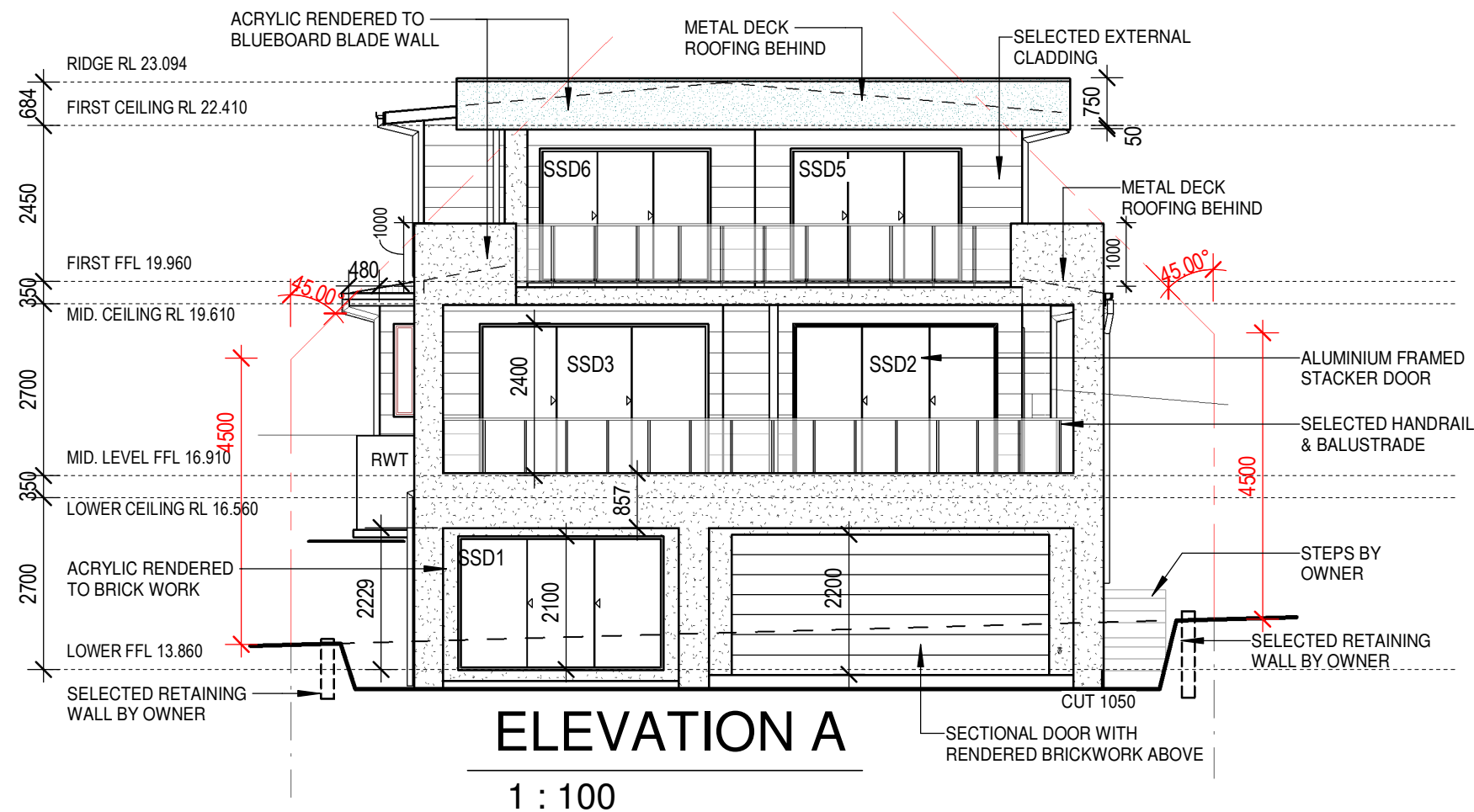
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18 Pitt St, Paramatta NSW 2150
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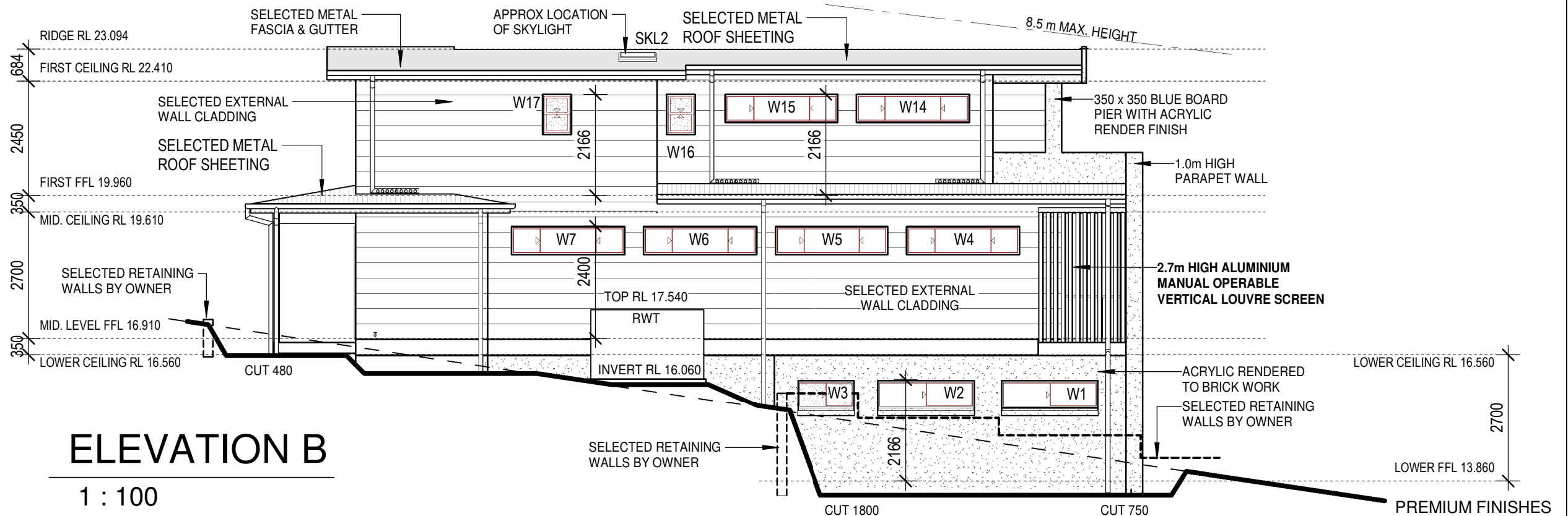
Architectural floor plan of a building with various rooms, corridors, and structural details. The plan includes dimensions for overall size, room areas, and structural elements like walls and doors. Key features include a large central hall, several smaller rooms, and a staircase. The plan is labeled with "METAL ROOF SHEETING 10° PITCH" and "METAL ROOF SHEETING 5° PITCH" in different areas. Structural elements are marked with "SKL1" and "SKL2". The plan also shows a staircase and a large open area. Dimensions are provided in meters (m) and millimeters (mm).

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C		VARY B,C & D (EB)		15.05.19				DRAWN: ht		CHECKED:...	
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E		VARY H, VARY I (EC)		18.07.19				ADDRESS: Lot23, Sec6 No 911 Pittwater RD COLLARROY NORTHERN BEACHES COUNCIL			
F		VARY L (EC)		23.09.19							
G		FFD & STORMWATER UPDATE (EB)		27.09.19							
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BUSHFIRE ATTACK LEVEL (BAL)
BAL 12.5
(BAL IN ACCORDANCE WITH AS3959-2009)
TRADES & SUPPLIERS TO COMPLY WITH BAL LEVEL
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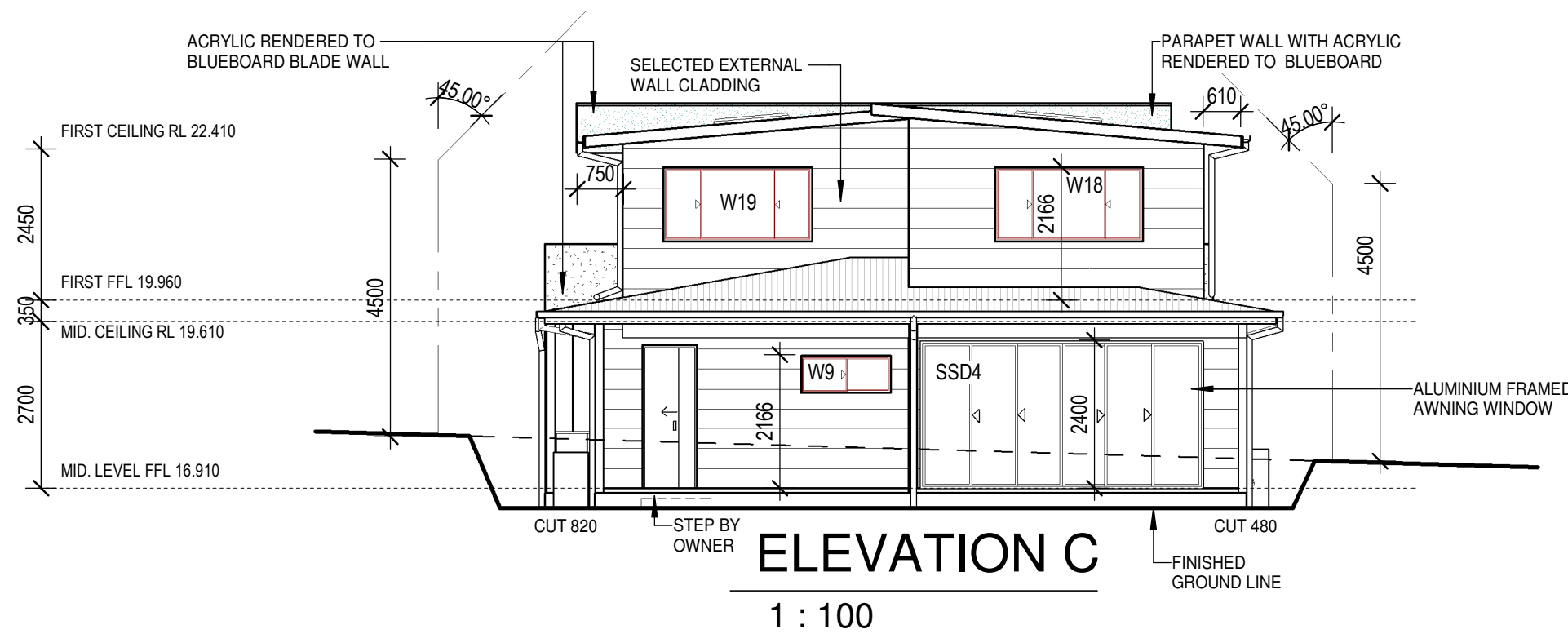
NOTE:
■ SEE ELEVATIONS FOR ALL
WINDOW HEAD HEIGHT



ELEVATIONS

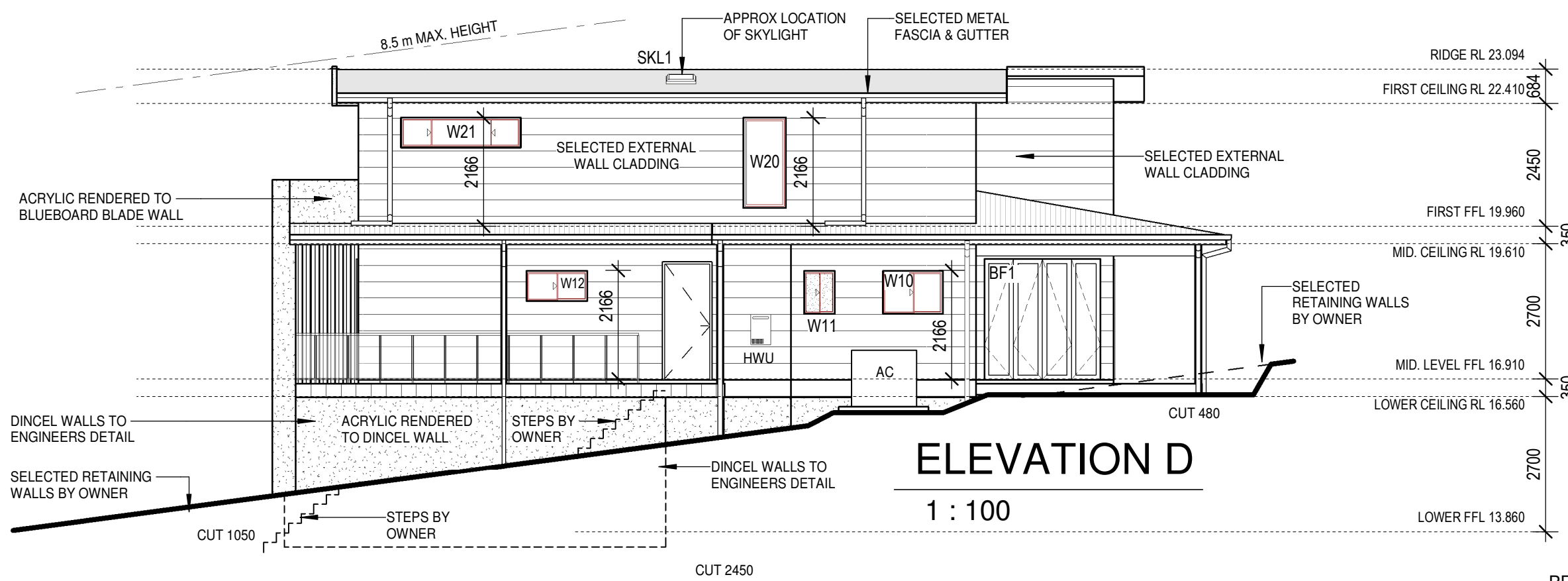
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A	PFD.+ SV1 (HT)	06.02.19			ADDRESS: Lot23, Sec6 No 911 Pittwater RD COLLARROY NORTHERN BEACHES COUNCIL		JOB NO: 17338	DATE: 23.09.19	
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C	VARY B,C & D (EB)	15.05.19					SCALE: 1 : 100	SHEET NO:06 /	
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E	VARY H, VARY I (EC)	18.07.19							
F	VARY L (EC)	23.09.19							
G	FFD & STORMWATER UPDATE (EB)	27.09.19	PRINTED: 2/10/2019 3:09:34 PM						
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BUSHFIRE ATTACK LEVEL (BAL)
BAL 12.5
(BAL IN ACCORDANCE WITH AS3959-2009)
TRADES & SUPPLIERS TO COMPLY WITH BAL LEVEL
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NOTE:
■ SEE ELEVATIONS FOR ALL
WINDOW HEAD HEIGHT



ELEVATIONS

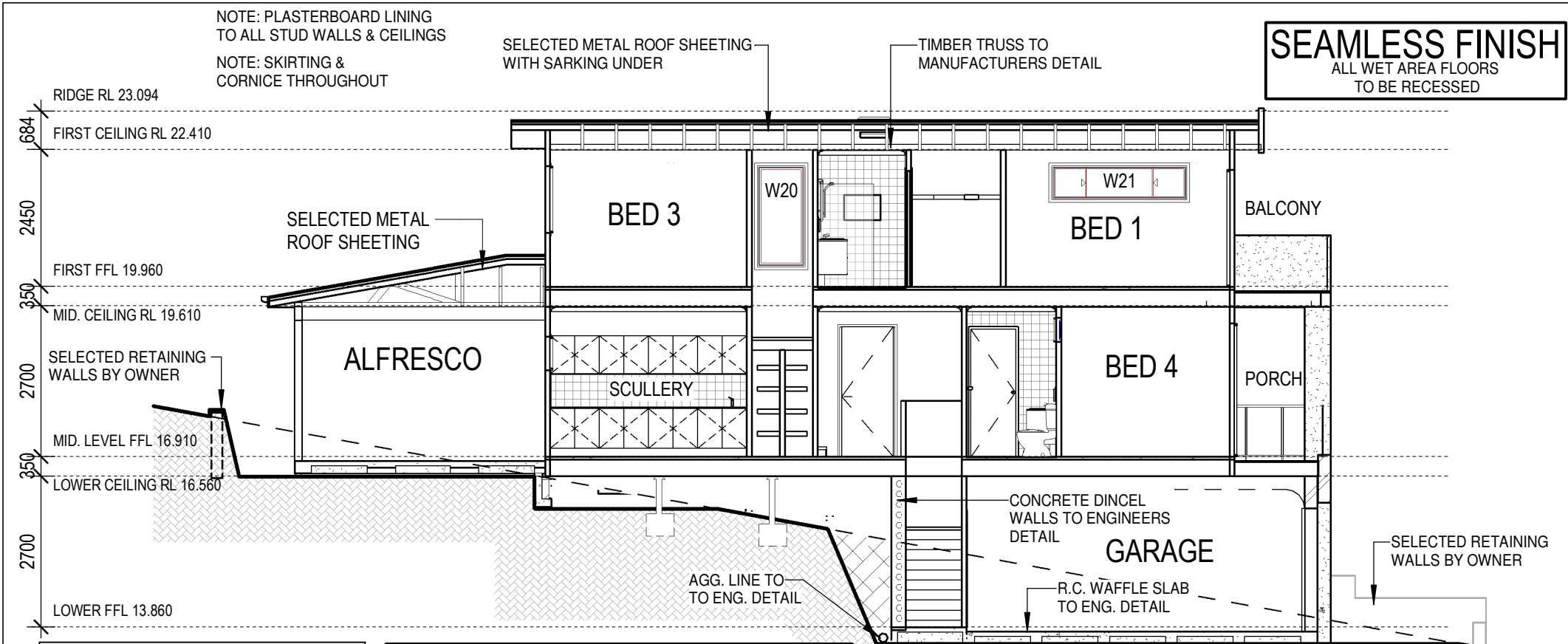
ELEVATIONS			PREMIUM FINISHES		
ISSUE	AMENDMENT	DATE	PROPOSED RESIDENCE FOR:		DESIGN NAME: CUSTOM
A	PFD.+ SV1 (HT)	06.02.19	CLIENT: Mr CLARK & Mrs HAY		DESIGN NO:
B	VARY A (EB)	15.04.19	ADDRESS: Lot23, Sec6 No 911 Pittwater RD		FACADE: CUSTOM
C	VARY B,C & D (EB)	15.05.19	COLLARROY		JOB NO: 17338
D	VARY F (EB)	30.05.19	NORTHERN BEACHES COUNCIL		DATE: 23.09.19
E	VARY H, VARY I (EC)	18.07.19			DRAWN: ht
F	VARY L (EC)	23.09.19			CHECKED:...
G	FFD & STORMWATER UPDATE (EB)	27.09.19			SCALE: 1 : 100
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18 Pitt St, Paramatta NSW 2150
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WINDOWS	
ALL WINDOWS ON 250mm BRICK VENEER WALL	137mm REVEALS
ALL WINDOWS ON 90mm STUD WALL	137mm REVEALS

NOTE:
ALL BED ROOM WINDOW OPENINGS HIGHER THAN 2.0m FROM FINISHED GROUND LEVEL TO BE PROTECTED IN ACCORDANCE WITH CLAUSE 3.9.2.5 VOLUME 2 OF THE BUILDING CODE OF AUSTRALIA

SECTION A - A

1 : 100

GENERAL NOTES:

- PROVIDE GRANITGARD PEST CONTROL SYSTEM TO PERIMETER OF HOME AS REQUIRED BY CERTIFYING AUTHORITY.
- AS/NZS 3000-2000 ELECTRICAL REQUIREMENTS: SAFETY SWITCH TO FRIDGE & LIGHT CIRCUITS; ISOLATING SWITCH FOR WALL OVEN.
- PROVIDE R4.0 GLASSWOOL CEILING INSULATION TO ROOF SPACE OF LIVING AREAS.
- PROVIDE R2.0 GLASSWOOL WALL INSULATION TO EXTERNAL WALLS OF LIVING AREAS.
- PROVIDE R2.5HD SOUNDBREAK INSULATION BETWEEN FIRST FLOOR AND MID LEVEL FLOOR JOISTS.
- PROVIDE R2.5HD SOUNDBREAK INSULATION BETWEEN LOWER LEVEL AND MID LEVEL FLOOR JOISTS.
- 5 STAR RATED KITCHEN, LAUNDRY & VANITY BASIN TAPS REQUIRED.
- PROVIDE SHOWERHEADS '3 STAR' RATED (>6 BUT <=7.5 L/min) IN ALL SHOWERS
- 4 STAR RATED TOILET CISTERNS REQUIRED
- PROVIDE 3,000 LITRE COLORBOND STEEL AQUAPLATE TANK.
- NO EXHAUST FANS UNLESS REQUIRED FOR MECHANICAL VENTILATION
- PROVIDE RAVEN RP3 WEATHER STRIPS TO ALL EXTERNAL HINGED DOORS.
- PROVIDE 26L INSTANTANEOUS HOT WATER SERVICE (6 STARS)
- 75mm GAP BETWEEN FRIDGE & WALL TO BE MAINTAINED.
- MANHOLE POSITION IS APPROXIMATE ONLY AND MAY BE RE-POSITIONED ON SITE TO SUIT CONSTRUCTION CONSTRAINTS OR REQUIREMENTS
- INSTALL PRIMARY TYPE OF ARTIFICIAL LIGHTING -FLUORESCENT OR LIGHT EMITTING DIODE (LED) AND WHERE THE WORD "DEDICATED" APPEARS, THE FITTINGS FOR THOSE LIGHTS MAY ONLY BE CAPABLE OF ACCEPTING FLUORESCENT OR LIGHT EMITTING DIODE (LED) LAMPS TO THE FOLLOWING ROOMS: AT LEAST 4 OF THE BEDROOMS / STUDY, DEDICATED; AT LEAST 4 OF THE LIVING/DINING ROOMS, DEDICATED; ALL BATHROOMS/TOILETS, DEDICATED; THE LAUNDRY, DEDICATED; THE KITCHEN, DEDICATED; ALL HALLWAYS, DEDICATED

SECTION/SCHEDULES

ISSUE	AMENDMENT	DATE
A	PFD.+ SV1 (HT)	06.02.19
B	VARY A (EB)	15.04.19
C	VARY B,C & D (EB)	15.05.19
D	VARY F (EB)	30.05.19
E	VARY H, VARY I (EC)	18.07.19
F	VARY L (EC)	23.09.19
G	FFD & STORMWATER UPDATE (EB)	27.09.19

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BESPOKE
Wincrest Group Pty Ltd.
ACN 135 562 873
Builders License No. 213 442C
18 Pitt St, Paramatta NSW 2150
Ph:(02) 9635 1644 Fax:(02) 9633 4806

PROPOSED RESIDENCE FOR:
CLIENT: Mr CLARK & Mrs HAY

ADDRESS:
Lot23, Sec6 No 911 Pittwater RD
COLLARROY
NORTHERN BEACHES COUNCIL

PREMIUM FINISHES

DESIGN NAME: CUSTOM

DESIGN NO:
FACADE: CUSTOM

JOB NO: 17338 DATE: 23.09.19

DRAWN: ht CHECKED:...

SCALE: 1 : 100 SHEET NO:08 /

ISSUE: F Please discard all other plans

Window and Sl . door Schedule

wt	Window No.	Height	Width	Window Style	Glazing
W	1	600	2050	SLIDING	CLEAR DBL GLAZING 4/6/4mm
W	2	600	2050	SLIDING	CLEAR DBL GLAZING 4/6/4mm
W	3	600	1210	SLIDING	OBS / TG
W	4	600	2410	SLIDING	CLEAR-DBL GLAZING
W	5	600	2410	SLIDING	CLEAR-DBL GLAZING
W	6	600	2410	SLIDING	CLEAR-DBL GLAZING
W	7	600	2410	SLIDING	CLEAR-DBL GLAZING
W	8	1457	350	FIXED	CLEAR
W	9	600	1450	SLIDING	CLEAR
W	10	857	1210	SLIDING	CLEAR / TG
W	11	857	610	SLIDING	OBS / TG
W	12	600	1210	SLIDING	CLEAR
W	13	430	2050	FIXED	OBS / TG
W	14	600	2410	SLIDING	CLEAR-DBL GLAZING
W	15	600	2410	SLIDING	CLEAR-DBL GLAZING
W	16	857	610	DOUBLE HUNG	OBS / TG
W	17	857	610	DOUBLE HUNG	OBS / TG
W	18	1200	2410	SLIDING	CLEAR-DBL GLAZING
W	19	1200	2410	SLIDING	CLEAR-DBL GLAZING
W	20	1800	850	FIXED	CLEAR
W	21	600	2410	SLIDING	CLEAR-DBL GLAZING
SSD	1	2100	3216	STACKER SL.DOOR	CLEAR DBL GLAZING 6/6/6mm
SSD	2	2400	3216	STACKER SL.DOOR	CLEAR DBL GLAZING 6/6/6mm
SSD	3	2400	3576	STACKER SL.DOOR	CLEAR DBL GLAZING 6/6/6mm
SSD	4	2400	4582	STACKER SL.DOOR	CLEAR
SSD	5	2100	2676	STACKER SL.DOOR	CLEAR DBL GLAZING 6/6/6mm
SSD	6	2100	2676	STACKER SL.DOOR	CLEAR DBL GLAZING 6/6/6mm
SKL	1	1180	550	SKYLIGHT	CLEAR
SKL	2	1400	780	SKYLIGHT	CLEAR
BF	1	2400	2316	BI FOLD DOOR	CLEAR

NOTE:

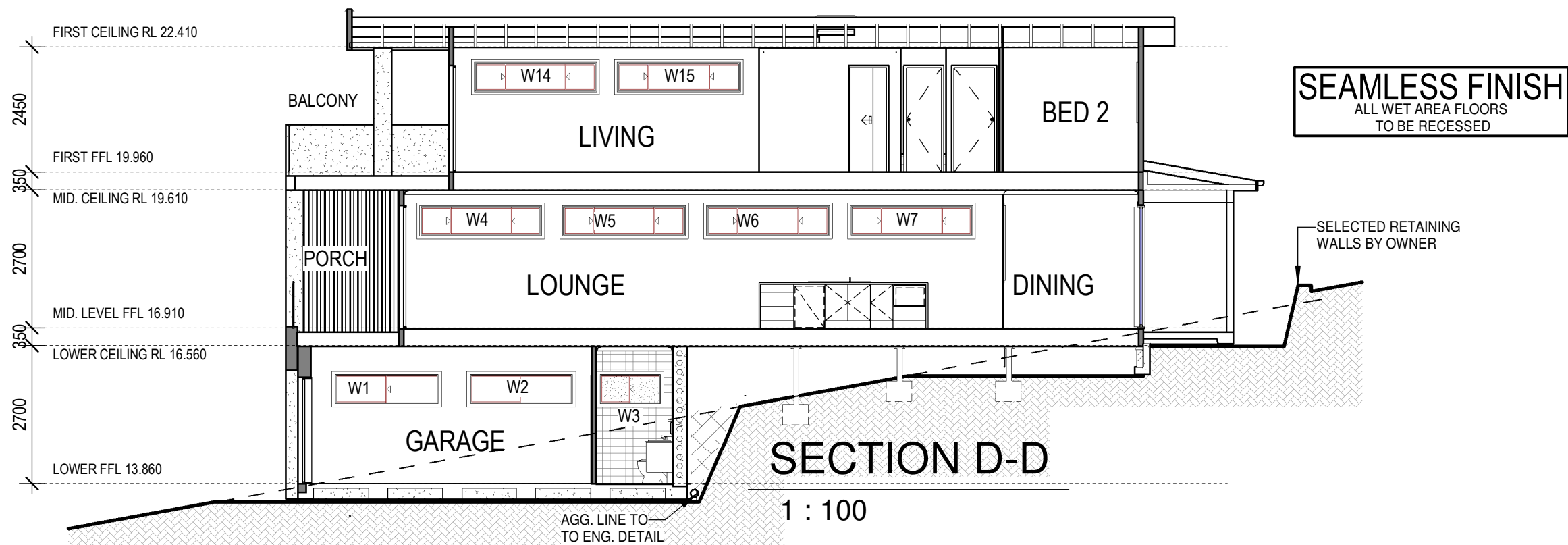
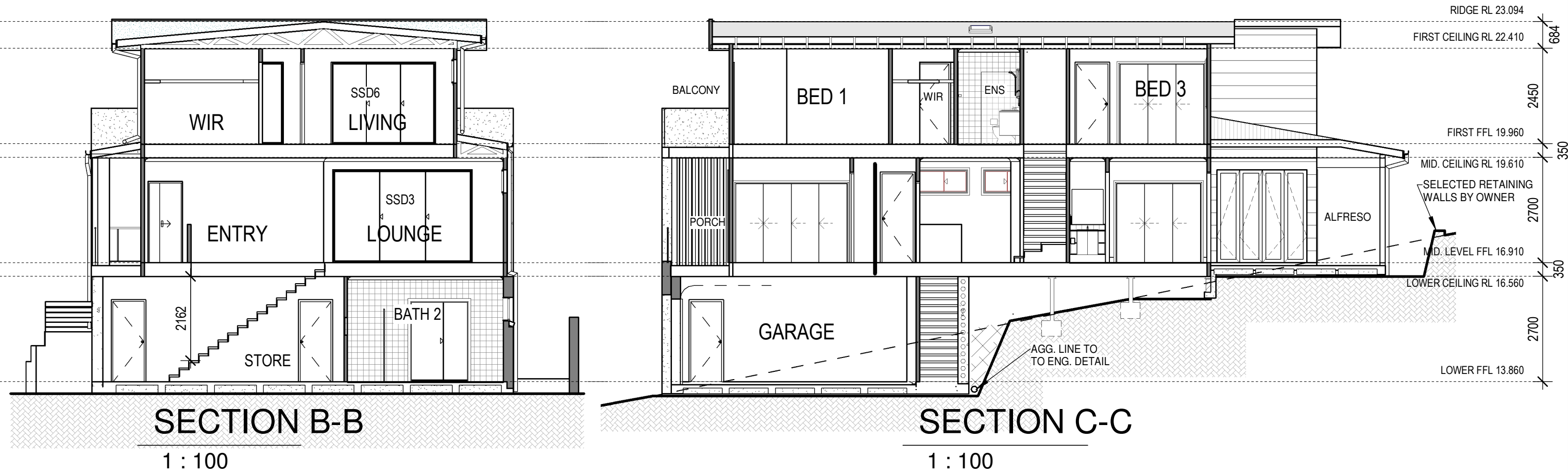
Windows typically with standard glass - Awning Uw 6.35 & SHGC 0.64, Sliding Uw 6.42 & SHGC 0.76, Bifold door Uw 6.12 & SHGC 0.76, Double hung Uw 6.24 & SHGC 0.74, Sliding doors and stacking doors Uw 6.25 & SHGC 0.72

NOTE:

Windows typically with **double glazing** - Awning Uw 4.8 & SHGC 0.51, Sliding / fixed Uw 4.4 & SHGC 0.61, Double hung Uw 4.4 & SHGC 0.60

NOTE:

Doors typically with standard glass - Sliding doors and stacking doors Uw 6.25 & SHGC 0.72, Bifold door Uw 6.12 & SHGC 0.76



SECTIONS

ISSUE			AMENDMENT			DATE			PREMIUM FINISHES		
A	PFD.+ SV1 (HT)	06.02.19							DESIGN NAME: CUSTOM		
B	VARY A (EB)	15.04.19							DESIGN NO:		
C	VARY B,C & D (EB)	15.05.19							FACADE: CUSTOM		
D	VARY F (EB)	30.05.19							JOB NO: 17338		
E	VARY H, VARY I (EC)	18.07.19							DATE: 23.09.19		
F	VARY L (EC)	23.09.19							DRAWN: ht		
G	FFD & STORMWATER UPDATE (EB)	27.09.19							CHECKED:...		
									SCALE: 1 : 100		
									SHEET NO:09 /		
									ISSUE: F Please discard all other plans		

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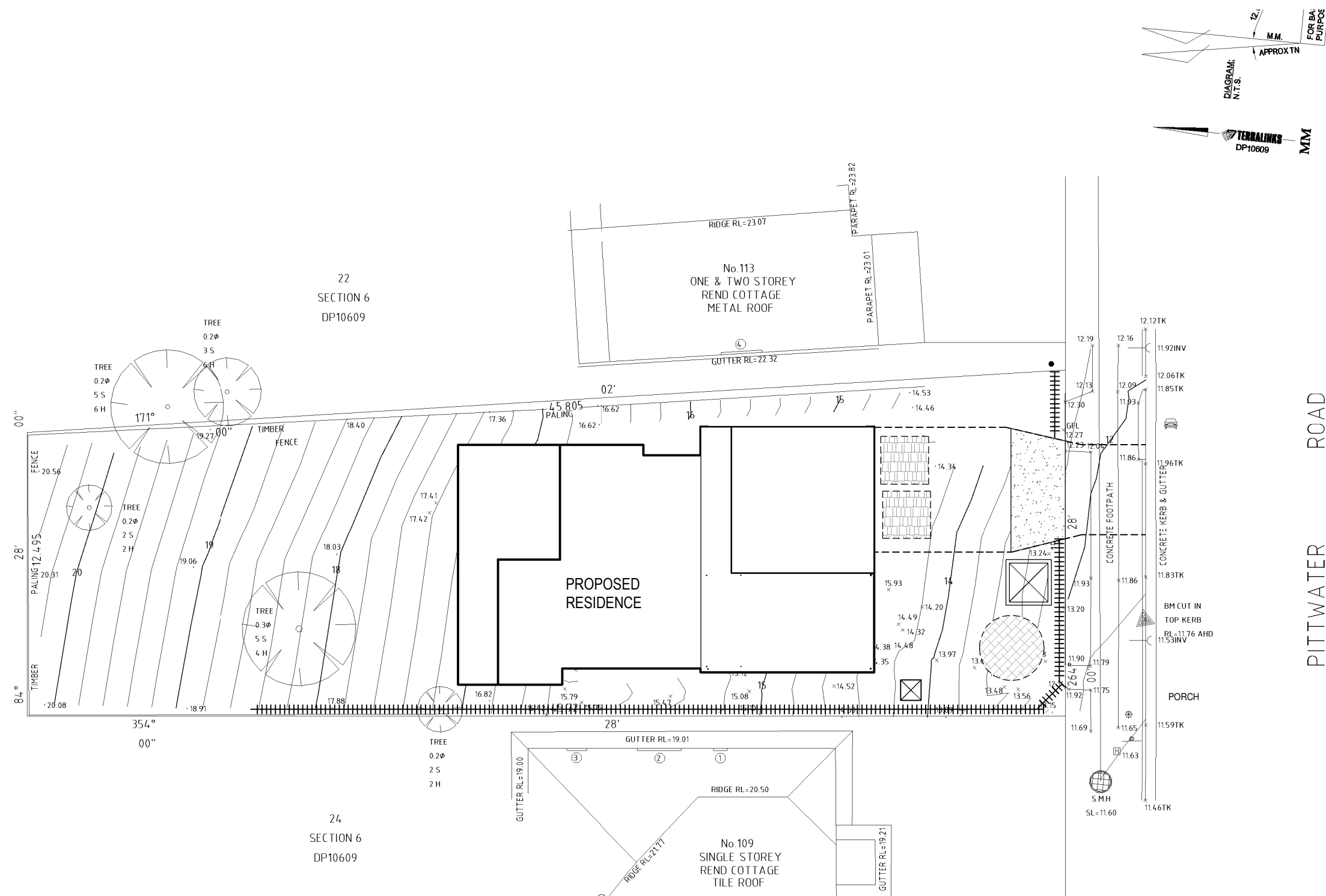
BESPOKE

Wincrest Group Pty Ltd.
ACN 135 562 873
Builders License No. 213 442C
18 Pitt St, Paramatta NSW 2150
Ph:(02) 9635 1644 Fax:(02) 9633 4806

PROPOSED RESIDENCE FOR:

CLIENT: Mr CLARK & Mrs HAY

ADDRESS:
Lot23, Sec6 No 911 Pittwater RD
COLLARROY
NORTHERN BEACHES COUNCIL



SOIL & SEDIMENT CONTROL PLAN

ISSUE				AMENDMENT				DATE				PREMIUM FINISHES			
A				PFD.+ SV1 (HT)				06.02.19				DESIGN NAME: CUSTOM			
B				VARY A (EB)				15.04.19				DESIGN NO:			
C				VARY B,C & D (EB)				15.05.19				FACADE: CUSTOM			
D				VARY F (EB)				30.05.19				JOB NO: 17338			
E				VARY H, VARY I (EC)				18.07.19				DATE: 23.09.19			
F				VARY L (EC)				23.09.19				DRAWN: EC			
G				FFD & STORMWATER UPDATE (EB)				27.09.19				CHECKED:...			
												SCALE: 1 : 200			
												SHEET NO:18 /			
												ISSUE: F Please discard all other plans			

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18 Pitt St, Paramatta NSW 2150

Ph:(02) 9635 1644 Fax:(02) 9633 4806

PROPOSED RESIDENCE FOR:

CLIENT: Mr CLARK & Mrs HAY

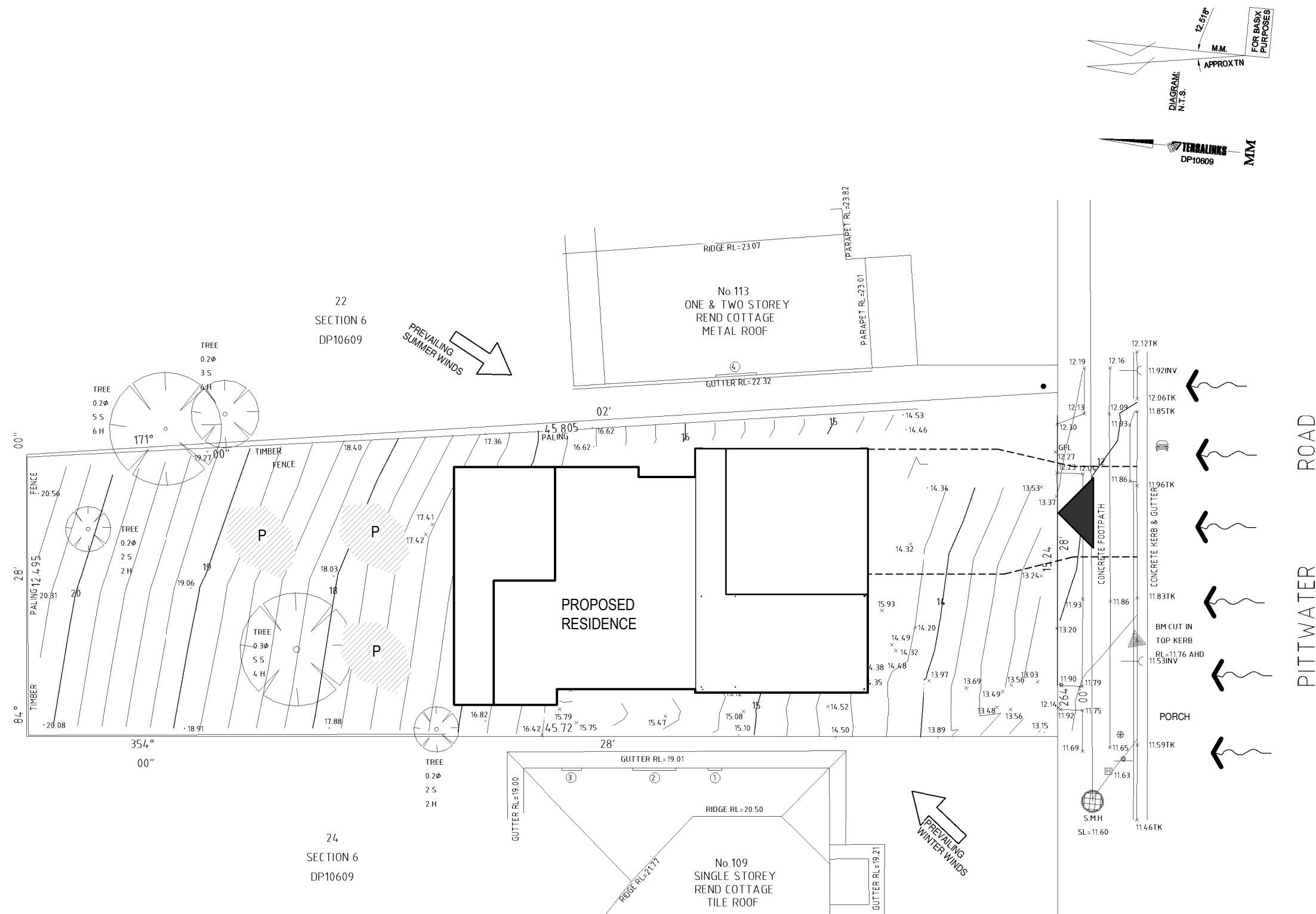
ADDRESS:

Lot23, Sec6 No 911 Pittwater RD

COLLARROY

NORTHERN BEACHES COUNCIL

LOCATION: T:\First draft\17338_CLARK&HAY\Drawings\17338_CLARK-HAY.rvt

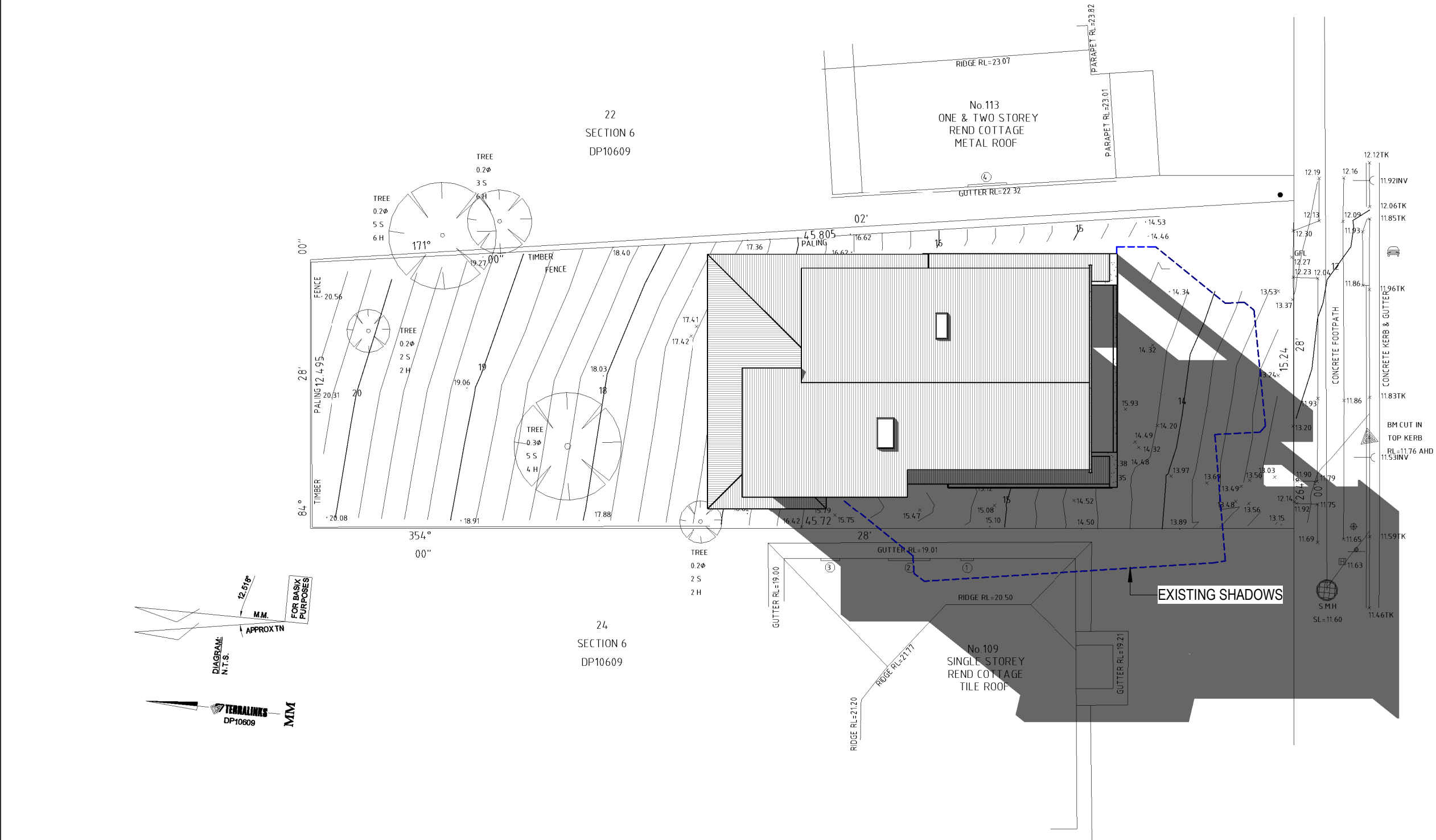


LEGEND

- EXISTING TREES TO BE REMOVED
- EXISTING TREES TO BE RETAINED
- PROPOSED RESIDENCE.
- EXISTING ADJOINING RESIDENCE.
- EXISTING BUILDINGS TO BE DEMOLISHED.
- SITE BOUNDARY
- CONTOURS
- PRIVATE OPEN SPACE
- VIEWS
- VEHICULAR SITE ENTRY
- PREVAILING WINDS
- NOISE
- OVERLOOKING

SITE ANALYSIS

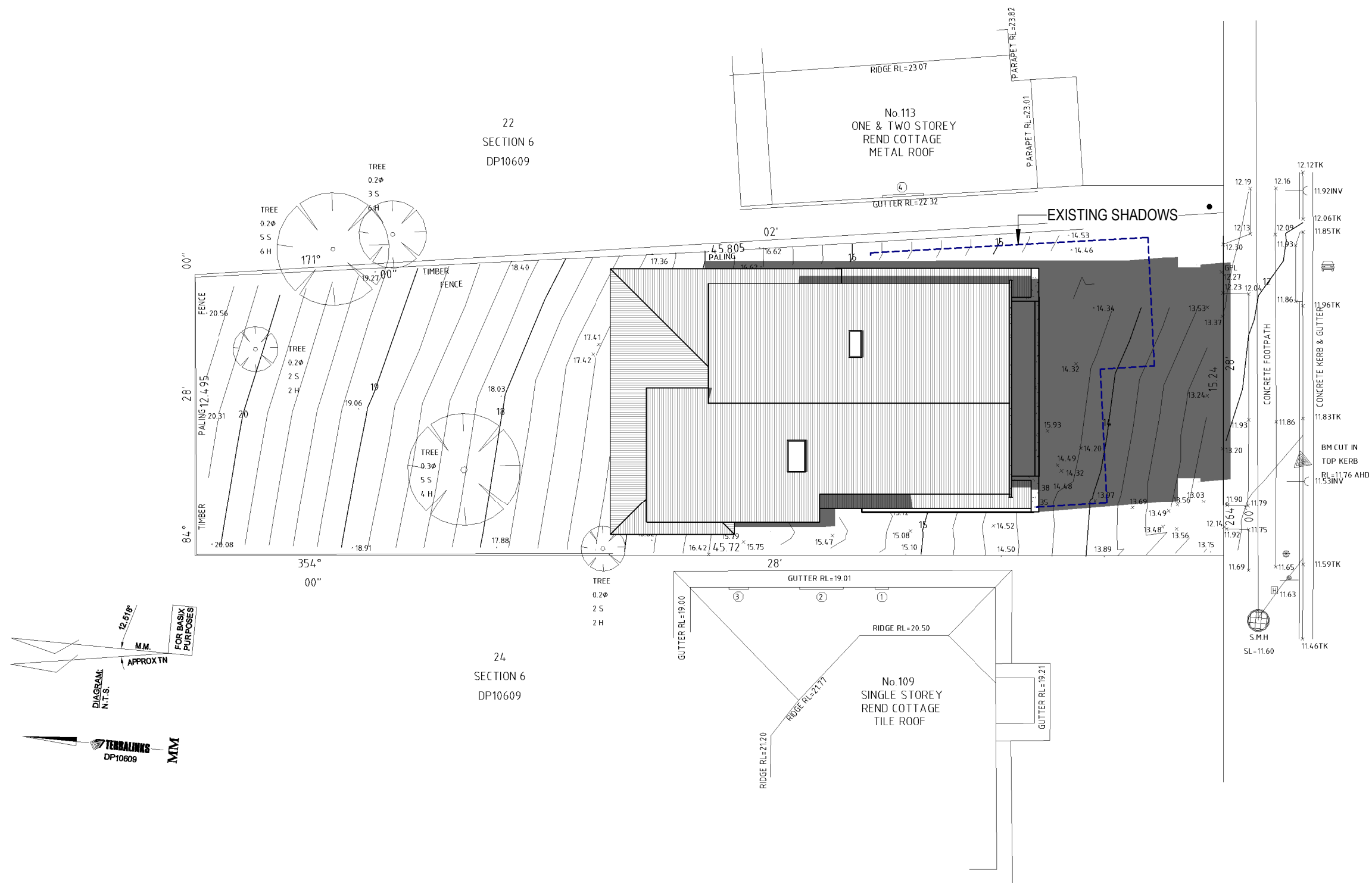
ISSUE		AMENDMENT		DATE	<div>Copyright reserved. No part of these plans may be reproduced or transmitted in any form without the written permission of Wincrest Group Pty Ltd.</div>	<div><div><div>WINCREST</div></div><div>BESPOKE Wincrest Group Pty Ltd. ACN 135 562 873 Builders License No. 213 442C 18 Pitt St, Paramatta NSW 2150 Ph:(02) 9635 1644 Fax:(02) 9633 4806</div></div>	PROPOSED RESIDENCE FOR:		DESIGN NAME: CUSTOM	
CLIENT:		Mr CLARK & Mrs HAY		DESIGN NO:			FACADE: CUSTOM			
ADDRESS:		Lot23, Sec6 No 911 Pittwater RD COLLAROY NORTHERN BEACHES COUNCIL		JOB NO: 17338			DATE: 23.09.19			
				DRAWN: EC			CHECKED:...			
				SCALE: 1 : 200	SHEET NO:19 /					
				ISSUE: F Please discard all other plans						



PITTWATER ROAD

SHADOW DIAGRAM 21st JUNE 9am

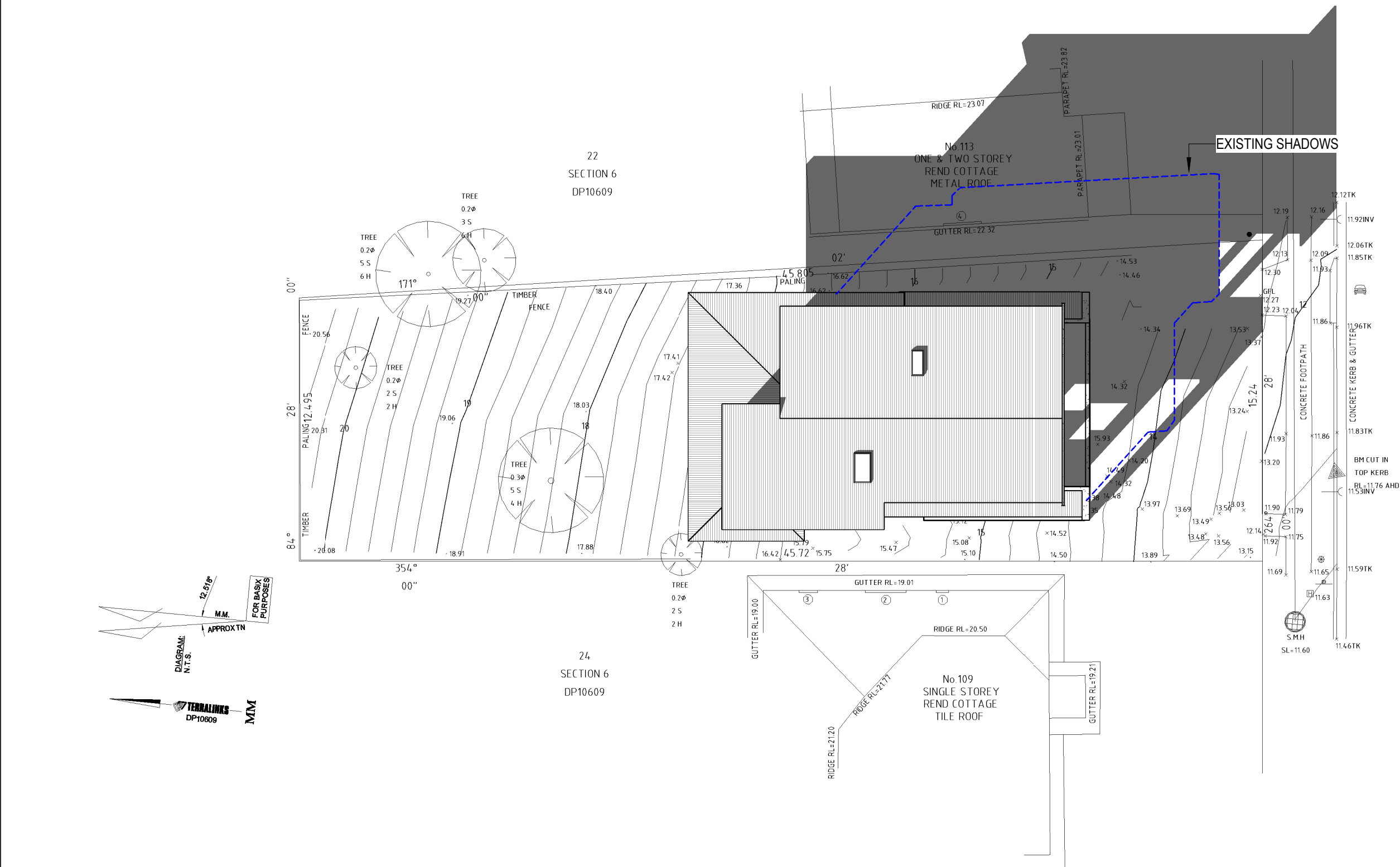
ISSUE		AMENDMENT		DATE		<div>Copyright reserved. No part of these plans may be reproduced or transmitted in any form without the written permission of Wincrest Group Pty Ltd.</div>	<div><div><div>WINCREST</div></div><div>BESPOKE</div><div>Wincrest Group Pty Ltd. ACN 135 562 873 Builders License No. 213 442C 18 Pitt St, Paramatta NSW 2150 Ph:(02) 9635 1644 Fax:(02) 9633 4806</div></div>	PROPOSED RESIDENCE FOR:		CLIENT: Mr CLARK & Mrs HAY		DESIGN NAME: CUSTOM	
A		PFD.+ SV1 (HT)		06.02.19				ADDRESS:		Lot23, Sec6 No 911 Pittwater RD		COLLARROY	
B		VARY A (EB)		15.04.19								JOB NO: 17338	
C		VARY B,C & D (EB)		15.05.19								DRAWN: EC	
D		VARY F (EB)		30.05.19								CHECKED:...	
E		VARY H, VARY I (EC)		18.07.19						SCALE: 1 : 200			
F		VARY L (EC)		23.09.19						SHEET NO:20 /			
G		FFD & STORMWATER UPDATE (EB)		27.09.19						ISSUE: F Please discard all other plans			
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PITTWATER ROAD

SHADOW DIAGRAM 21st JUNE 12pm

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A	PFD.+ SV1 (HT)	06.02.19			CLIENT: Mr CLARK & Mrs HAY		DESIGN NO:		
B	VARY A (EB)	15.04.19			ADDRESS: Lot23, Sec6 No 911 Pittwater RD COLLARROY NORTHERN BEACHES COUNCIL		FACADE: CUSTOM		
C	VARY B,C & D (EB)	15.05.19					JOB NO: 17338		DATE: 23.09.19
D	VARY F (EB)	30.05.19					DRAWN: EC		CHECKED:...
E	VARY H, VARY I (EC)	18.07.19					SCALE: 1 : 200		SHEET NO:21 /
F	VARY L (EC)	23.09.19							
G	FFD & STORMWATER UPDATE (EB)	27.09.19	PRINTED: 2/10/2019 3:09:42 PM	ISSUE: F Please discard all other plans					
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PITTWATER ROAD

SHADOW DIAGRAM 21st JUNE 3pm

ISSUE				AMENDMENT				DATE				PREMIUM FINISHES			
A				PFD.+ SV1 (HT)				06.02.19				DESIGN NAME: CUSTOM			
B				VARY A (EB)				15.04.19				DESIGN NO:			
C				VARY B,C & D (EB)				15.05.19				FACADE: CUSTOM			
D				VARY F (EB)				30.05.19				JOB NO: 17338			
E				VARY H, VARY I (EC)				18.07.19				DATE: 23.09.19			
F				VARY L (EC)				23.09.19				DRAWN: EC			
G				FFD & STORMWATER UPDATE (EB)				27.09.19				CHECKED:...			
												SCALE: 1 : 200			
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												ISSUE: F Please discard all other plans			

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Builders License No. 213 442C

18 Pitt St, Paramatta NSW 2150

Ph:(02) 9635 1644 Fax:(02) 9633 4806

PROPOSED RESIDENCE FOR:

CLIENT: Mr CLARK & Mrs HAY

ADDRESS:

Lot23, Sec6 No 911 Pittwater RD

COLLARROY

NORTHERN BEACHES COUNCIL

DESIGN NAME: CUSTOM

DESIGN NO:

FACADE: CUSTOM

JOB NO: 17338

DATE: 23.09.19

DRAWN: EC

CHECKED:...

SCALE: 1 : 200

SHEET NO:22 /

ISSUE: F Please discard all other plans

External colour selection - Lot 23, sec 6 #911 Pittwater Rd, Collaroy



EXTERNAL COLOR SELECTIONS Ref 17338	
Details	Selections
Colourbond Roof	Monument
Fascia & Gutters	Monument
Dowpipes	Mink Scorpio / Ironstone
Cladding	MINK SCORPIO
Render colour	Ironstone
Rainwater tank	Ironstone
Garage door	Decowood Casuarina
Front door	Stained Light Oak
Window & Door Frame	Monument

ALTERATIONS & ADDITIONS

at: 911 PITTWATER ROAD, COLLAROY

for: GREG CLARK & JESS HAY

Architect: LONE PINE LANDSCAPES

Prepared By:

NB Consulting Engineers
STRUCTURAL - CIVIL - STORMWATER - REMEDIAL
A.C.N. 076 121 616 A.B.N. 24 076 121 616

Sydney: Ph: (02) 9984 7000 Fax: (02) 9984 7444
Suite 207, 30 Fisher Road Dee Why N.S.W. 2099

Gold Coast: Ph: (07) 5631 4744
Unit 8, 1726 Gold Coast Highway Burleigh Heads QLD 4220
E : nb@nbconsulting.com.au W : www.nbconsulting.com.au

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DRAWING SCHEDULE:

C01 - DRIVEWAY ACCESS PLAN
C02 - PROPOSED CONTOUR LAYOUT PLAN (APPROXIMATE)
C03 - LONGITUDINAL SECTIONS - SHEET 1
C04 - LONGITUDINAL SECTIONS - SHEET 2
C05 - LONGITUDINAL SECTIONS - SHEET 3
C06 - SWEEP PATH ANALYSIS LAYOUT PLAN - SHEET 1

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CONSTRUCTION

NB Consulting Engineers

191015

REV C - 06/11/2019

CHAINAGES

PROPOSED DRIVEWAY/FOOTPATH OUTLINE

1. FOR EXISTING CONTOURS AND LEVELS. REFER SURVEY PLAN. ALL LEVELS AND DIMENSIONS TO BE CONFIRMED PRIOR TO CONSTRUCTION.
2. PRIOR APPROVAL MAY BE REQUIRED WITH RELEVANT AUTHORITIES PRIOR TO RETAINING WALLS, SHORING, BATTERS & DRAINAGE IMPACTING NEIGHBOURING PROPERTIES AND INFRASTRUCTURE BEYOND BOUNDARIES.
3. STORMWATER AND DRAINAGE BY OTHERS TO AS5350.0.
4. STORMWATER FLOOD ANALYSIS AND/OR FREEBOARD LEVELS IF REQUIRED HAVE NOT BEEN PROVIDED FOR THIS CIVIL/DRIVENWAY ACCESS PLAN. COUNCIL TO CONFIRM IF REQUIRED PRIOR TO CONSTRUCTION.
5. ALL BATTERS, RETAINING WALLS AND BULK EARTHWORKS TO FUTURE DETAILS BY OTHERS. ALL RETAINING WALLS GREATER THAN 900mm HIGH TO BE DESIGNED BY A QUALIFIED ENGINEER.
6. EXISTING DRAINAGE ACROSS NATURE STRIP & KERBS IMPACTING PROPOSED WORKS TO BE RELOCATED OR UPGRADED AS REQUIRED BY OTHERS IN AN APPROVED MANNER. REFER ARCHITECT FOR SPECIFICATIONS AND DETAILS.
7. NATURE STRIP PAVEMENT, GUTTER & FOOTWAY CROSSINGS TO COUNCIL SPECIFICATIONS.
8. CONCRETE DRIVEWAY & JOINTING PLAN BY OTHERS.
9. IMPACT OF PROPOSED WORKS ON EXISTING TREE/S. REFER ARCHITECT AND/OR ARBORIST REPORT FOR DETAILS AND SPECIFICATIONS.
10. PRIOR APPROVAL REQUIRED PRIOR TO REMOVAL OF EXISTING TREE/S REFER ARCHITECT AND/OR ARBORIST REPORT FOR SPECIFICATIONS & DETAILS.
11. CARPARKING REQUIREMENTS TO AS2890.1 BY OTHERS. REFER ARCHITECT FOR SPECIFICATIONS AND DETAILS.
12. MINIMUM DRIVEWAY WIDTHS, CLEARANCES, INCLUDING HEAD CLEARANCES TO COMPLY WITH AS2890.1 REFER ARCHITECT FOR SPECIFICATIONS & DETAILS.
13. GARAGE DOORWAY OPENING WIDTH BY OTHERS REFER ARCHITECT FOR SPECIFICATIONS AND DETAILS TO COMPLY WITH AS2890.1
14. REFER ARCHITECT FOR LATEST PLANS AND EXTENTS OF PROPOSED BUILDING WORKS & STRUCTURES. TO BE CONFIRMED PRIOR TO CONSTRUCTION.
15. COUNCIL APPROVAL MAY BE REQUIRED PRIOR TO COMMENCING CONSTRUCTION.
16. ANY VEHICLE PROFILE ANALYSIS SUCH AS THE B85 PROFILE IS NORMALLY UNDERTAKEN ALONG THE DETAILED LONGITUDINAL SECTIONS (SUCH AS LONGITUDINAL LH, CL & RH), WHICH HAVE GENERALLY BEEN LOCATED IN ACCORDANCE WITH COUNCIL POLICY. UNLESS NOTED OTHERWISE, THIS MAY NOT NECESSARILY REPRESENT THE WORSE CASE ANALYSIS.
17. SWEPT PATH ANALYSIS HAS ONLY BEEN UNDERTAKEN AS THAT SHOWN. REFER SWEPT PATH ANALYSIS PLAN/S.
18. BARRIERS REQUIRED WHERE DRIVEWAY DROP EXCEEDS 600mm. WHEN REQUIRED WHERE DRIVEWAY DROP IS BETWEEN 150-600mm. REFER AS2890.1. REFER ARCHITECT & LANDSCAPE ARCHITECT FOR SPECIFICATIONS AND DETAILS.

1) PURSUANT TO THE SURVEYING AND SPATIAL INFORMATION ACT, ANY CADASTRAL REFERENCE MARKS, SURVEY PINS OR SSMs THAT ARE ON KERBS, FOOTPATHS OR SIMILAR THAT MAY BE AFFECTED BY CONSTRUCTION OR MAINTENANCE, NEED TO BE IDENTIFIED AND SURVEYED BY A REGISTERED LAND SURVEYOR BEFORE THEY ARE DESTROYED OR DISTURBED, PERSONAL FINES APPLY FOR BREACHES OF THE ACT.

1) THESE PLANS ARE TO BE READ IN CONJUNCTION WITH COUNCIL CONDITIONS. DEVELOPMENT APPLICATIONS NUMBER DA2016/1121, NOTICE OF DETERMINATION DATED 5th DEC 2016.

1. ALL DIMENSIONS TO BE VERIFIED ON SITE BY BUILDER BEFORE COMMENCING WITH WORK.

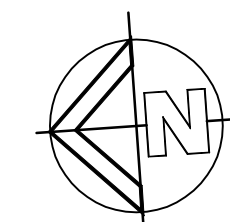
 DIAL **1100**
BEFORE YOU DIG

NO INVESTIGATION OF UNDERGROUND SERVICES
HAS BEEN MADE. ALL RELEVANT AUTHORITIES
SHOULD BE NOTIFIED PRIOR TO ANY
EXCAVATION ON OR NEAR THE SITE

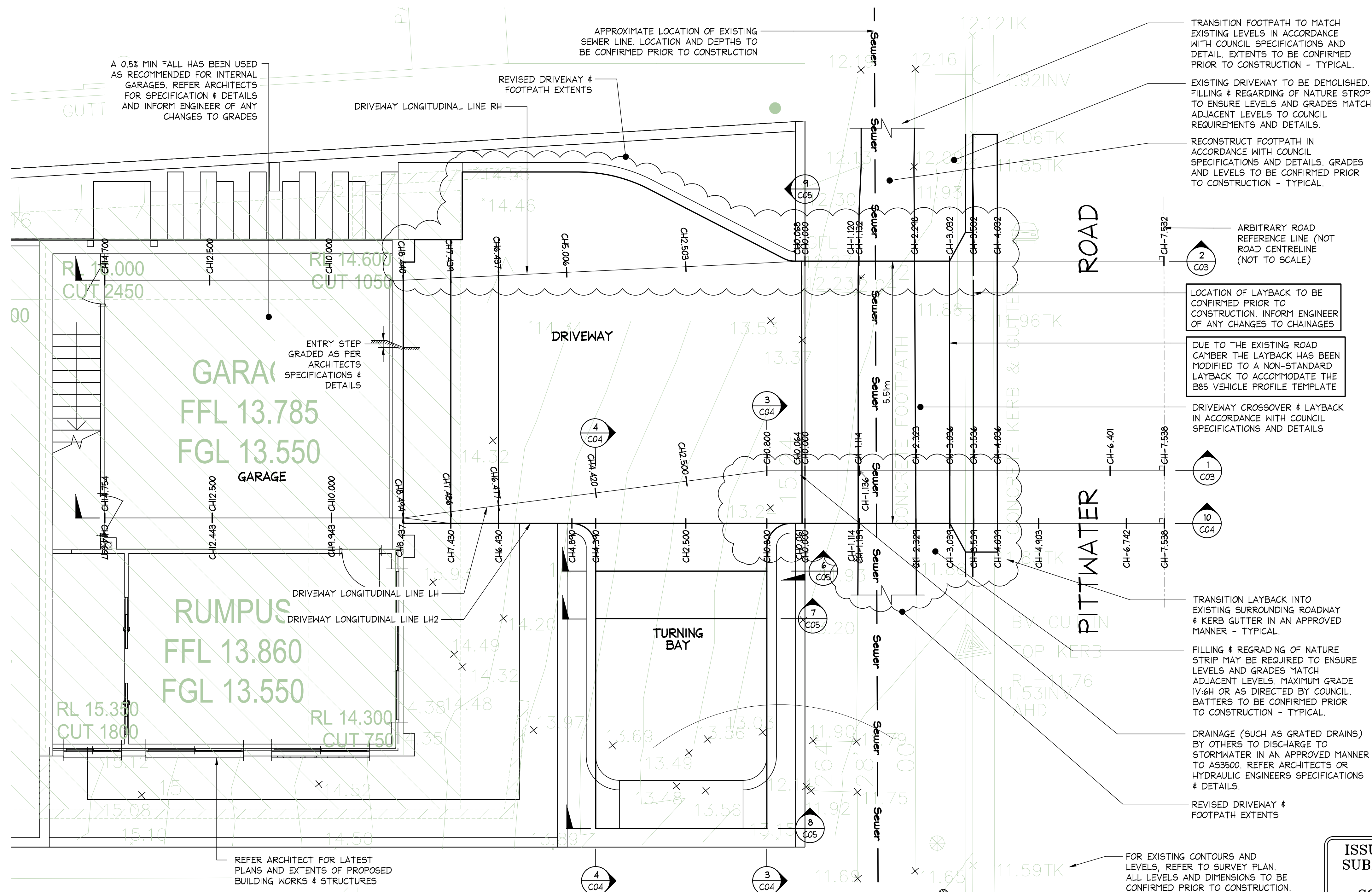
DEVELOPERS & EXCAVATORS MAY BE HELD FINANCIALLY RESPONSIBLE BY THE ASSET OWNER SHOULD THEY DAMAGE UNDERGROUND NETWORKS.

- CAUSE DEATH OR SERIOUS INJURY TO WORKERS AND THE GENERAL PUBLIC
- INCONVENIENCE USERS OF ELECTRICITY GAS, WATER AND COMMUNICATIONS
- LEAD TO CRIMINAL PROSECUTION AND DAMAGES CLAIMS
- CAUSE EXPENSIVE FINANCIAL LOSSES TO BUSINESS
- CUT OFF EMERGENCY SERVICES
- DELAY PROJECT COMPLETION TIMES WHILE THE DAMAGE IS REPAIRED

MINIMISE YOUR RISK AND DIAL
BEFORE YOU DIG. - TEL. 1100



ASSUMED KERB INVERT LEVEL (KIL). ASSUMED 160 HIGH KERB FROM SURVEY TOP OF KERB (TOK). INVERT LEVELS TO BE CONFIRMED PRIOR TO CONSTRUCTION AND INFORM ENGINEER OF ANY DISCREPANCIES



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IF IN DOUBT ASK

DRIVEWAY ACCESS PLAN

SCALE = 1 : 50

A1		SCALE = 1 : 50										
31/03/2020	E	REVISED PLANS	D.K.	M.W.	<div>DOCUMENT CERTIFICATION</div> <div>Date : </div> <div>Rick G Wray</div> <div>BE(Civil), CPEng, MIEAust., NER, RPEQ: 06293, (Director NB Consulting Engineers)</div> <div>The copyright of this drawing remains with Northern Beaches Consulting Engineers Pty Ltd. Trading as NB Consulting Engineers</div>	<div>NB Consulting Engineers</div> <div>STRUCTURAL - CIVIL - STORMWATER - REMEDIAL</div> <div>A.C.N. 076 121 616 A.B.N. 24 076 121 616</div> <div>Sydney: Ph: (02) 9984 7000 Fax: (02) 9984 7444</div> <div>Suite 207, 30 Fisher Road Dee Why N.S.W. 2099</div> <div>Gold Coast: Ph: (07) 5631 4744</div> <div>Unit 8, 1726 Gold Coast Highway Burleigh Heads QLD 4220</div> <div>E : nb@nbconsulting.com.au W : www.nbconsulting.com.au</div>	Architect:	Project: ALTERATIONS & ADDITIONS AT 911 PITTWATER ROAD, COLLAROY		Date: OCT 2019	Design: D.K.	Drawn: D.K.
27/03/2020	D	REVISED PLANS	D.K.	M.W.			Client:	Drawing Title:	Job No: 191015	Drawing No: C01	Issue: E	
06/11/2019	C	REVISE PLANS TO SUIT LATEST ARCHITECTURAL DRAWINGS	D.K.	M.W.								
25/10/2019	B	ISSUED FOR DA SUBMISSION ONLY - NOT FOR CONSTRUCTION	D.K.	M.W.								
21/10/2019	A	PRELIMINARY ISSUE FOR INFORMATION PURPOSES ONLY - NOT FOR CONSTRUCTION	D.K.	M.W.								
Date:	Issue:	Description:	By:	Review:								

B Consulting Engineers



1. ALL DIMENSIONS TO BE VERIFIED ON SITE BY BUILDER BEFORE COMMENCING WITH WORK.
2. FOR GENERAL NOTES REFER TO DRAWING NUMBER: COI.

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PROPOSED CONTOUR LEVELS ARE
INDICATIVE ONLY. ALL LEVELS TO
BE CONFIRMED PRIOR TO
CONSTRUCTION. DO NOT SCALE.



NOT TO SCALE

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SUBMISSION ONLY
NOT FOR
CONSTRUCTION

IF IN DOUBT ASK

A1																					
31/03/2020	E	REVISED PLANS				D.K.	M.W.	<div>DOCUMENT CERTIFICATION</div> <div><div>Date : Rick G Wray</div><div>BE(Civil), CPEng, MIEAust., NER, RPEQ: 08293. (Director NB Consulting Engineers)</div><div>The copyright of this drawing remains with Northern Beaches Consulting Engineers Pty Ltd. Traded as NB Consulting Engineers</div></div>	<div><div>NB Consulting Engineers</div><div>STRUCTURAL - CIVIL - STORMWATER - REMEDIAL A.C.N. 076 121 616 A.B.N. 24 076 121 616</div><div>Sydney: Ph: (02) 9984 7000 Fax: (02) 9984 7444 Suite 207, 30 Fisher Road Dee Why N.S.W. 2099 Gold Coast: Ph: (07) 5631 4744 Unit 8, 1726 Gold Coast Highway Burleigh Heads QLD 4220 E : nb@nbconsulting.com.au W : www.nbconsulting.com.au</div></div>	Architect:		LONE PINE LANDSCAPES				Project: ALTERATIONS & ADDITIONS AT 911 PITTWATER ROAD, COLLAROY		Date: OCT 2019	Design: D.K.	Drawn: D.K.	
27/03/2020	D	REVISED PLANS				D.K.	M.W.			Client:		Drawing Title: PROPOSED CONTOUR LAYOUT PLAN (APPROXIMATE)				Job No: 191015	Drawing No: C02	Issue: E			
06/11/2019	C	REVISE PLANS TO SUIT LATEST ARCHITECTURAL DRAWINGS				K.O.	M.W.														
25/10/2019	B	ISSUED FOR DA SUBMISSION ONLY - NOT FOR CONSTRUCTION				D.K.	M.W.														
21/10/2019	A	PRELIMINARY ISSUE FOR INFORMATION PURPOSES ONLY - NOT FOR CONSTRUCTION				D.K.	M.W.														
Date:	Issue:	Description:					By: Review:														

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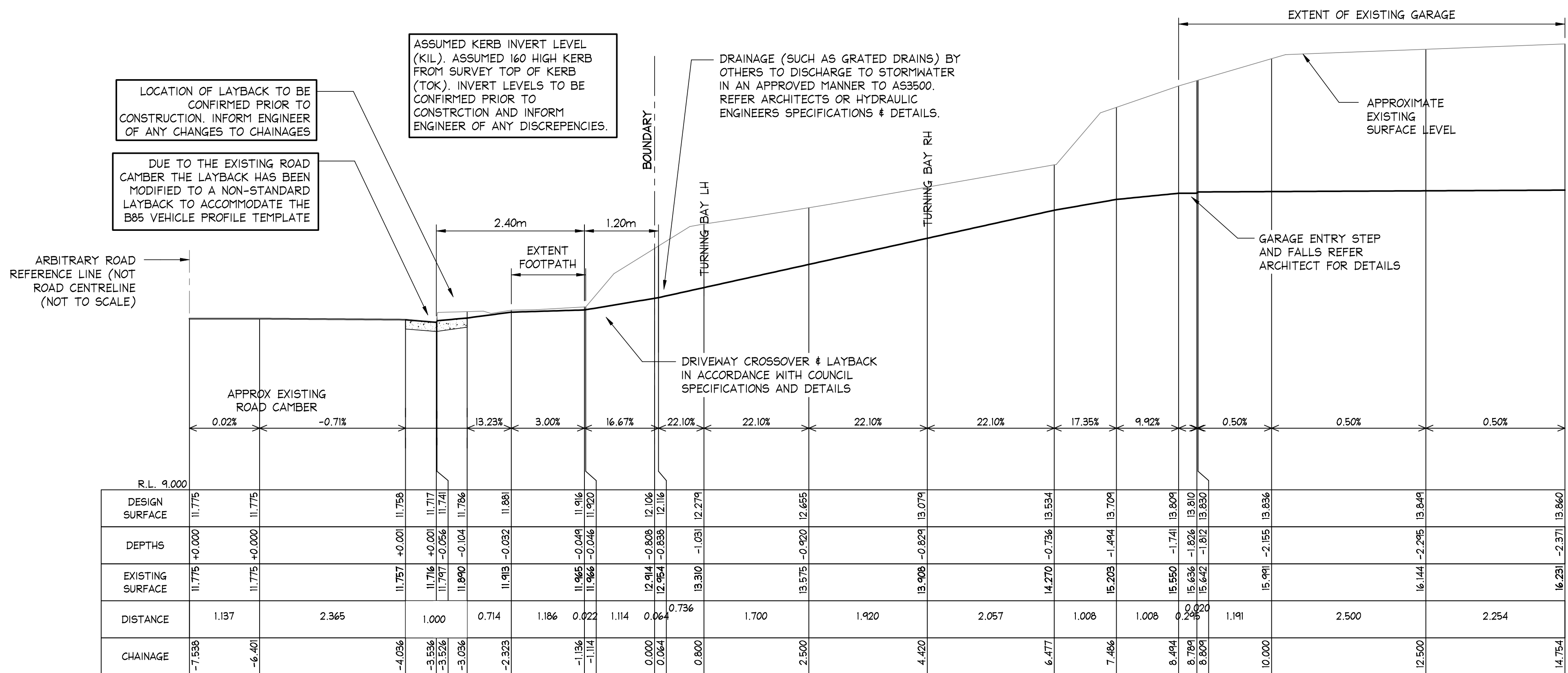
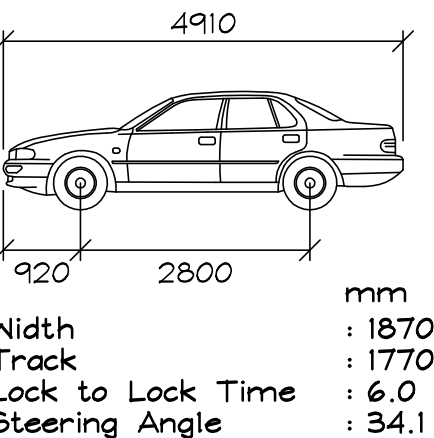
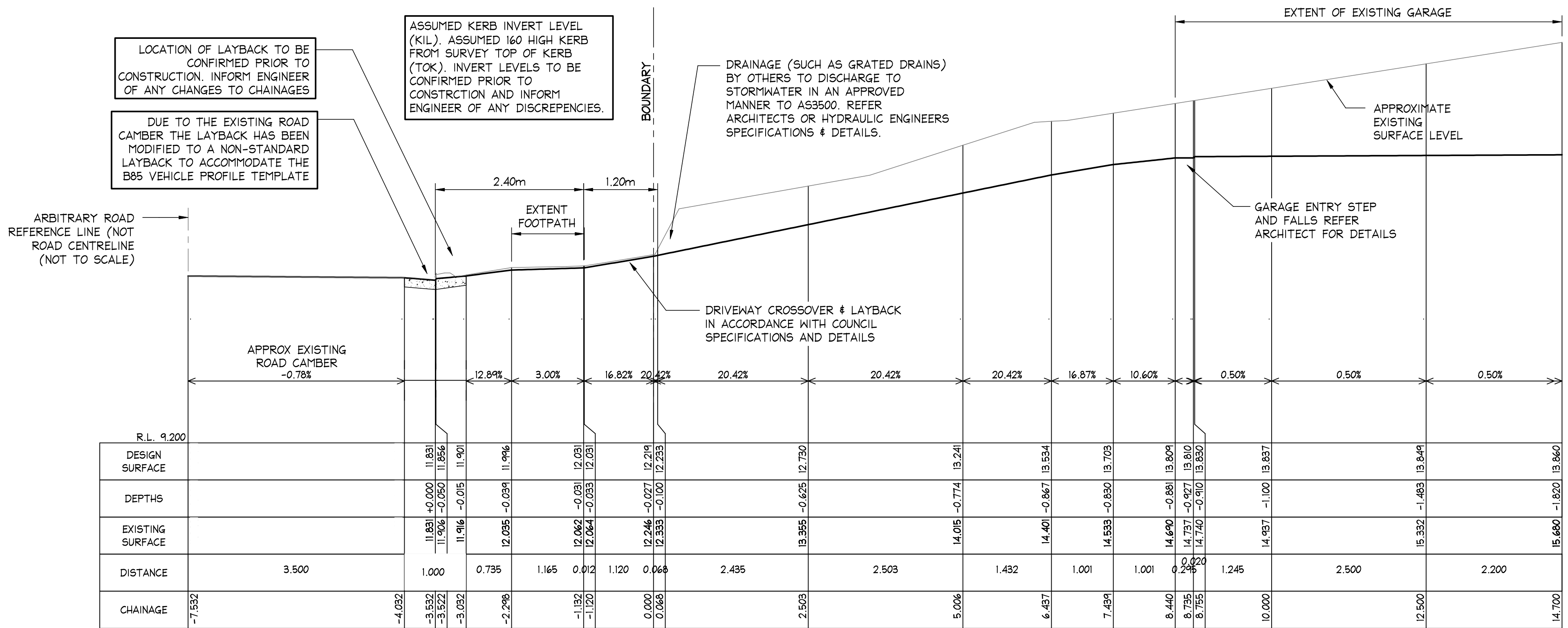
NOTES:

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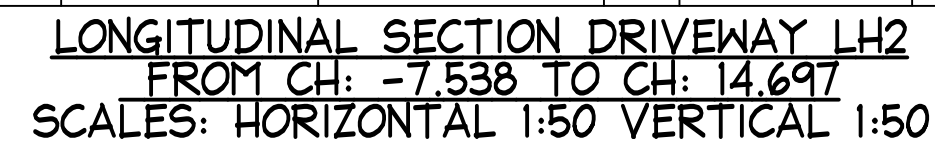
LONGITUDINAL SECTION DRIVEWAY LH
FROM CH: -7.538 TO CH: 14.754
SCALE: HORIZONTAL 1:50 VERTICAL 1:50SECTION 1
C01LONGITUDINAL SECTION DRIVEWAY RH
FROM CH: -7.532 TO CH: 14.700
SCALE: HORIZONTAL 1:50 VERTICAL 1:50SECTION 2
C01

A1

DOCUMENT CERTIFICATION				NB Consulting Engineers				Architect:				Project: ALTERATIONS & ADDITIONS AT 911 PITTWATER ROAD, COLLAROY				Date: OCT 2019	Design: D.K.	Drawn: D.K.
31/03/2020	C	REVISED PLANS		D.K.	M.W.	Date: Rick G Wray		LONE PINE LANDSCAPES										
25/10/2019	B	ISSUED FOR DA SUBMISSION ONLY - NOT FOR CONSTRUCTION		D.K.	M.W.	BE(Civil), CPEng, MIE Aust., NER, RPEQ: 08293. (Director NB Consulting Engineers)		GREG CLARK & JESS HAY				Drawing Title: LONGITUDINAL SECTIONS - SHEET 1				Job No: 191015	Drawing No: C03	Issue: C
21/10/2019	A	PRELIMINARY ISSUE FOR INFORMATION PURPOSES ONLY - NOT FOR CONSTRUCTION		D.K.	M.W.	The copyright of this drawing remains with Northern Beaches Consulting Engineers Pty Ltd. Trading as NB Consulting Engineers												
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LONGITUDINAL SECTION TURNING BAY LH
FROM CH: 0.000 TO CH: 7.505
SCALES: HORIZONTAL 1:50 VERTICAL 1:50

LONGITUDINAL SECTION TURNING BAY RH
FROM CH: 0.000 TO CH: 7.040
SCALES: HORIZONTAL 1:50 VERTICAL 1:50

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3/03/2020	C	REVISED PLANS	D.K.	M.W.
25/10/2019	B	ISSUED FOR DA SUBMISSION ONLY - NOT FOR CONSTRUCTION	D.K.	M.W.
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Date:	Issue:	Description:	By:	Review:

Date : 
Rick G Wray
BE(Civil),CPEng,MIEAust.,NER.,RPEQ: 08293.
(Director NB Consulting Engineers)
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Architect:	LONE PINE LANDSCAPES
Client:	GREG CLARK & JESS HAY

Project:	ALTERATIONS & ADDITIONS AT 911 PITTWATER ROAD, COLLAROY
Drawing Title:	LONGITUDINAL SECTIONS - SHEET 2

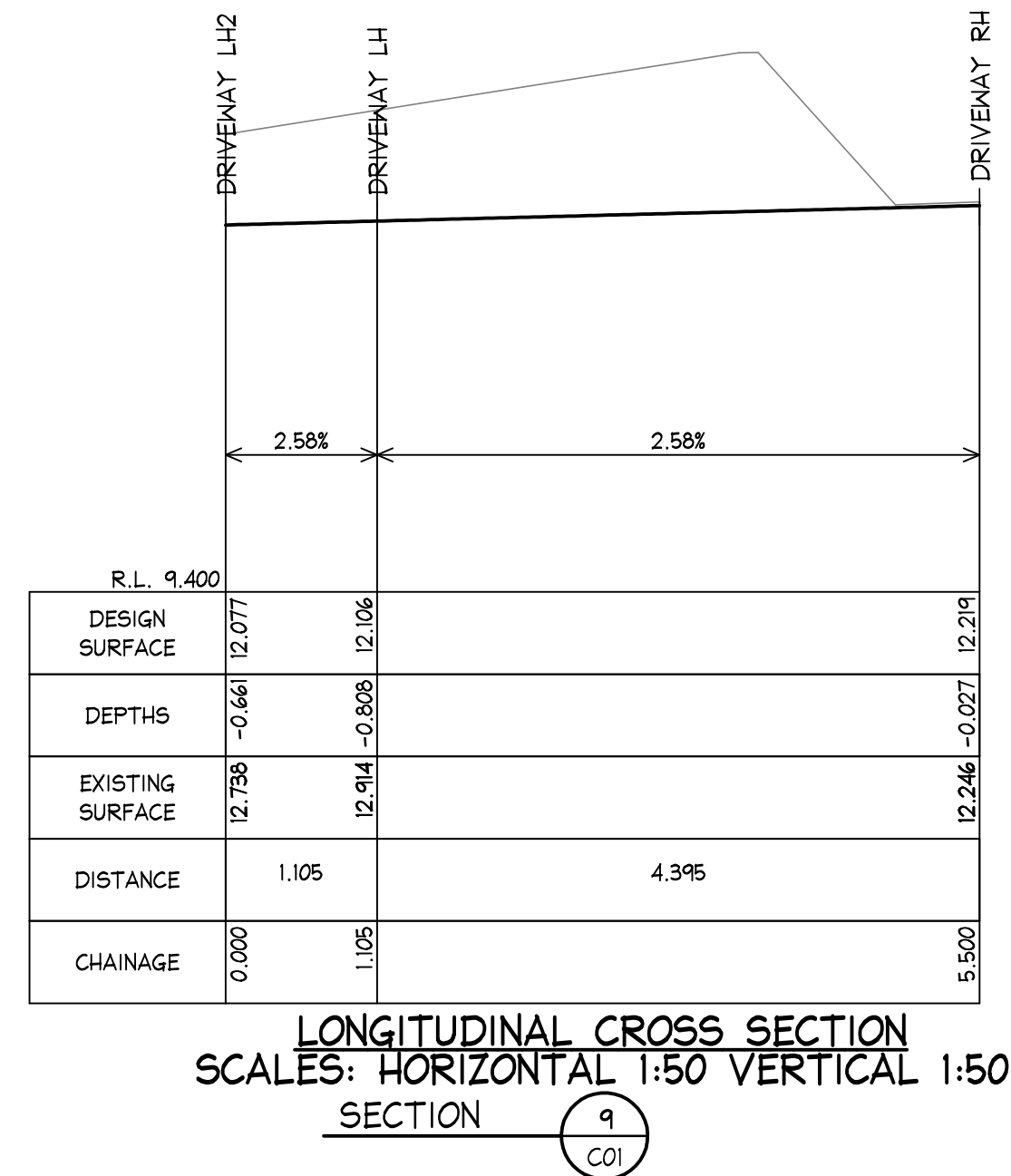
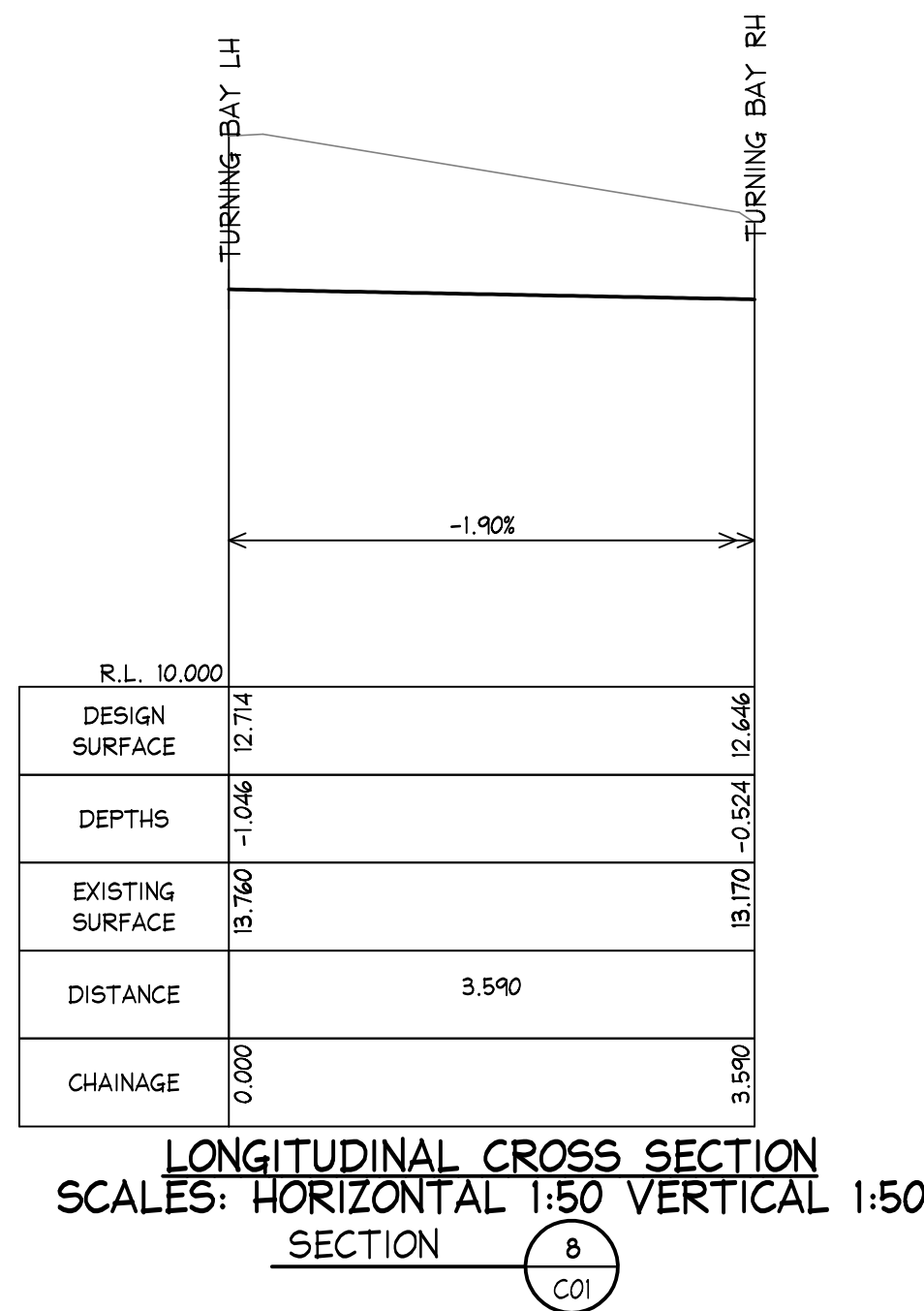
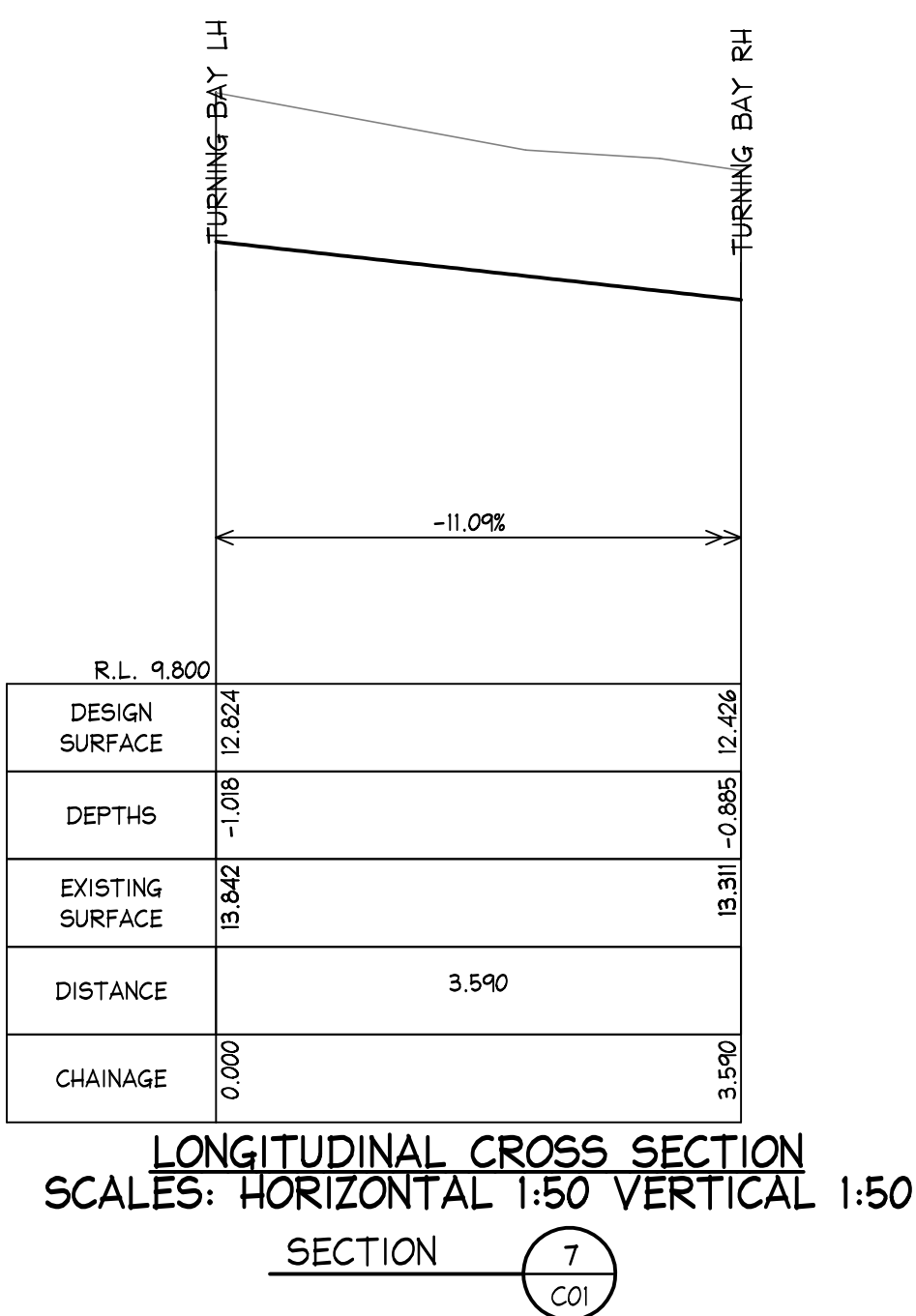
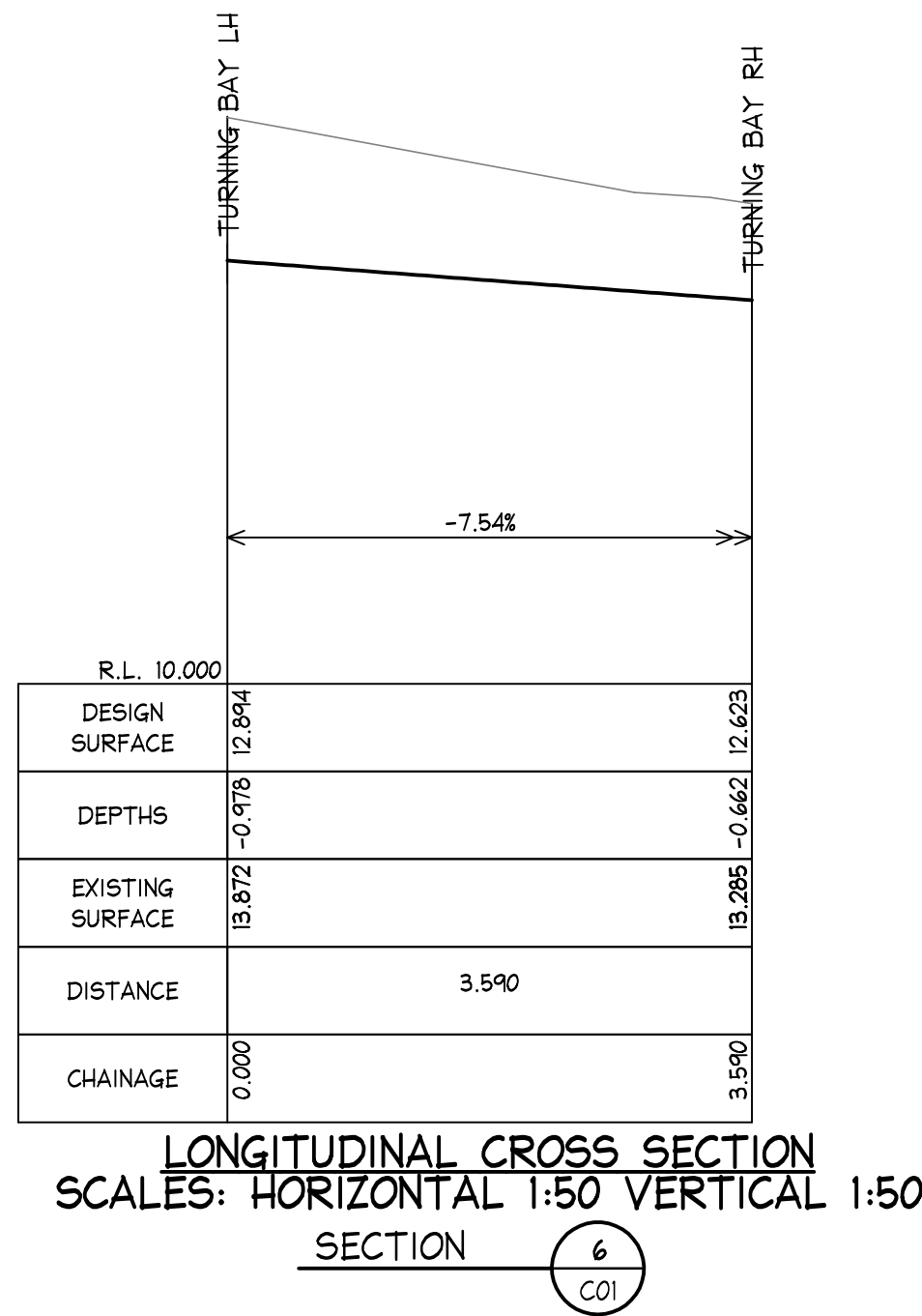
Date:	Design:	Drawn:
OCT 2019	D.K.	D.K.
Job No:		Drawing No:
191015		C04
		Issue:
		C

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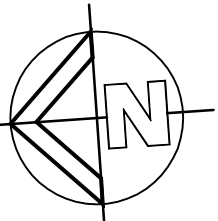
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A1

31/03/2020	D	REVISED PLANS	D.K.	M.W.	DOCUMENT CERTIFICATION Date : <i>R. Wray</i> Rick G Wray BE(Civil), CPEng, MIEAust., NER, RPEQ: 08293. (Director: NB Consulting Engineers) <small>The copyright of this drawing remains with Northern Beaches Consulting Engineers Pty Ltd. Trading as NB Consulting Engineers</small>
27/03/2020	C	REVISED PLANS	D.K.	M.W.	
25/10/2019	B	ISSUED FOR DA SUBMISSION ONLY - NOT FOR CONSTRUCTION	D.K.	M.W.	
21/10/2019	A	PRELIMINARY ISSUE FOR INFORMATION PURPOSES ONLY - NOT FOR CONSTRUCTION	D.K.	M.W.	
Date:	Issue:	Description:	By:	Review:	
					NB Consulting Engineers STRUCTURAL - CIVIL - STORMWATER - REMEDIAL A.C.N. 076 121 616 A.B.N. 24 076 121 616 Sydney: Ph: (02) 9984 7000 Fax: (02) 9984 7444 Suite 207, 30 Fisher Road Dee Why N.S.W. 2099 Gold Coast: Ph: (07) 5631 4744 Unit 8, 1726 Gold Coast Highway Burleigh Heads QLD 4220 E : nb@nbconsulting.com.au W : www.nbconsulting.com.au
Architect:			Project:		
LONE PINE LANDSCAPES			ALTERATIONS & ADDITIONS AT 911 PITTWATER ROAD, COLLAROY		
Client:			Drawing Title:		
GREG CLARK & JESS HAY			LONGITUDINAL SECTIONS - SHEET 3		
Date:		Date:	Design:	Drawn:	
		OCT 2019	D.K.	D.K.	
Job No:		Drawing No:		Issue:	
191015		C05		D	

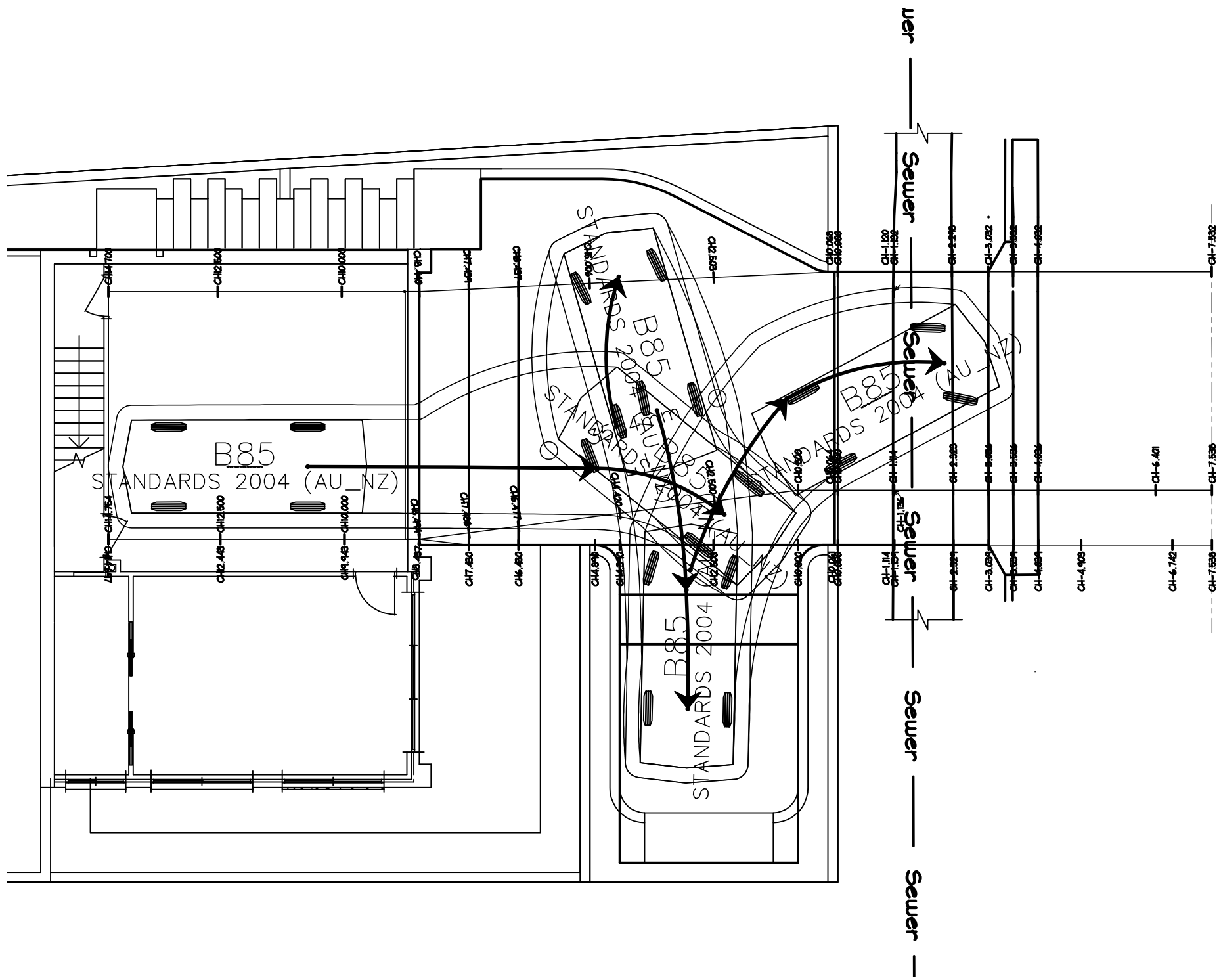
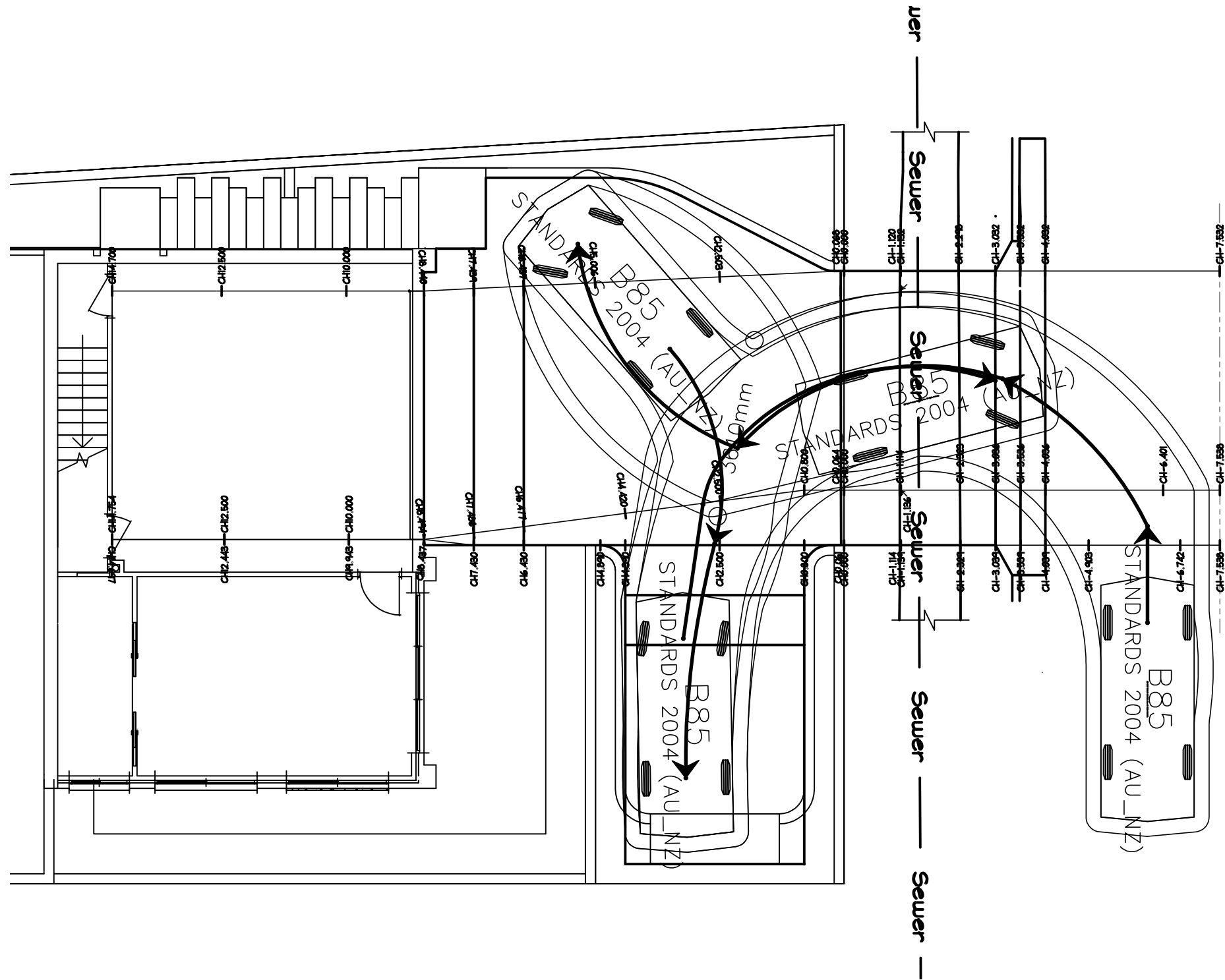
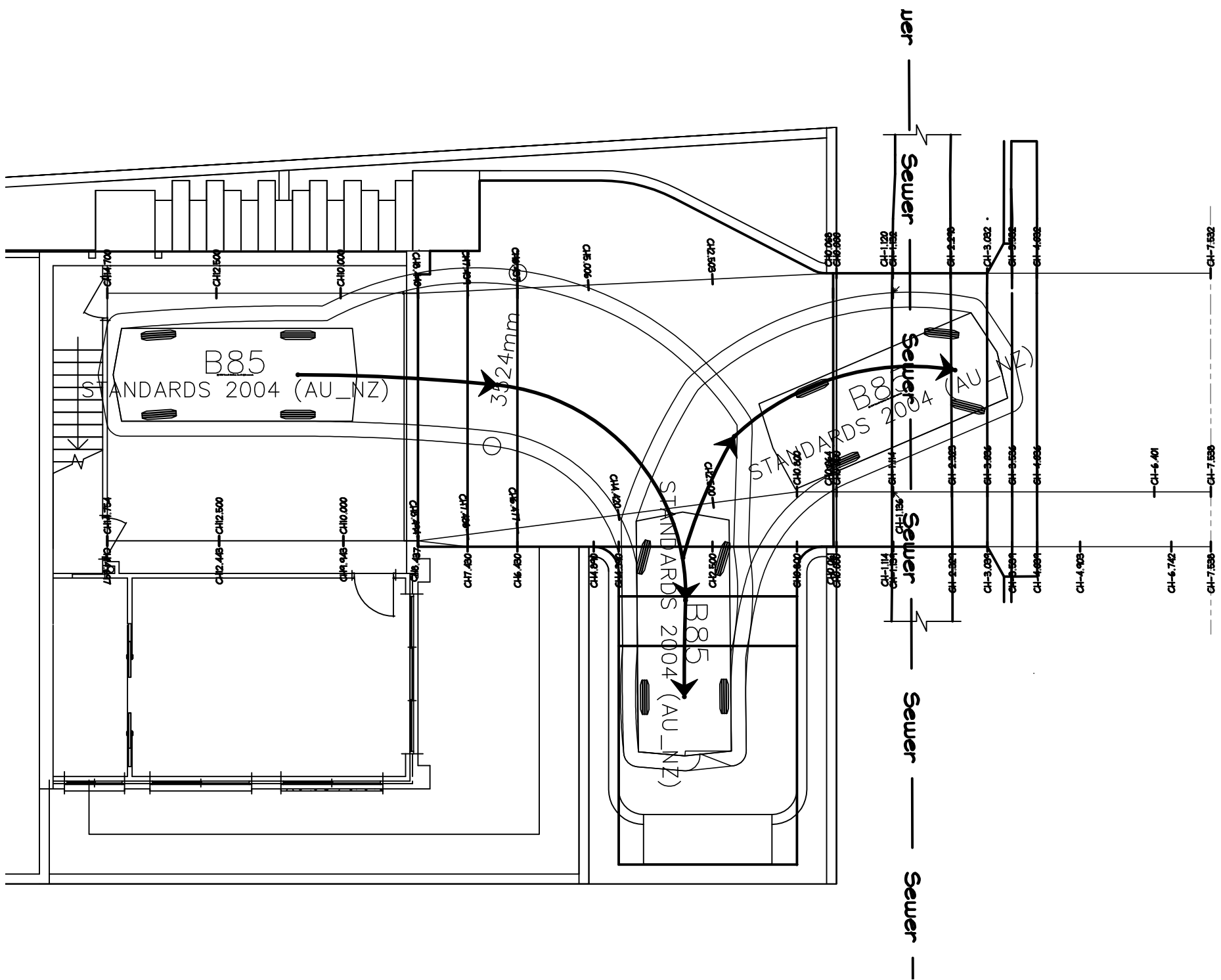
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31/03/2020	E	REVISED PLANS	D.K.	M.W.	DOCUMENT CERTIFICATION Date :  Rick G Wray BE(Civil), CPEng, MIEAust., NER, RPEQ: 08293. (Director NB Consulting Engineers) <small>The copyright of this drawing remains with Northern Beaches Consulting Engineers Pty Ltd. Trading as NB Consulting Engineers</small>	NB Consulting Engineers STRUCTURAL - CIVIL - STORMWATER - REMEDIAL A.C.N. 076 121 616 A.B.N. 24 076 121 616 Sydney: Ph: (02) 9984 7000 Fax: (02) 9984 7444 Suite 207, 30 Fisher Road Dee Why N.S.W. 2099 Gold Coast: Ph: (07) 5631 4744 Unit 8, 1726 Gold Coast Highway Burleigh Heads QLD 4220 E : nb@nbconsulting.com.au W : www.nbconsulting.com.au	Architect:	Project:	Date:	Design:	Drawn:					
27/03/2020	D	REVISED PLANS	D.K.	M.W.			LONE PINE LANDSCAPES	ALTERATIONS & ADDITIONS AT 911 PITTWATER ROAD, COLLAROY	OCT 2019	D.K.	D.K.					
06/11/2019	C	REVISE PLANS AND SWEPT PATH TO SUIT LATEST ARCHITECTURAL DRAWINGS	D.K.	M.W.			Client:	Drawing Title:	Job No:	Drawing No:	Issue:					
25/10/2019	B	ISSUED FOR DA SUBMISSION ONLY - NOT FOR CONSTRUCTION	D.K.	M.W.								GREG CLARK & JESS HAY	SWEPT PATH ANALYSIS LAYOUT PLAN - SHEET 1	191015	C06	E
21/10/2019	A	PRELIMINARY ISSUE FOR INFORMATION PURPOSES ONLY - NOT FOR CONSTRUCTION	D.K.	M.W.												
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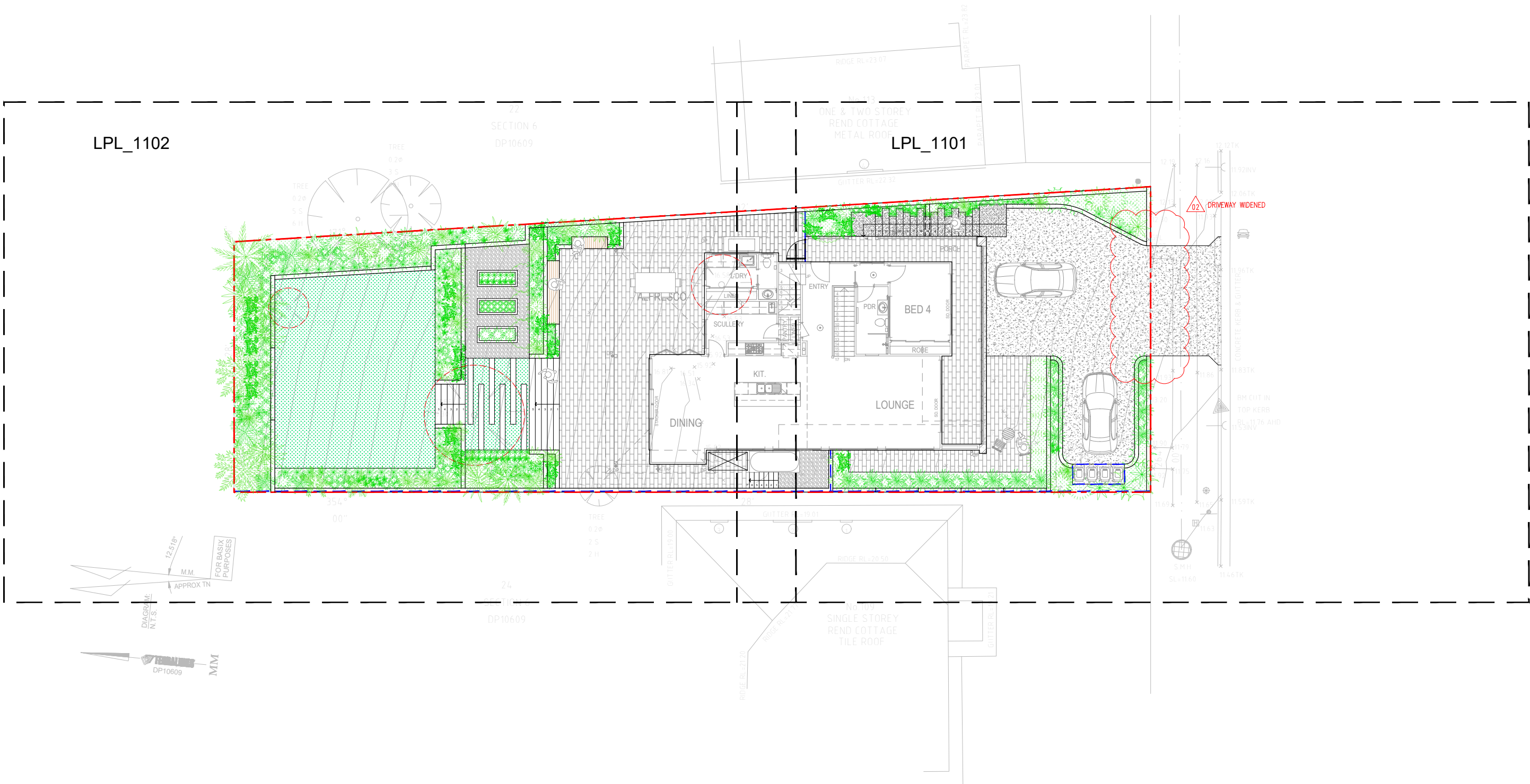
GREG CLARK & JESSE HAY

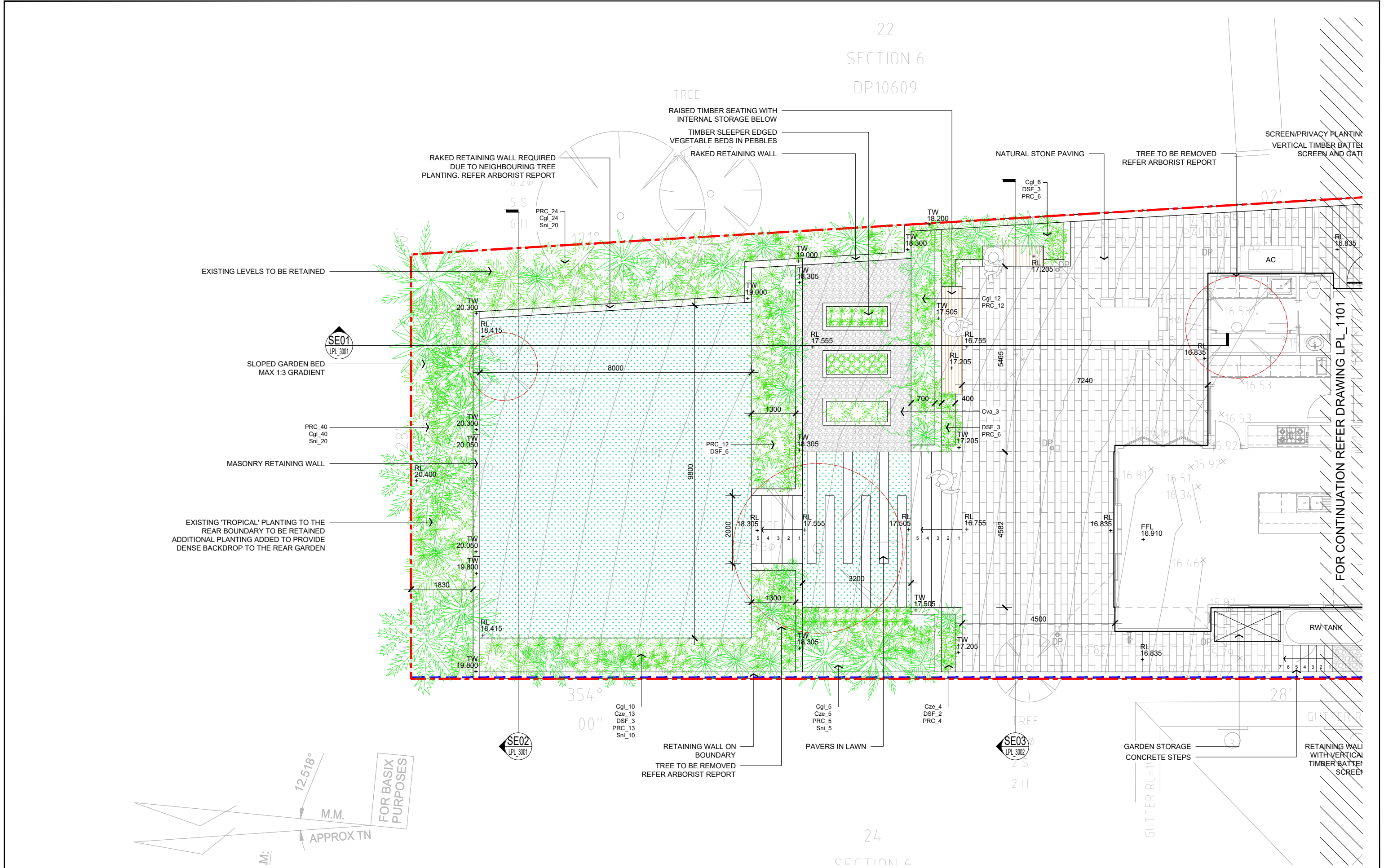
911 PITTWATER ROAD COLLAROY 2097

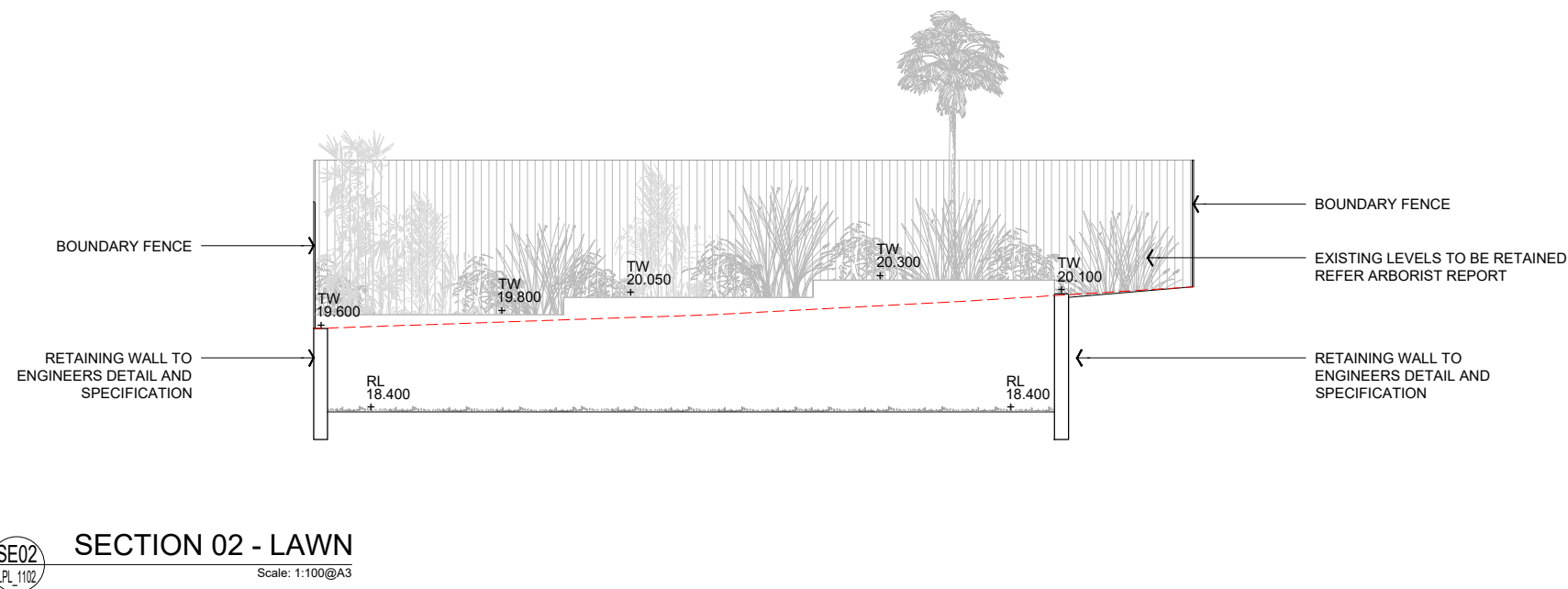
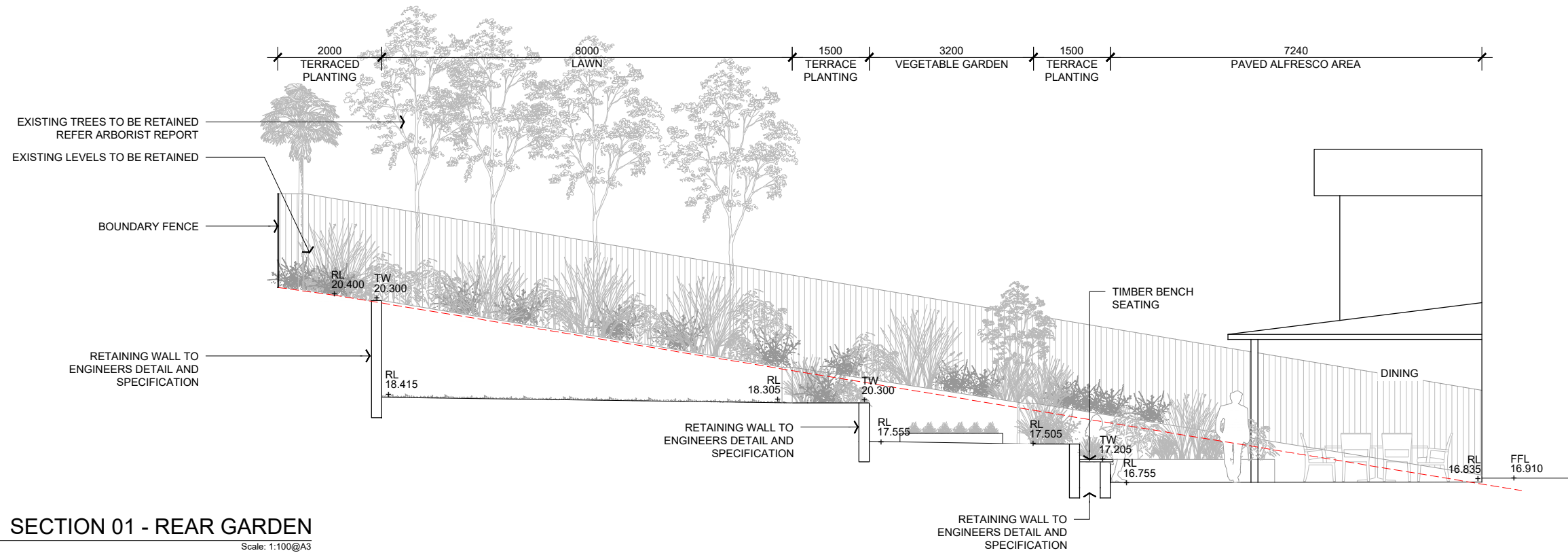
DEVELOPMENT APPLICATION

LANDSCAPE DESIGN

DRAWING NUMBER	DRAWING NAME	DRAWING SCALE
GENERAL		
LPL_0001	DRAWING INDEX	-
SITE PLANS		
LPL_0101	LANDSCAPE SITE PLAN	1:200
GENERAL ARRANGEMENT		
LPL_1101	LANDSCAPE PLAN SHEET 01 OF 02	1:100
LPL_1102	LANDSCAPE PLAN SHEET 02 OF 02	1:100
SECTIONS		
LPL_3001	LANDSCAPE SECTIONS SHEET 01 OF 03	1:100
LPL_3002	LANDSCAPE SECTIONS SHEET 02 OF 03	1:50 / 1:100
LPL_3003	LANDSCAPE SECTIONS SHEET 03 OF 03	1:100







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06.11.2019

REV DESCRIPTION

DATE

NORTH

SCALE



PROJECT

GREG CLARK & JESSE HAY
911 PITTWATER ROAD
COLLARROY
NSW 2097

DRAWING TITLE

LANDSCAPE SECTIONS
SHEET 01 OF 03

STATUS

DRAFT DEVELOPMENT APPLICATION

SCALE @ A3

1:100

DRAWN

CN

REVIEWED

RF

APPROVED

ED

PROJECT NUMBER

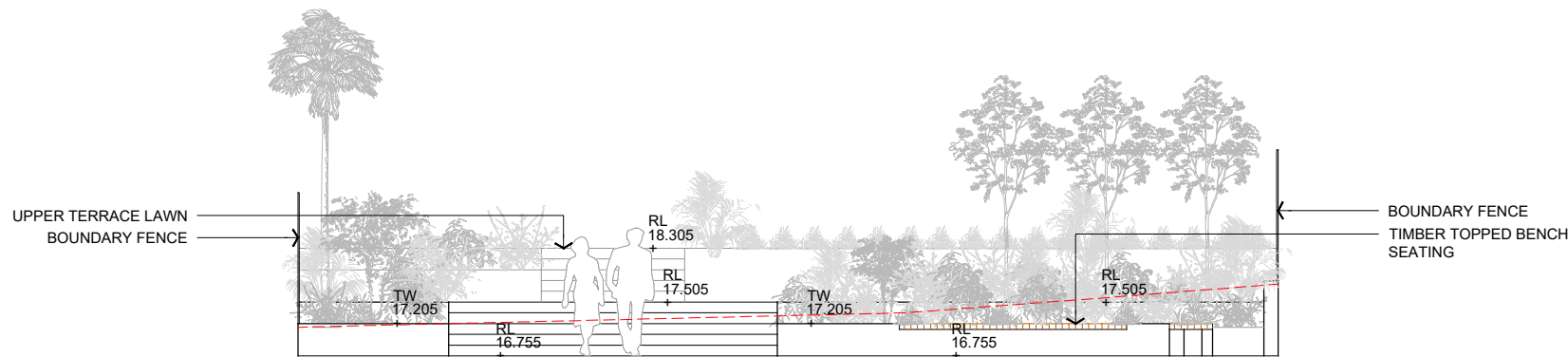
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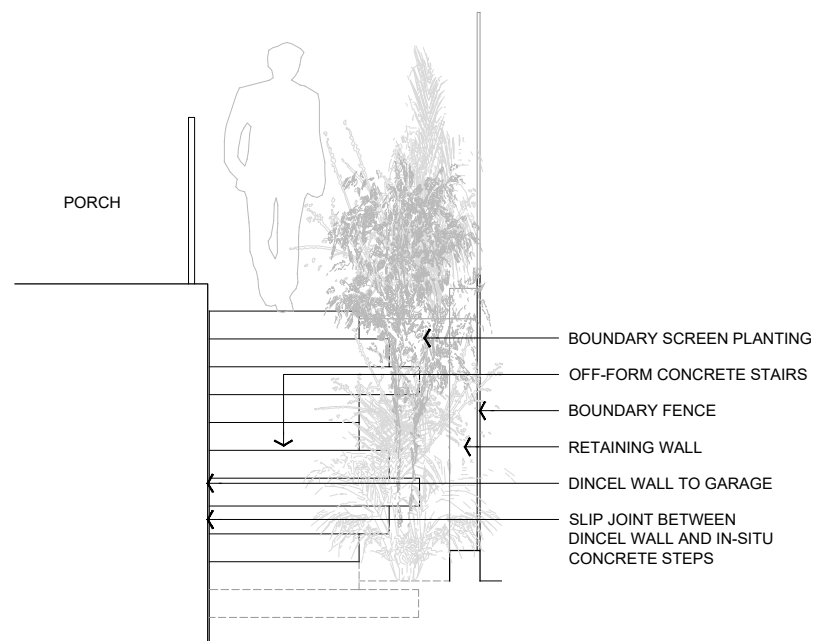
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REV

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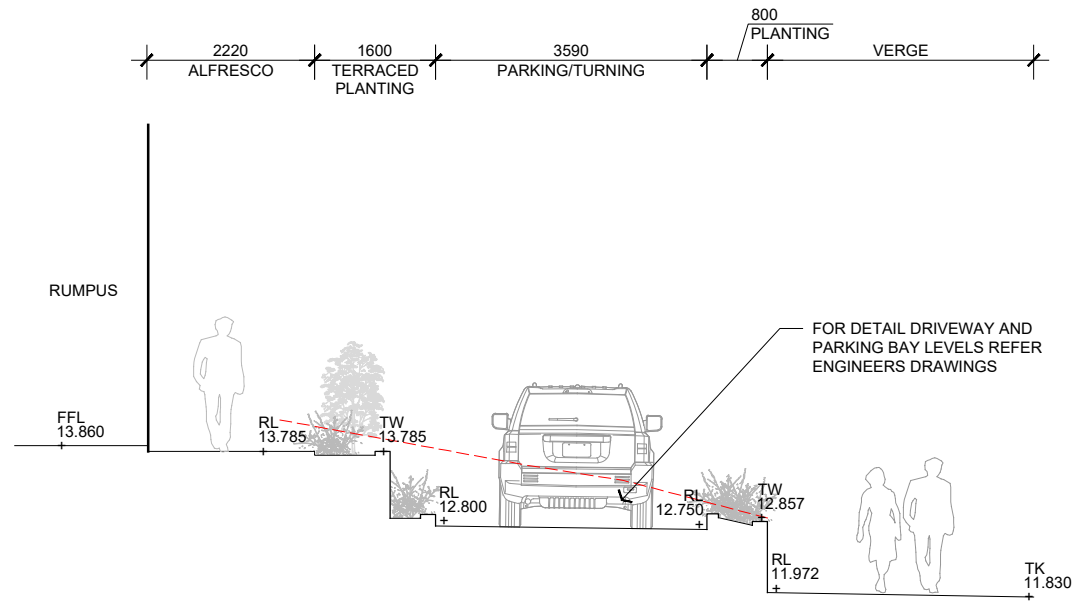
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SECTION 04 (TYP) - ENTRANCE STAIR
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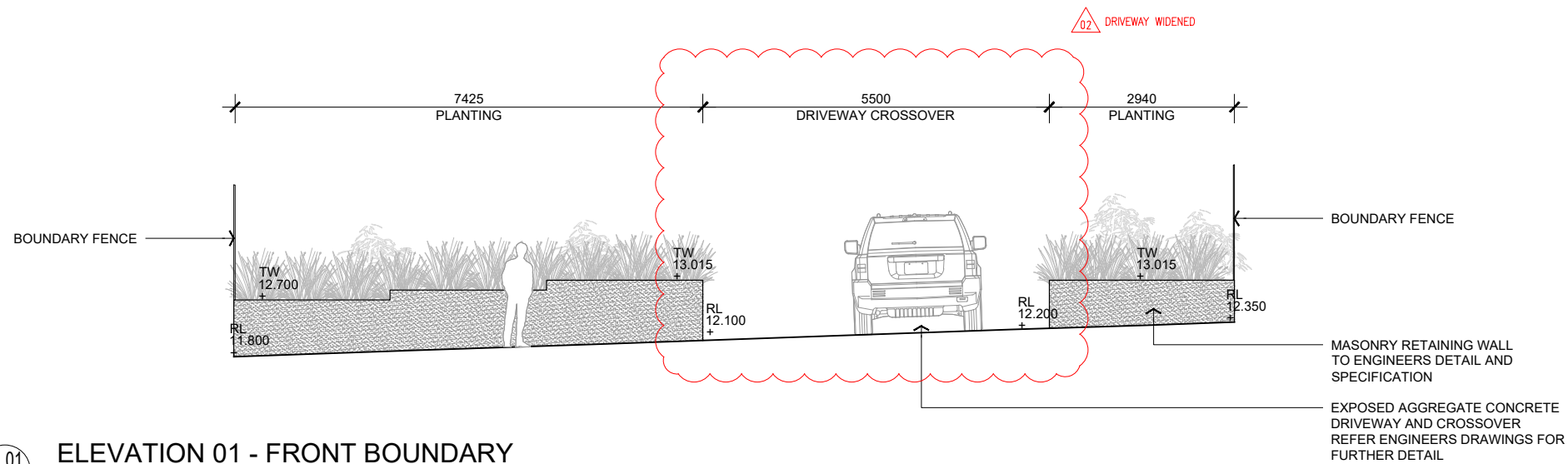
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SE06
LPL_1102

SECTION 06 - FRONT GARDEN

Scale: 1:100@A3



EL01
LPL_1101

ELEVATION 01 - FRONT BOUNDARY

Scale: 1:100@A3