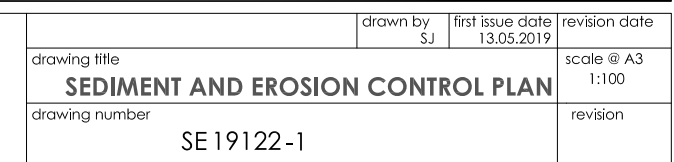
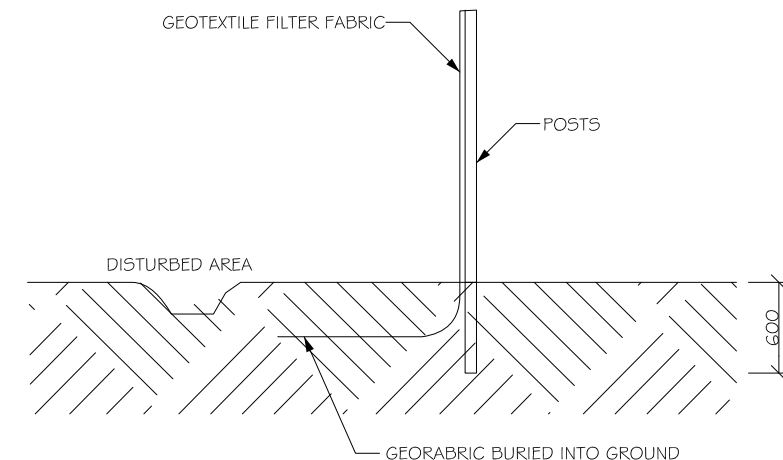
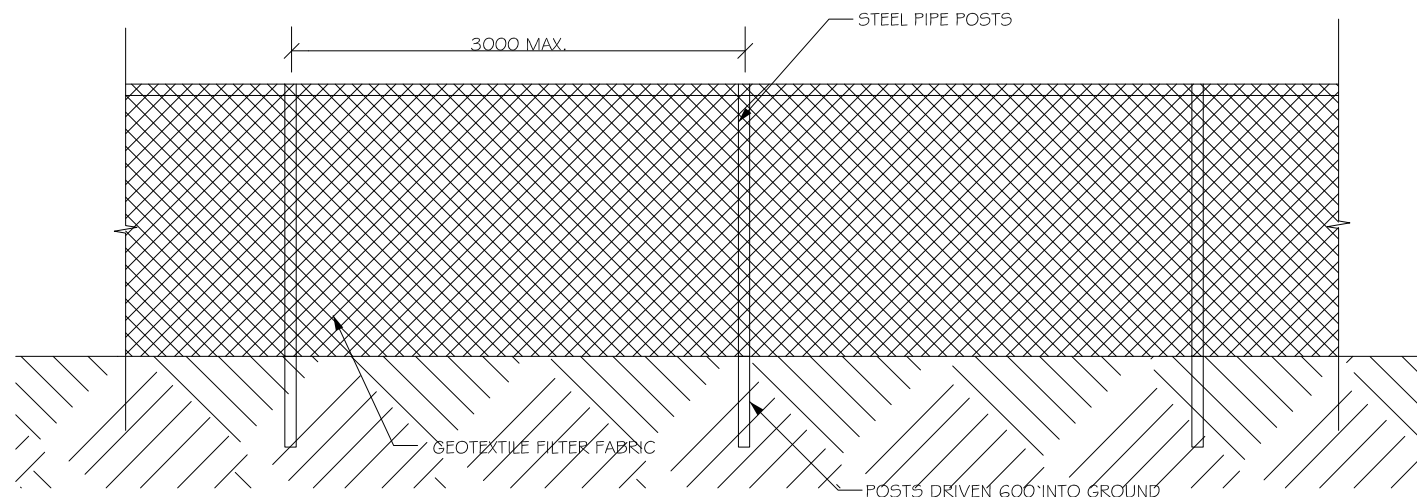




SEDIMENT AND EROSION CONTROL PLAN

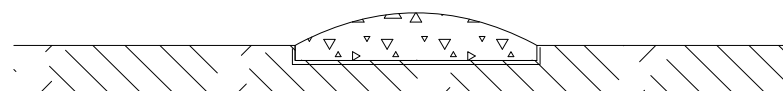




NOTE:
A SEDIMENT FENCE IS USED ON THE LOW SIDE OF THE BUILDING SITE TO STOP SOIL BEING WASHED AWAY DURING RAIN. THEY MUST BE INSTALLED CORRECTLY AND CLEANED OUT REGULARLY TO WORK IN A SATISFACTORY WAY.

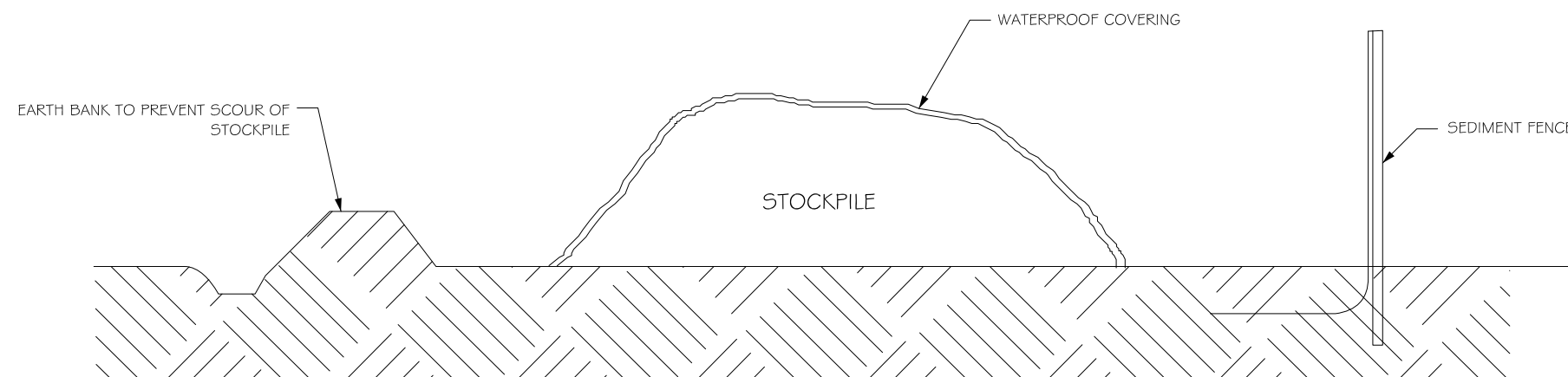
JKL
1
ELEVATION
1:50 TYP.

JKL
2
SECTION
1:50 TYP.



JKL
3
VEHICLE ACCESS TO SITE
1:50

NOTE:
VEHICLE ACCESS TO THE BUILDING SITE SHOULD BE RISTRICTED TO A SINGLE POINT SO AS TO REDUCE THE AMOUNT OF SOIL DEPOSITED ON THE STREET



NOTE:
ALL STOCKPILE OF BUILDING MATERIALS SUCH AS SAND AND SOIL MUST BE PROTECTED TO PREVENT SCOUR AND EROSION. THEY SHOULD NEVER BE PLACED IN THE STREET GUTTER WHERE THEY WILL WASH AWAY WITH THE FIRST RAINSTORM.

JKL
4
BUILDING MATERIAL STOCKPILE DATAIL
NOT TO SCALE

SEDIMENT AND EROSION CONTROL PLAN

<div><div><div>S</div><div>P</div><div>A</div><div>C</div><div>E</div><div></div></div><div>Space Plus Architectural & Interior design</div></div>	<div>T. 02 8385 2182 M. 0433 792 777 E. spaceplus.office@gmail.com Postal address : 5/24-26 Clyde St.Rydmer NSW 2116 www.spaceplus.com.au</div>	<div>IMPORTANT NOTE: ALL DIMENSIONS MUST BE CHECKED ON SITE PRIOR TO STARTING ANY WORKS OR PRODUCING ANY SHOP DRAWINGS. USE WRITTEN DIMENSIONS IN PREFERENCE TO SCALED DRAWINGS. THESE DRAWINGS ARE THE PROPERTY OF SPACE PLUS & MUST NOT BE REPRODUCED WHOLLY OR IN PART WITHOUT WRITTEN CONSENT OF SPACE PLUS.</div>	<table><tr><th>rev</th><th>date</th><th>notes</th></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr></table>	rev	date	notes																<div>project / address Proposed demolition of existing outbuilding at 376 Barrenjoey Road, Newport</div>	<table><tr><td></td><td>drawn by SJ</td><td>first issue date 13.05.2019</td><td>revision date</td></tr><tr><td>drawing title</td><td colspan="3">scale @ A3 1:100</td></tr><tr><td colspan="3">drawing number</td><td>revision</td></tr><tr><td colspan="3">SE 19122-2</td><td></td></tr></table>		drawn by SJ	first issue date 13.05.2019	revision date	drawing title	scale @ A3 1:100			drawing number			revision	SE 19122-2			
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