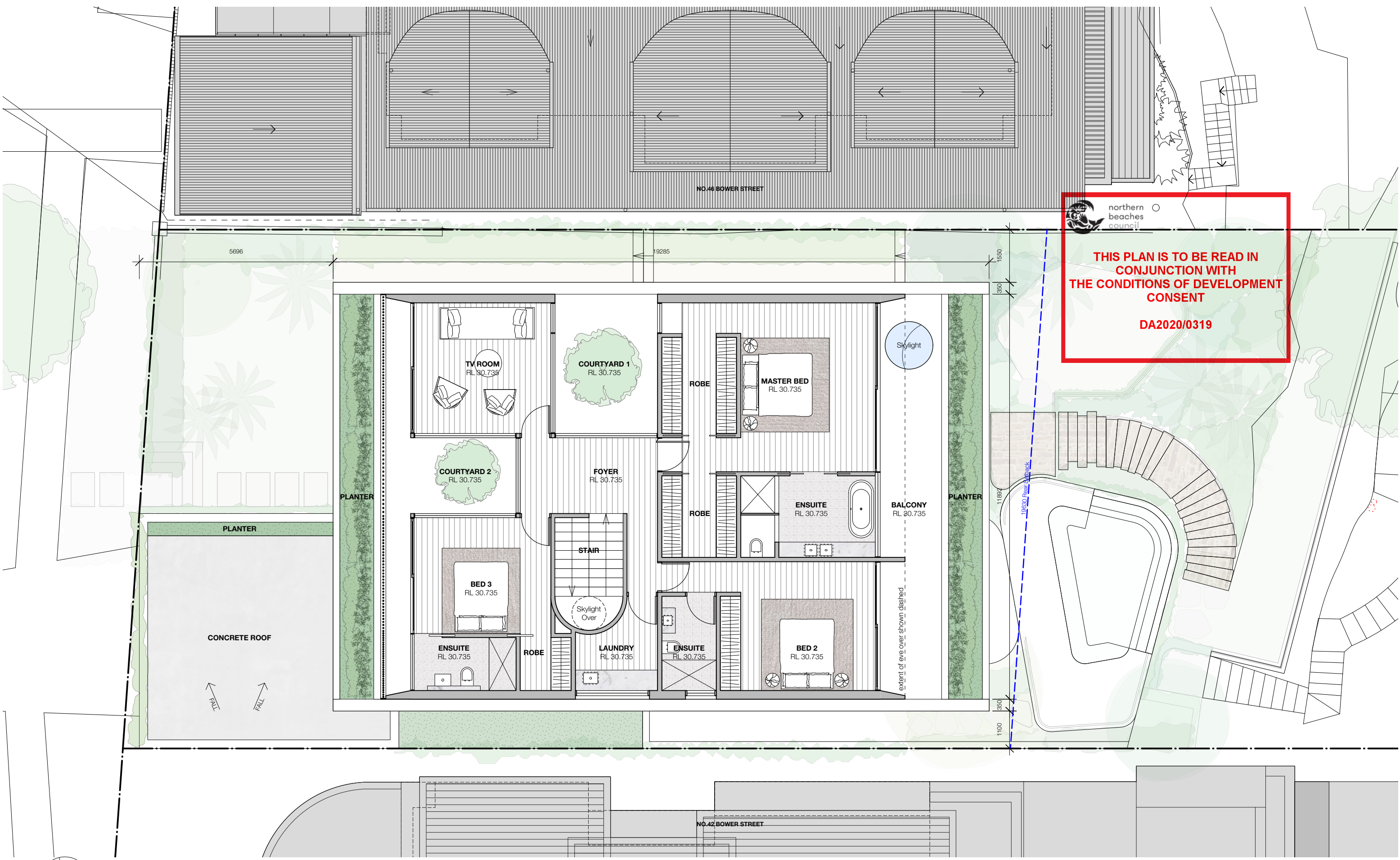


THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2020/0319

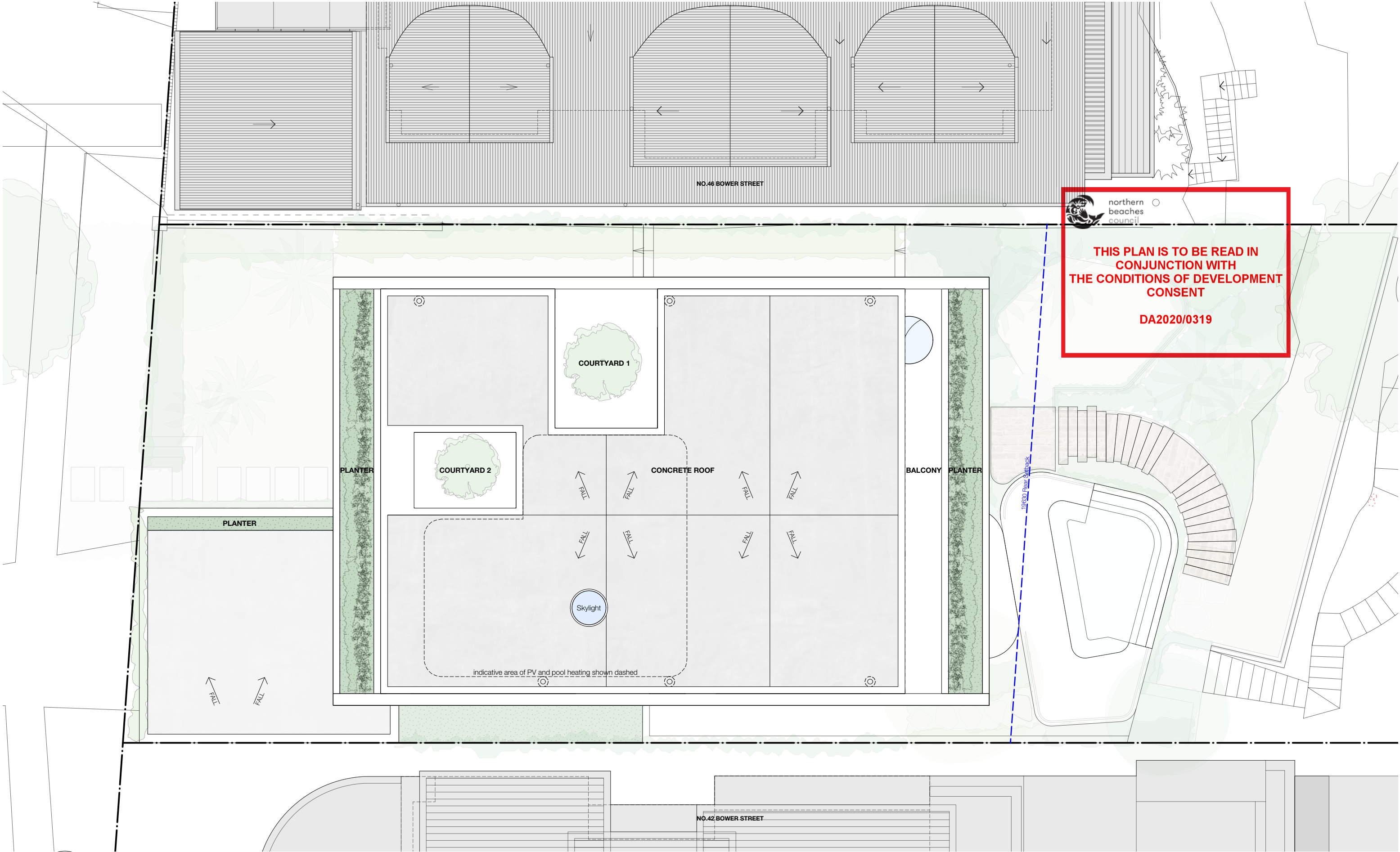
LAWN
RL 24.50





**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2020/0319

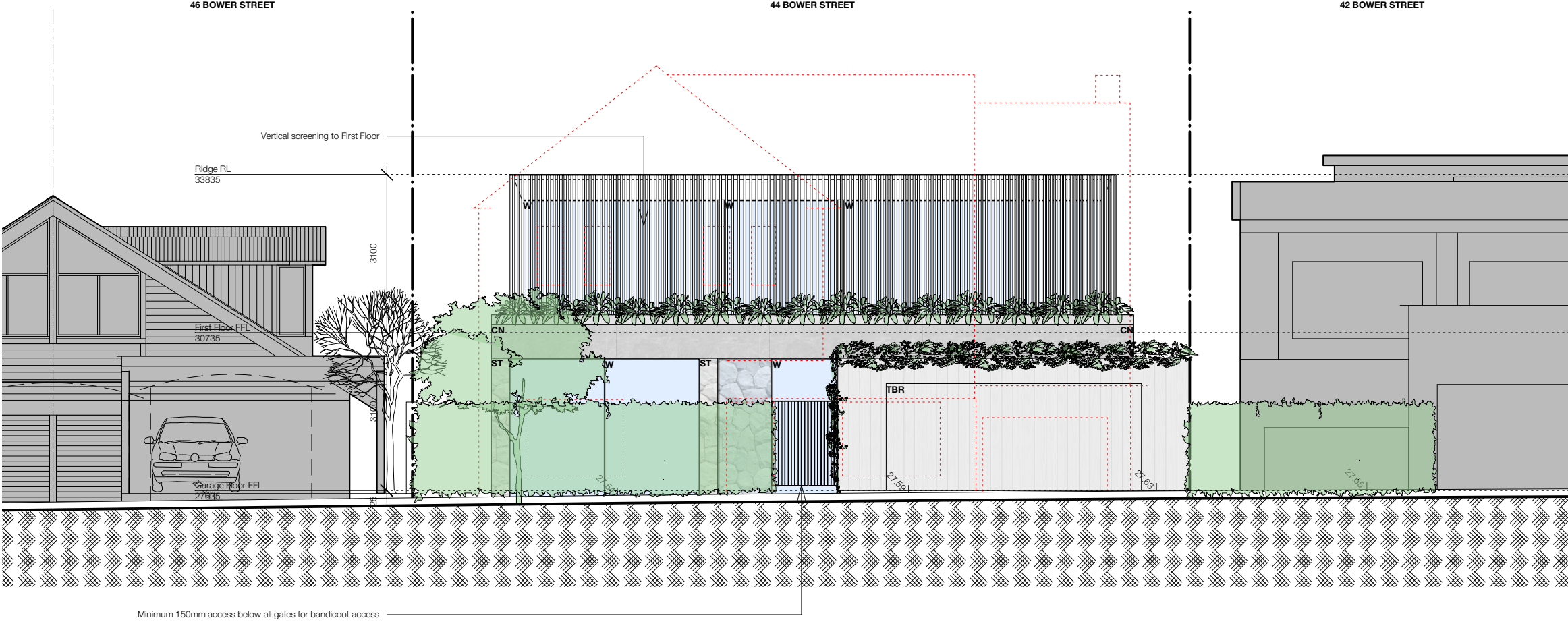


 northern
beaches
council

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2020/0319

FOR DEVELOPMENT APPLICATION ONLY



 northern
beaches
council

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2020/0319

- MATERIALS LEGEND**
- CN Concrete off-form
 - ST Stone Cladding
 - RDR Render
 - TBR Light weight timber cladding
 - W Windows aluminium framed

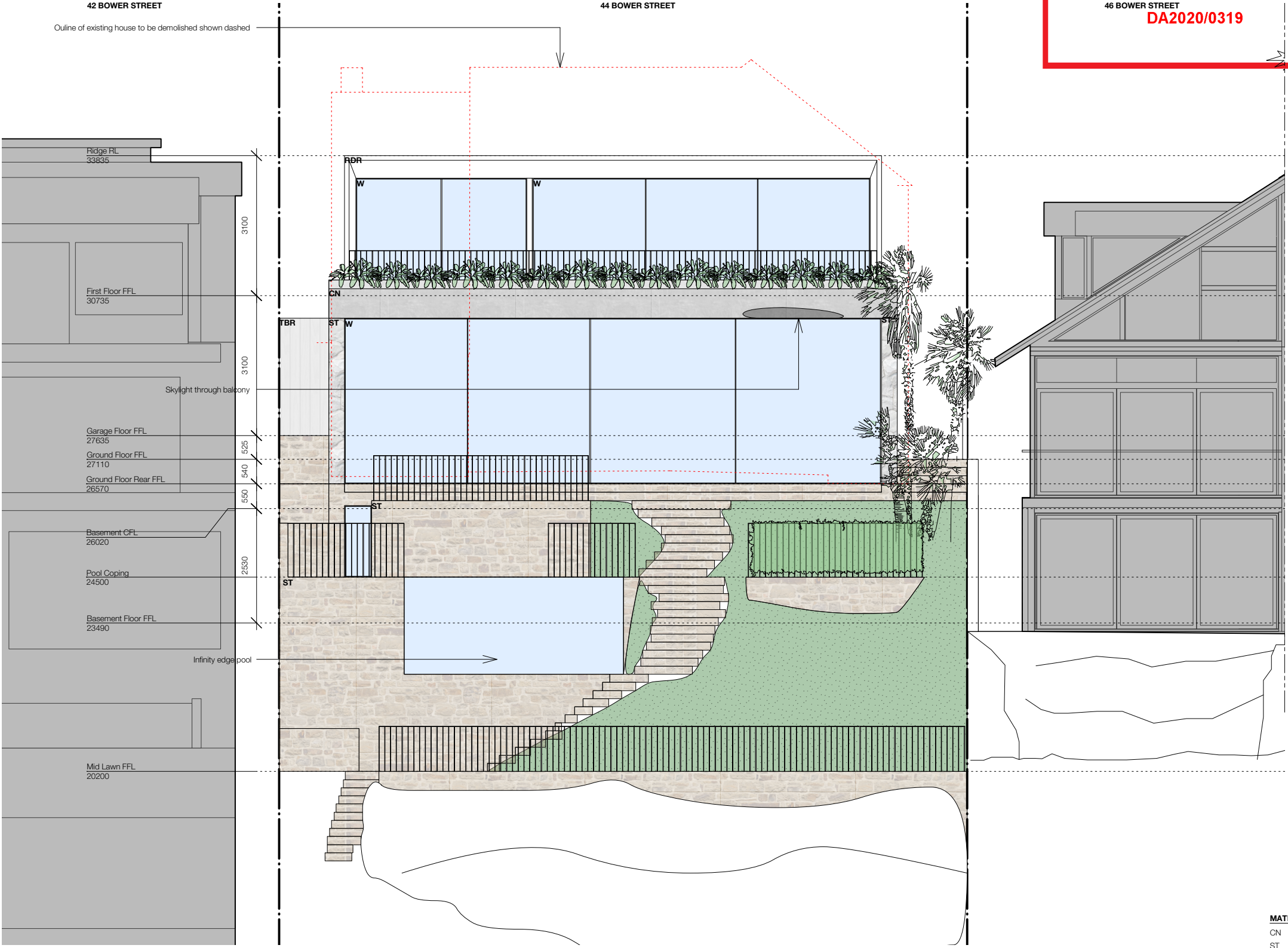
FOR DEVELOPMENT APPLICATION ONLY



northern
beaches
council

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

46 BOWER STREET
DA2020/0319



MATERIALS LEGEND

- CN Concrete off-form
- ST Stone Cladding
- RDR Render
- TBR Light weight timber cladding
- W Windows aluminium framed

FOR DEVELOPMENT APPLICATION ONLY

**madeleine
blanchfield
architects**

Madeleine Blanchfield Architects Pty Ltd
Registered Architect 7308
ABN 51 140 481 518
83 Paddington St
Paddington NSW 2021
office@madeleineblanchfield.com
www.madeleineblanchfield.com
+61 2 9212 3343

General Notes :
All Works To Be In Accordance With Australian Standards, The Building Code Of Australia, Other Relevant Codes And With Manufacturers Instructions.
This Drawing Is Copyright And May Not Be Used Without Written Consent.
Do Not Scale Off Drawing. Verify All Dimensions On Site Prior To Construction.
To Be Read In Conjunction With All Other Consultant's Drawings.
The Architect To Be Immediately Notified Of Any Discrepancies.

A ISSUED TO COUNCIL FOR DA
REV. FOR

KE
DRAWN

DATE

28/02/20

Project
ACRET RESIDENCE
44 BOWER STREET
MANLY

0 1 2 3 4 5 M

Drawing
NORTH ELEVATION

Scale
1:100@A3

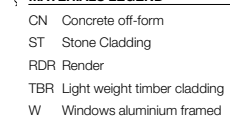
Date
28/02/20




Drawing
DA.402

Rev.
A



DA2020/0319

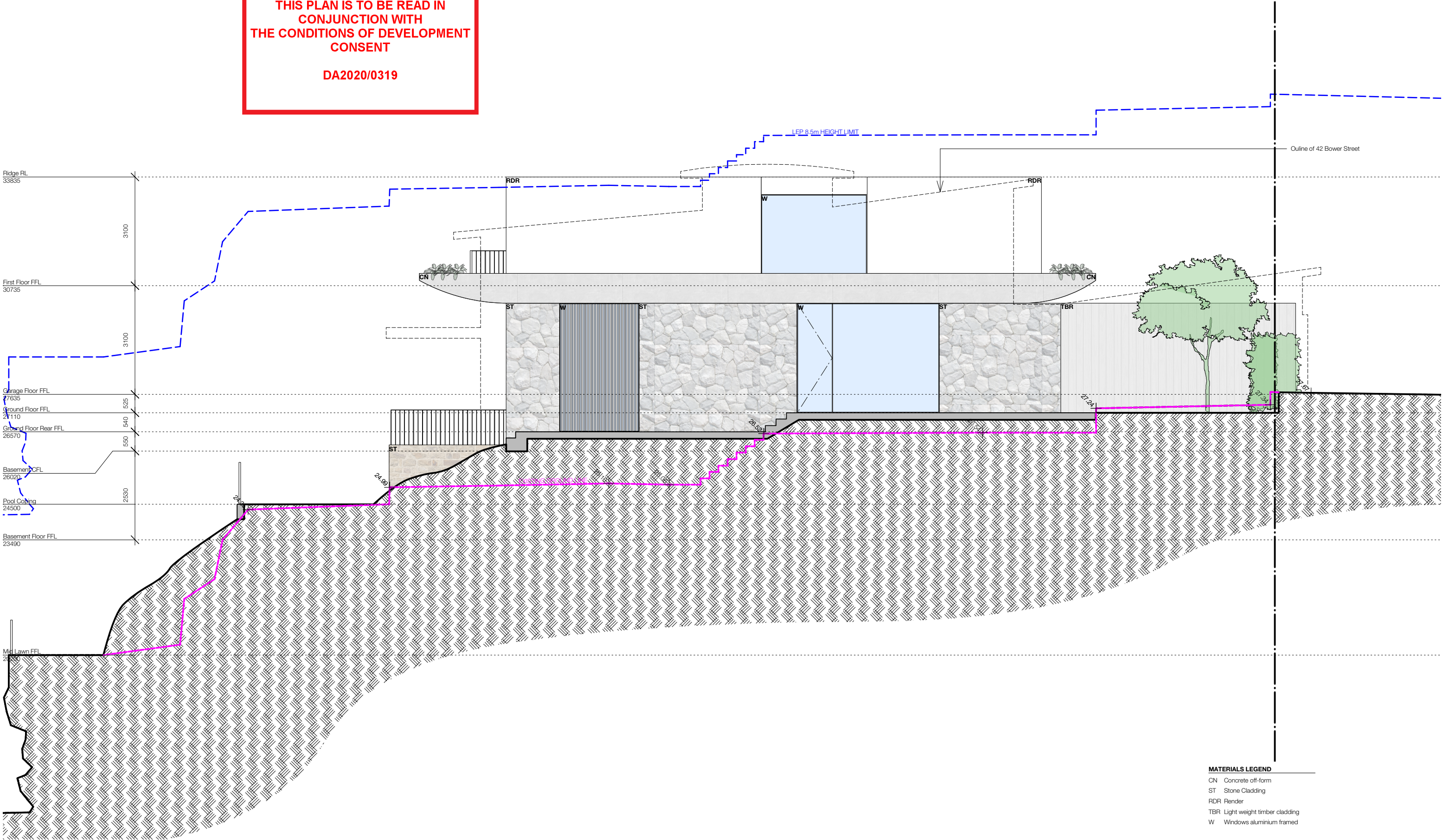


	<p>Madeleine Blanchfield Architects Pty Ltd Registered Architect 7308 ABN 51 140 481 518 83 Paddington St Paddington NSW 2021 office@madeleineblanchfield.com www.madeleineblanchfield.com +61 2 9212 3343</p>	<p>General Notes : All Works To Be In Accordance With Australian Standards, The Building Code Of Australia, Other Relevant Codes And With Manufacturers Instructions. This Drawing Is Copyright And May Not Be Used Without Written Consent. Do Not Scale Off Drawing. Verify All Dimensions On Site Prior To Construction. To Be Read In Conjunction With All Other Consultant's Drawings. The Architect To Be Immediately Notified Of Any Discrepancies.</p>		<p>Project ACRET RESIDENCE 44 BOWER STREET MANLY</p>	<p>Drawing EAST ELEVATION</p>	<p>Scale 1:100/A3</p>	<p>Date 28/02/20</p>	<p>Drawing DA.403</p>	<p>Rev. A</p>
						<p>A ISSUED TO COUNCIL FOR DA REV. FOR</p>	<p>KE DRAWN</p>	<p>28/02/20 DATE</p>	

 northern
beaches
council

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2020/0319

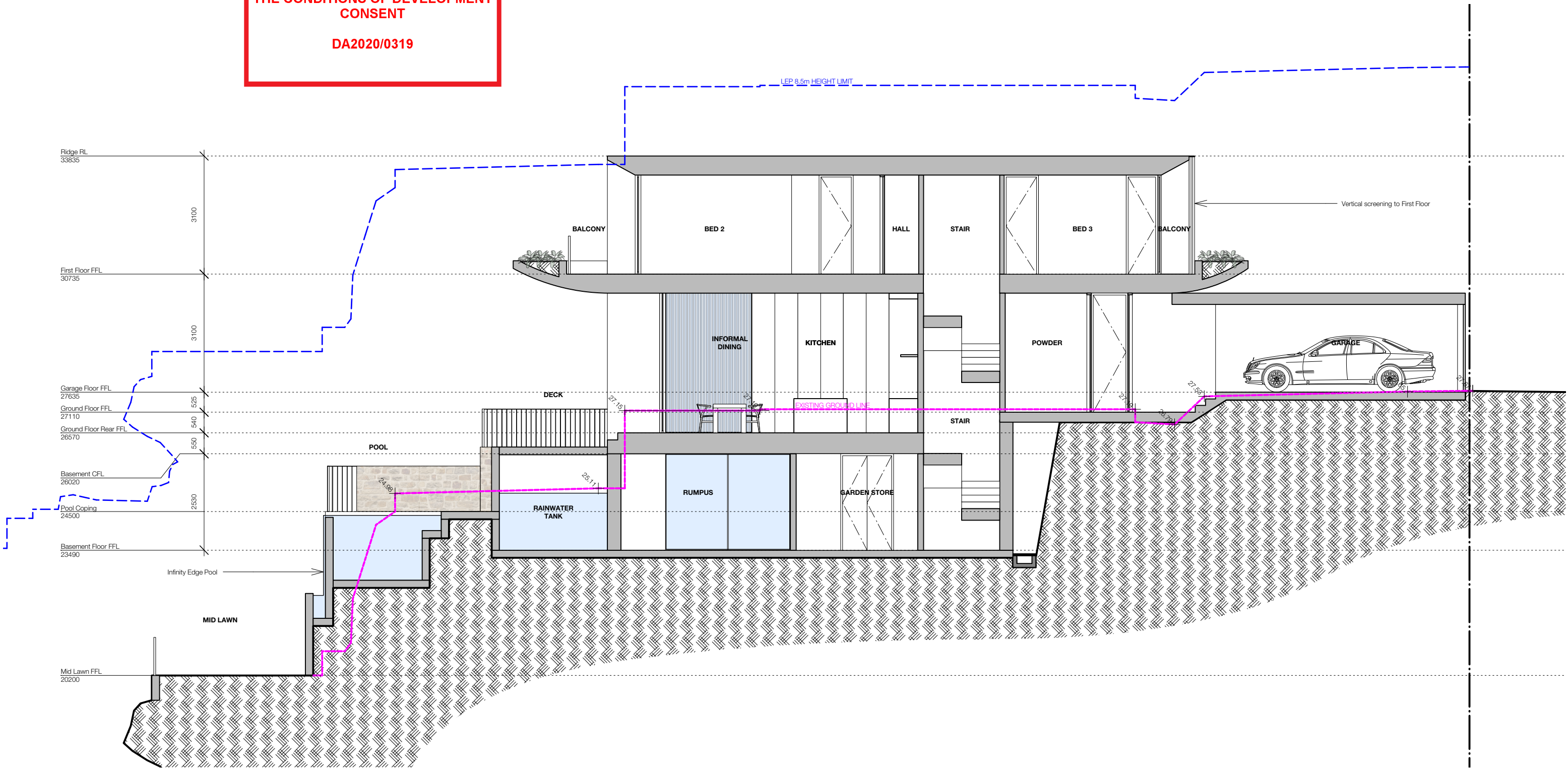




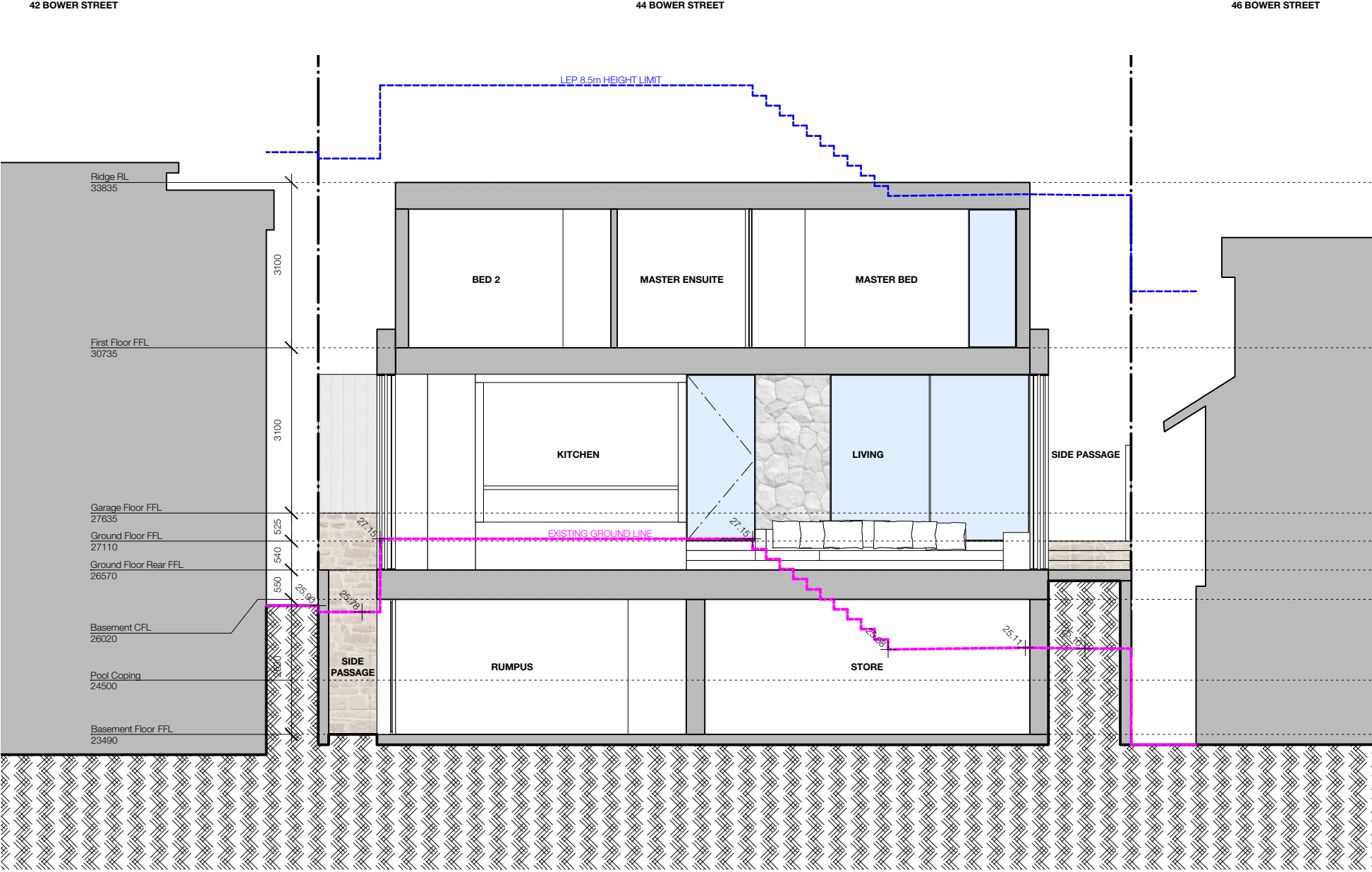
northern
beaches
council

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2020/0319



FOR DEVELOPMENT APPLICATION ONLY



 **northern
beaches
council**

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2020/0319

FOR DEVELOPMENT APPLICATION ONLY



northern
beaches
council

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2020/0319



CN - Concrete off form



ST - Stone cladding



RDR - Render external wall



TBR - Vertical timber cladding



W - Windows Aluminium framed


SITE AERIAL:



PLANT SCHEDULE				
Botanic Name	Common Name	Mature Height (m)	Pot Size	Qty
Acer palmatum	Japanese maple	5	100Ltr	2
Aloe 'Bush Baby Yellow'	Bush Baby Yellow	0.4	200mm	25
Aloe 'Ferox'	Bitter Aloe	1	300mm	22
Alpinia nutans	Dwarf Cardamom	1.2	200mm	23
Apтения cordifolia	Desert Rose	0.1	140mm	40
Asplenium 'Lime Wave'	Bird's Nest Fern	0.5-1.5	200mm	21
Banksia spinulosa	Hairpin banksia	0.6	300mm	18
Blechnum nudum	Fishbone Waterfern	0.4	200mm	12
Beaumontia grandiflora	Herald's Trumpet	Climber	300mm	1
Bougainvillea Sp.	Bougainvillea	Climber	300mm	21
Carpobrotus glaucescens	Pig Face	0.3	140mm	160
Cissus antarctica	Kangaroo Vine	0.3	200mm	83
Chamaerops humilis	European Fan Palm	3.5	400Ltr	2
Cordylina australis	New Zealand Cabbage Tree	4	300mm	3
Cupaniopsis anacardioides	Tuckeroo	5-10	100L	2
Dichondra repens	Kidney weed	Ground cover	100mm	217
Grevillea robyn gordon	Robyn Gordon Grevillea	Ground cover	1500mm	9
Hibbertia scandens	Guinea Flower	Ground cover	140mm	15
Howea forsteriana	Kentia Palm	5-12	Advanced	6
Juncus sp.	Common Rush	Ground cover	140mm	16
Kalanchoe beharensis	Felt bush	0.5	300mm	9
Lomandra katrinus	Katrinus	0.7	200mm	12
Lomandra 'Tanika'	Fine Matt Grass	0.7	200mm	21
Monstera deliciosa	Fruit Salad Plant	0.5-1.5	200mm	7
Pandorea jasminoides	Bower Plant	Climber	200mm	16
Parthenocissus tricuspidata	Boston ivy	Climber	140mm	5
Philodendron 'Xanadu'	Xanadu	0.7	200mm	13
Plumeria sp.	Frangipani	3-5	200L	2
Rhapis excelsa	Lady Palm	4-5	45L	5
Syzygium resilience	Syzygium resilience	4	75Ltr	27
Strelitzia nicolai	Giant Bird Of Paradise	5-7	75L	16
Trachelospermum jasminoides	Star Jasmine	Climber	200mm	48
Viburnum sp.	Sweet Viburnum	3-4	400mm	12

Denotes native plant species.

Note: Landscape plan consists of 71% Proposed native plant species.



**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2020/0319

GENERAL NOTES:

GRAPHIC ILLUSTRATION

Please note that the plant graphics are indicative sizes only and not an accurate representation at time of purchase

SITE PREPARATION

All existing plants marked for retention shall be protected for the duration of works. Remove from site all perennial weeds and rubbish before commencing landscape works.

SOILWORKS

Thoroughly cultivate the subsoil to a depth of 200mm. Supply and install to a depth of 300mm quality garden soil mix to all planting beds and 150mm turf underlay to lawn areas.

MULCH

Supply and install a 75mm layer of hardwood horticultural grade mulch to all planting beds set down 25mm from adjacent paving or garden edge.

MAINTENANCE

All failed or defective plant species to be replaced by landscaper for a 3 months period following completion of work. Further maintenance during and after this period should include watering, weeding, fertilising, pest and disease control, pruning and hedging, reinstatement of mulch and keeping the site neat and tidy.

GENERAL PLANTING NOTES:

NOTE: It is recommended that all plants used be subject to an establishment period. During this period maintenance work carried out will include; watering, mowing, weeding, fertilising, pest and disease control, reseeding, returfing, staking and tying, replanting, cultivating, pruning, hedge clipping, aerating, reinstatement of mulch, top dressing and keeping the site neat and tidy.

NOTE: Plants shall be vigorous, well established, of good form consistent with species or variety, not soft or forced, free from disease and insect pests, with large healthy root systems and no evidence of having been restricted in growth or damaged. Root system shall be well balanced in relation to the size of the plant.

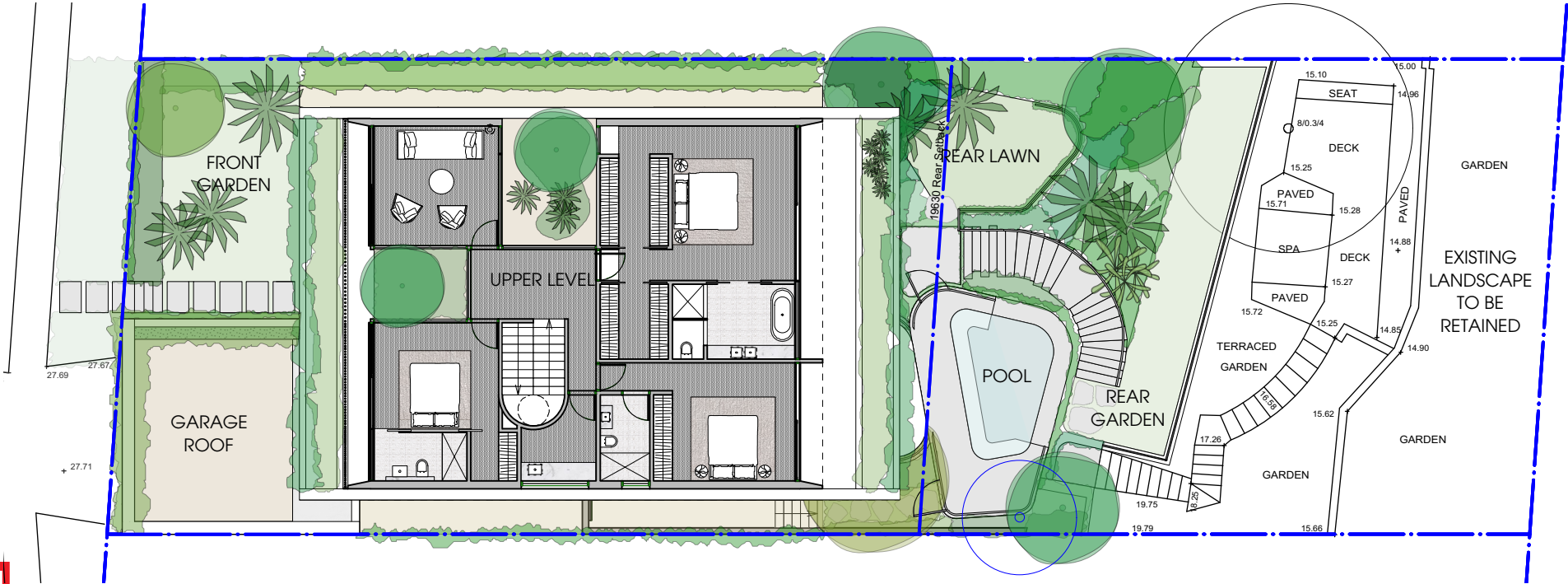
NOTE: Install 'root barrier' or equivalent to manufacturers specifications to protect nearby structures and services.

NOTE: Install temporary drip irrigation system under mulch in tree protection zones and water on allotted days.


TERRESTRIAL BIODIVERSITY REPORT:

NOTE: It is recommended that the ameliorative conditions (pg. 30) and management recommendations (pg. 32) in the Terrestrial Biodiversity Report prepared on 07/02/20 by GIS Environmental Consultants be followed to limit disturbance during construction and to further reduce the impact of the proposal on potential bandicoot habitat and access regarding 44 Bower St, Manly.

SITE PLAN:



DA LANDSCAPE PLANS



Project:
44 Bower St, Manly

Client:
Acree

Dwg no:
LP01-6819

Title:
DA Cover


Drawn by:Checked: Scale:
TS WD 1:200@A3

Issue: Revision: Date:
01 B 17.02.2020

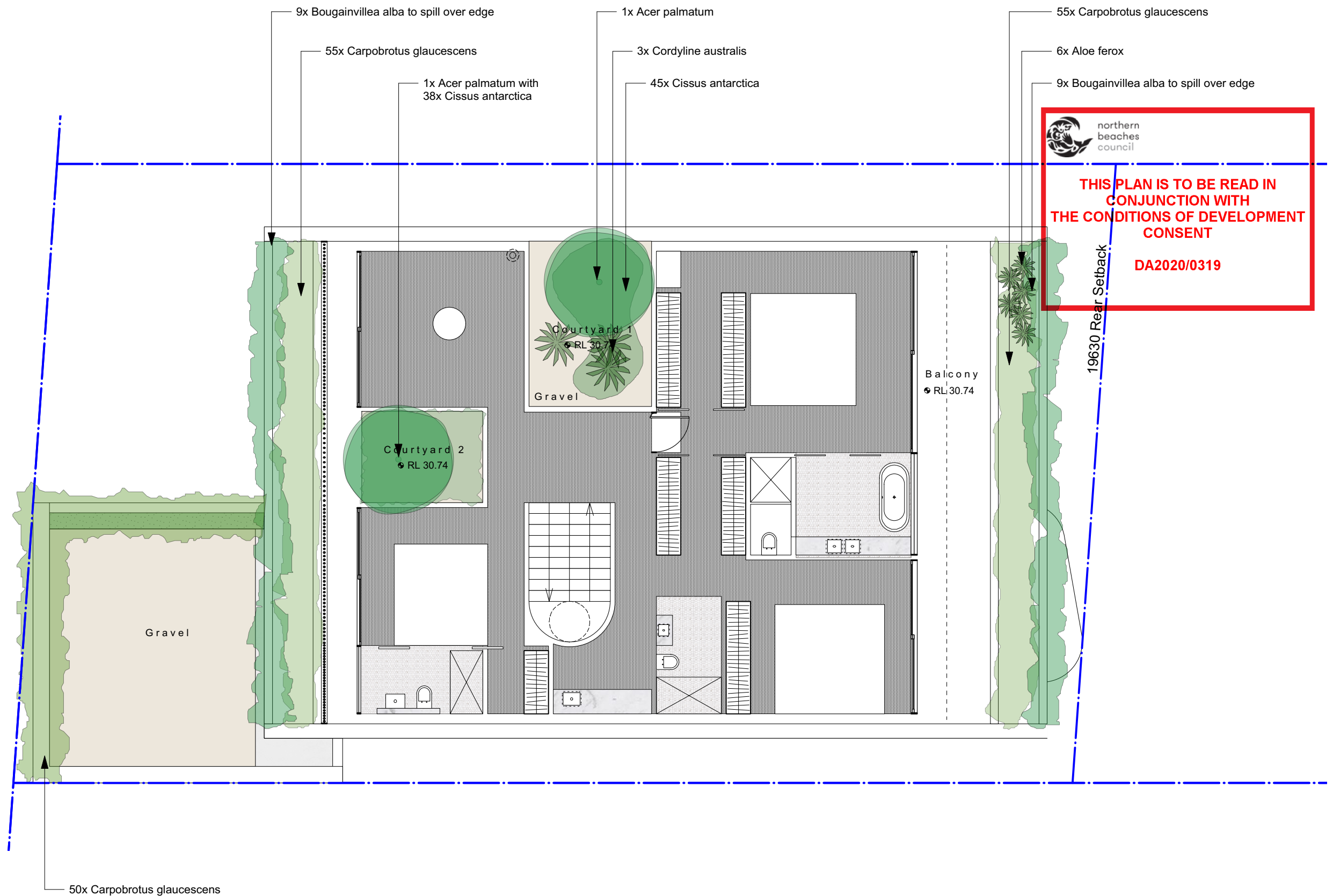
Landscape Design Sydney
53 Cranbrook St
Botany NSW 2019

Phone: (02) 9316 9044
Fax: (02) 9316 9055

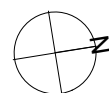
Figure dimensions shall take precedence over scale. Contractors must verify all dimensions on job before commencing any work or making shop drawings. This drawing is protected by copyright.



**DANGAR
BARIN
SMITH**



DA LANDSCAPE PLANS



Project:
44 Bower St, Manly

Client:
Acet

Dwg no:
LP01-6819

Title:
Landscape Plan
Level 1

Drawn by: TS
Checked: WD
Scale: 1:100@A3

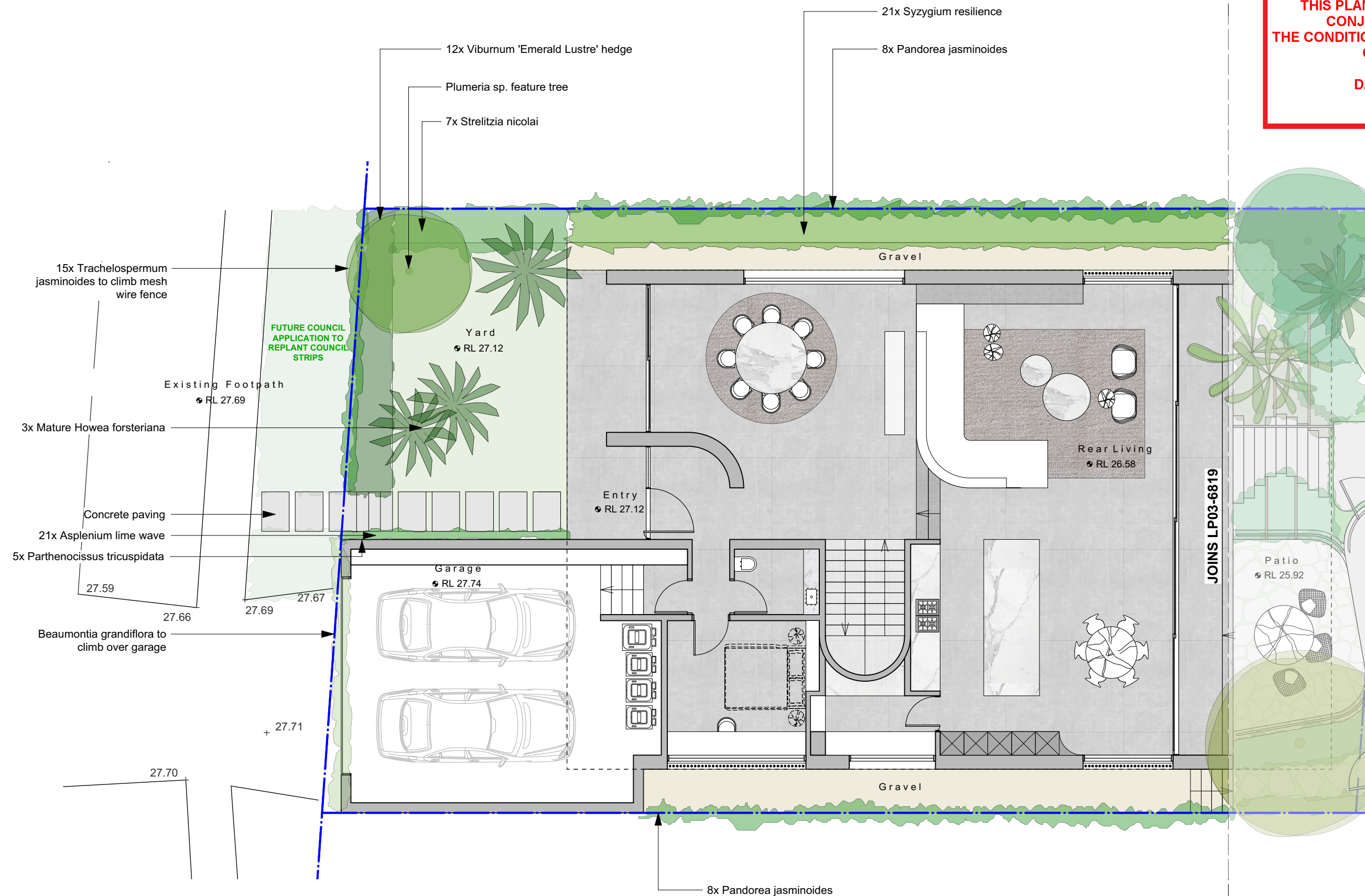
Issue: 01
Revision: B
Date: 17.02.2020

Landscape Design Sydney Tel: (02) 9316 9044
53 Cranbrook St Fax: (02) 9316 9055
Botany NSW 2019

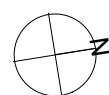
Figure dimensions shall take precedence over scale. Contractors must verify all dimensions on job before commencing any work or making shop drawings. This drawing is protected by copyright.



DANGAR
BARIN
SMITH



DA LANDSCAPE PLANS



Project:
44 Bower St, Manly

Client:
Acet

Dwg no:
LP02-6819

Title:
Landscape Plan
Ground

Drawn by: TS
Checked: WD
Scale: 1:100@A3

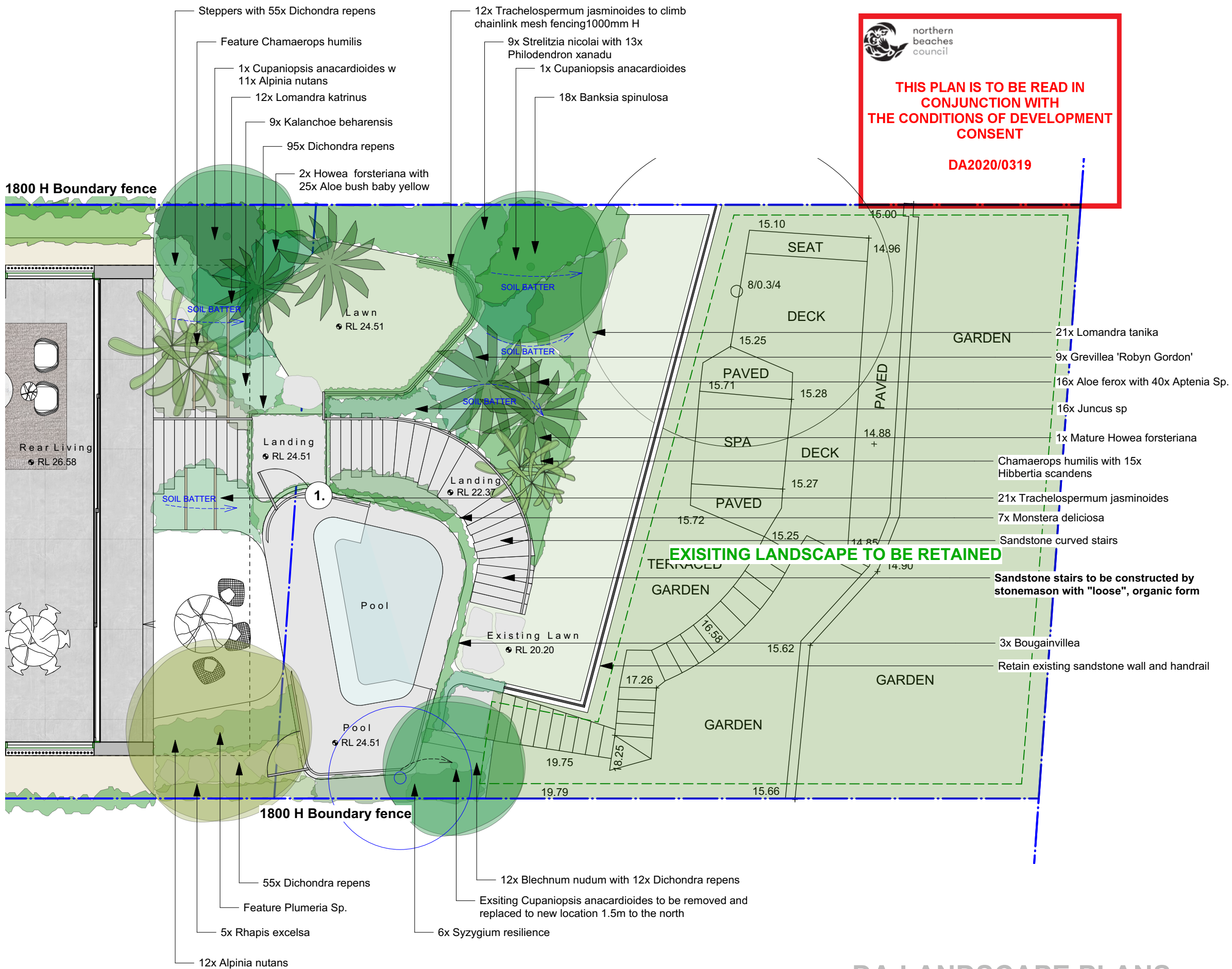
Issue: 01
Revision: B
Date: 17.02.2020

Landscape Design Sydney Tel: (02) 9316 9044
53 Cranbrook St Fax: (02) 9316 9055
Botany NSW 2019

Figure dimensions shall take precedence over scale. Contractors must verify all dimensions on job before commencing any work or making shop drawings. This drawing is protected by copyright.



**DANGAR
BARIN
SMITH**



LANDSCAPE NOTATIONS

1. POOL FENCING:

Pool fencing to comply with Australian standards:

AS1926.1-2012 "Swimming pool safety - Part 1: Safety Barriers for swimming pools"

AS1926.2-2007 "Swimming pool safety - Part 2: Location of safety barriers for swimming pools"

AS2820-1993 "Gate units for private swimming pools"

GIS ENVIRONMENTAL CONSULTANTS
Terrestrial Biodiversity Report & DBS design notations

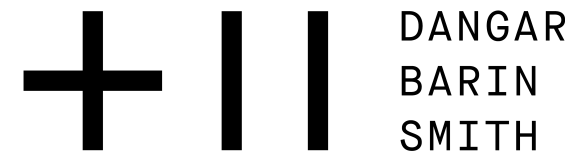
- All replacement boundary fences are to have 150mm-300mm gaps every two metres along the fence (or in places where the soil level is the same on both side of the fence).

- Any new external and internal gates are to have gaps of a minimum of 150mm under the full length of the gate to allow for bandicoot access

- In areas of habitat for the long-nosed bandicoot, landscape design should include native plant species to provide new and/or improved low dense clumping habitat to provide for potential foraging and nesting. The planting schedule should comprise species such as *Lomandra sp.*, *Dianella sp.*, *Banksia spinulosa*, *Caustis sp.*, *Xanthorrhoea sp.*, *Isolepis sp.*, *Juncus sp.*, *Calochlaena sp.*, *Callistemon sp.*, *Gleichenia sp.* and *Grevillea Robyn Gordon'* (Manly DCP 2013 Section 3.3.1 (a)(iv)).

- No landscape garden bed lighting proposed (as to not effect bandicoots). Step lighting to future detail only.

-Bandicoots are to be excluded from the proposed pool area with pool fencing to have an integrated perspex barrier 300mm in height from the base gap of less than 120mm, so as to exclude bandicoots from entering the pool area



Project:
44 Bower St, Manly

Client:
Acet

Dwg no:
LP03-6819

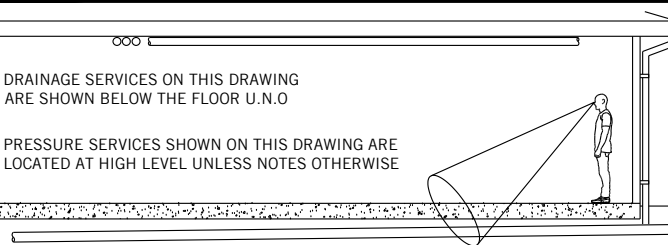
Title:
Rear Landscape
Plan

Drawn by: TS
Checked: WD
Scale: 1:100@A3

Issue: 01
Revision: B
Date: 17.02.2020

Landscape Design Sydney Tel: (02) 9316 9044
53 Cranbrook St Fax: (02) 9316 9055
Botany NSW 2019

Figure dimensions shall take precedence over scale. Contractors must verify all dimensions on job before commencing any work or making shop drawings. This drawing is protected by copyright.



NEW RESIDENCE
AT
**44 BOWER STREET
MANLY**
FOR
MR CHRIS ACRET



LEGEND

PIPEWORK	
	RAINWATER DRAINAGE
	RAINWATER CHARGED
	STORMWATER DRAINAGE
	STORMWATER RISING MAIN
	SUBSOIL DRAINAGE
	BARRIER FENCE
	EXISTING PIPE
	EXISTING PIPE MADE REDUNDANT
	SEDIMENT FENCE LINE
	PROPERTY BOUNDARY
	SWALE
	DROPPER
	RISER
	TURBIDITY BARRIER
	DIRECTION OF FALL OR FLOW
	DOWN PIPE
	PLANTER BOX OUTLET
	RAIN WATER OUTLET / BALCONY OUTLET
	STORMWATER PIT (GRATE)
	STORMWATER PIT (RWO IN BASE)
	SEALED PIT COVER
	GULLY PIT
	REFLUX VALVE
	PIPE CONNECTION POINT
	PIPE PENETRATING
	PIPE NOT PENETRATING
	PUMP
	OVERLAND FLOW PATH
	CLEAR OUT
	TUNDISH
	TRENCH GRATE
	DOWNPIPE SPREADER

MISCELLANEOUS

	SERVICE / SERVICE NUMBER
	PIPE SIZE
	FOR CONTINUATION REFER DRG No
	FOR SECTION VIEW REFER TO DRAWING
AHD	AUSTRALIAN HEIGHT DATUM
AP	ACCESS PANEL
BG	BOX GUTTER
DP	DOWNPIPE
e	EXISTING
FFL	FINISHED FLOOR LEVEL
GIP	GRATED INLET PIT
HED	HIGH EARLY DISCHARGE
HFB	HIGH FLOW BYPASS
HL	HIGH LEVEL IN CEILING
HP	HIGH POINT
IL	INVERT LEVEL
INT	INTERNAL
KIP	KERB INLET PIT
O/F	OVERFLOW
OSD	ON SITE DETENTION
RHS	RECTANGULAR HOLLOW SECTION
RL	RELATIVE LEVEL
RWH	RAINWATER HEAD
RTW	RAINWATER TANK
SRL	SLAB RELATIVE LEVEL
SRZ	STRUCTURAL ROOT ZONE
TBA	TO BE ADVISED
TKL	TOP KERB LEVEL
TRZ	TREE ROOT ZONE
TWL	TOP WATER LEVEL
UNO	UNLESS NOTED OTHERWISE

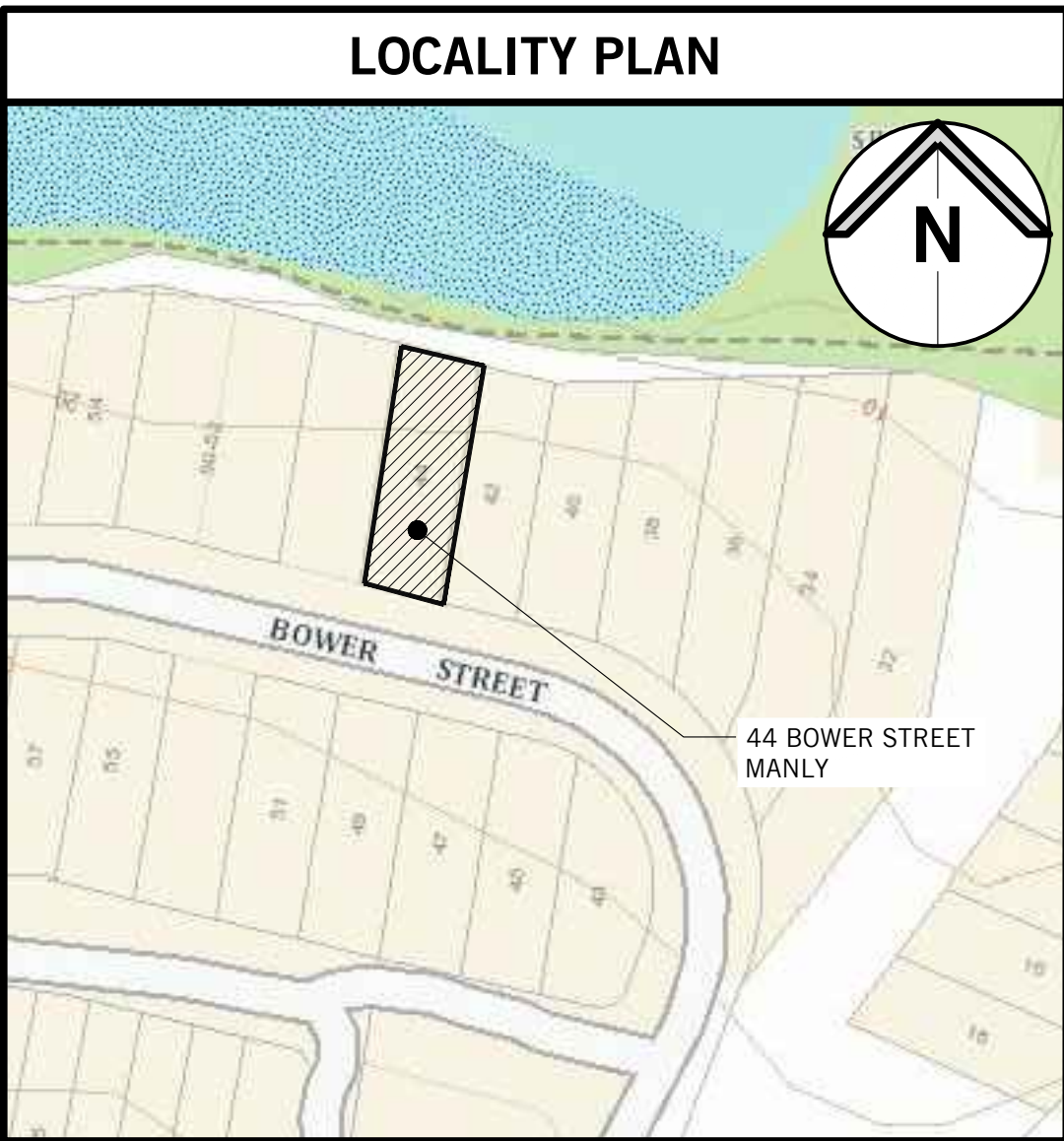
DRAWING LIST

DRAWING No.	TITLE
SWDA 1.1	COVER SHEET AND DRAWING LEGEND
SWDA 1.2	BASEMENT LAYOUT AND DETAILS
SWDA 1.3	GROUND FLOOR PLAN
SWDA 1.4	EROSION & SEDIMENT CONTROL PLAN DETAILS

NOTES

- ALL DRAINAGE WORKS ARE TO BE IN ACCORDANCE WITH AS/NZS 3500 - STORMWATER DRAINAGE, NORTHERN BEACHES COUNCIL (FORMERLY KNOWN AS MANLY COUNCIL) SPECIFICATION FOR ON SITE STORMWATER MANAGEMENT 2003 AND THE LATEST BASIX CERTIFICATE.
- SITE AREA = 696.8m²
- REFERRING TO THE NORTHERN BEACHES COUNCIL STORMWATER CONTROL ZONES, THE SITE IS LOCATED WITHIN ZONE 3: SCOUR AND EROSION CONTROL
- A SILT TRAP PIT IS TO BE INCORPORATED WITHIN THE DOWNSTREAM END OF THE EXISTING STORMWATER SYSTEM SERVING THE SITE IN ACCORDANCE WITH NORTHERN BEACHES COUNCIL REQUIREMENTS. THIS IS TO BE REGULARLY MAINTAINED AND CLEARED OF ALL DEBRIS IN ACCORDANCE WITH THE MAINTENANCE SCHEDULE.
- IN ACCORDANCE WITH THE BASIX CERTIFICATE A RAINWATER TANK WITH A MIN CAPACITY OF 10,000L IS PROPOSED. THIS IS TO COLLECT A MINIMUM ROOF AREA OF 141 m² AND MUST BE CONNECTED TO HOSE TAPS FOR IRRIGATION & POOL TOP UP IN THE DEVELOPMENT.

LOCALITY PLAN



P3	ISSUED FOR DA	DH	GB	28.02.20
P2	PROGRESS ISSUE	DH	GB	24.02.20
P1	PROGRESS ISSUE	DH	GB	20.02.20
Rev.	Issue / Amendment	By	App.	Date



PARTRIDGE HYDRAULIC SERVICES ABN 11 608 027 578
Level 5, 1 Chandos Street, St Leonards NSW 2055 Australia
t 612 9460 9000 f 612 9460 9090
email: partridge@partridge.com.au web: www.partridge.com.au

HYDRAULIC SERVICES

Client
MR CHRIS ACRET

Architect
MADELEINE BLANCHFIELD ARCHITECTS
83 PADDINGTON STREET, PADDINGTON
TEL: (02) 9212 3343
E: office@madeleineblanchfield.com W: madeleineblanchfield.com

Project
**NEW RESIDENCE
44 BOWER STREET
MANLY**

Title
**STORMWATER DRAINAGE SERVICES
COVER SHEET NOTES AND DRAWING
LEGEND**

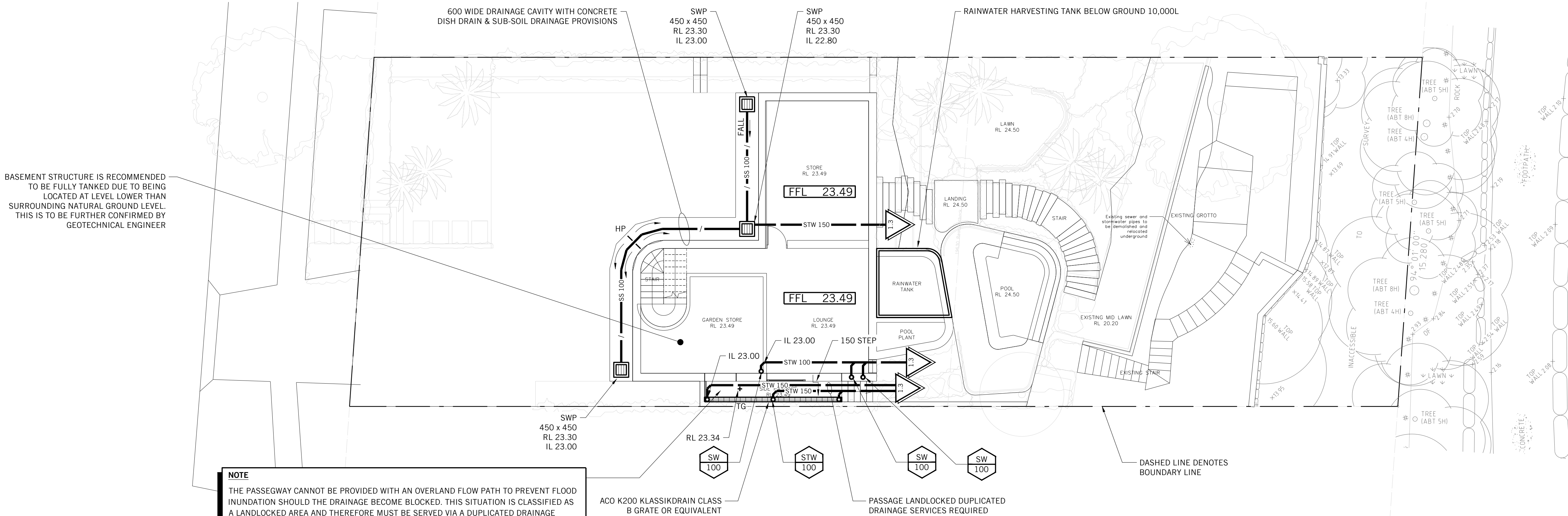
ELECTRONIC SIGNATURE: THIS DRAWING HAS BEEN ASSIGNED AN ELECTRONIC SIGNATURE CODE. THE PRESENCE OF THIS CODE CONFIRMS THAT THIS IS THE CERTIFIED DRAWING ISSUED FOR CONSTRUCTION. DO NOT SCALE DRAWINGS USE FIGURED DIMENSIONS

Electronic Code	Signature Date	Designed
*		D.H

Scale at A1	Date	Drawn
N/A	FEBRUARY 2020	A.D

Job No.	Drawing No.	Revision
2019H0273	SWDA 1.1	P3

PRELIMINARY - NOT FOR CONSTRUCTION



600 WIDE DRAINAGE CAVITY WITH CONCRETE DISH DRAIN & SUB-SOIL DRAINAGE PROVISIONS

SWP 450 x 450 RL 23.30 IL 23.00

SWP 450 x 450 RL 23.30 IL 22.80

RAINWATER HARVESTING TANK BELOW GROUND 10,000L

BASEMENT STRUCTURE IS RECOMMENDED TO BE FULLY TANKED DUE TO BEING LOCATED AT LEVEL LOWER THAN SURROUNDING NATURAL GROUND LEVEL. THIS IS TO BE FURTHER CONFIRMED BY GEOTECHNICAL ENGINEER

NOTE

THE PASSEGGWAY CANNOT BE PROVIDED WITH AN OVERLAND FLOW PATH TO PREVENT FLOOD INUNDATION SHOULD THE DRAINAGE BECOME BLOCKED. THIS SITUATION IS CLASSIFIED AS A LANDLOCKED AREA AND THEREFORE MUST BE SERVED VIA A DUPLICATED DRAINAGE SYSTEM IN LIEU OF AN OVERLAND FLOW PATH. IT IS IMPERATIVE THAT THE STORMWATER PIT AND ASSOCIATED DRAINAGE SYSTEMS ARE REGULARLY MAINTAINED TO ENSURE THAT THE DRAINAGE PROVISIONS ARE NOT OBSTRUCTED OR BLOCKED BY FOREIGN DEBRIS.

ACO K200 KLASSIKDRAIN CLASS B GRATE OR EQUIVALENT

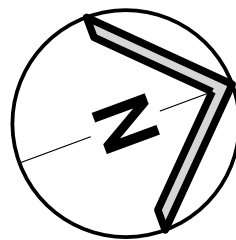
PASSAGE LANDLOCKED DUPLICATED DRAINAGE SERVICES REQUIRED

DASHED LINE DENOTES BOUNDARY LINE

REFER TO DRAWING NO. SWDA 1.1 FOR CONSTRUCTION NOTES

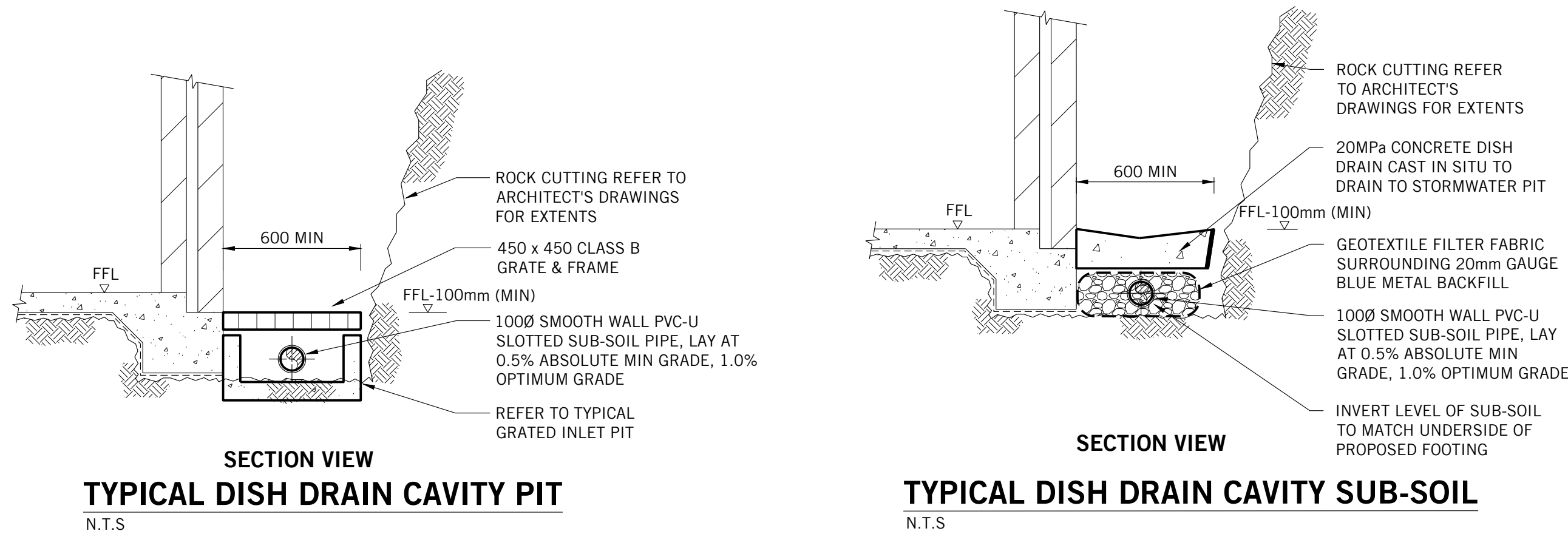
DRAINAGE SERVICES ON THIS DRAWING ARE SHOWN BELOW THE FLOOR U.N.O

PRESSURE SERVICES SHOWN ON THIS DRAWING ARE LOCATED AT HIGH LEVEL UNLESS NOTES OTHERWISE



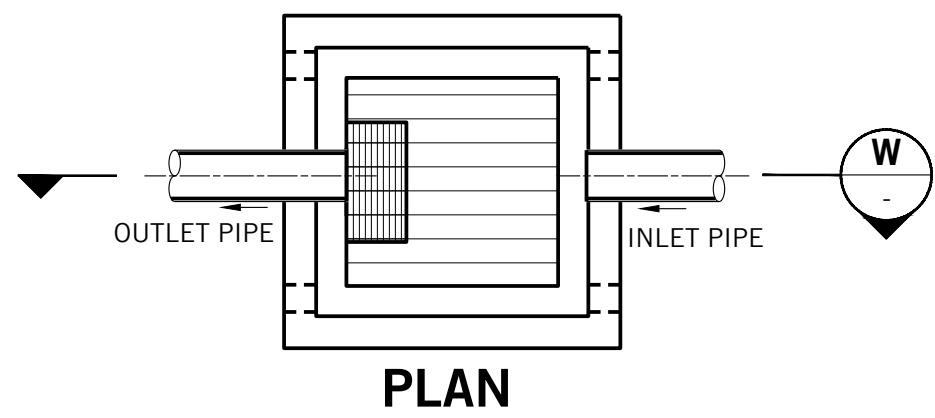
BASEMENT LAYOUT

SCALE 1:100



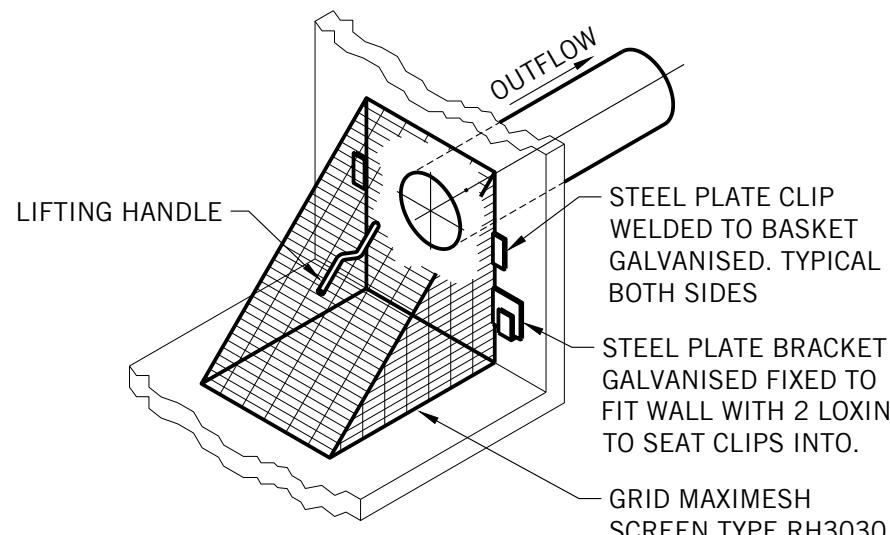
SECTION VIEW
TYPICAL DISH DRAIN CAVITY PIT
N.T.S

SECTION VIEW
TYPICAL DISH DRAIN CAVITY SUB-SOIL
N.T.S



PLAN

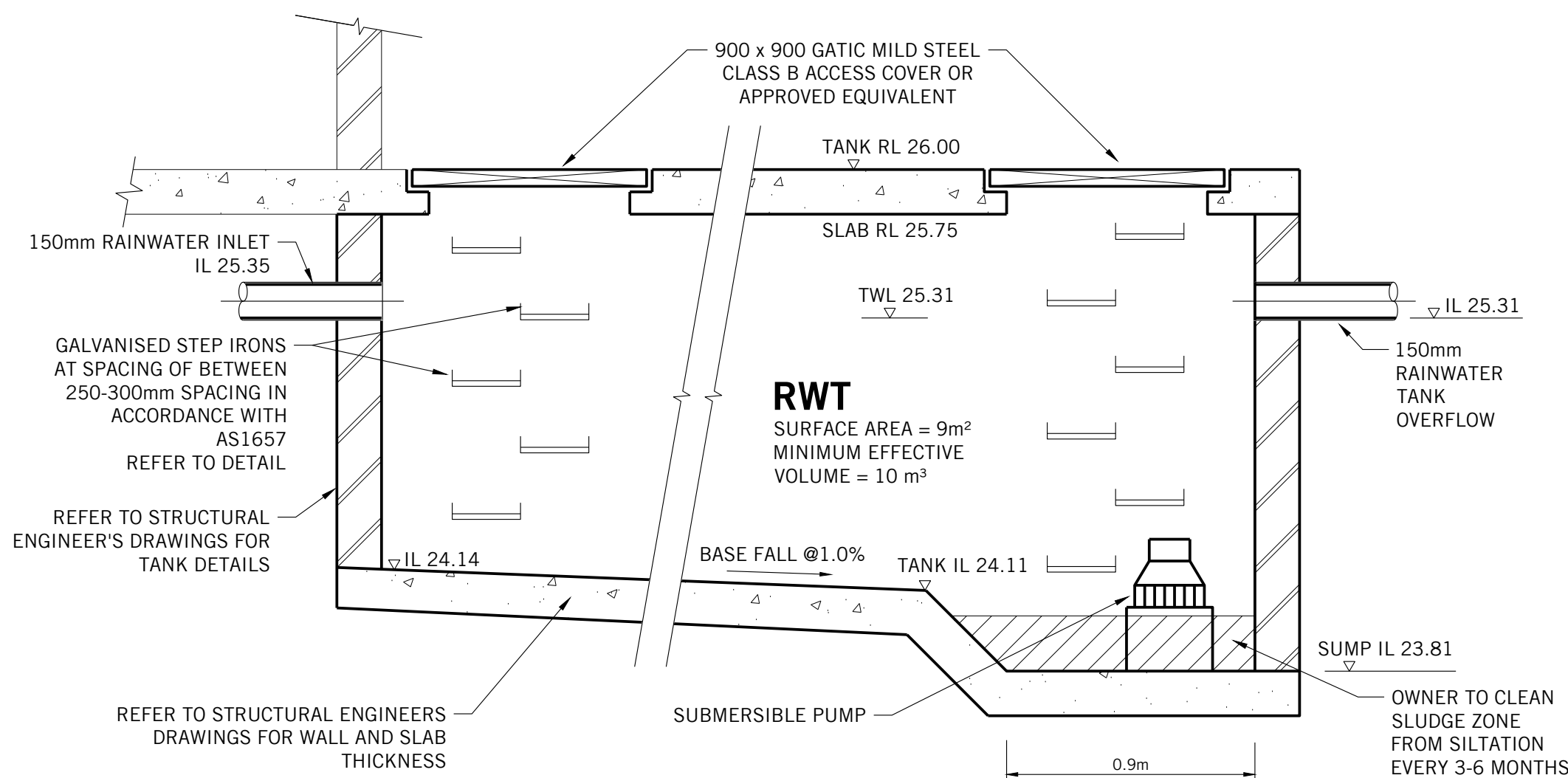
MAINTENANCE ACTION	FREQUENCY	RESPONSIBILITY	PROCEDURE
SILT TRAP PIT	MONTHLY AND AFTER HEAVY RAINFALL EVENTS	PROPERTY OWNER	OPEN GRATE AND REMOVE TRASH OR LEAF LITTER THAT HAS BEEN CAPTURED BY THE TRASH SCREEN. REMOVE ALL SILT IN SUMP AND DISPOSE IN GARDEN WASTE BIN. REMOVE ANY BLOCKAGES OVER WEEP HOLES IN BASE. ENSURE TRASH SCREEN IS SECURELY FIXED AND REPLACE GRATE CORRECTLY.



SILT TRAP TRASH SCREEN DETAIL
N.T.S.

- NOTES
- PIT DIMENSIONS:
600 x 600 FOR $d \leq 0.9$
600 x 900 FOR $0.9 < d \leq 1.2$
900 x 900 FOR $1.2 < d$ (AS SHOWN ON PLAN)
 - PITS TO BE CONSTRUCTED FROM - CAST IN-SITU CONCRETE, PRECAST CONCRETE OF DOUBLE BRICK.
 - A SIGN SHALL BE CONSTRUCTED ADJACENT TO THE PIT STATING: "THIS SEDIMENT / SILT ARRESTOR PIT SHALL BE REGULARLY INSPECTED AND CLEANED".

SILT TRAP PIT
N.T.S



SECTION - RAINWATER HARVESTING TANK
N.T.S

northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2020/0319

P3	ISSUED FOR DA	DH	GB	28.02.20
P2	PROGRESS ISSUE	DH	GB	24.02.20
P1	PROGRESS ISSUE	DH	GB	20.02.20
Rev.	Issue / Amendment	By	App.	Date

PARTRIDGE

PARTRIDGE HYDRAULIC SERVICES ABN 11 608 027 078
Level 5, 1 Chandos Street, St Leonards NSW 2055 Australia
t 612 9460 9000 f 612 9460 9090
email: partridge@partridge.com.au web: www.partridge.com.au

HYDRAULIC SERVICES

Client
MR CHRIS ACRET

Architect
MADELEINE BLANCHFIELD ARCHITECTS
83 PADDINGTON STREET, PADDINGTON
TEL: (02) 9212 3343
E: office@madeleineblanchfield.com W: madeleineblanchfield.com

Project
NEW RESIDENCE
44 BOWER STREET
MANLY

Title
STORMWATER DRAINAGE SERVICES
BASEMENT LAYOUT AND DETAILS

ELECTRONIC SIGNATURE: THIS DRAWING HAS BEEN ASSIGNED AN ELECTRONIC SIGNATURE CODE. THE PRESENCE OF THIS CODE SIGNIFIES THAT THIS IS THE CERTIFIED DRAWING ISSUED FOR CONSTRUCTION.

DO NOT SCALE DRAWINGS USE FIGURED DIMENSIONS

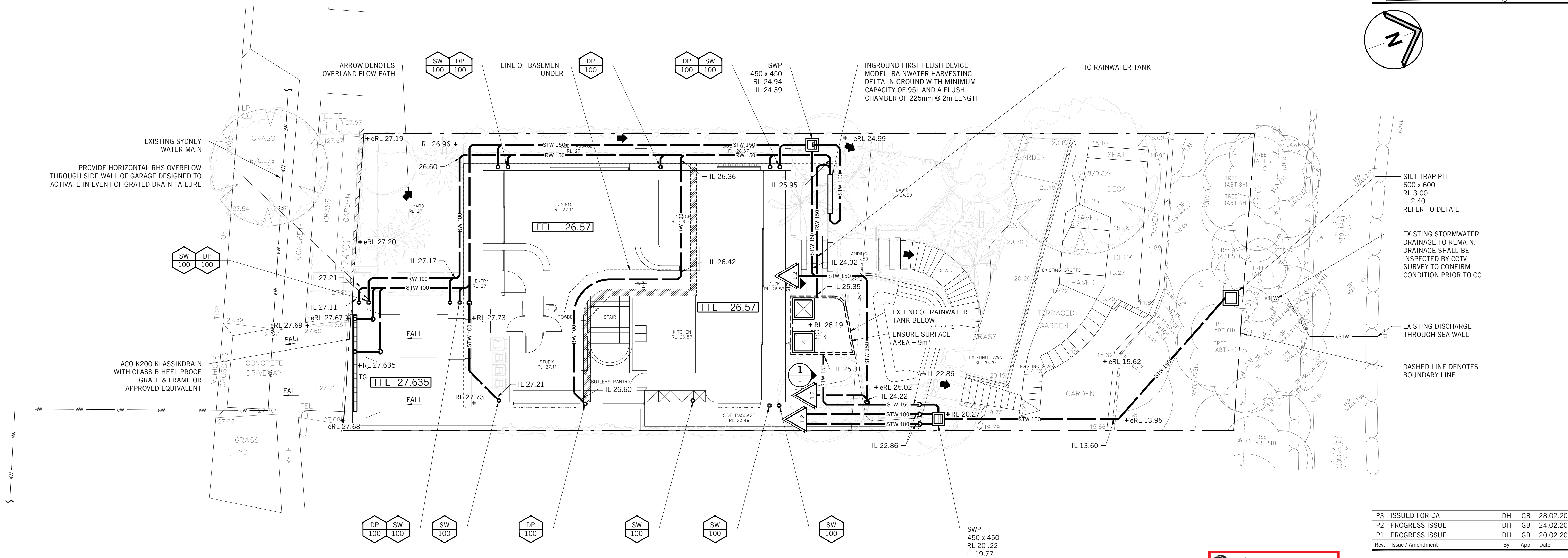
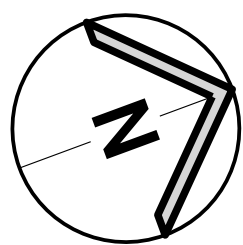
Electronic Code	Signature Date	Designed
Scale at A1	Date	Drawn
AS SHOWN	FEBRUARY 2020	A.D
Job No.	Drawing No.	Revision
2019H0273	SWDA 1.2	P3

PRELIMINARY - NOT FOR CONSTRUCTION

REFER TO DRAWING NO. SWDA 1.1
FOR CONSTRUCTION NOTES

DRAINAGE SERVICES ON THIS DRAWING
ARE SHOWN BELOW THE FLOOR U.N.O

PRESSURE SERVICES SHOWN ON THIS DRAWING ARE
LOCATED AT HIGH LEVEL UNLESS NOTES OTHERWISE



P3	ISSUED FOR DA	DH	GB	28.02.20
P2	PROGRESS ISSUE	DH	GB	24.02.20
P1	PROGRESS ISSUE	DH	GB	20.02.20
Rev.	Issue / Amendment	By	App.	Date

 **northern beaches council**

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2020/0319



PARTRIDGE HYDRAULIC SERVICES ABN 11 608 027 078
Level 5, 1 Chandos Street, St Leonards NSW 2065 Australia
t 612 9460 9000 f 612 9460 9090
email: partridge@partridge.com.au web: www.partridge.com.au

HYDRAULIC SERVICES

Client
MR CHRIS ACRET

Architect
MADELEINE BLANCHFIELD ARCHITECTS
83 PADDINGTON STREET, PADDINGTON
TEL: (02) 9212 3343
E: office@madeleineblanchfield.com W: madeleineblanchfield.com

Project
**NEW RESIDENCE
44 BOWER STREET
MANLY**

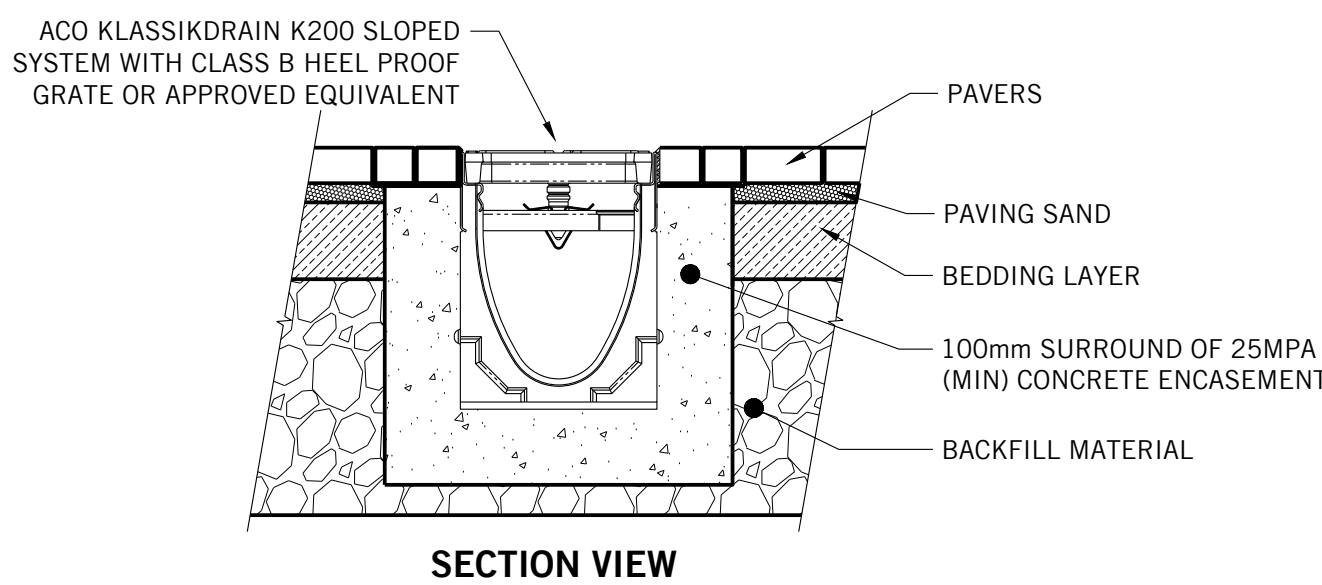
Title
**STORMWATER DRAINAGE SERVICES
GROUND FLOOR PLAN**

ELECTRONIC SIGNATURE: THIS DRAWING HAS BEEN ASSIGNED AN ELECTRONIC SIGNATURE CODE. THE PRESENCE OF THIS CODE CONFIRMS THAT THIS IS THE CERTIFIED DRAWING ISSUED FOR CONSTRUCTION.

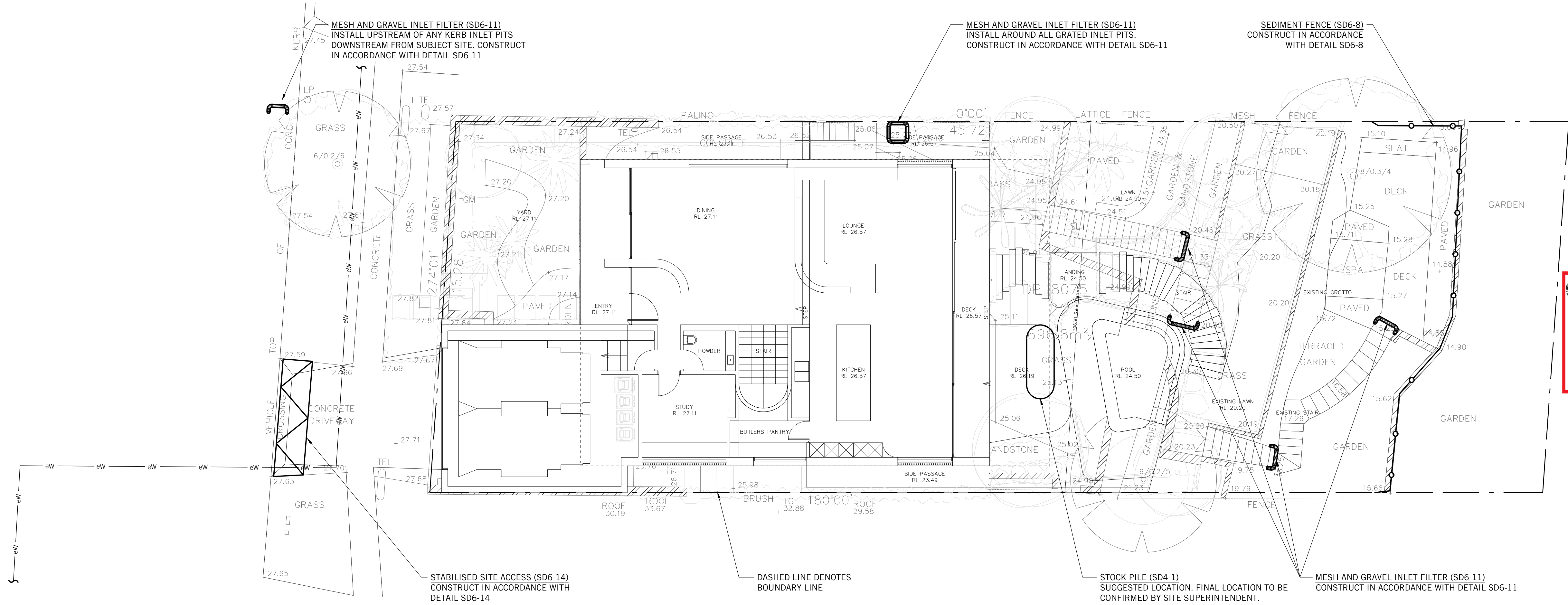
DO NOT SCALE DRAWINGS
USE FIGURED DIMENSIONS

Electronic Code	Signature	Date	Designed
*			D.H
Scale at A1	Date		Drawn
1:100	FEBRUARY 2020		A.D
Job No.	Drawing No.		Revision
2019H0273	SWDA 1.3		P3

PRELIMINARY - NOT FOR CONSTRUCTION

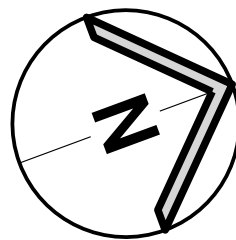
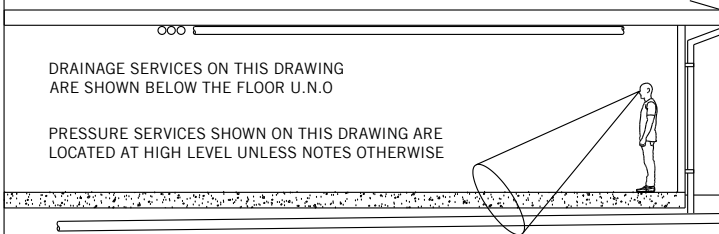


TRENCH GRATE (200mm WIDE) CLASS B
N.T.S

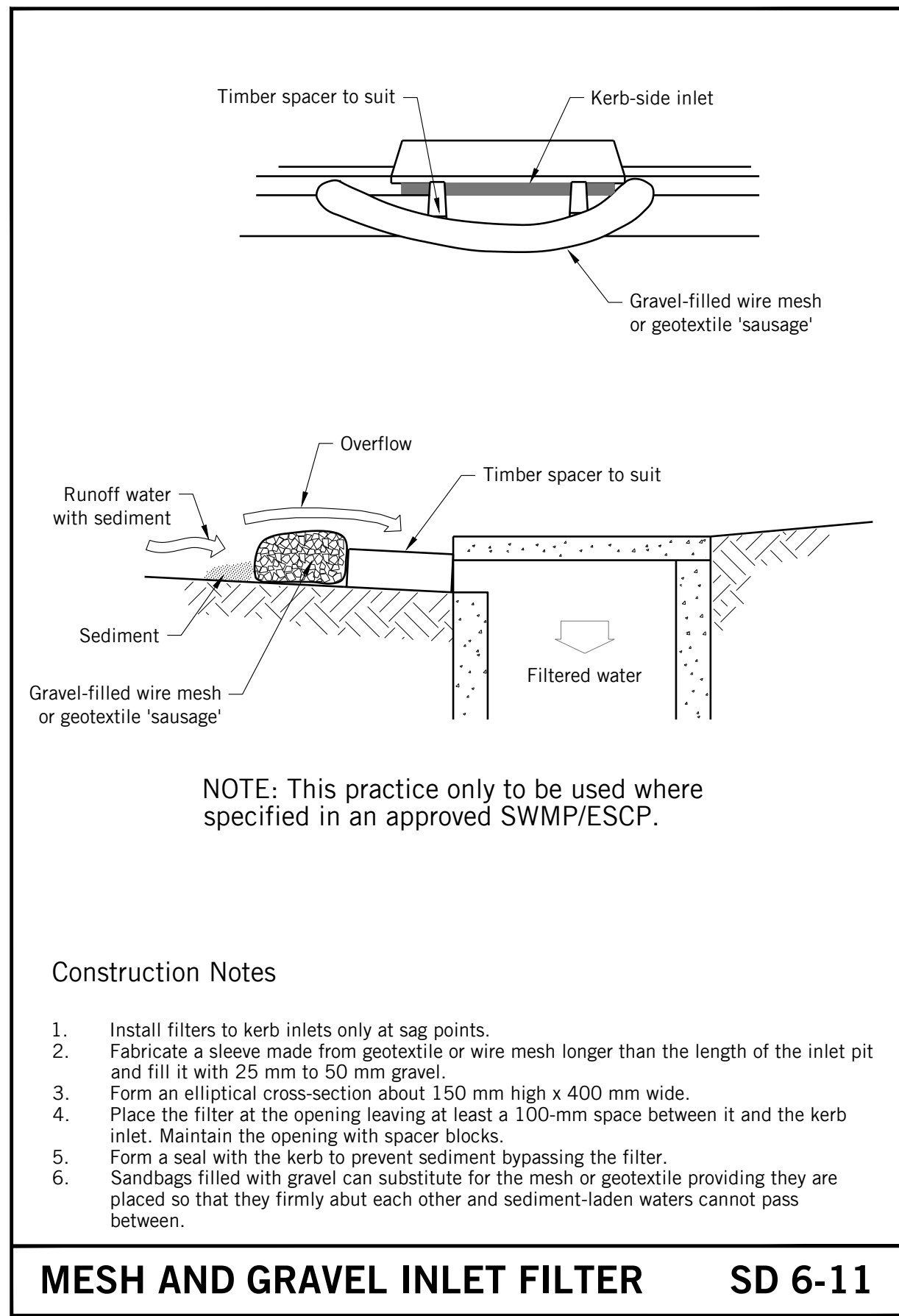
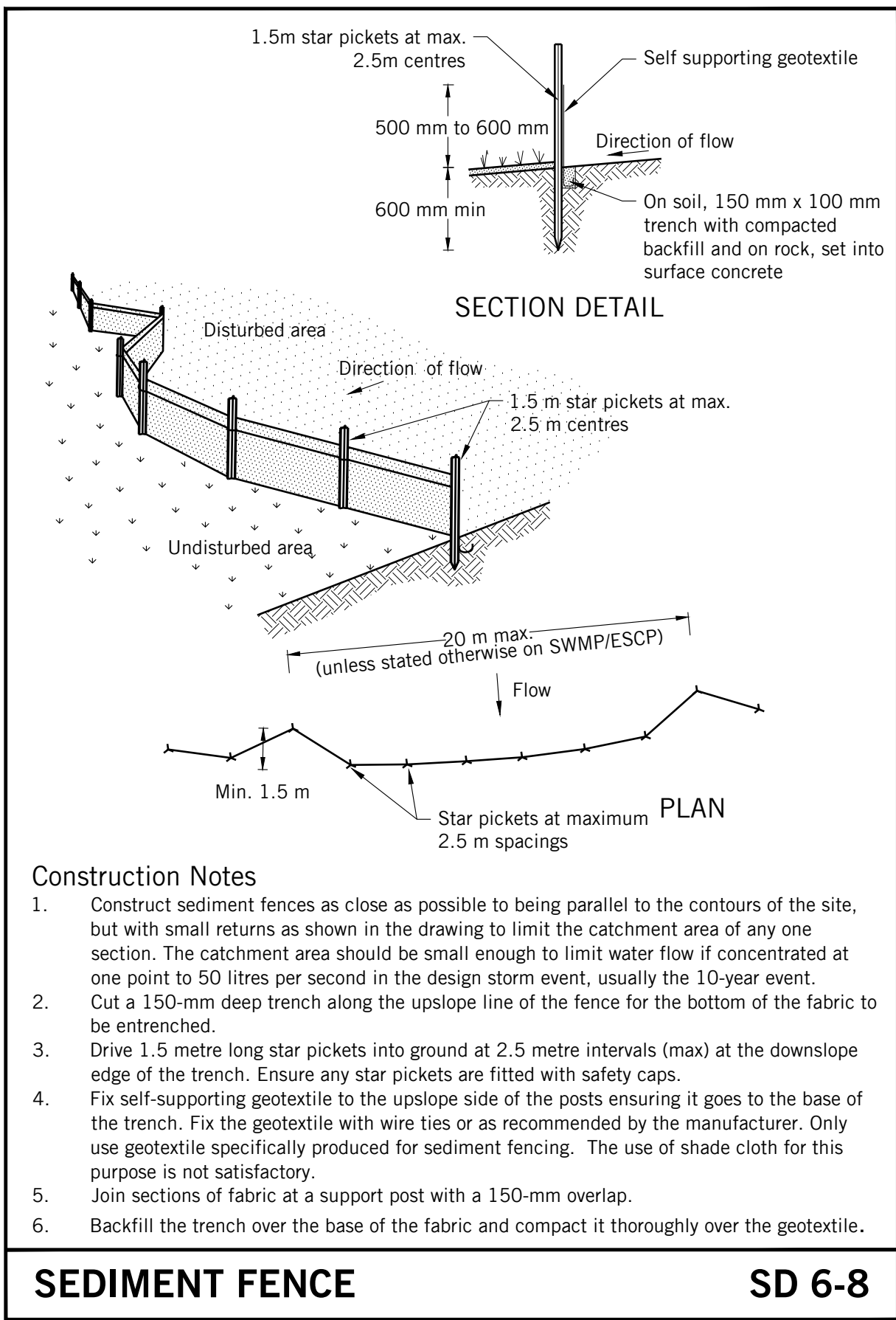
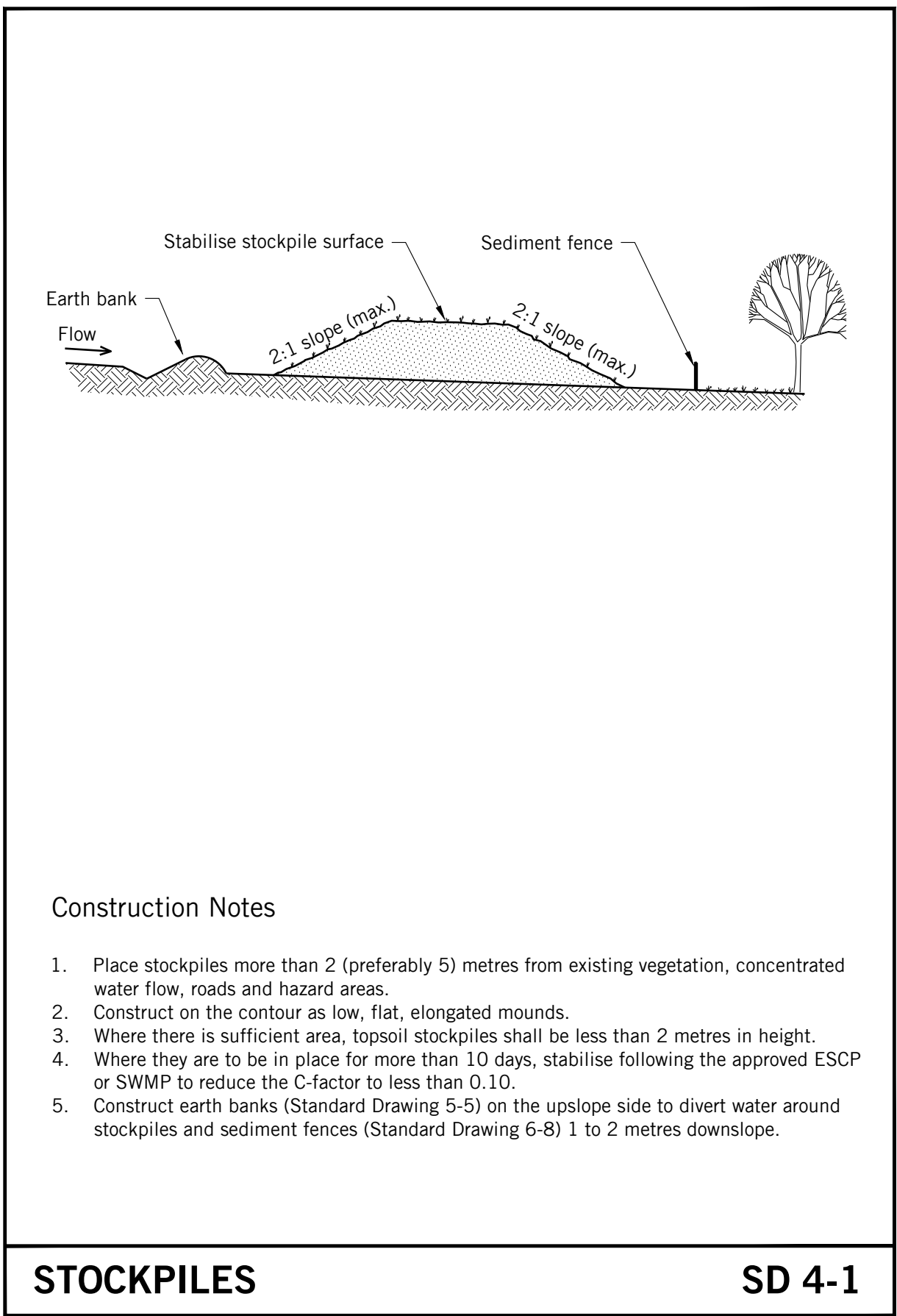


COPYRIGHT: THE DESIGN AND DETAILS SHOWN ON THIS DRAWING ARE SPECIFIC TO THIS PROJECT ONLY AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART OR BE USED FOR ANY OTHER PROJECT OR PURPOSE WITHOUT THE WRITTEN CONSENT OF PARTRIDGE HYDRAULICS.

REFER TO DRAWING NO. SWDA 1.1 FOR CONSTRUCTION NOTES



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
DA2020/0319



EROSION AND SEDIMENT CONTROL PLAN

- MEASURES PROVIDED WILL BE TO THE SATISFACTION OF THE PRINCIPAL'S REPRESENTATIVE IN ACCORDANCE WITH THE LOCAL AND STATUTORY REQUIREMENTS UNLESS NOTED OTHERWISE. ALL WORKS SHALL BE ERECTED AND CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE 'BLUE BOOK'-MANAGING URBAN STORMWATER (MUS); SOILS AND CONSTRUCTION, LANDCOM (VOL 1), NORTHERN BEACHES COUNCIL'S DEVELOPMENT CONTROL PLAN (DCP) AND THE "DO IT RIGHT ON SITE, SOIL AND WATER MANAGEMENT FOR THE CONSTRUCTION INDUSTRY" PUBLISHED BY THE SOUTHERN SYDNEY REGIONAL ORGANISATION OF COUNCILS 2001.
- ALL EXCAVATION WORKS ARE TO BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, IF AVAILABLE, AND THE STRUCTURAL ENGINEER'S DRAWINGS.
- INSTALL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO COMMENCEMENT OF CONSTRUCTION WORKS.
- MESH AND GRAVEL INLET FILTERS (SD 6-11) TO BE INSTALLED UPSTREAM OF PROPOSED STORMWATER PITS AS WELL AS EXISTING STORMWATER PITS DOWNSTREAM OF DISTURBED AREAS.
- TOP SOIL WILL BE STRIPPED AND STOCKPILED (SD 4-1) FOR LATER USE IN LANDSCAPING.
- ALL STOCKPILES TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS.
- TOP SOIL WILL BE RE SPREAD AND ALL DISTURBED AREAS WILL BE REHABILITATED WITHIN 20 WORKING DAYS OF THE COMPLETION OF WORKS.
- ALL SEDIMENT TO BE STORED AND COLLECTED BY A LIQUID WASTE COMPANY FOR DISPOSAL AT A LICENSED TREATMENT FACILITY.
- ROADS AND FOOTWAYS TO BE SWEEPED AT THE END OF THE DAY.
- ALL EROSION AND SEDIMENT CONTROLS WILL BE CHECKED AT LEAST WEEKLY AND AFTER RAINFALL EVENTS TO MAKE SURE THEY ARE MAINTAINED TO A FULLY FUNCTIONAL CONDITION.

P3	ISSUED FOR DA	DH	GB	28.02.20
P2	PROGRESS ISSUE	DH	GB	24.02.20
P1	PROGRESS ISSUE	DH	GB	20.02.20
Rev.	Issue / Amendment	By	App.	Date



PARTRIDGE HYDRAULIC SERVICES ABN 11 608 027 078
Level 5, 1 Chandos Street, St Leonards NSW 2065 Australia
t 612 9460 9000 f 612 9460 9090
email: partridge@partridge.com.au web: www.partridge.com.au

HYDRAULIC SERVICES

Client	MR CHRIS ACRET		
Architect	MADELEINE BLANCHFIELD ARCHITECTS 83 PADDINGTON STREET, PADDINGTON TEL: (02) 9212 3343 E: office@madeleineblanchfield.com W: madeleineblanchfield.com		
Project	NEW RESIDENCE 44 BOWER STREET MANLY		
Title	STORMWATER DRAINAGE SERVICES EROSION AND SEDIMENT CONTROL		

ELECTRONIC SIGNATURE: THIS DRAWING HAS BEEN ASSIGNED AN ELECTRONIC SIGNATURE CODE. THE PRESENCE OF THIS CODE SIGNIFIES THAT THIS IS THE CERTIFIED DRAWING ISSUED FOR CONSTRUCTION.

DO NOT SCALE DRAWINGS USE FIGURED DIMENSIONS

Electronic Code	Signature Date	Designed
*		G.B
Scale at A1	Date	Drawn
1:100	FEBRUARY 2020	A.D
Job No.	Drawing No.	Revision
2019H0273	SWDA 1.4	P3

PRELIMINARY - NOT FOR CONSTRUCTION